

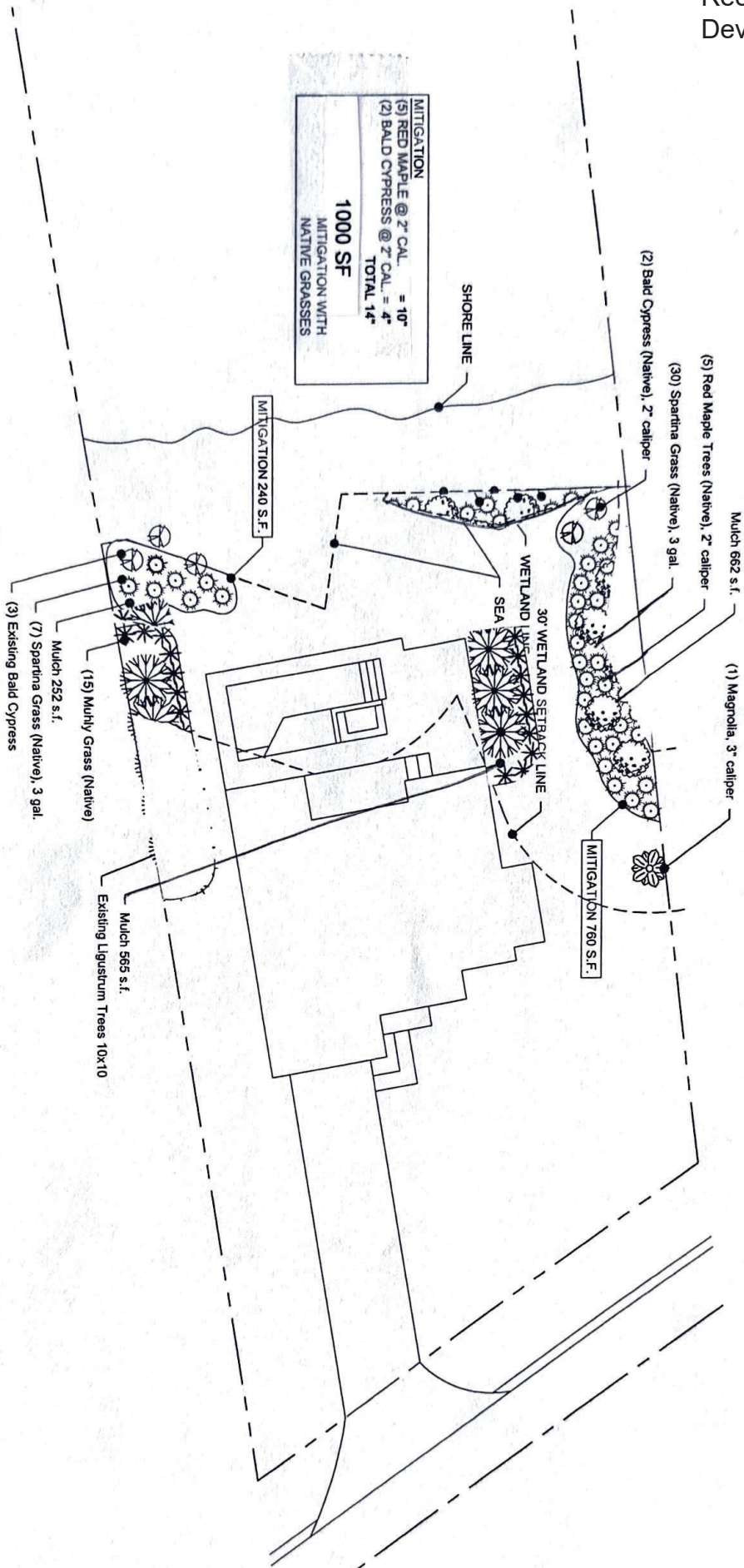
DISCLAIMER:

The variance(s) listed above is based on the information provided in the application by the applicant. Additional variances may be needed after the site has applied for development permits. The granting of these variances does not obviate the applicant or property owner from attaining all additional required approvals including but not limited to: subdivision or site development approvals and building permit approvals.

Approval of this variance petition by Hillsborough County does not constitute a guarantee that the Environmental Protection Commission of Hillsborough County (EPC) approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impact to wetlands, and does not grant any implied or vested environmental approvals.

SURVEY/SITE PLAN

COUNTY PROFESSIONAL ENGINEER'S SEAL 180231290



MITIGATION
 (5) RED MAPLE @ 2" CAL. = 10"
 (2) BALD CYPRESS @ 2" CAL. = 4"
 TOTAL 14"
 1000 SF
 MITIGATION WITH
 NATIVE GRASSES

MITIGATION 240 S.F.

