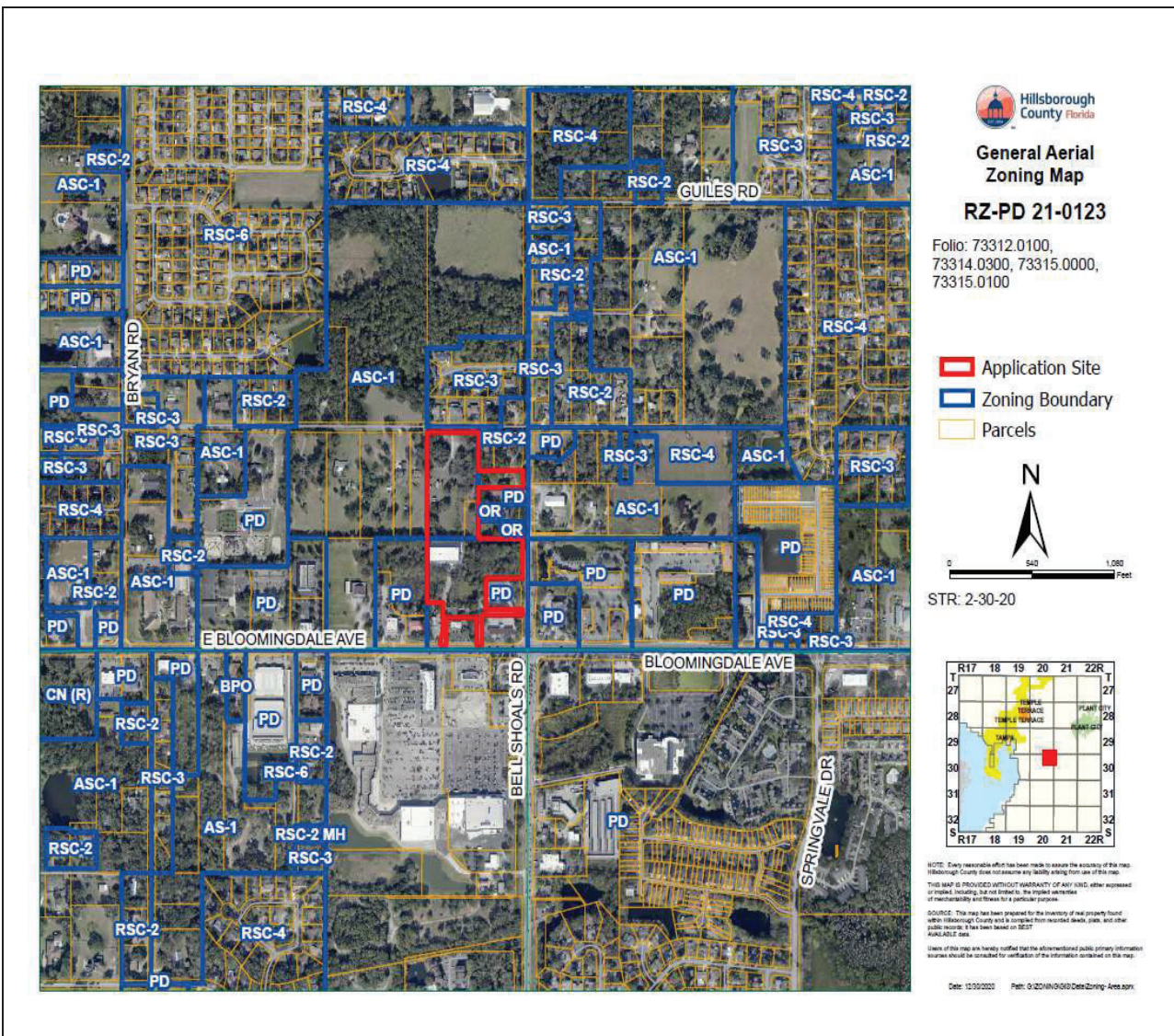




Hillsborough County Florida

STAFF REPORT

SUBJECT:	RZ-PD 21-0123	PLANNING AREA:	Brandon
REQUEST:	Rezone to Planned Development (PD) 21-0123	SECTOR:	Central
APPLICANT:	BG Ventures, LLC		
Existing Zoning Districts: Planned Development (PD) 88-0103; Agricultural, Single-Family Conventional (ASC-1); and Residential, Single-Family Conventional (RSC-2)		Future Land Use Category: Community Mixed Use-12 (CMU-12)	





Hillsborough County Florida

SM

STAFF REPORT



Project Location Map

RZ-PD 21-0123

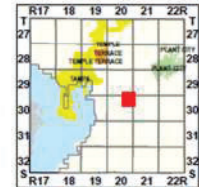
Folio: 73312.0100, 73314.0300,
73315.0000, 73315.0100

- █ Application Site
- █ Parcels



0 250 500 Feet

STR: 2-30-20



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Date: 12/20/2020 File: D:\2020\10-00\00\00\Site\Site.aprx

