

PD Modification Application PRS 21-0800

Zoning Hearing Master Date: N/A

BOCC Land Use Meeting Date: July 20, 2021



**Hillsborough
County Florida**

Development Services Department

1.0 APPLICATION SUMMARY

Applicant: David M. Mechanik, Esq.

FLU Category: RES-6

Service Area: Urban

Site Acreage: 8.55

Community Plan Area: Greater Palm River

Overlay: None

Request: Minor Modification to PD 19-0092



Existing Approvals:

Currently approved for 38 single-family lots with the following development standards: Minimum lot size of 3,500 sf (6,500 sf for lots along the northern and eastern PD boundaries); minimum lot width of 40 ft; minimum front yard setback of 20 ft; minimum side yard setback of 5'; and, minimum rear yard setback of 20 ft.

Proposed Modifications:

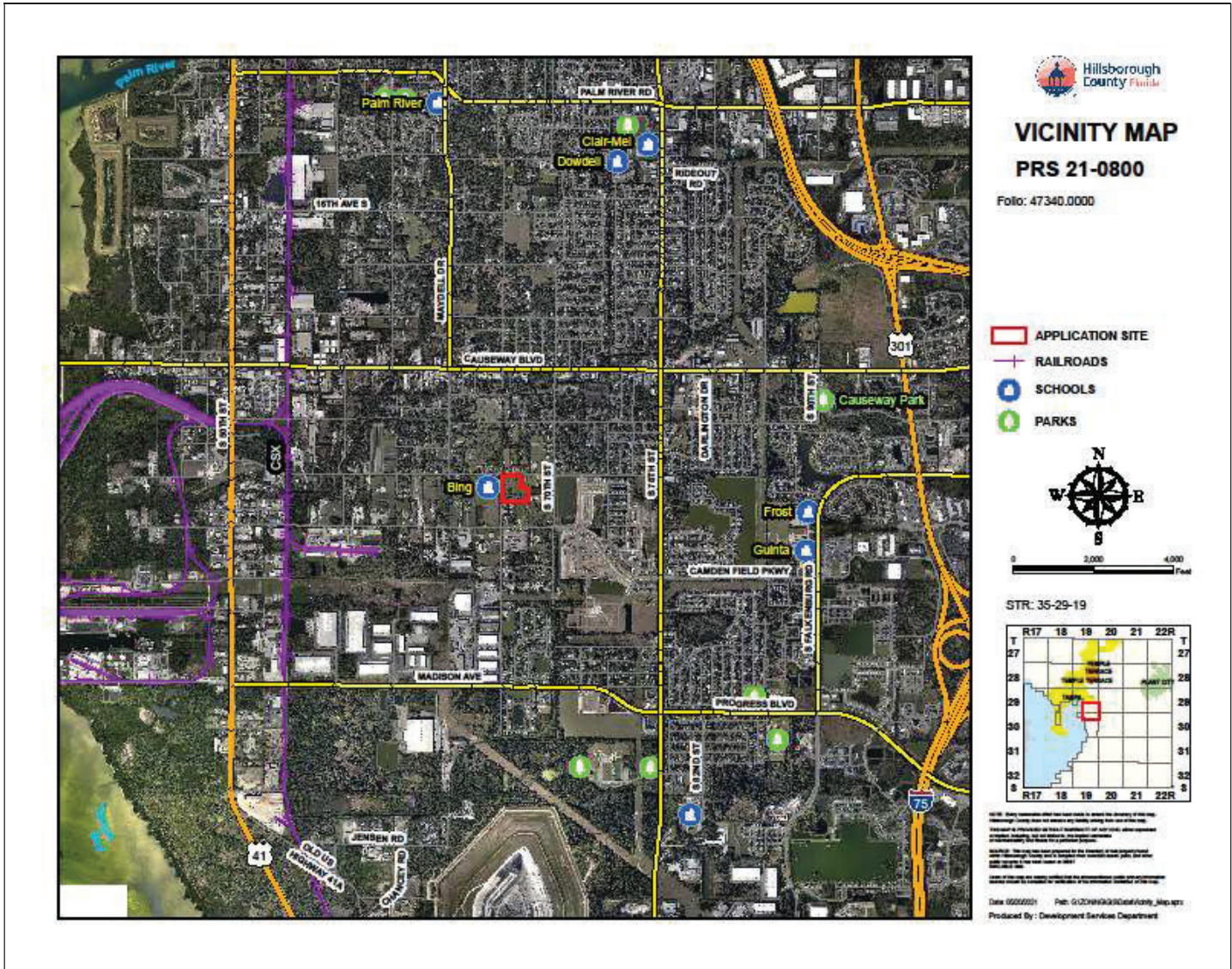
- Reduce the maximum number of lots from 38 to 32.
- Modify the site plan to show an enlarged stormwater pond (see Figure 1, Section 7.0).
- Modify the site plan to show the location of a pump station and access to the pump station.
- Reduce the front yard functioning as a side yard setback (western yard) for lots 1 and 5 from 20' to 5' (see Figure 2, Section 7.0).
- Reduce the front yard functioning as a side yard setback (eastern yard) for lot 4 from 20' to 5' (see Figure 2, Section 7.0).
- Reduce the front yard functioning as a side yard setback (northern yard) for lots 16, 17 and 18 from 20' to 5' (see Figure 2, Section 7.0).
- Reduce the front yard functioning as a side yard setback (southern yard) for lots 31 and 32 from 20' to 5' (see Figure 2, Section 7.0).
- Increase the maximum building coverage from 55% to 65% for all lots.

Additional Information:

PD Variations	None
Waivers	None
Planning Commission Recommendation	Consistent
Development Services Department Recommendation	Approvable, subject to proposed conditions

2.0 LAND USE MAP SET AND SUMMARY DATA

2.1 Vicinity Map

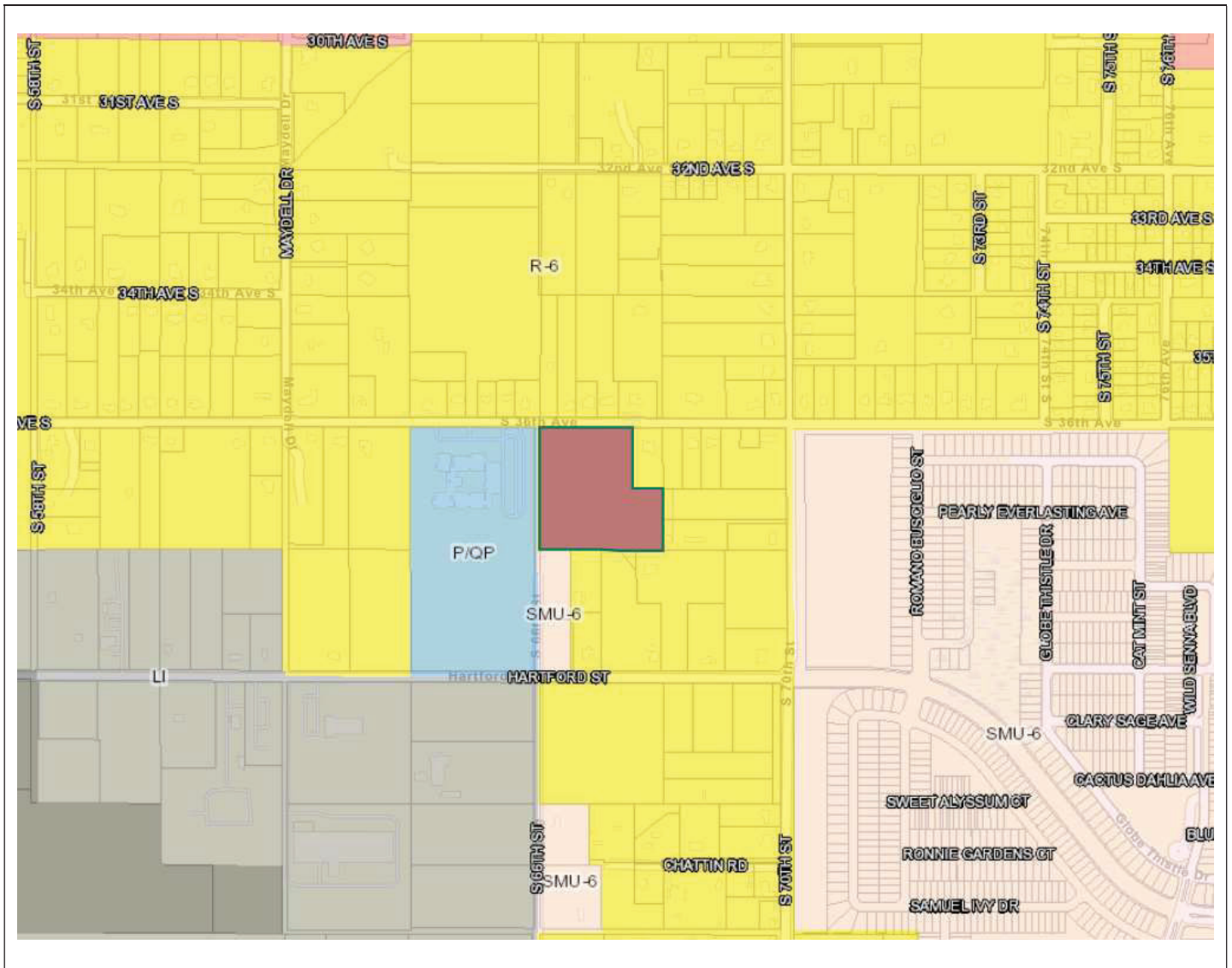


Context of Surrounding Area:

The site is located in an area developed with residential and residential support uses, south of the Causeway Boulevard corridor. Various lot sizes are present at both a suburban (RSC-6, RSC-3, RSC-9) and rural (AS-1 and ASC-1) scale. Not immediate to the site, but within the area, are manufacturing, industrial and intense commercial uses.