MITIGATION 760 S.F.

(3) Existing Bald Cypress

(7) Spartina Grass (Native), 3 gal.

(15) Muhly Grass (Native)

Existing Ligustrum Trees 10x10

Mulch 565 s.f.

Mulch 252 s.f.

Mulch 692 s.f.

(1) Magnolia, 3" caliper

(2) Bald Cypress (Native), 2" caliper

(30) Spartina Grass (Native), 3 gal.

(5) Red Maple Trees (Native), 2" caliper

REVISIONS

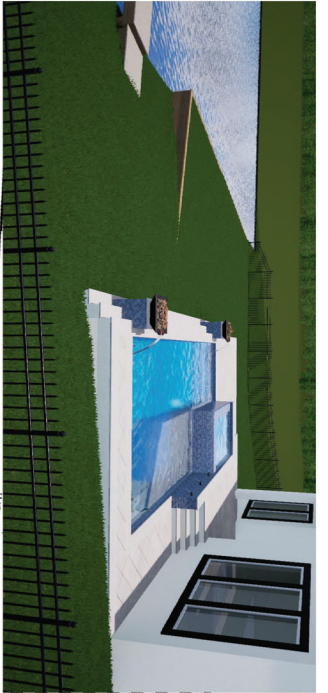
LANDSCAPING TUNE-UPS, INC.
 5921 E. Yeoman St., Tampa, Florida 33619
 (813) 986-7241

DRAWING SCALE	1"=20'
DRAWN BY	E.S.

