



# Commissioner’s Request for Agenda Item

Agenda Item N<sup>o</sup>. \_\_\_\_\_

Requested Meeting Date April 12, 2022

- Consent Section
  Regular Section

Commissioner Name:	White
Date Submitted:	March 11, 2022
Nature of Request: <i>(check one)</i>	<input checked="" type="checkbox"/> Action by the BOCC <input type="checkbox"/> Identification of issue and referral to staff <input type="checkbox"/> Referral to staff for review and scheduling at a subsequent BOCC meeting
Request for Waiver of Rules due to: <i>(check one)</i>	<input type="checkbox"/> Health, Safety, or Welfare Emergency <input type="checkbox"/> Schedule an off-the-agenda item <input type="checkbox"/> Deadline requires action prior to next scheduled BOCC meeting
Commissioner’s Recommended Board Motion: Direct County staff to prepare the attached overlay district for a special Land Development Code Amendment cycle.	

Staff Requested for Agenda Item: <input checked="" type="checkbox"/> County Administrator <input type="checkbox"/> County Attorney’s Office <input type="checkbox"/> Constitutional Officer <input type="checkbox"/> Other: _____
Material requested to be provided by staff:

Background:
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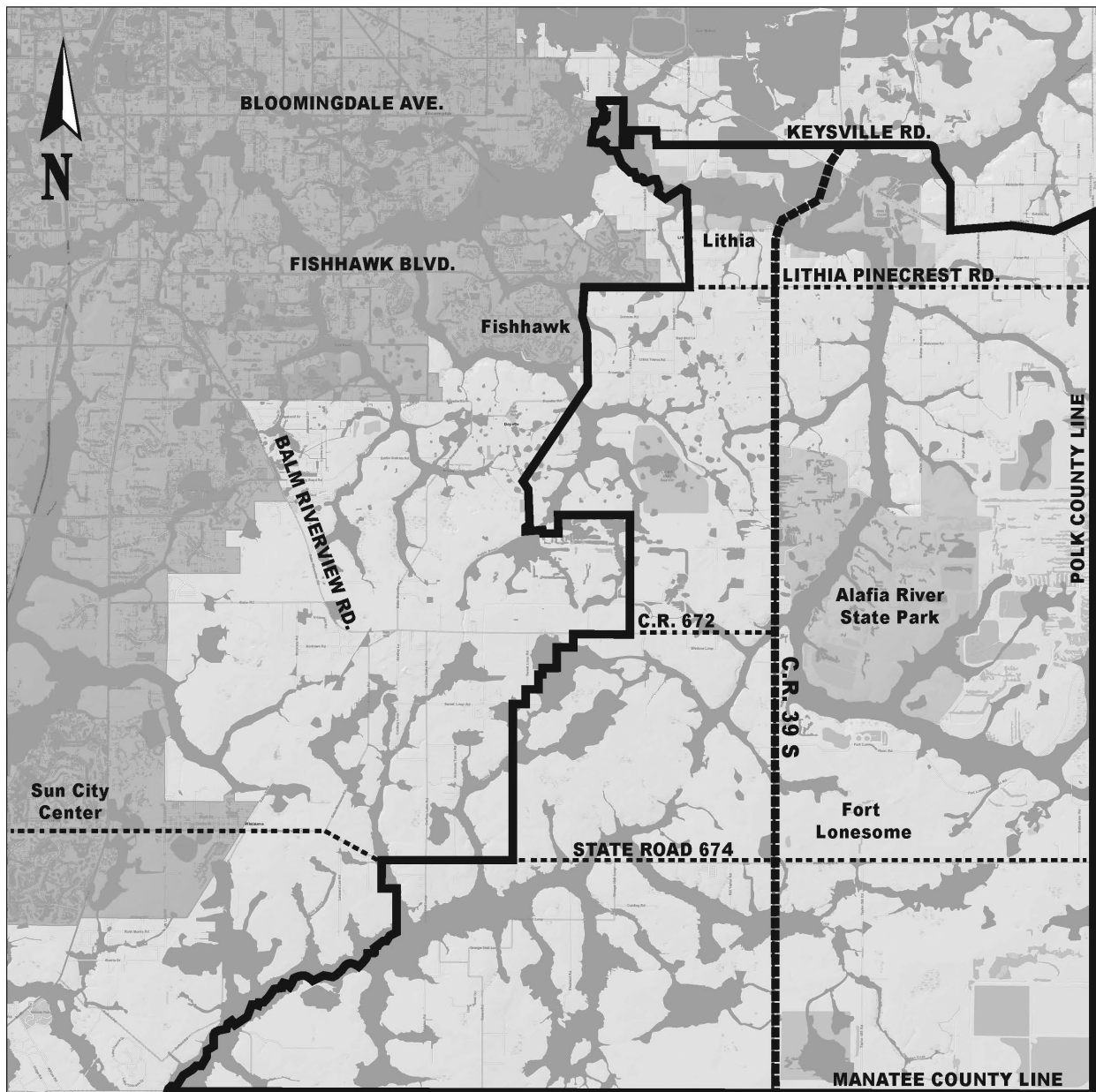
List Attachments: Lithia Overlay District