2.0 LAND USE MAP SET AND SUMMARY DATA

2.2 Future Land Use Map



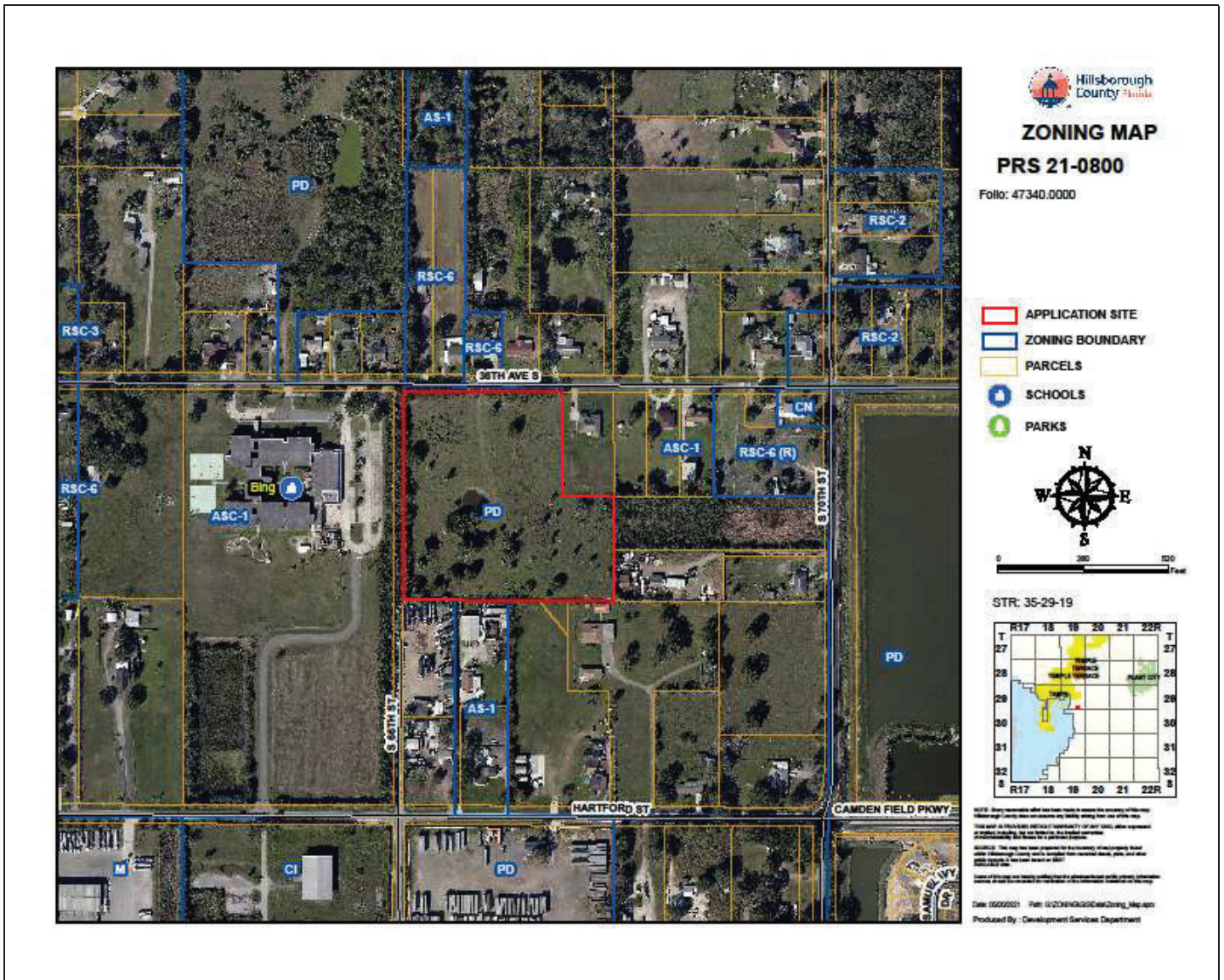
Future Land Use Category Description:

RES-6: Maximum density of 6 units per acre

Category permits for residential and suburban-scale neighborhood commercial, office uses, multi-purpose and mixed use projects. Non-residential uses are subject to locational criteria and compatibility polices of the Comprehensive Plan.

2.0 LAND USE MAP SET AND SUMMARY DATA

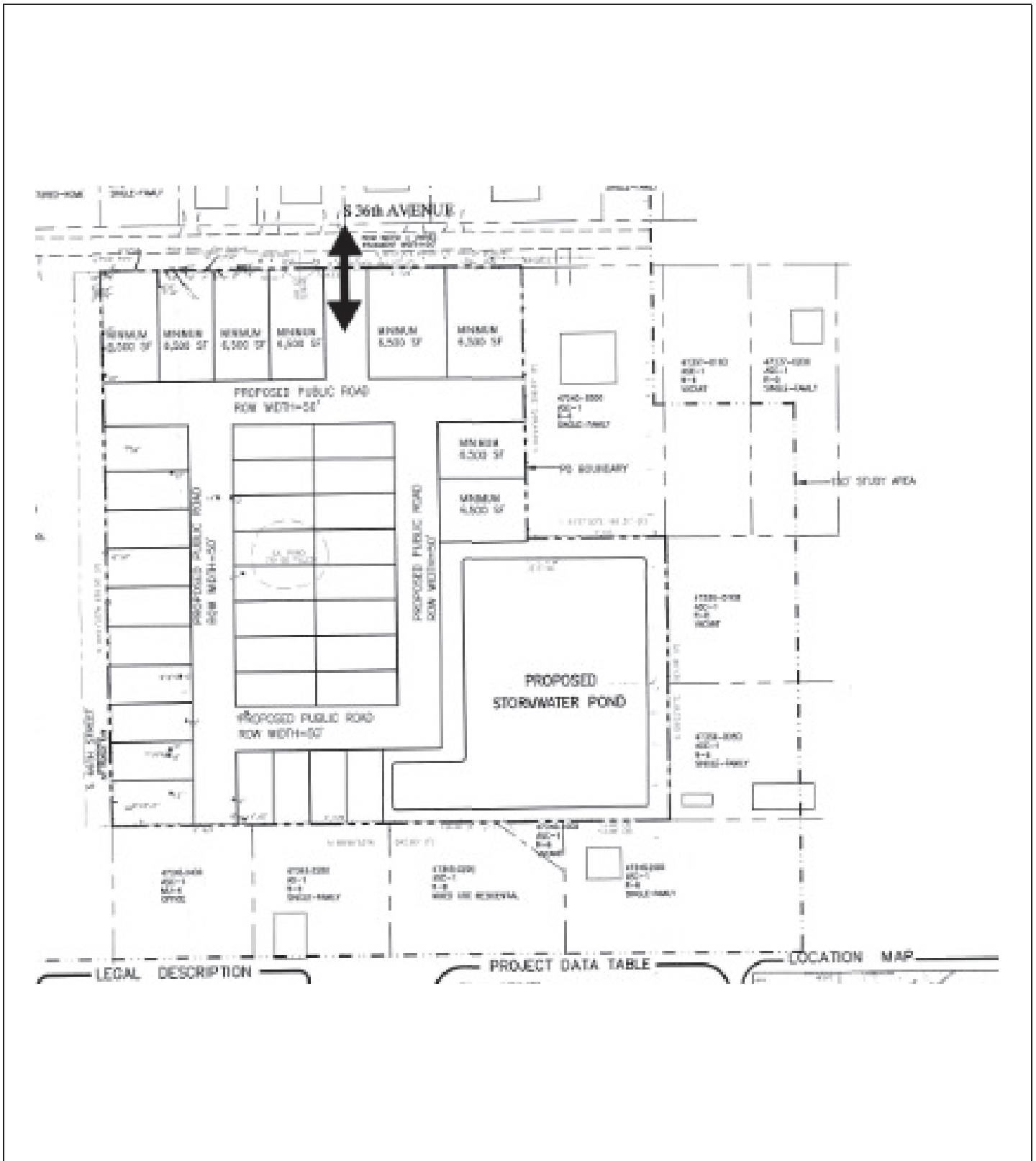
2.3 Immediate Area Map



Adjacent Zonings and Uses					
Location:	Zoning:	Future Land Use:	Density/F.A.R.	Permitted Use:	Existing Use:
North	RSC-6	RES-6	6 u/a	Single-Family residential	Single-Family residential
South	ASC-1 AS-1	SMU-6 RES-6	1 u/a	Single-Family residential	Single-Family residential
West	ASC-1	P/QP	1 u/a	Residential and public uses	Public elementary school and ROW
East	ASC-1	RES-6	1 u/a	Single-Family residential	Single-Family residential and vacant