Swain Residence
 Mitigation Landscape Plan

SHEET	1
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23-0934



UNMARKED ELEVATIONS
TO REMAIN UNALTERED

9.419545,63
1.41394,72
6, PAGE 182



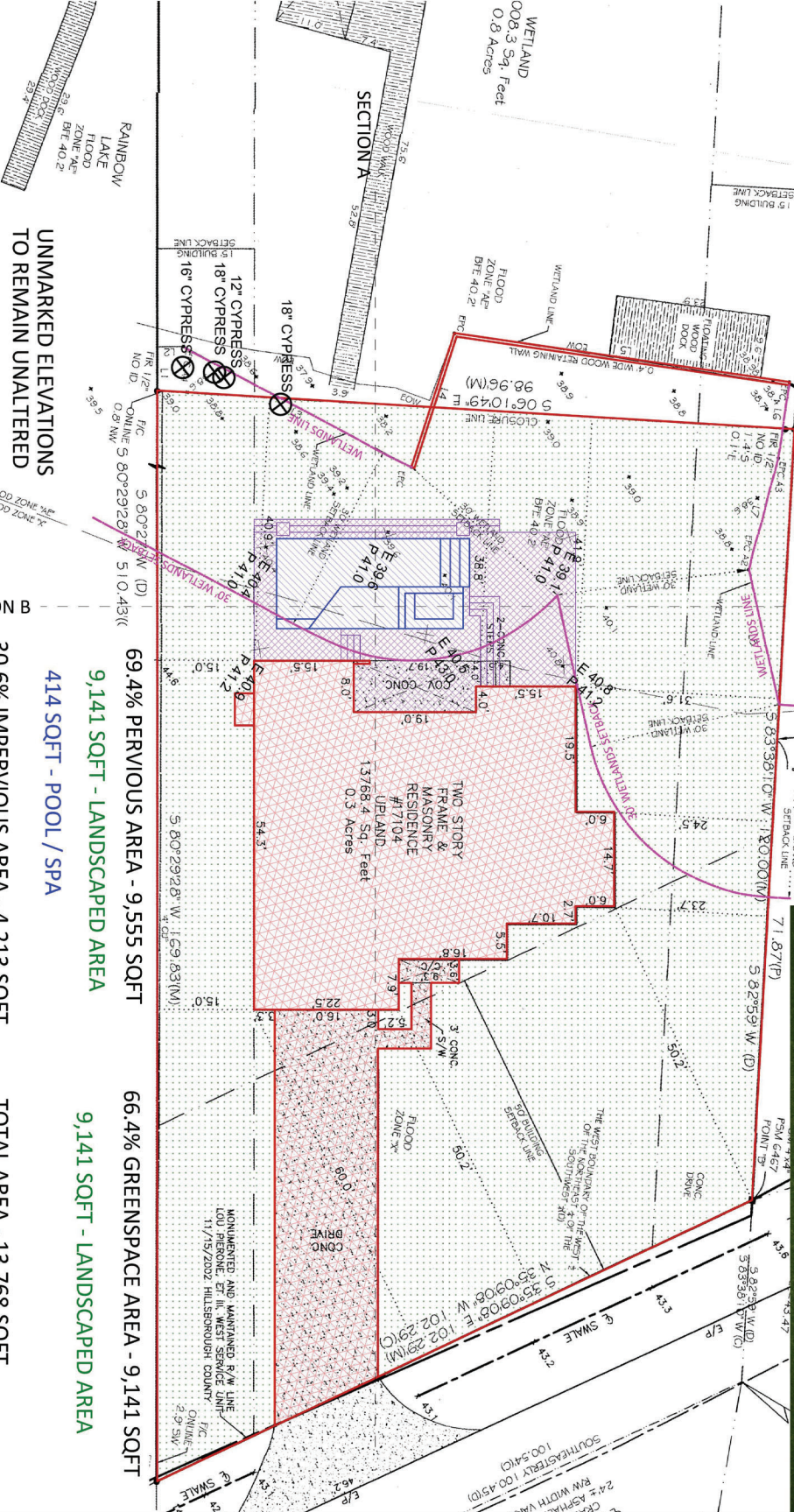
UNMARKED ELEVATIONS
TO REMAIN UNALTERED

U.S. POOLS
Creating a Lifestyle

SWAIN RESIDENCE

17104 Crawley Rd
Odessa, FL 33556

PERVIOUS RATIO
SITE PLAN



UNMARKED ELEVATIONS
TO REMAIN UNALTERED

- 69.4% PERVIOUS AREA - 9,555 SQFT
- 66.4% GREENSPACE AREA - 9,141 SQFT
- 9,141 SQFT - LANDSCAPED AREA
- 414 SQFT - POOL / SPA
- 9,141 SQFT - LANDSCAPED AREA
- 30.6% IMPERVIOUS AREA - 4,213 SQFT
- 877 SQFT - POOL DECKING
- 3,336 SQFT - HOUSE / DRIVEWAY
- TOTAL AREA - 13,768 SQFT

RAINBOW LAKE FLOOD ZONE 4A
FLOOD ZONE 4B
FLOOD ZONE 4C
FLOOD ZONE 4D
FLOOD ZONE 4E
FLOOD ZONE 4F
FLOOD ZONE 4G
FLOOD ZONE 4H
FLOOD ZONE 4I
FLOOD ZONE 4J
FLOOD ZONE 4K
FLOOD ZONE 4L
FLOOD ZONE 4M
FLOOD ZONE 4N
FLOOD ZONE 4O
FLOOD ZONE 4P
FLOOD ZONE 4Q
FLOOD ZONE 4R
FLOOD ZONE 4S
FLOOD ZONE 4T
FLOOD ZONE 4U
FLOOD ZONE 4V
FLOOD ZONE 4W
FLOOD ZONE 4X
FLOOD ZONE 4Y
FLOOD ZONE 4Z

SECTION B

SECTION A

SCALE: 1/8" = 1'