# PART 3.23.00 – LITHIA/SOUTHEAST COUNTY OVERLAY DISTRICT DESIGN STANDARDS

## Sec. 3.23.01 – Purpose and Intent

The purpose of this Part is to provide for the Lithia/Southeast County Overlay District and building design standards. The intent of this overlay district is to preserve the rural character and to improve the appearance of new and existing non-residential development within Lithia. The area subject to this overlay is located from the southeastern boundary of the Fishhawk community running east to the Polk County line, then south to the Manatee County line encompassing the areas of Lithia, Fort Lonesome, east CR 672, east SR 674, the Alafia River State Recreation Area, and the C.W. Bill Young Reservoir as depicted on the map below(the LSC Overlay District). The LSC Overlay District establishes standards for the design of certain non-residential uses.

Figure 1: Lithia/Southeast County Area Map



In order to preserve the rural character and heritage of this area, and to improve the appearance of new non-residential development within this overlay, architectural styles are being provided to be utilized in the design of new projects. Nothing in this Part, however, shall be construed to impose building floor plan design restrictions, but rather provide flexibility to use a variety of building design styles. Different styles including Florida Cracker, Greek Revival and Italianate are identified within this Part. The Neoclassical style would allow any combination of architectural features from all other styles resulting in a variety of housing and building designs.

### **3.23.02 - Applicability**

Except as provided herein, this Part shall apply to development of new non-residential development within the LSC Overlay District.

1. These standards do not apply to agricultural uses, public schools, churches/synagogues, phosphate mining uses except for permanent office buildings, projects with unexpired building permits, unexpired preliminary site development approval, or unexpired construction plan approval at the time the effective date of this Part. Legal nonconformities and existing lawful uses, lots, structures, characteristics of land and densities shall not be required to be removed or otherwise modified as a result of the standards or requirements set forth in this Part.
2. New planned development zoning districts and modifications to existing planned development districts for non-residential uses shall be subject to the requirements of this Part.
3. When an existing building to which this Part applies is improved and/or expanded and the value of such work, including interior renovations exceeds 50 percent of the assessed value of the building, or the value of the improvements and/or expansions to such building in combination with the value of other such work performed within the previous 24 months, but not before the effective date of this Part, exceeds 50 percent of the assessed value of the building the requirements of this Part shall apply to the entire building.

The value of improvements to water and wastewater facilities and/or the repair or like-kind replacement of roofs shall not be included from valuation of any work performed.

Improvements and/or expansions that do not meet the 50 percent threshold of this Section shall not be subject to the requirements of this Part.

### **3.23.03 -General Development Standards**

Except as otherwise provided by this Part, development shall conform to the area, height, bulk and placement standards of the underlying zoning district of the development parcel and all other requirements of this Code.

### **3.23.04- Fences, Landscaping, Buffering, and Natural Resources Standards**

1. Fences
  - a. Solid fences, more than 60 percent opaque, between two properties is not permitted unless no part of fence is placed closer to the front property line than the face of the

principal structure. Fences placed closer to the front property line than the face of the principal structure shall not be more than 60 percent opaque above the height of four feet. Landscaping may be used to provide screening between properties.

- b. Chain link fencing is prohibited unless all of the fencing links are coated with a material, such as vinyl. Bare metal chain link fencing is prohibited.

## 2. Landscaping, buffering and screening

- a. Resource efficient Florida native plant species suited to Hillsborough County's hardiness zones shall be required for landscaping, excluding turfgrass. These resource efficient plants must be selected from *Florida's Best Native Landscape Plants: 200 Readily Available Species for Homeowners and Professionals*, ISBN 0-8130-2644-X, for USDA Hardiness zones 9a and 9b, or as approved by the administrator.
- b. Hillsborough County Extension office may offer consultation on Florida Friendly landscaping program and plant selection.
- c. Except as otherwise required by this Part, buffering and screening shall be provided in accordance with Section 6.06.06.
- d. In landscaped areas, tree plantings shall be staggered and clustered in natural arrangements rather than in long, straight formal arrangements.
- e. Parcels located along roads designated as Scenic Roadways shall be subject to the Land Development Code Section 6.06.03.I.

## 3. Natural Resources

- a. A 150-foot buffer shall be provided around water bodies designated as Outstanding Florida Waters by the Florida Department of Environmental Protection.
- b. Required stormwater and open space areas shall be located within or adjacent to buffers to the greatest extent possible to enhance the buffer's capacity to serve as a visual separation and promote scenic natural views. It is recognized that the placement of required stormwater facilities is dependent upon the physical characteristics of the site and the natural features such as wetlands on-site. The aesthetic contouring of stormwater retention ponds, in conjunction with other landscape features, is encouraged.
- c. A 100-foot buffer shall be provided around wetlands or uplands being inhabited by Imperiled Species as defined by Florida Fish and Wildlife Conservation Commission.