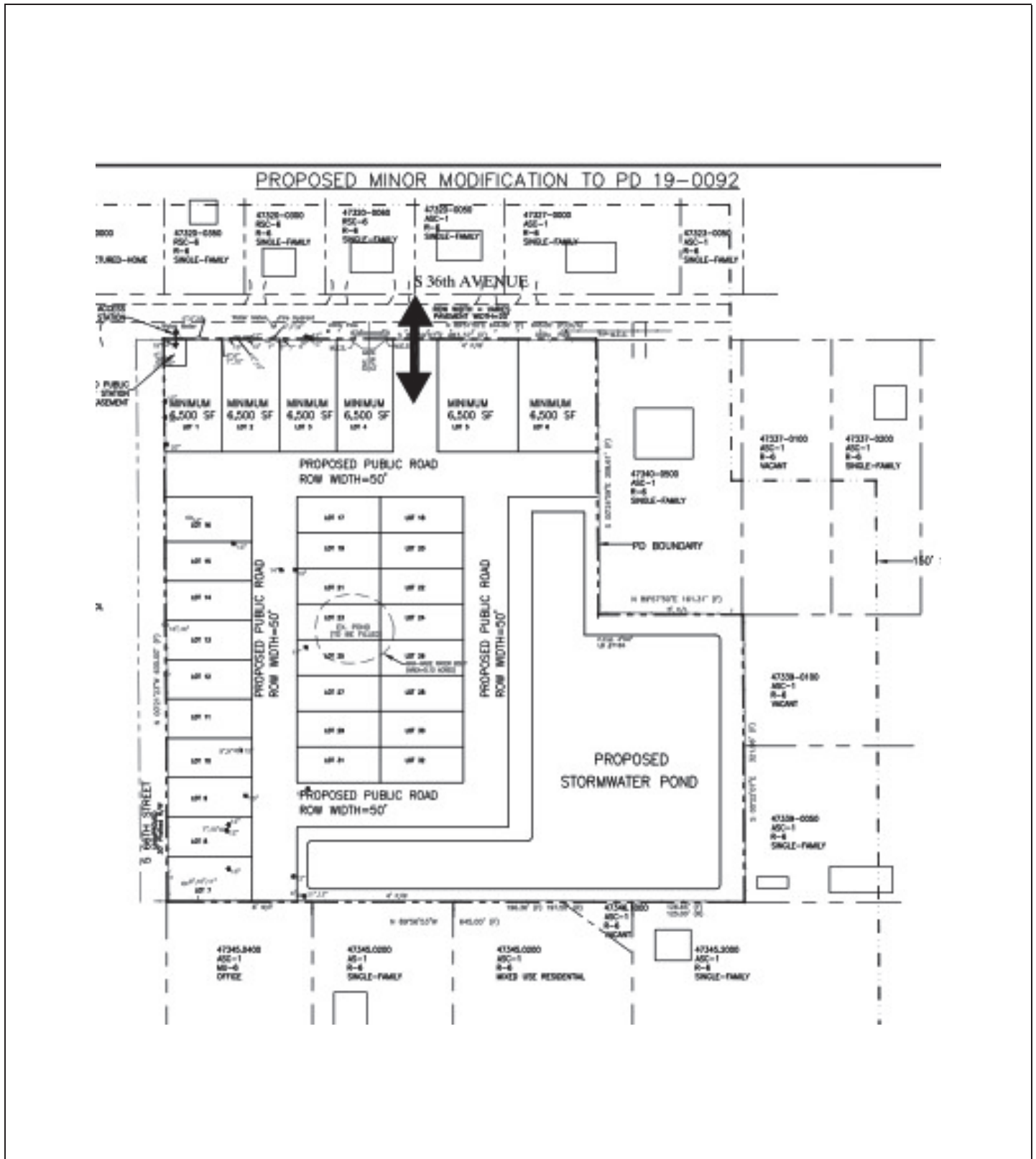
2.0 LAND USE MAP SET AND SUMMARY DATA

2.4 Existing Site Plan (Partial)



2.0 LAND USE MAP SET AND SUMMARY DATA

2.5 Proposed Site Plan (Partial)



3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)

Adjoining Roadways (check if applicable)			
Road Name	Classification	Current Conditions	Select Future Improvements
36 th Ave S.	County Local - Urban	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input checked="" type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other

Project Trip Generation <input type="checkbox"/> Not applicable for this request			
	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	359	28	38
Proposed	302	24	32
Difference (+/-)	(-) 57	(-) 4	(-) 6

*Trips reported are based on net new external trips unless otherwise noted.

Connectivity and Cross Access <input type="checkbox"/> Not applicable for this request				
Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North	X	Vehicular & Pedestrian	None	Meets LDC
South		Vehicular & Pedestrian	None	Meets LDC
East		Vehicular & Pedestrian	None	Meets LDC
West		Vehicular & Pedestrian	None	Meets LDC
Notes:				

Design Exception/Administrative Variance <input type="checkbox"/> Not applicable for this request		
Road Name/Nature of Request	Type	Finding
36 th Ave S./ Substandard Roadway	Design Exception	Previously Approved
Notes:		

4.0 ADDITIONAL SITE INFORMATION & AGENCY COMMENTS SUMMARY

INFORMATION/REVIEWING AGENCY	OBJECTIONS	CONDITIONS REQUESTED	ADDITIONAL INFORMATION/COMMENTS
Environmental:			
Environmental Protection Commission	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Natural Resources	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Conservation & Environmental Lands Mgmt.	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Check if Applicable: <input type="checkbox"/> Wetlands/Other Surface Waters <input type="checkbox"/> Significant Wildlife Habitat <input type="checkbox"/> Use of Environmentally Sensitive Land Credit <input type="checkbox"/> Coastal High Hazard Area <input type="checkbox"/> Wellhead Protection Area <input type="checkbox"/> Urban/Suburban/Rural Scenic Corridor <input type="checkbox"/> Surface Water Resource Protection Area <input type="checkbox"/> Adjacent to ELAPP property <input type="checkbox"/> Potable Water Wellfield Protection Area <input type="checkbox"/> Other _____			
Public Facilities:			
Transportation <input type="checkbox"/> Design Exception Requested <input checked="" type="checkbox"/> Off-site Improvements Required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Utilities Service Area/ Water & Wastewater <input type="checkbox"/> Urban <input checked="" type="checkbox"/> City of Tampa <input type="checkbox"/> Rural <input type="checkbox"/> City of Temple Terrace	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Hillsborough County School Board Adequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input checked="" type="checkbox"/> N/A Inadequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Impact/Mobility Fees			
Comprehensive Plan:			
Planning Commission <input type="checkbox"/> Meets Locational Criteria <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Locational Criteria Waiver Requested <input type="checkbox"/> Minimum Density Met <input type="checkbox"/> N/A	<input type="checkbox"/> Inconsistent <input checked="" type="checkbox"/> Consistent <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	No objection to noncompliance with minimum density Comprehensive Plan Policy.

5.0 IMPLEMENTATION RECOMMENDATION

5.1 Compatibility

The proposed setback changes are internal to the site and do not impact external compability. The stormwater pond enlargement removes lots previously on the south and east sides of the site. Lastly, the number of units is proposed to be reduced, rather than increased, which will reduce the density of the overall project.

5.2 Recommendation

The reduced setback accommodates a corner lot, specifically the front yards functioning as side yards. The applicant has agreed to adhere to larger setbacks on said frontages for garages to avoid vehicle driveway parking over sidewalk areas.

The proposed reduction in lots to 32 will not meet the Comprehensive Plan minimum density requirement for projects in the Urban Service Area at a FLU category of 4 units/acre or greater; however, the enlarged pond is necessary to meet stormwater requirements, which is causing the unit reduction.

6.0 PROPOSED CONDITIONS

Prior to Plan Certification:

- 1. Add roadway information consistent with the Development Review Procedures Manual for S. 36th Ave., specifically: roadway functional class, number of lanes, right of way width and pavement conditions.
- 2. Add access arrows to the proposed subdivision public road stubouts to indicate future access.

Approval of the request, subject to the conditions listed below, is based on the general site plan submitted June 9, 2021.

- 1. Development of the project shall be limited to a maximum of ~~38~~ 36 single-family residential dwelling units.
- 2. Lots shall be developed according to the following development standards:

Minimum lot size:	3,500 square feet *
Minimum lot width:	40 feet *
Front Yard Setback:	20 feet
<u>Front Yard Functioning as a Side Yard Setback (Corner Lot):</u>	<u>5 feet**</u>
Side Yard Setback:	5 feet
Rear Yard Setback:	20 feet
Maximum Building Coverage:	55 <u>65</u> % Maximum
Building Height:	35 feet, 2 stories

*Lots along the northern and eastern PD boundary shall have a minimum lot size of 6,500 square feet and minimum lot width of 65 feet.