DATE: 07.19.2023

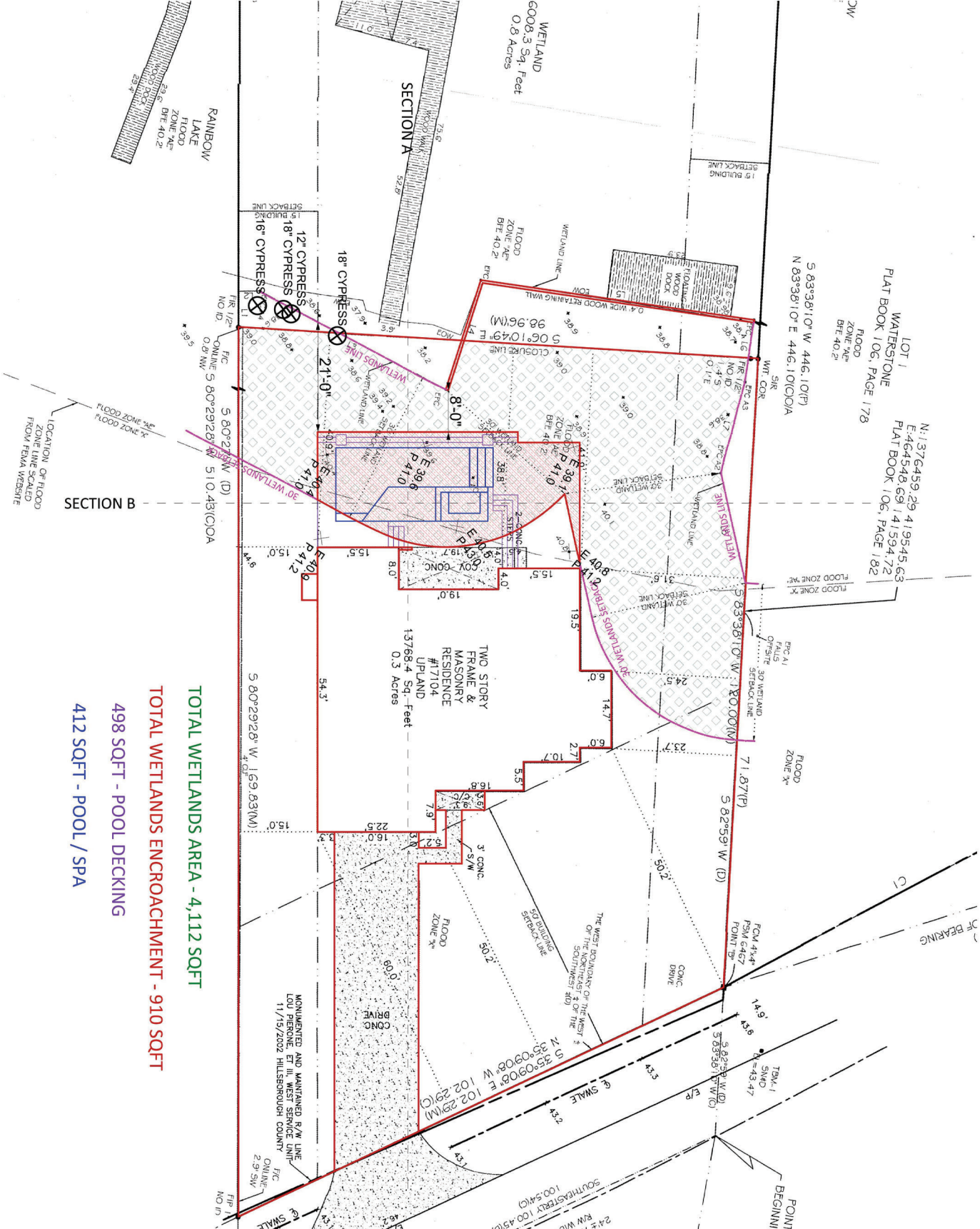
SWAIN RESIDENCE

17104 Crawley Rd
 Odessa, FL 33556

PERVIOUS RATIO
 SITE PLAN

SCALE: 1/8" = 1'

DATE: 07.19.2023



TOTAL WETLANDS AREA - 4,112 SQFT
 TOTAL WETLANDS ENCROACHMENT - 910 SQFT
 498 SQFT - POOL DECKING
 412 SQFT - POOL / SPA

LOCATION OF FLOOD ZONE LINE SCALED FROM FEMA WEBSITE

SECTION A

SECTION B

LOT 1
 WATERSTONE
 PLAT BOOK 106, PAGE 178
 FLOOD ZONE ME BFE 40.2

N: 137° 45' 29" E 4195.45' 63"
 E: 4645.48' 69" 141594.72"
 PLAT BOOK 106, PAGE 182

S 83° 36' 10" W 446.10' (P)
 N 83° 38' 10" E 446.10' (C/O/A)

S 83° 38' 10" W 1180.00' (N)
 S 82° 59' W (D)

S 82° 59' W (D)
 S 83° 30' W (C)

N 35° 09' 08" E 102.29' (M)
 N 35° 09' 08" W 102.29' (M)