### **3.23.05- Architectural Design Features**

New non-residential structures shall include the following architectural features from Table 3.23-1. The developer may choose from the features listed below or select one of the architectural styles found in Table 3.23-2<sup>1</sup>.

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<sup>1</sup> The graphics shown on Tables 3.23-2 is intended for representation of the overall design of the structure as a reference only. These are conceptual drawings to be used as guidelines for each architectural style.

Prior to building permit submittal, building elevations shall be submitted in accordance with Sections Sec. 4.1.4.1.2.2 and 4.1.5.1.1 of the Development Review Procedures Manual at the time of Site Development review to include the elevations of the buildings for review.

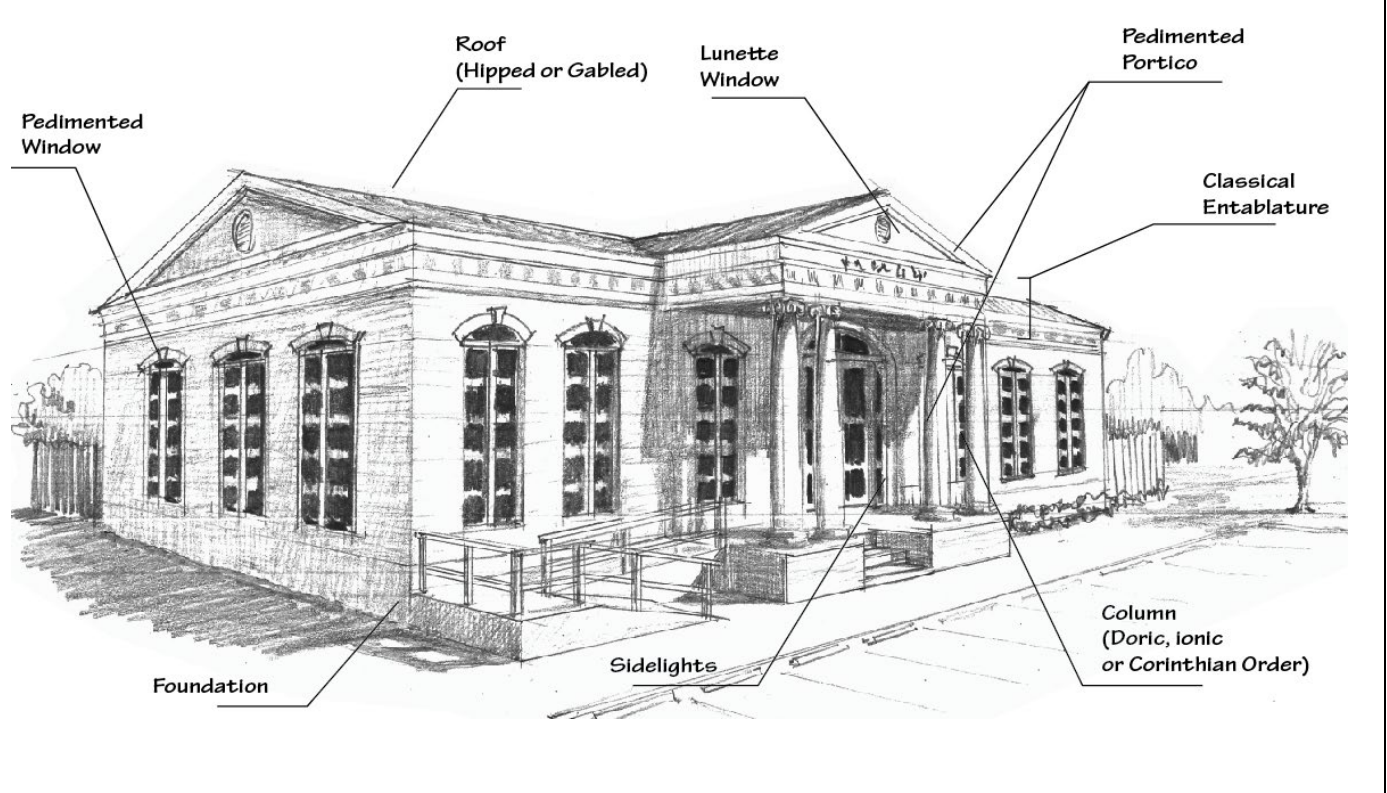
**Table 3.23-1**

<b>NON-RESIDENTIAL BUILDING. GENERAL ARCHITECTURAL DESIGN FEATURES</b>		
<b>ARCHITECTURAL ELEMENT</b>	<b>DESIGN TREATMENT OR FEATURE</b>	<b>MATERIALS/REQUIREMENTS</b>
Roof	At least one:	<ul style="list-style-type: none"> <li>• Metal panel 5-seam roof.</li> <li>• Metal shake roof.</li> <li>• Pitched roofs, if utilized, shall be hipped or gabled with a pitch no less than 4 to 12 and no greater than 9 to 12, except for pediment roofs which shall have a pitch no greater than 4 to 12</li> <li>• A minimum of a twelve (12) inches overhang is required for any roof structure.</li> <li>• 5-tab twenty-five (25) year or greater dimensional shingle roof.</li> <li>• Manufactured equivalent of a wood shake roof.</li> </ul>
	Dormers, Steeple, Cupolas,	
Building	At least one:	<ul style="list-style-type: none"> <li>• Foundation: Minimum of 8 inches of foundation above grade at the front of the house, clad in brick, stucco or stone and be consistent with the architectural style of the structure.</li> <li>• Stoop/Porch: stoop landing shall be a minimum of four feet in width and three feet in depth. The porch shall be a minimum of eight feet in width and five feet in depth. The porch shall be covered with a solid roof but shall not be screened or otherwise enclosed. Railings, if provided, shall be consistent with the architectural style of the structure</li> <li>• Columns/pilasters: consistent with the architectural style of the structure. The columns shall be proportionally scaled. For classical style structures, at least one of the following architectural order shall be used for the columns: Tuscan, Doric, Ionic, Corinthian or Composite. The column diameter to height ratio shall be between from 1:7 to 1:12 (Figure 2).</li> </ul>
	Foundation, Stoop, Porch, Pilasters, Columns	