Application Review Summary and Recommendation

1.0 Summary

1.1 Project Narrative

The request is to rezone parcel folios 73312.0100, 73314.0300, 73315.0000, and 73315.0100 totaling approximately 11 acres from the existing Planned Development (PD) 88-0103, as most recently modified by Personal Appearance (PRS) 19-0142; Agricultural, Single-Family Conventional (ASC-1); and Residential, Single-Family Conventional (RSC-2) zoning districts to the proposed PD 21-0123 to permit the expansion of the existing self-storage facility use and the addition of single-family residential uses. The site is located at 912 East Bloomingdale Avenue, which is approximately 60 feet northwest of the Bell Shoals Road and Bloomingdale Avenue intersection. The underlying future land use (FLU) category of the subject parcel is Community Mixed Use-12 (CMU-12).

1.2 Compliance Overview with Land Development Code and Technical Manuals

A variation to Land Development Code (LDC) Section 6.06.06 to allow a sidewalk encroachment into where a 20-foot landscape buffer is required is being requested at this time. Another variation to LDC Section 6.06.06 to allow a 10-foot landscape buffer where a 20-foot buffer is required is being requested at this time, as well.

1.3 Analysis of Recommended Conditions

The proposed conditions of zoning incorporate the expansion of the existing self-storage facility use and the allowance for the new residential uses.

1.4 Evaluation of Existing and Planned Public Facilities

The site is located within the Urban Service Area where potable water and wastewater services are provided by Hillsborough County. A 16-inch potable water main exists and is located adjacent to the site. A 16-inch wastewater force main exists and is located adjacent to the site. Therefore, the site is required to connect to the publicly owned and operated potable water and wastewater systems in accordance with the requirements of the LDC. The developer is responsible for submitting a utility service request at the time of development plan review and will be responsible for any on-site improvements as well as possible off-site improvements.

However, the request is proposing to construct an onsite private septic system and drain field for sanitary waste disposal, which is not permissible for the proposed three lot subdivision. Therefore, the subdivide the property has proposed will require connection to public sewer.

Transit service is conveniently located to service this site. The closest transit stop is located 0.3 miles away just east of the intersection of Bryan Road and East Bloomingdale Avenue.

The site is located adjacent to East Bloomingdale Avenue, Bell Shoals Road, and Knowles Road. East Bloomingdale Avenue is a 4-lane, divided, substandard arterial roadway. There are no bicycle facilities present along East Bloomingdale Avenue. However, there are sidewalks along both sides of East Bloomingdale Avenue in the vicinity of the proposed project. Bell Shoals Road is a 2-lane, undivided, substandard collector roadway. There are no bicycle facilities present on Bell Shoals Road in the vicinity of the proposed project. However, there are sidewalks along portions of the east and west sides of Bell Shoals Road in the vicinity of the proposed project. Knowles Road is a 2-lane, undivided, local roadway.

APPLICATION: RZ-PD 21-0123

ZHM HEARING DATE: May 17, 2021

BOCC MEETING DATE:

CASE REVIEWER: Kevie Defranc

There are no bicycle facilities and sidewalks present on Knowles Road.

Transportation staff has reviewed the application and offers no objections, subject to the listed conditions. Their review notes that the proposed project is anticipated to generate 264 average daily trips, 14 a.m. peak hour trips, and 28 p.m. peak hour trips. Vehicular access to the commercial portion of the site will be to/from Bell Shoals Road and East Bloomingdale Avenue. The developer will be required to keep the new project access gated when not in immediate use. This is to keep traffic from the remnant commercial outparcels from utilizing the project access, given that the project did not study the impacts that opening such connection would have (i.e. whether a turn lane would be triggered).

The applicant's Engineer of Record (EOR) submitted a Section 6.04.02.B. Administrative Variance Request (dated April 21, 2021) from the Section 6.04.03.L. LDC requirement, whereby the developer is required to improve Bell Shoals Road (between the project roadway and nearest roadway meeting County standards) to current County standards for a TS-4 collector roadway. Based on factors presented in the Administrative Variance Request, the County Engineer found the request approvable on May 7, 2021. If the rezoning is approved, the County Engineer will approve the above referenced Administrative Variance Request, upon which the developer will not be required to make improvements to the roadway.

The applicant's EOR also submitted a Section 6.04.02.B. Administrative Variance Request (dated and received April 21, 2021) from the Section 6.04.07 LDC requirement governing access. The Hillsborough County LDC requires a minimum connection spacing of 245 feet for Class 6 roadways. Based on factors presented in the Administrative Variance Request, the County Engineer found the request approvable on May 7, 2021. If the rezoning is approved, the County Engineer will approve the above referenced Administrative Variance Request, upon which the developer will be permitted to locate the Bell Shoals Road access +/- 185 feet from the next closest driveway connection to the south.