MONUMENTED AND MAINTAINED R/W LINE
 LOU PERONE, ET AL, WEST SERVICE UNIT
 11/15/2002 HILLSBOROUGH COUNTY

RAINBOW LAKE
 FLOOD ZONE ME
 BFE 40.2

WETLAND
 0.8 Acres

SECTION A

12" CYPRESS
 18" CYPRESS
 6" CYPRESS

18" CYPRESS

18" CYPRESS

18" CYPRESS

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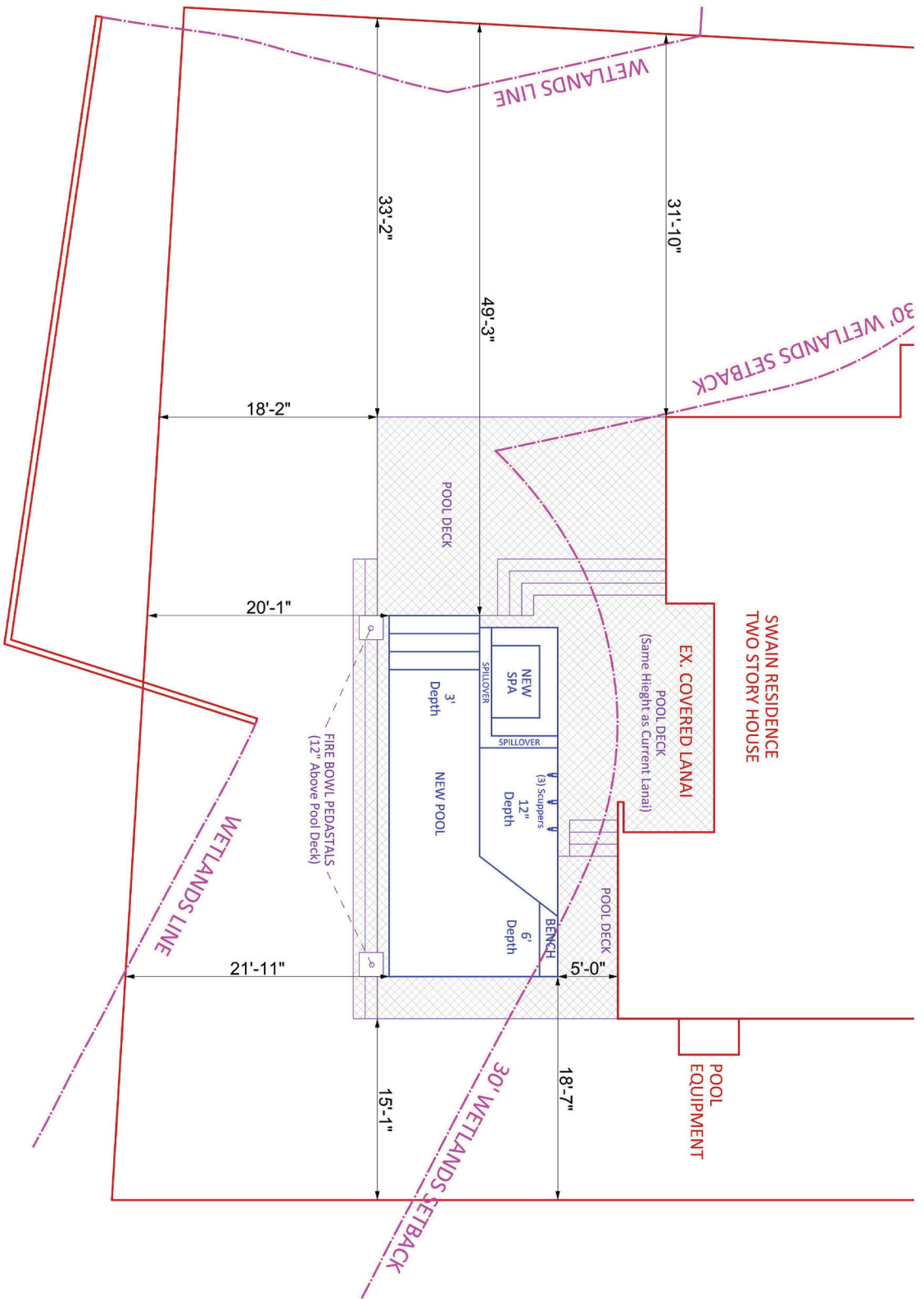
18" CYPRESS

18" CYPRESS

18" CYPRESS

18" CYPRESS

18" CYPRESS



U.S. POOLS
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SWAIN RESIDENCE

17104 Crawley Rd
 Odessa, FL 33556

POOL DIMENSIONED PLAN

SCALE: 1/4" = 1'

DATE: 07.19.2023

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Project Description (Variance Request)

1. In the space below describe the variance including any history and/or related facts that may be helpful in understanding the request. This explanation shall also specifically identify what is being requested (e.g. Variance of 10 feet from the required rear yard setback of 25 feet resulting in a rear yard of 15 feet). If additional space is needed, please attach extra pages to this application.

Variance requested to encroach within 30 foot wetland setbacks. Due to varing wetland line, the requested encroachment varies between 8 to 22 feet, with a total requested encroachment of 910 square feet. An encroachment of the wetland setback is being requested for the construction of a swimming pool and deck. A fence is existing along, both sides of the property, partially within the setback. Request that the fence also be included, as it will be necessary to meet pool safety code requirements.