Facade	At least two:	<ul style="list-style-type: none"> <li>• Railings, if provided, shall be consistent with the architectural style of the structure.</li> <li>• Architectural features shall be applied in a universal and consistent manner on all sides.</li> <li>• At least 20 percent of the facade area shall be comprised of doors, windows, canopies, balconies, balustrading, awnings, and/or architectural expressions such as porticos or pilasters.</li> <li>• On flat-roofed buildings, the entire roof line shall be defined by a cornice (architectural trim or embellishment) with a minimum vertical dimension of 12 inches and a minimum projection of two inches from the surface of the wall. The cornice shall not consist of a flat surface.</li> </ul>
	Porticos, Cornices Balustrading, , Awnings Balconies Canopies	
Windows Doorways	At least three:	<ul style="list-style-type: none"> <li>• Windows and/or doorways shall be spaced no more than 20 feet apart.</li> <li>• Windows and doorways shall include treatments such as, transoms, muntins, casings, shutters, lintels, arches or sidelights</li> <li>• Glass blocks shall not contribute to the minimum window placement requirement.</li> <li>• Decorative shutters, if provided, shall be made of wood, metal or copolymer material and shall not be scored into the stucco.</li> </ul>
	Muntins, Casings, Shutters, Porch Roofs, Lintels Transoms, Arches, Sidelights	

**Table 3.23-2**  
Architectural Styles

**GREEK REVIVAL**

This is an architectural style that embodies agricultural living within this region, and is representative of commercial and church architecture as well. This style resembles ancient Greek temples. It is characterized by the use of columns in the Classical orders (Tuscan, Doric, Ionic, Corinthian or Composite) with an entablature.



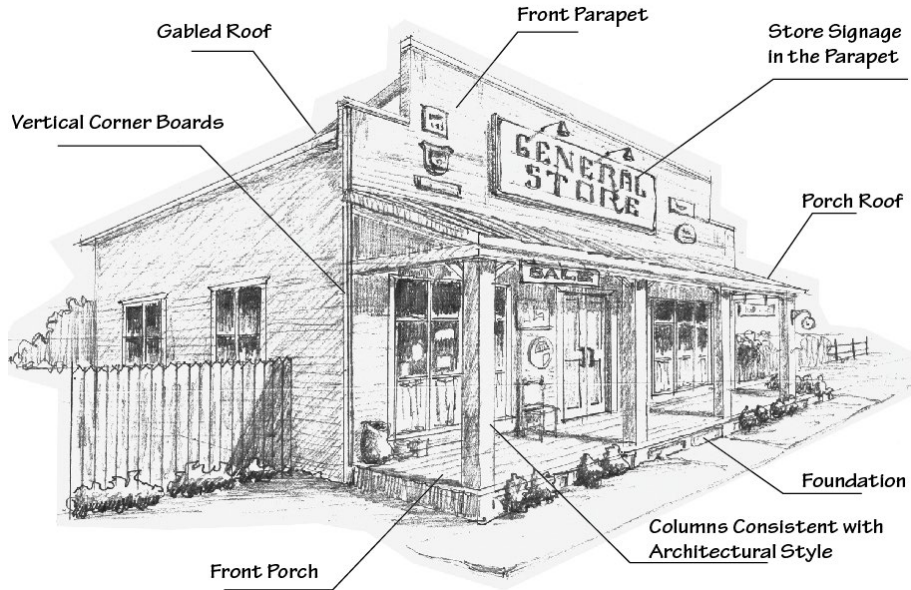
**Design Features:**

- A pedimented portico with columns that encompass at least one-third of the front façade
- Entablature and cornices ornamented in the style of the columns in either the Doric, Ionic, or Corinthian order. (See Figure 2)
- The roof of the pediment with a pitch no greater than 4:12.
- The columns or pilasters of the Tuscan, Doric, Ionic, Corinthian or Composite order. (See Figure 2)
- Acceptable roofing is a metal panel 5-seam roof, a metal shake roof, or a 5-tab twenty-five (25) year or greater dimensional shingle roof.
- The overall design of the structure is encouraged to follow Palladian architecture principles.
- The pediment may be ornamented with a pediment window.
- The pedimented portico may be part of the main roof structure, or may protrude from a main roof that is a gabled roof, a hipped roof, or a rotunda.
- Use of Lintels for windows and doors is encouraged.
- Side Lights and transom on the doors.
- Entrance may off to the side.
- The pedimented portico may consist of a porte-cochere