** Garages accessed from the Front Yard Functioning as a Side Yard shall be set back a minimum of 15 feet.


- 3. A Public Pump Station shall be permitted on Lot 1 (as depicted on the general site plan).
- 34. Buffer and screening shall be in accordance with LDC Section 6.06.06.
- 45. As 36th Ave South is a substandard collector roadway, the developer will be required to make certain improvements to 36th Ave South consistent with the Design Exception approved by the County Engineer (dated February 26, 2019), including:
 - a. The developer shall construct 6-foot wide stabilized shoulders along both sides of 36th Ave. South, along the project's frontage.
 - b. The developer shall regrade the ditches along 36th Ave south.
 - c. The developer shall construct a minimum 5-foot wide sidewalk along the south side of 36th Ave. South project frontage.
- 56. Notwithstanding anything herein or shown on the PD site plan to the contrary, bicycle and pedestrian access may be permitted anywhere along the northern, eastern and southern PD boundaries.
- 67. Approval of this zoning petition by Hillsborough County does not constitute a guarantee that the Environmental Protection Commission of Hillsborough County (EPC) approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impact to wetlands, and does not grant any implied or vested right to environmental approvals.

- ~~78.~~ The construction and location of any proposed wetland impacts are not approved by this rezoning, but shall be reviewed by EPC staff under separate application pursuant to the EPC Wetlands rule detailed in Chapter 1-11, Rules of the EPC, (Chapter 1-11) to determine whether such impacts are necessary to accomplish reasonable use of the subject property.
- ~~89.~~ Prior to the issuance of any building or land alteration permits or other development, the approved wetland/other surface water (OSW) line must be incorporated into the site plan. The wetland/OSW line must appear on all site plans, labeled as "EPC Wetland Line", and the wetland must be labeled as "Wetland Conservation Area" pursuant to the Hillsborough County Land Development Code (LDC).
- ~~910.~~ Final design of buildings, stormwater retention areas, and ingress/egresses are subject to change pending formal agency jurisdictional determinations of wetland and other surface water boundaries and approval by the appropriate regulatory agencies.
- ~~1011.~~ If the notes and/or graphics on the site plan are in conflict with specific zoning conditions and/or the Land Development Code (LDC) regulations, the more restrictive regulation shall apply, unless specifically conditioned otherwise. References to development standards of the LDC in the above stated conditions shall be interpreted as regulations in effect at the time of preliminary plan/plat approval.
- ~~1112.~~ The Development of the project shall proceed in strict accordance with the terms and conditions contained in the Development Order, the General Site Plan, the land use conditions contained herein, and all applicable rules, regulations, and ordinances of Hillsborough County.

1.1 SITE, SUBDIVISION AND BUILDING CONSTRUCTION IN ACCORDNACE WITH HILLSBOROGUH COUNTY SITE DEVELOPMENT PLAN & BUILDING REVIEW AND APPROVAL.

Approval of this re-zoning petition by Hillsborough County does not constitute a guarantee that the project will receive approvals/permits necessary for site development as proposed will be issued, nor does it imply that other required permits needed for site development or building construction are being waived or otherwise approved. The project will be required to comply with the Site Development Plan Review approval process in addition to obtain all necessary building permits for on-site structures.

Zoning Administrator Sign Off:

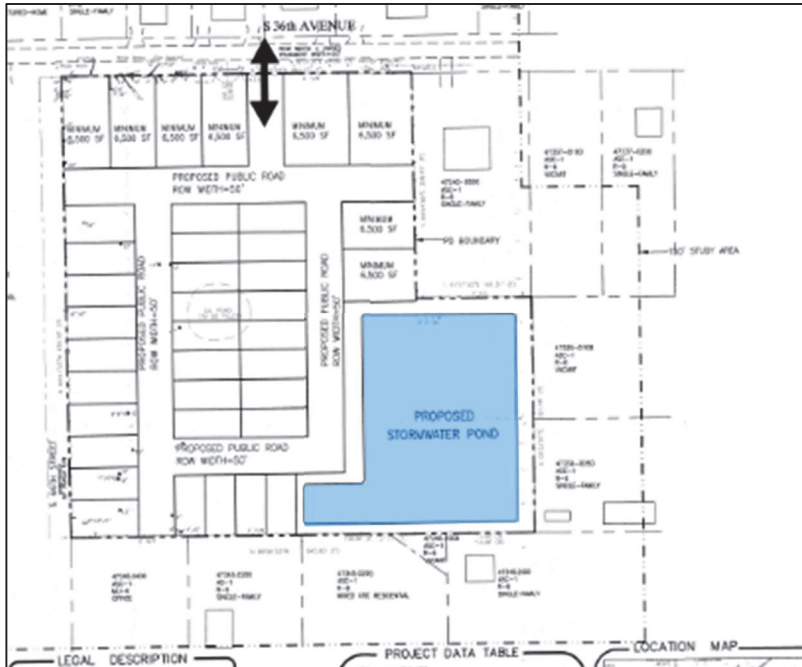


J. Brian Grady
Fri Jul 2 2021 11:22:45

7.0 ADDITIONAL INFORMATION

Figure 1: Stormwater Pond

Existing:



Proposed:

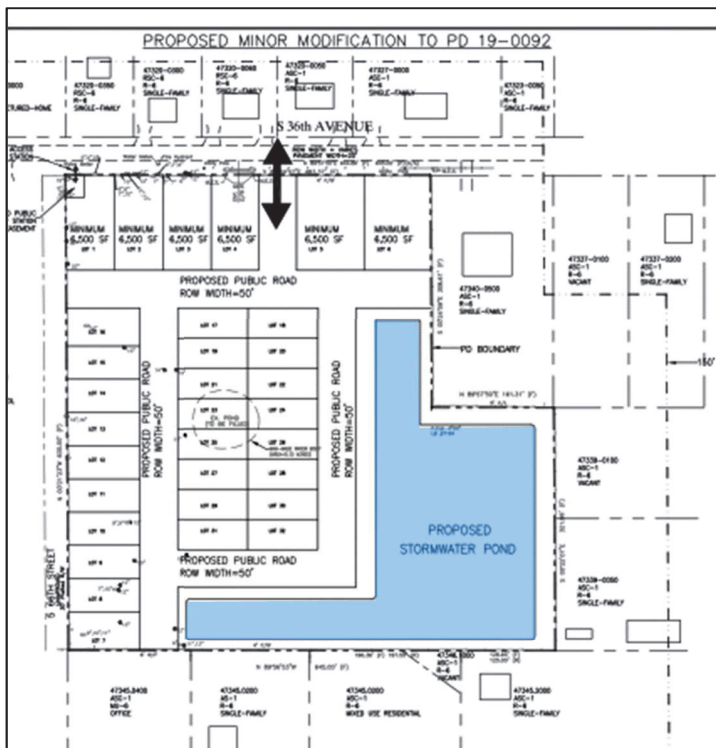
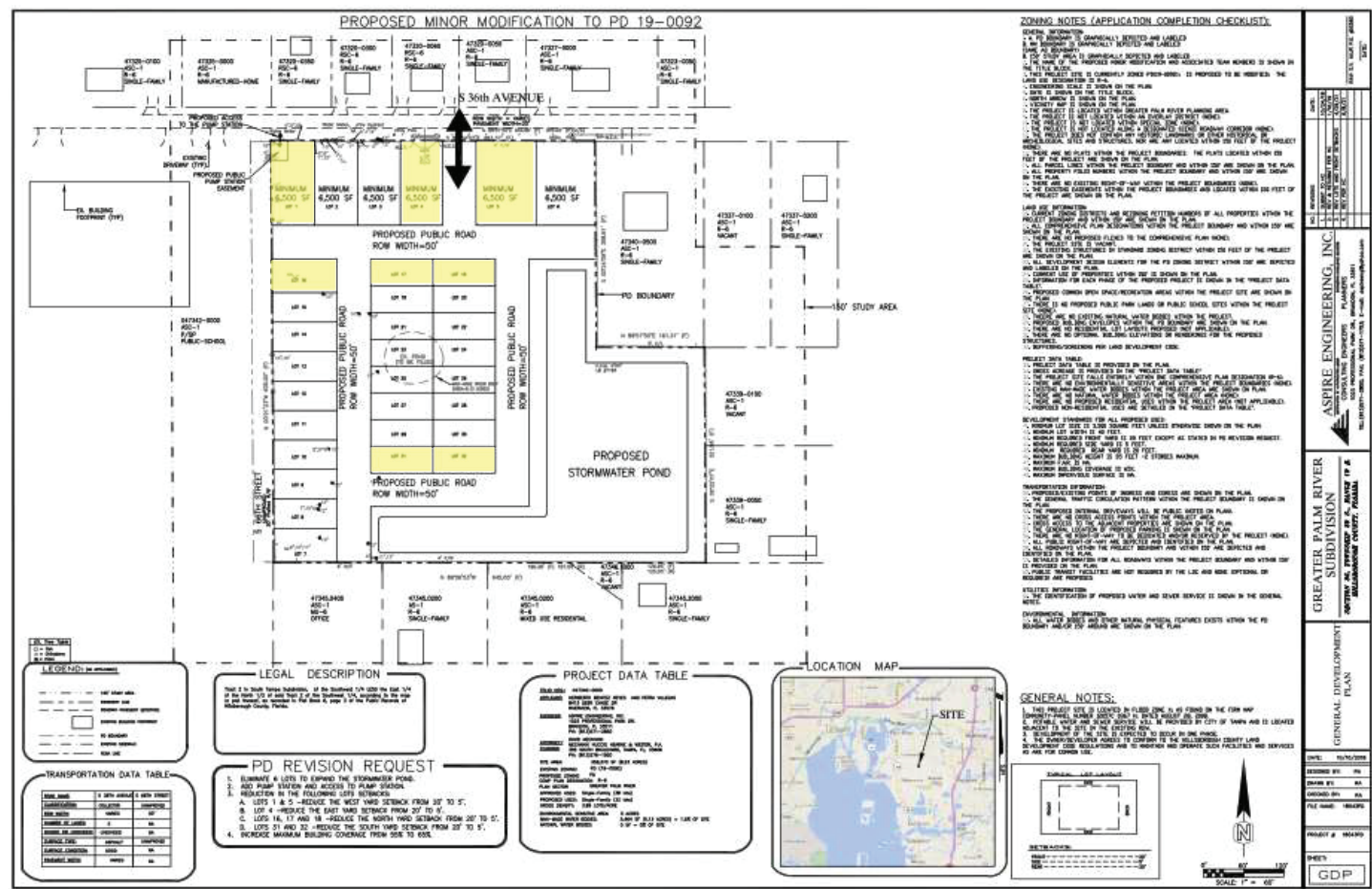
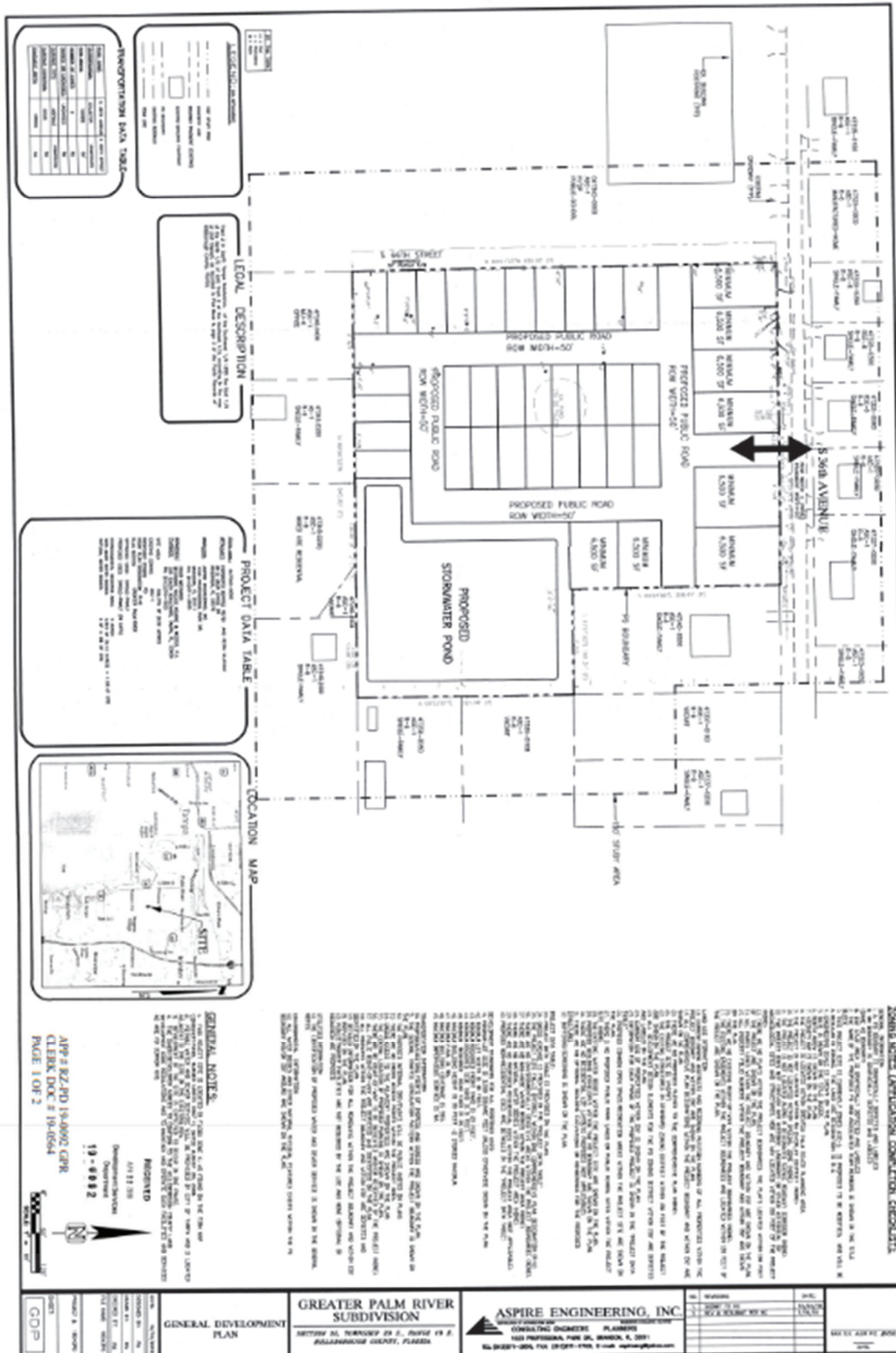


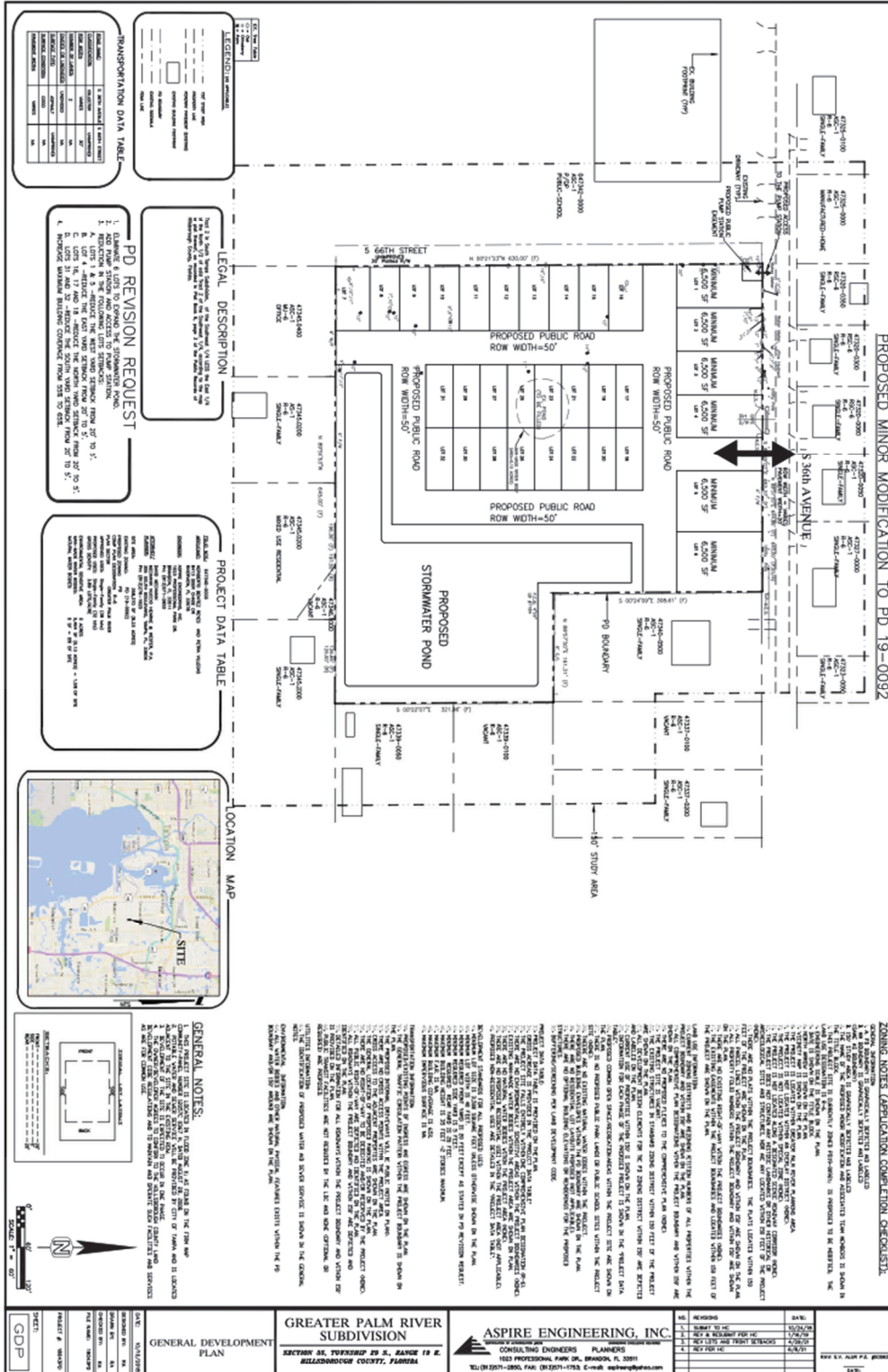
Figure 2: Modified Setback Locations:



Existing Site Plan (Full)



Proposed Site Plan (Full)



APPLICATION NUMBER: PRS 21-0800

ZHM HEARING DATE: N/A

BOCC LUM MEETING DATE: July 20, 2021

Case Reviewer: Michelle Heinrich, AICP

8.0 FULL TRANSPORTATION REPORT

AGENCY REVIEW COMMENT SHEET

TO: Zoning Technician, Development Services Department

DATE: 6/28/2021

REVIEWER: Richard Perez, AICP

AGENCY/DEPT: Transportation

PLANNING AREA/SECTOR: GPR/Central

PETITION NO: PRS 21-0800

- This agency has no comments.
- This agency has no objection.
- This agency has no objection, subject to the listed or attached conditions.
- This agency objects for the reasons set forth below.