2. A Variance is requested from the following Section(s) of the Hillsborough County Land Development Code:
Section 4.01.07

Additional Information

1. Have you been cited by Hillsborough County Code Enforcement? No Yes
If yes, you must submit a copy of the Citation with this Application.
2. Do you have any other applications filed with Hillsborough County that are related to the subject property?
 No Yes If yes, please indicate the nature of the application and the case numbers assigned to the application (s): _____
3. Is this a request for a wetland setback variance? No Yes
If yes, you must complete the Wetland Setback Memorandum and all required information must be included with this Application Packet.
4. Please indicate the existing or proposed utilities for the subject property:
 Public Water Public Wastewater Private Well Septic Tank
5. Is the variance to allow a third lot on well or non-residential development with an intensity of three ERC's?
 No Yes If yes, you must submit a final determination of the "Water, Wastewater, and/or Re-claimed Water – Service Application Conditional Approval – Reservation of Capacity" prior to your public hearing

US POOLS

Creating a Lifestyle



1003 Indiana Ave Palm Harbor, Florida, 34683

Phone (727) 688-7068

Email: INFO@USPOOLSFLA.COM

License #CPC1457799

To Whom It May Concern,

Please see accompanying application for a Wetland Setback Encroachment permit at the property of Mr. David Swan, located at 17104 Crawley Rd, Odessa, FL. Legal description- TRACT BEG AT PT ON C/L OF RD 938.3 FT S & 188.8 FT W OF NE COR OF W 1/2 OF NE 1/4 OF SW 1/4 AND RUN SELY ALONG C/L 100.45 FT S 80 DEG 27 MIN W TO W BDRY OF NE 1/4 OF SW 1/4 N TO PT BRG S 82 DEG 59 MIN W FROM POB & N 82 DEG 59 MIN E TO BEG LESS R/W

We are requesting to build a pool, spa, and pool deck within the 30 Ft wetland setback. Due to the wetland set back covering the entire rear, and most of the side of the property, we see no other reasonable location for the pool construction. As Mr. Swain has a family and children, the ability to add a pool to the property is very important to him for the personal enjoyment of their property.

Currently, the area of requested encroachment has only grass on site. There is no proposed removal of any natural vegetation or trees. The Cypress Trees on the property are to remain and be protected during the proposed construction.



Regards,

Steven Tonking, U.S. Pools, License #CPC1457799

Variance Criteria Response

1. Explain how the alleged hardships or practical difficulties are unique and singular to the subject property and are not those suffered in common with other property similarly located?

This property is located where two wetland lines meet. Due to the location of the two wetland lines, nearly the entirety of the rear and side of the property that would be suitable for pool construction is within the 30 foot setback area. This unique shape makes encroachment unavoidable.

2. Describe how the literal requirements of the Land Development Code (LDC) would deprive you of rights commonly enjoyed by other properties in the same district and area under the terms of the LDC.

The LDC requirements would not allow for the construction of a swimming pool, as commonly enjoyed by other residential properties in this district and area.

3. Explain how the variance, if allowed, will not substantially interfere with or injure the rights of others whose property would be affected by allowance of the variance.

The variance will not affect the adjacent properties, as the proposed improvement will not cause any adverse effects to any native trees, vegetation, etc. The proposed encroachment area has only sod currently, and tree removal is to take place.

4. Explain how the variance is in harmony with and serves the general intent and purpose of the LDC and the Comprehensive Plan (refer to Section 1.02.02 and 1.02.03 of the LDC for description of intent/purpose).

The variance is in harmony with purpose of the LDC as no native vegetation or environmentally sensitive area shall be damaged.

5. Explain how the situation sought to be relieved by the variance does not result from an illegal act or result from the actions of the applicant, resulting in a self-imposed hardship.

The situation was beyond the control of the homeowner, as both the wetlands line, and location of the home, were pre-existing.

6. Explain how allowing the variance will result in substantial justice being done, considering both the public benefits intended to be secured by the LDC and the individual hardships that will be suffered by a failure to grant a variance.

The variance will allow the homeowner to make the proposed improvement to their property, as commonly enjoyed by others in the same area, while causing no damage to any adjoining properties, or environmentally sensitive areas.

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Prepared by and After
Recording Return to:
Maurice Azerad, Esq.
Properties Title, LLC
5218 Paylor Ln.
Sarasota, FL 34240
As a necessary incident to the fulfillment
of conditions contained in a title insurance
commitment issued by it.