## GENERAL STORE

The general store style is characteristic of historical rural communities in the region. This style is characterized by the use of a prominent parapet and front porch. This style is representative of the rural living and character of the area, and typically consists of design elements from the vernacular architectural style.

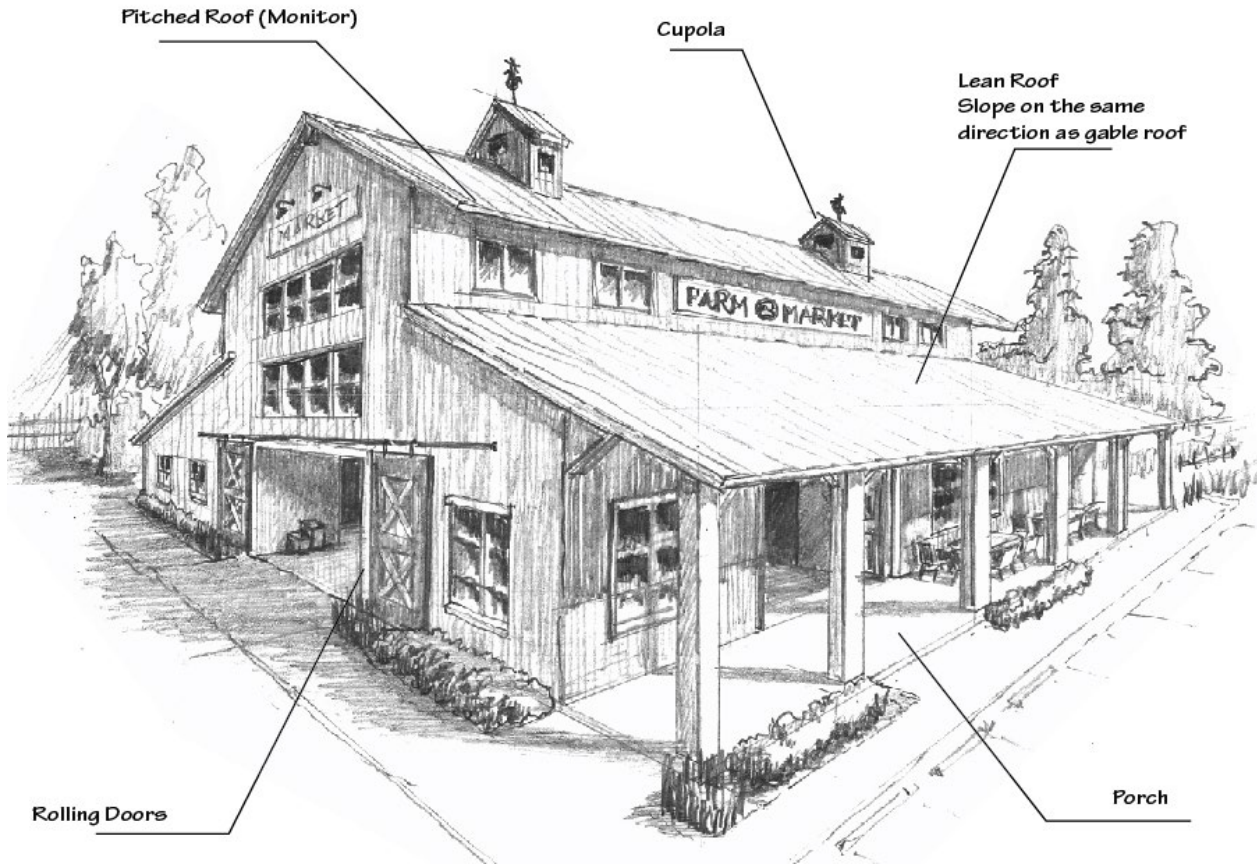


### Design Features:

- The structure has a parapet on the front façade that matches or complements the exterior wall.
- The structure is built in accordance with a simple symmetric shape.
- The foundation of the structure with a minimum of eight (8) inches above grade.
- The porch has a minimum of 60 inches in depth.
- Acceptable roofing is a metal panel 5-seam roof, a metal shake roof, a 5-tab twenty-five (25) year or greater dimensional shingle roof, or a manufactured equivalent of a wood shake roof is acceptable. Roof hipped or gabled with a pitch no greater than 9:12.
- A minimum of a twelve (12) inch overhang for the roof structure. (Multiple roof lines that create a gable and valley, or hip and valley roof system, except in the case of dormers and/or cupolas, are discouraged.)
- Acceptable materials for the exterior walls are stained wood panels or manufactured brick or materials of the appearance of brick, wood or wood panels; fiber cement siding; wood or vinyl siding.
- Predominant exterior color applied to all sides of the structure.
- Vertical corner boards.
- The structure may have a front porch.
- The parapet may be ornamented with the store sign and other signage signifying the types of products sold, the name brands of products sold, and/or historically significant messages of the region provided such signage is consistent with Article VII of this Code.