REPORT SUMMARY AND CONCLUSIONS

- The proposed project will result in a decrease in the maximum trip generation potential of the subject property.
- Transportation Review Section staff has no objection to the proposed request, subject to the conditions of approval provided hereinbelow.

CONDITIONS OF APPROVAL

- Prior to PD Site Plan Certification, the applicant shall revise the PD site plan to:
 1. Add roadway information consistent with the Development Review Procedure Manual for S. 36th Ave., specifically: roadway functional class, number of lanes, right of way width and pavement conditions.
 2. Add access arrows to the proposed subdivision public road stubouts to indicate future access.

PROJECT SUMMARY AND ANALYSIS

The applicant is seeking to modify the existing Planned Development (PD 19-0092) to reduce the number of single-family dwelling units from 38 to 32 on an 8.23-Acre lot to accommodate installation of a pump station. This project is located west of intersection of 36th Ave South and 70th Street in Greater Palm Community Plan.

As provided for in the Development Review Procedures Manual (DRPM), the proposed development does not trigger the threshold whereby a transportation analysis is required to process this rezoning. Staff has prepared a comparison of the potential trips generated by development permitted, based upon the Institute of Transportation Engineer’s Trip Generation Manual, 10th Edition, under the existing and proposed zoning designations utilizing a generalized worst-case scenario. Staff’s analysis is summarized below.

Existing Zoning:

Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
PD, 38 Single Family Units (ITE Code 210)	359	28	38

Proposed Zoning:

Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
PD, 32 Single Family Units (ITE Code 210)	302	24	32

Trip Generation Difference:

Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
Difference	(-) 57	(-) 4	(-) 6

TRANSPORTATION INFRASTRUCTURE SERVING THE SITE

The project is located on the south side of S. 36th Ave., west of 70th street South and east of an unimproved 66th street platted right of way.

S. 36th Ave. is a 2-lane, undivided, collector roadway characterized by +/- 10-foot travel lanes. There are no sidewalks, no paved shoulders or curb and gutter, no bike lanes on the side of the project. The pavement condition is fair. Adjacent to the project site, S. 36th Ave lies within a +/- 50-foot wide right-of-way. S. 36th Ave. is not on the Hillsborough Corridor preservation plan. No additional ROW preservation is required.

As S. 36th Ave. is a substandard collector roadway, the developer is required to make certain Improvements to S. 36th Ave. consistent with the Design Exception approved by the County Engineer (dated February 26, 2019) at the time of the approval of PD 19-0092, which include:

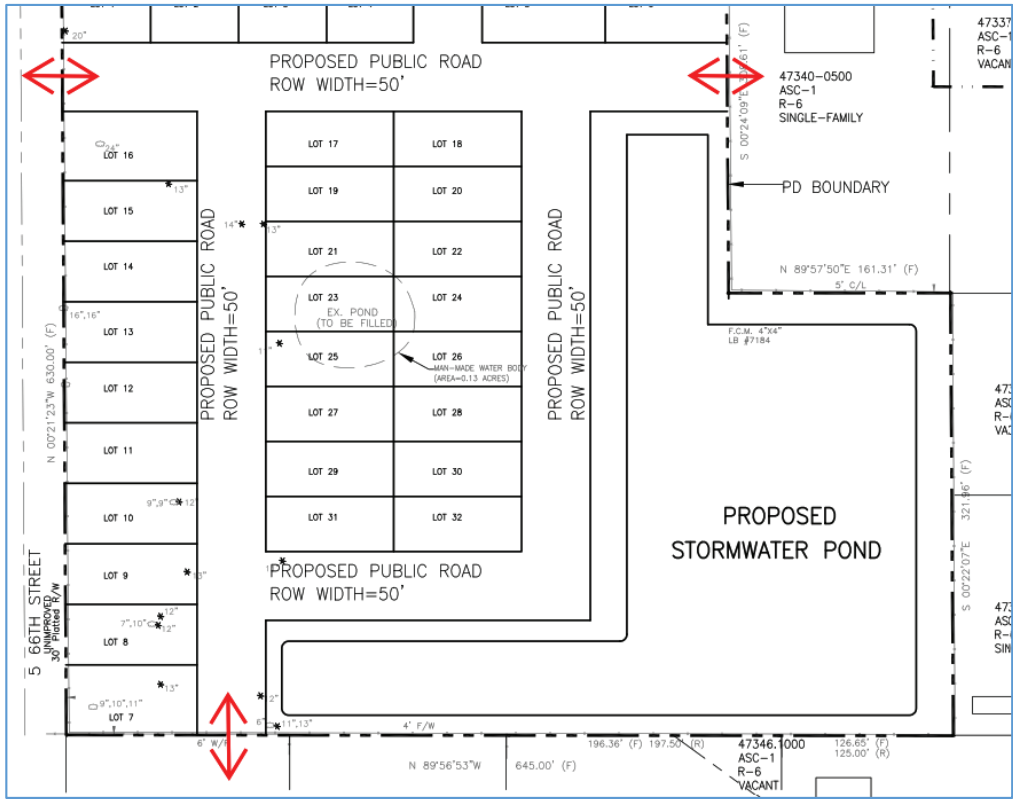
- a. Construction of 6-foot wide stabilized shoulders along both sides of S. 36th Ave., along the project’s frontage.
- b. Re-grading of the ditches along S. 36th Ave.
- c. Construction of a minimum 5-foot wide sidewalk along the south side of S. 36th Ave. project frontage.

66th Street is an unimproved 30’ Platted right of way. It is not on the Hillsborough county corridor preservation plan or on the Hillsborough county functional classification map. With the proposed design, no additional right of way was required to be preserved for future building of this portion of 66th street. The proposed development is designed to allow for future connectivity to the west to connect to 66th street, however, 30 feet is insufficient for a local urban roadway. Per the Transportation Technical Manual (TTM) a Local Urban Road Typical Section (TS-3) requires 50’ minimum Right of Way for Residential and a 54’ minimum Right of Way for non-Residential Development.

SITE ACCESS AND CONNECTIVITY

PD 19-0092 is approved to access S. 36th Ave and provide connectivity from 36th Ave south to the southern end of the site through an internal road but not along the preserved 30’ ROW of 66th Street.

Consistent with the Hillsborough County Comprehensive Plan Livable Communities Element Greater Palm River Community Plan, the project is designed support Traffic/Transportation Policies 3.b. and c. to avoid cul-de-sac terminations and by providing stub connections to the south, east and west, to allow for a connected network and a grid pattern of interconnected streets in the future. To further clarify the future connectivity, staff is recommending that access arrows be added to the PD site plan prior to Certification as shown in the illustration below.



ROADWAY LEVEL OF SERVICE

S. 36th Ave. is not a regulated county roadway within the Hillsborough County 2019 Level of Service Report.

Transportation Comment Sheet

3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)

Adjoining Roadways (check if applicable)			
Road Name	Classification	Current Conditions	Select Future Improvements
36 th Ave S.	County Local - Urban	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input checked="" type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other

Project Trip Generation <input type="checkbox"/> Not applicable for this request			
	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	359	28	38
Proposed	302	24	32
Difference (+/-)	(-) 57	(-) 4	(-) 6

*Trips reported are based on net new external trips unless otherwise noted.