File No.: 2023-05-2591

Parcel ID Number: 001871-0000

Warranty Deed

Made this 9th day of JUNE, 2023, by **PATRICIA L. CLOUD, A SINGLE WOMAN**, whose address is 5806 Cruiser Way, Tampa, FL 33615 (the "Grantor"), to **DAVID E. SWAIN, A MARRIED MAN**, whose address is 17633 Gunn Highway, Odessa, FL 33556 (the "Grantee"):

(Whenever used herein the term "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the Grantor, for and in consideration of the sum of ONE MILLION SEVEN HUNDRED TWENTY FIVE THOUSAND AND 00/100 DOLLARS (\$1,725,000.00) and other valuable consideration, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee, all that certain land situate in **Hillsborough County, Florida**, to-wit:

SEE ATTACHED EXHIBIT "A" FOR LEGAL DESCRIPTION

Subject, however, to all covenants, conditions, restrictions, reservations, limitations, easements and to all applicable zoning ordinances and/or restrictions and prohibitions imposed by governmental authorities, if any.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold the same in fee simple forever.

And the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except for all covenants, conditions, restrictions, reservations, limitations, easements of record and to all applicable zoning ordinances and/or restrictions and prohibitions imposed by governmental authorities, if any and taxes accruing for the current and subsequent years.

-SIGNATURE(S) APPEAR NEXT PAGE(S)-

23-0934

In Witness Whereof, the Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]
Witness Printed Name JEFF THOMAS

Patricia L. Cloud
Patricia L. Cloud

[Signature]
Witness Printed Name BRANDON BRIGHT

State of FL
County of HILLSBOROUGH

The foregoing instrument was acknowledged before me by means of physical presence or online notarization on 9 day of JUNE, 2023, by Patricia L. Cloud, who is/are personally known to me or who has/have produced (a) current driver's license(s) as identification.



BRANDON BRIGHT
Commission # HH 183778
Expires October 9, 2025
Bonded thru Budget Notary Services

[Signature]
Notary Public
Print Name: BRANDON BRIGHT
My Commission Expires: 10/9/25

EXHIBIT "A"

BEGINNING AT A POINT IN THE CENTERLINE OF AN EXISTING COUNTY ROAD (CRAWLEY ROAD) SAID POINT BEING 938.3 FEET SOUTH AND 188.8 FEET WEST OF THE NORTHEAST CORNER OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 27 SOUTH, RANGE 17 EAST, HILLSBOROUGH COUNTY, FLORIDA; RUN THENCE SOUTHEASTERLY ALONG THE CENTERLINE OF SAID EXISTING COUNTY ROAD FOR A CHORD DISTANCE OF 100.45 FEET; THENCE SOUTH 80° 27' WEST TO THE WEST BOUNDARY OF SAID WEST 1/2 OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4; THENCE NORTHERLY ALONG THE WEST BOUNDARY OF THE SAID WEST 1/2 OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 TO A POINT WHICH BEARS SOUTH 82° 59' WEST FROM THE POINT OF BEGINNING; THENCE NORTH 82° 59' EAST TO THE POINT OF BEGINNING; LESS RIGHT-OF-WAY FOR CRAWLEY ROAD.

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Property/Applicant/Owner Information Form

Official Use Only

Application No: VAR-WS 23-0934

Intake Date: 08/17/2023

Hearing(s) and type: Date: 10/23/2023

Type: LUHO

Receipt Number: 296610

Date:

Type:

Intake Staff Signature: Keshia Rivas

Property Information

Address: 17104 Crawley Rd City/State/Zip: Odessa, FL, 33556

TWN-RN-SEC: 27-17-22 Folio(s): 18710000 Zoning: ASC-1 Future Land Use: R-1 Property Size: 1.11550999 Aci

Property Owner Information

Name: David Swain Daytime Phone 727-455-1733

Address: 17104 Crawley Rd City/State/Zip: Odessa, FL, 33556

Email: daveswain52@gmail.com Fax Number

Applicant Information

Name: Steven Tonking, U.S. Pools Daytime Phone 727-688-7068

Address: 1003 Indiana Ave City/State/Zip: Palm Harbor, FL 34683

Email: uspoolsfla@gmail.com Fax Number

Applicant's Representative (if different than above)

Name: Daytime Phone

Address: City/State/Zip:

Email: Fax Number

I hereby swear or affirm that all the information provided in the submitted application packet is true and accurate, to the best of my knowledge, and authorize the representative listed above to act on my behalf on this application.