- The porch roof may be of a lower pitch than the main roof.
- Window shutters, if provided, shall be consistent with the building style.
- Hand rails wrapping the porch.
- Exposed outlookers on the eaves.
- The foundation can be decorated with an accent.

## BARN

This is an architectural style characterized by the design and the use of materials typically found in agricultural barns. This style promotes the rural setting and lifestyle of the region.



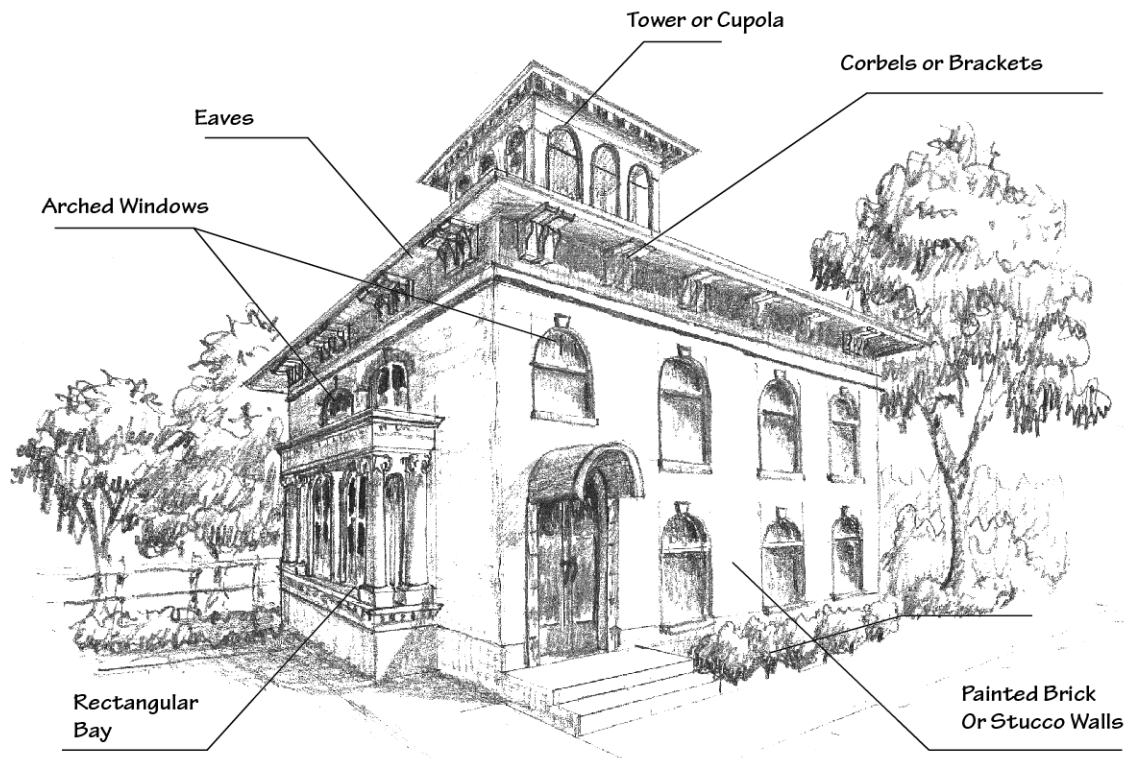
### Design Features:

- The barn is of a square or rectangular shape.
- A pitched roof of the following types:
  - Gable roof
  - Gambrel roof
  - Raised monitor roof system with a gable roof encompassing the center span of the barn with lean to roofs on each side that are of a lower elevation and slope in the same directions as the gable roof.
- Porches are allowed on any façade of the barn
- The porch roof may be of a different pitch than the main roof structure.
- Acceptable materials for the exterior walls are metal panels, wood siding, fiber concrete siding, or vinyl siding.
- Acceptable roof materials are shingles of any kind or metal panels.
- Barn roofs may be ornamented with cupola(s).
- Barn doors or rolling doors are strongly encouraged. Doors of other kinds are discouraged.



## ITALIANATE

This is an architectural style that represents agricultural living within this region. The Italianate style was modeled after the medieval farmhouses of the Italian countryside, therefore, this style fitted naturally to their rustic environments.