Connectivity and Cross Access <input type="checkbox"/> Not applicable for this request				
Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North	X	Vehicular & Pedestrian	None	Meets LDC
South		Vehicular & Pedestrian	None	Meets LDC
East		Vehicular & Pedestrian	None	Meets LDC
West		Vehicular & Pedestrian	None	Meets LDC
Notes:				

Design Exception/Administrative Variance <input type="checkbox"/> Not applicable for this request		
Road Name/Nature of Request	Type	Finding
36 th Ave S./ Substandard Roadway	Design Exception	Previously Approved
Notes:		

4.0 Additional Site Information & Agency Comments Summary			
Transportation	Objections	Conditions Requested	Additional Information/Comments
<input type="checkbox"/> Design Exception Previously Requested <input checked="" type="checkbox"/> Off-Site Improvements Provided	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	See Staff Report



**CURRENTLY
APPROVED**



Hillsborough County Florida

DEVELOPMENT SERVICES

PO Box 1110 Tampa, FL 33601-1110

May 9, 2019

Reference: RZ-PD 19-0092 GPR
David M. Mechanik – Mechanik Nuccio
S. 36th Ave. & 70th St., S.
47340.0000

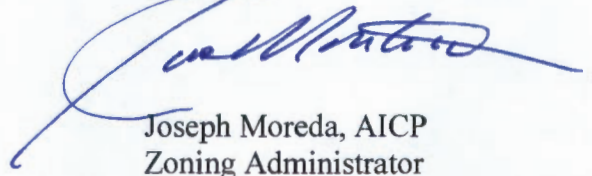
David M. Mechanik
Mechanik Nuccio Hearne & Wester
305 S. Boulevard
Tampa, FL 33606

Dear Applicant:

At the regularly scheduled public meeting on May 7, 2019, the Board of County Commissioners approved your request for rezoning the tract of land described in your application from ASC-1 (Agricultural, Single-Family Conventional) to PD (Planned Development) with the attached conditions. Please keep this letter for your records.

If you have any questions regarding this, please feel free to contact Brian Grady at 813-276-8343 or by email at GradyB@HCFLGov.net.

Sincerely,



Joseph Moreda, AICP
Zoning Administrator

JM/mn
Attachment

BOARD OF COUNTY COMMISSIONERS

Ken Hagan

Pat Kemp

Lesley "Les" Miller, Jr.

Sandra L. Murman

Kimberly Overman

Mariella Smith

Stacy R. White

COUNTY ADMINISTRATOR

Michael S. Merrill

COUNTY ATTORNEY

Christine M. Beck

INTERNAL AUDITOR

Peggy Caskey

CHIEF DEVELOPMENT & INFRASTRUCTURE SERVICES ADMINISTRATOR

Lucia E. Garsys

Approval of the request, subject to the conditions listed, is based on the revised general site plan submitted January 17, 2019.

1. Development of the project shall be limited to a maximum of 38 single-family residential dwelling units.
2. Lots shall be developed according to the following development standards:

Minimum lot size:	3,500 square feet *
Minimum lot width:	40 feet *
Front Yard Setback:	20 feet
Side Yard Setback:	5 feet
Rear Yard Setback:	20 feet
Maximum Building Coverage:	55% Maximum
Building Height:	35 feet, 2 stories

*Lots along the northern and eastern PD boundary shall have a minimum lot size of 6,500 square feet and minimum lot width of 65 feet.
3. Buffer and screening shall be in accordance with LDC Section 6.06.06.
4. As 36th Ave South is a substandard collector roadway, the developer will be required to make certain improvements to 36th Ave South consistent with the Design Exception approved by the County Engineer (dated February 26, 2019), including:
 - a. The developer shall construct 6-foot wide stabilized shoulders along both sides of 36th Ave. South, along the project's frontage.
 - b. The developer shall regrade the ditches along 36th Ave south.
 - c. The developer shall construct a minimum 5-foot wide sidewalk along the south side of 36th Ave. South project frontage.
5. Notwithstanding anything herein or shown on the PD site plan to the contrary, bicycle and pedestrian access may be permitted anywhere along the northern, eastern and southern PD boundaries.
6. Approval of this zoning petition by Hillsborough County does not constitute a guarantee that the Environmental Protection Commission of Hillsborough County (EPC) approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impact to wetlands, and does not grant any implied or vested right to environmental approvals.
7. The construction and location of any proposed wetland impacts are not approved by this rezoning, but shall be reviewed by EPC staff under separate application pursuant to the EPC Wetlands rule detailed in Chapter 1-11, Rules of the EPC, (Chapter 1-11) to determine whether such impacts are necessary to accomplish reasonable use of the subject property.
8. Prior to the issuance of any building or land alteration permits or other development, the approved wetland/other surface water (OSW) line must be incorporated into the site plan. The wetland/OSW line must appear on all site plans, labeled as "EPC Wetland Line", and the wetland must be labeled as "Wetland Conservation Area" pursuant to the Hillsborough County Land Development Code (LDC).

9. Final design of buildings, stormwater retention areas, and ingress/egresses are subject to change pending formal agency jurisdictional determinations of wetland and other surface water boundaries and approval by the appropriate regulatory agencies.
10. If the notes and/or graphics on the site plan are in conflict with specific zoning conditions and/or the Land Development Code (LDC) regulations, the more restrictive regulation shall apply, unless specifically conditioned otherwise. References to development standards of the LDC in the above stated conditions shall be interpreted as regulations in effect at the time of preliminary plan/plat approval.
11. The Development of the project shall proceed in strict accordance with the terms and conditions contained in the Development Order, the General Site Plan, the land use conditions contained herein, and all applicable rules, regulations, and ordinances of Hillsborough County.



AGENCY COMMENTS

AGENCY REVIEW COMMENT SHEET

TO: Zoning Technician, Development Services Department

DATE: 6/28/2021

REVIEWER: Richard Perez, AICP

AGENCY/DEPT: Transportation

PLANNING AREA/SECTOR: GPR/Central

PETITION NO: PRS 21-0800

- This agency has no comments.
- This agency has no objection.
- This agency has no objection, subject to the listed or attached conditions.
- This agency objects for the reasons set forth below.

REPORT SUMMARY AND CONCLUSIONS

- The proposed project will result in a decrease in the maximum trip generation potential of the subject property.
- Transportation Review Section staff has no objection to the proposed request, subject to the conditions of approval provided hereinbelow.

CONDITIONS OF APPROVAL

- Prior to PD Site Plan Certification, the applicant shall revise the PD site plan to:
 1. Add roadway information consistent with the Development Review Procedure Manual for S. 36th Ave., specifically: roadway functional class, number of lanes, right of way width and pavement conditions.
 2. Add access arrows to the proposed subdivision public road stubouts to indicate future access.

PROJECT SUMMARY AND ANALYSIS

The applicant is seeking to modify the existing Planned Development (PD 19-0092) to reduce the number of single-family dwelling units from 38 to 32 on an 8.23-Acre lot to accommodate installation of a pump station. This project is located west of intersection of 36th Ave South and 70th Street in Greater Palm Community Plan.

As provided for in the Development Review Procedures Manual (DRPM), the proposed development does not trigger the threshold whereby a transportation analysis is required to process this rezoning. Staff has prepared a comparison of the potential trips generated by development permitted, based upon the Institute of Transportation Engineer’s Trip Generation Manual, 10th Edition, under the existing and proposed zoning designations utilizing a generalized worst-case scenario. Staff’s analysis is summarized below.

Existing Zoning:

Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
PD, 38 Single Family Units (ITE Code 210)	359	28	38

Proposed Zoning:

Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
PD, 32 Single Family Units (ITE Code 210)	302	24	32

Trip Generation Difference:

Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
Difference	(-) 57	(-) 4	(-) 6

TRANSPORTATION INFRASTRUCTURE SERVING THE SITE

The project is located on the south side of S. 36th Ave., west of 70th street South and east of an unimproved 66th street platted right of way.

S. 36th Ave. is a 2-lane, undivided, collector roadway characterized by +/- 10-foot travel lanes. There are no sidewalks, no paved shoulders or curb and gutter, no bike lanes on the side of the project. The pavement condition is fair. Adjacent to the project site, S. 36th Ave lies within a +/- 50-foot wide right-of-way. S. 36th Ave. is not on the Hillsborough Corridor preservation plan. No additional ROW preservation is required.

As S. 36th Ave. is a substandard collector roadway, the developer is required to make certain Improvements to S. 36th Ave. consistent with the Design Exception approved by the County Engineer (dated February 26, 2019) at the time of the approval of PD 19-0092, which include:

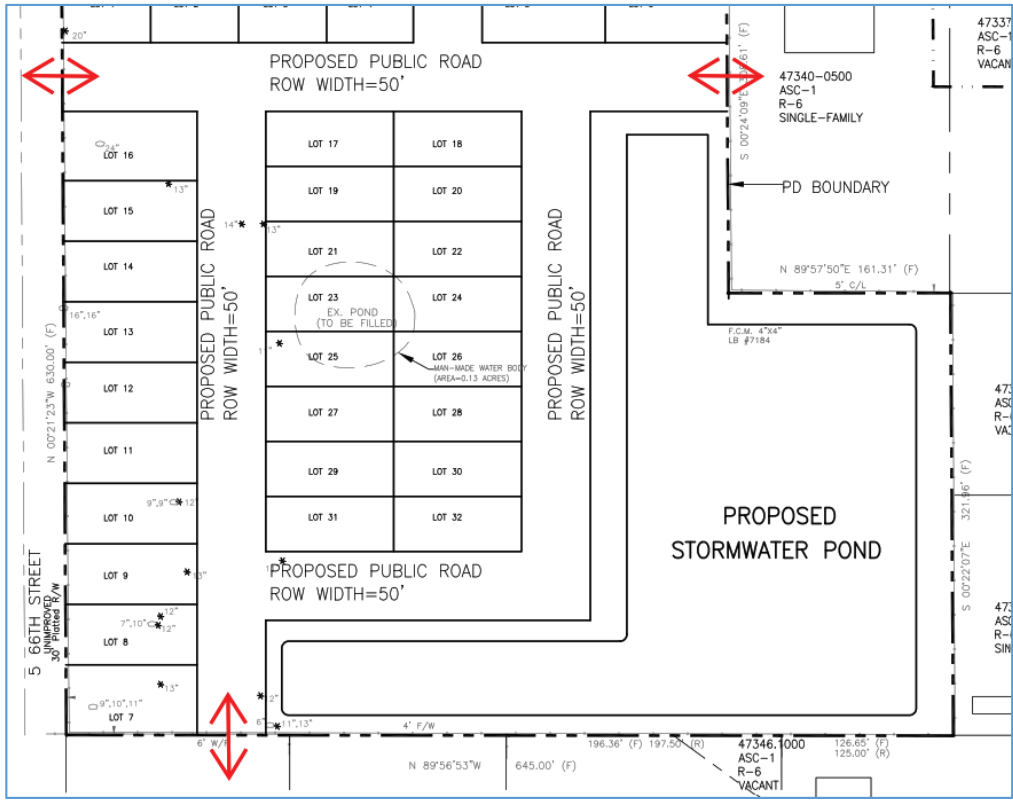
- a. Construction of 6-foot wide stabilized shoulders along both sides of S. 36th Ave., along the project’s frontage.
- b. Re-grading of the ditches along S. 36th Ave.
- c. Construction of a minimum 5-foot wide sidewalk along the south side of S. 36th Ave. project frontage.

66th Street is an unimproved 30’ Platted right of way. It is not on the Hillsborough county corridor preservation plan or on the Hillsborough county functional classification map. With the proposed design, no additional right of way was required to be preserved for future building of this portion of 66th street. The proposed development is designed to allow for future connectivity to the west to connect to 66th street, however, 30 feet is insufficient for a local urban roadway. Per the Transportation Technical Manual (TTM) a Local Urban Road Typical Section (TS-3) requires 50’ minimum Right of Way for Residential and a 54’ minimum Right of Way for non-Residential Development.

SITE ACCESS AND CONNECTIVITY

PD 19-0092 is approved to access S. 36th Ave and provide connectivity from 36th Ave south to the southern end of the site through an internal road but not along the preserved 30’ ROW of 66th Street.

Consistent with the Hillsborough County Comprehensive Plan Livable Communities Element Greater Palm River Community Plan, the project is designed support Traffic/Transportation Policies 3.b. and c. to avoid cul-de-sac terminations and by providing stub connections to the south, east and west, to allow for a connected network and a grid pattern of interconnected streets in the future. To further clarify the future connectivity, staff is recommending that access arrows be added to the PD site plan prior to Certification as shown in the illustration below.



ROADWAY LEVEL OF SERVICE

S. 36th Ave. is not a regulated county roadway within the Hillsborough County 2019 Level of Service Report.

Transportation Comment Sheet

3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)

Adjoining Roadways (check if applicable)			
Road Name	Classification	Current Conditions	Select Future Improvements
36 th Ave S.	County Local - Urban	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input checked="" type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other

Project Trip Generation <input type="checkbox"/> Not applicable for this request			
	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	359	28	38
Proposed	302	24	32
Difference (+/-)	(-) 57	(-) 4	(-) 6

*Trips reported are based on net new external trips unless otherwise noted.

Connectivity and Cross Access <input type="checkbox"/> Not applicable for this request				
Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North	X	Vehicular & Pedestrian	None	Meets LDC
South		Vehicular & Pedestrian	None	Meets LDC
East		Vehicular & Pedestrian	None	Meets LDC
West		Vehicular & Pedestrian	None	Meets LDC
Notes:				

Design Exception/Administrative Variance <input type="checkbox"/> Not applicable for this request		
Road Name/Nature of Request	Type	Finding
36 th Ave S./ Substandard Roadway	Design Exception	Previously Approved
Notes:		

4.0 Additional Site Information & Agency Comments Summary			
Transportation	Objections	Conditions Requested	Additional Information/Comments
<input type="checkbox"/> Design Exception Previously Requested <input checked="" type="checkbox"/> Off-Site Improvements Provided	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	See Staff Report

Heinrich, Michelle

From: Andrea Papandrew <papandrewa@plancom.org>
Sent: Friday, June 25, 2021 10:05 AM
To: Heinrich, Michelle
Cc: Melissa Lienhard
Subject: RE: PID 4802 Stormwater review: Greater Palm River PD 19-00092 - THE ROADWAY DE ACTUALLY COVERS THE DITCH!!

Categories: Red Category

[External]

Good Morning Michelle,

It was nice to meet you in person yesterday!

Based on the verification from the County stormwater department, Planning Commission staff is finding this consistent. The request meets the exception to minimum density, per Policy 1.3 based on the criterion that the development would have an adverse impact on the required stormwater environmental features on the site.

Best,



Andrea Papandrew

Planner II

Planning Commission | Comprehensive Plan Policy and Review Division

papandrewa@plancom.org | Main: (813) 272-5940 or Direct: (813) 665-1331

planhillsborough.org

All incoming and outgoing messages are subject to public records inspection.

From: Hyman, Doug (Robert) <HymanD@hillsboroughcounty.org>
Sent: Thursday, June 24, 2021 1:49 PM
To: Heinrich, Michelle <HeinrichM@HillsboroughCounty.ORG>; Andrea Papandrew <papandrewa@plancom.org>
Subject: RE: PID 4802 Stormwater review: Greater Palm River PD 19-00092 - THE ROADWAY DE ACTUALLY COVERS THE DITCH!!
Importance: High

Hi Michelle and Andrea.

I apologize for the delay in getting back in touch with you.

Yes I am confirming that the pond size is necessary and not beyond stormwater minimum requirements. Also I am presently working with the design engineer to meet said minimum requirement, which is specifically:

The stored water shall be drawn down by a system within a 72-hour period. 5.1.3.2, b,2.E. Stormwater Tech Manual, 2017

Thank you.

Heinrich, Michelle

From: Hyman, Doug (Robert)
Sent: Thursday, June 24, 2021 1:49 PM
To: Heinrich, Michelle; Andrea Papandrew
Subject: RE: PID 4802 Stormwater review: Greater Palm River PD 19-00092 - THE ROADWAY DE ACTUALLY COVERS THE DITCH!!

Importance: High

Hi Michelle and Andrea.

I apologize for the delay in getting back in touch with you.

Yes I am confirming that the pond size is necessary and not beyond stormwater minimum requirements. Also I am presently working with the design engineer to meet said minimum requirement, which is specifically:

The stored water shall be drawn down by a system within a 72-hour period. 5.1.3.2, b,2.E. Stormwater Tech Manual, 2017

Thank you.

Best regards,
Doug Hyman

R. Douglas Hyman, P.E., C.F.M.

Engineer

Development Services Department

P: (813) 274-6746

E: hymand@HCFLGov.net

W: HCFLGov.net

Hillsborough County

601 E. Kennedy Blvd., Tampa, FL 33602

[Facebook](#) | [Twitter](#) | [YouTube](#) | [LinkedIn](#) | [HCFL Stay Safe](#)



Please note: All correspondence to or from this office is subject to Florida's Public Records law.

From: Heinrich, Michelle <HeinrichM@HillsboroughCounty.ORG>
Sent: Wednesday, June 23, 2021 9:58 AM
To: Hyman, Doug (Robert) <HymanD@hillsboroughcounty.org>
Cc: Andrea Papandrew <papandrewa@plancom.org>

**WATER RESOURCE SERVICES
REZONING REVIEW COMMENT SHEET: WATER & WASTEWATER**

PETITION NO.: PD21-0800

REVIEWED BY: Randy Rochelle

DATE: 5/21/2021

FOLIO NO.: 47340.0000

- This agency would (support), (conditionally support) the proposal.

WATER

- The property lies within the City of Tampa Water Service Area. The applicant should contact the provider to determine the availability of water service.
- No Hillsborough County water line of adequate capacity is presently available.
- A ___ inch water main exists (adjacent to the site), (approximately ___ feet from the site) _____.
- Water distribution improvements may be needed prior to connection to the County's water system.
- No CIP water line is planned that may provide service to the proposed development.
- The nearest CIP water main (____ inches), will be located (adjacent to the site), (feet from the site at ____). Expected completion date is _____.

WASTEWATER

- The property lies within the City of Tampa Wastewater Service Area. The applicant should contact the provider to determine the availability of wastewater service.
- No Hillsborough County wastewater line of adequate capacity is presently available.
- A ___ inch wastewater main exists (adjacent to the site), (approximately _____ feet from the site) _____.
- Wastewater distribution improvements may be needed prior to connection to the County's wastewater system.
- No CIP wastewater line is planned that may provide service to the proposed development.
- The nearest CIP wastewater main (____ inches), will be located (adjacent to the site), (feet from the site at ____). Expected completion date is _____.

COMMENTS: This site is located within the City of Tampa Water and Wastewater Service Area. The applicant should contact the City of Tampa's Water and Wastewater Departments to determine the availability of Water and/or Wastewater Service and for their Comments.