Signature of the Applicant

Signature of the Applicant

Steven Tonking

Type or print name

I hereby authorize the processing of this application and recognize that the final action taken on this petition shall be binding to the property as well as to the current and any future owners.

Signature of the Owner(s)

Signature of the Owner(s) - (All parties on the deed must sign)

David Swain

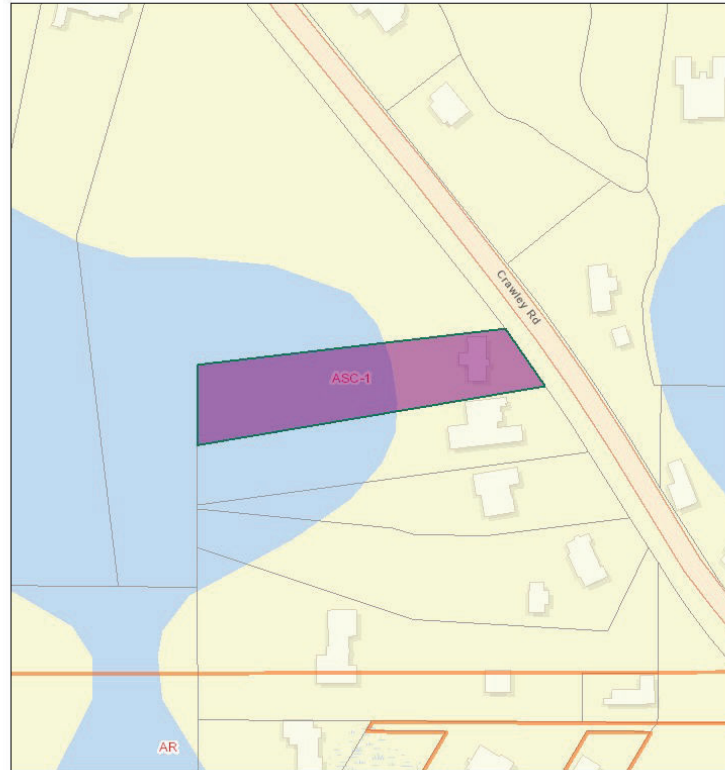
Type or print name



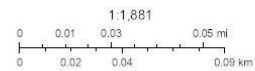
PARCEL INFORMATION HILLSBOROUGH COUNTY FLORIDA

Jurisdiction	Unincorporated County
Zoning Category	Agricultural
Zoning	ASC-1
Description	Agricultural - Single-Family Conventional
Flood Zone:AE	BFE = 40.2 ft
Flood Zone:X	AREA OF MINIMAL FLOOD HAZARD
FIRM Panel	0180H
FIRM Panel	12057C0180H
Suffix	H
Effective Date	Thu Aug 28 2008
Pre 2008 Flood Zone	AE
Pre 2008 Flood Zone	X
Pre 2008 Firm Panel	1201120180F
County Wide Planning Area	Keystone Odessa
Community Base Planning Area	Keystone Odessa Area
Census Data	Tract: 011518 Block: 2004
Future Landuse	R-1
Future Landuse	R-1
Future Landuse	R-1
Mobility Assessment District	Rural
Mobility Benefit District	1
Fire Impact Fee	Northwest
Parks/Schools Impact Fee	NORTHWEST
ROW/Transportation Impact Fee	ZONE 1
Wind Borne Debris Area	140 MPH Area
Competitive Sites	NO
Redevelopment Area	NO

Folio: 1871.0000



August 17, 2023



RD: Esri Community Maps Contributors; City of Tampa; County of Pinellas; FDEP; © OpenStreetMap; Microsoft; Esri; HERE; Garmin; SafeGraph; GeoTechnologies, Inc; MET/NASA; USGS; EPA; NPS; US Census Bureau; USDA

Hillsborough County Florida

Folio: 1871.0000
PIN: U-22-27-17-ZZZ-000000-15190.0

David E Swain
Mailing Address:
 17633 Gunn Hwy
 null

Odessa, Fl 33556-1912

Site Address:
 17104 Crawley Rd
 Odessa, Fl 33556

SEC-TWN-RNG: 22-27-17

Acreage: 1.11550999

Market Value: \$1,000,484.00

Landuse Code: 0100 Single Family

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1. Any error, omissions, or inaccuracies in the information provided regardless of how caused.
2. Any decision made or action taken or not taken by any person in reliance upon any information or data furnished hereunder.