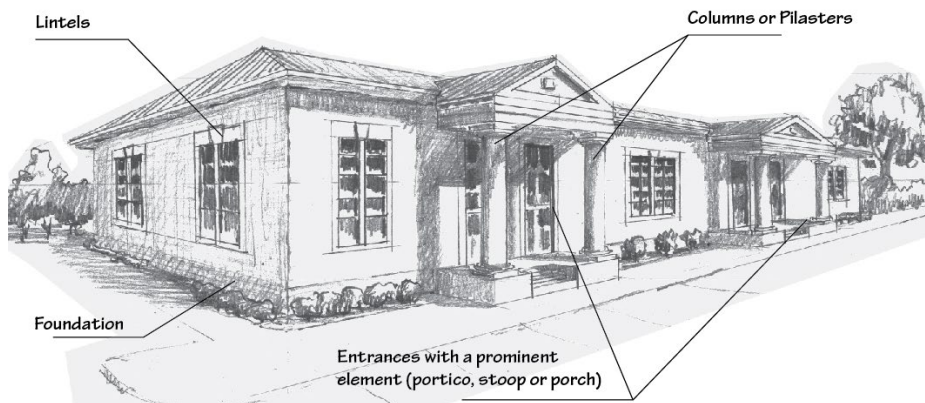
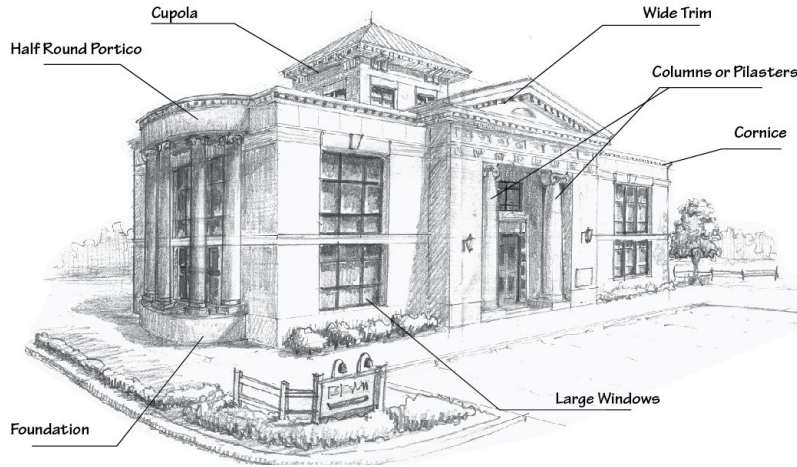


### Design Features:

- If pitched roofs are provided, they may be hipped with a maximum pitch of 5:12.
- Eaves ornamented with corbels or brackets.
- Windows arched or pedimented with ornamented architraves or archivolt.
- If a Cupola is provided, its roof may be hipped with a maximum pitch of 5:12.
- Portico and/or balcony railings containing Renaissance balustrading.
- Columns and cornices consistent with the Classical Orders (Figure 2).
- May contain a tower, provided that a Palladian style is maintained.
- If ornamented with cupola(s), it shall match or complement the main roof structure.
- May provide paired windows.
- Use of Bay Windows (Rectangular or Arched) is permitted.
- Brick and Painted walls are encouraged.
- Columns can be paired.

## NEOCLASSICAL

This style is characterized by grandeur of scale, simplicity of geometric forms, Greek or Roman detail, use of columns, and a preference for blank walls. This style allows flexibility to use a multitude of classical orders or elements from the Greek or Roman style.

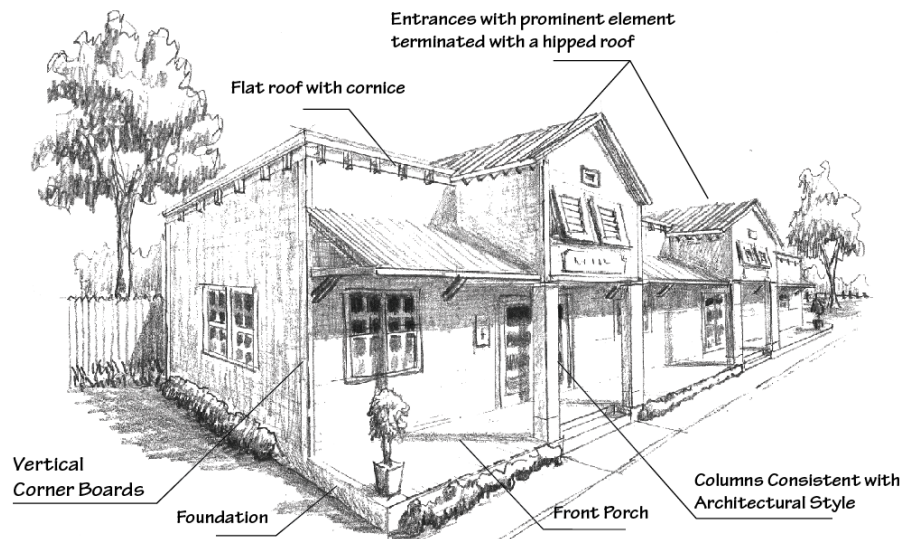
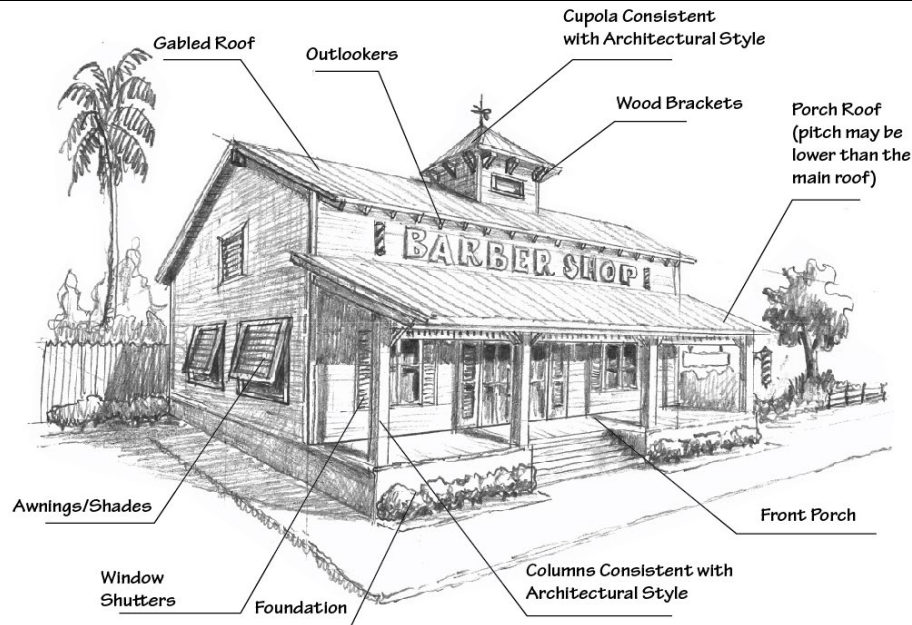


### Design Features:

- Building design includes elements consistent with these architectural styles, provided that the overall structure is of Palladian style:  
Vernacular   Greek revival   Italianate
- Acceptable roofing is a metal panel 5-seam roof, a metal shake roof, or a 5-tab twenty-five (25) year or greater dimensional shingle roof.
- For multi-tenant buildings, entrances are defined with a distinctive and prominent element of the architectural design consisting of a portico, stoop or porch. Parapet roofs can be utilized to meet this requirement.
- The overall design of the structure is encouraged to follow Palladian architecture principles.
- A structure may borrow from a multitude of neoclassical styles.
- Pilasters of a neoclassical design may be used on the front façade of the structure in lieu of a portico with columns.
- Neoclassical columns of various shapes and designs that do not meet the strict definition of the Classical Orders may be used.
- Portico roofs are not required to be pedimented.
- The portico may be half round shaped.
- The roof of the portico may be part of the main roof line, even if the main roof line is not pedimented.
- Use of a wide trim at the roofline is permitted.
- Doors may include side lights and transoms.
- 2/2 double hung windows are encouraged.
- Use of Lintels for windows and doors is also encouraged.
- The pedimented portico may consist of a porte-cochere.

## FLORIDA VERNACULAR

This is a traditional architectural style historically found in the rural areas of Florida. This style generally includes front porches, shutters and wood finishes, elements originally developed in response to Florida's climate and available materials.



### Design Features:

- The building front facade generally proportional.
- If a flat roof is provided, a cornice at least 12 inches in height and consistent with the design of the building is used.
- Multitenant buildings entrances have a distinctive and prominent element of the architectural design terminated with a hipped roof.
- The structure has a front porch that encompasses an area greater than 50 percent of the front façade.
- Acceptable roofing is a metal panel 5-seam roof, a metal shake roof, a 5-tab twenty-five (25) year or greater dimensional shingle roof, or a manufactured equivalent of a wood shake roof is acceptable. A minimum of a twelve (12) inch overhang for any roof structure.
- Acceptable materials for the exterior walls are stained wood panels or manufactured brick or materials of the appearance of brick, wood or wood panels; fiber cement siding; wood or vinyl siding.
- Predominant exterior color applied to all sides of the structure.
- Vertical corner boards.
  - Porch may wrap around to include the sides and/or rear of the structure.

- The roof may be ornamented with cupola(s) and/or dormer(s).
- Multi-story structures may have separate roof systems for each floor provided that each roof system meets the requirements of these standards.
- The porch roof may be of a lower pitch than then main roof.
- Window Shutters consistent with the vernacular style.
- Hand rails wrapping the porch.
- Exposed outlookers on the eaves.
- The foundation can be decorated with an accent.

## Columns Designs and proportions.

If Greek Revival or Neoclassical Styles are chosen, columns and/or pilasters shall conform to the design and proportions of Figure 2 below. The height and diameter of the column shall follow a ratio depending on its style. For instance, the Tuscan order has a 1:7 ratio, where one equals the column width and seven is the height (a column 10 feet high will need to be 1' 5" in width at its base). Columns shall have a base, a capital, and an entablature.

Figure 2. Classical Orders for columns and their proportions