In accordance with Section 1.7.2. and other applicable sections of the Transportation Technical Manual (TTM), the applicant's EOR submitted a Design Exception request from the Typical Detail – 2 (TD-2) minimum drive aisle width requirement of 24 feet for a portion of the internal driveway between the existing storage building and proposed storage uses. Based on factors presented in the Design Exception Request, the County Engineer found the request approvable on May 7, 2021. If the rezoning is approved, the County Engineer will approve the above referenced Design Exception, upon which the developer will be permitted to construct a 20-foot wide internal driveway within the specified portion of the project.

It should also be noted that the proposed rezoning incorporates parcels, for proposed access and pond areas, owned by the County for proposed improvements to Bell Shoals Road as part of a land swap agreement between the parties, which is influencing the proposed project design. This access also is contingent upon the approval of a land swap between Hillsborough County and the developer.

A calculation of the estimated fees has been performed based on the fees at the time the review was made. The estimated fees include a \$248,682.00 Mobility Fee, \$76,230.00 Parks Fee, \$345,534.00 School Fee, and \$14,070.00 Fire Fee for three 2,000-square foot single family detached dwelling units. The estimated fees also include a \$499.00 Mobility Fee (per 1,000 square feet) and \$32.00 Fire Fee (per 1,000 square feet) for a self-storage type use. The estimated fees also include \$877.00 Mobility Fee (per 1,000 square feet) and \$34.00 Fire Fee (per 1,000 square feet) for a warehouse type use. Actual fees will be based on permit applications received and based on the fee schedule at the time of building permit application.

1.5 Environmental/Natural Resources

The Environmental Protection Commission (EPC) reviewed the request and finds that wetland and/or other surface water (OSW) areas, which have been delineated, exist in the southeastern and southwestern portion of the project area. Knowledge of the actual extent of the wetland and OSW areas are necessary in order to verify the avoidance of wetland and OSW areas impact pursuant to Chapter 1-11, Rules of the EPC. Prior to issuance of any building or land alteration permits or other development, the wetland and OSW areas must be field delineated in their entirety by EPC staff or Southwest Florida Water Management District staff and the wetland line surveyed. Once delineated, surveys must be submitted for review and formal approval by EPC staff. EPC staff is currently awaiting submittal. EPC comments state that based on the site plan's current configuration (with wetland encroachments for an access drive east of an existing storage building) a resubmittal is not necessary and the project as submitted is conceptually justified to move forward through the zoning review process subject to recommend conditions (which have been included in the recommended conditions of approval).

Pursuant to LDC Section 4.01.07.B.4, exceptions from wetland setback are allowed for roadways necessary for access and for retaining walls. The access driveway located to the east of the existing storage building in which encroachment into wetlands are depicted on the general site plan has been determined to be a roadway necessary for access. Furthermore, the design of the roadway is being conditioned to require a stem/retaining wall and for the road/driveway to be designed with curbing to contain vehicles and stormwater and to convey the stormwater to the stormwater system. These design measures help to accomplish the intended function of the wetland setback. The subject design measures are identified as critical design features so that failure to provide those design measures will require the applicant to amend the PD through a noticed public hearing.

1.6 Comprehensive Plan Consistency

The site is located within the CMU-12 FLU category and the Brandon Community Plan Area. Specifically, the subject property is located within the limits of the Suburban District within the Brandon Community Plan and this district is described as allowing mixed-use development.

Policy 1.3 of the Future Land Use Element requires that within the Urban Service Area and within land use categories permitting 4 dwelling units per gross acre or greater are to develop at no less than 75% of the allowable density of the land use category, unless meeting certain criteria. Due to the larger single-family lot pattern along this portion of Knowles Road, the proposed three single-family lots would meet the exception to minimum density due to compatibility.

Policy 19.1 of the Future Land Use Element requires sites 10 acres or greater in the CMU-12 Future Land use category to develop with a minimum of 2 land uses and at least 10% of the total square footage of the building must be designated for a second use. Due the proposal indicating residential as the second use, acreage is being used as the 10% threshold and, thus, is meeting the intent by providing 1.71 acres of the 10± acre site. To guarantee a development that provides a mixture of uses, as part of condition of approval a timing mechanism has been put in place.

Policy 19.2 of the Future Land Use Element requires that all development in the mixed-use categories shall be integrated and interconnected to each other and at a minimum should demonstrate internal connections within the developments. The revised site plan received April 27, 2021 demonstrates a pedestrian connection between the two proposed uses. Additionally, the applicant has provided several

buffering and screening measures to mitigate for any adverse effects on the surrounding area. Furthermore, Planning Commission staff finds the request to be consistent with the Comprehensive Plan for Unincorporated Hillsborough County.

1.7 Compatibility

The site is located in an area comprised of residential, office, and mix of high intensity commercial uses. The site is within the CMU-12 FLU category, which is urban in intensity and density of uses. The area on the south side of East Bloomingdale Roadway is within the OC-20 (Office Commercial-20) FLU category, which recognizes existing commercial and office centers and provides for future development opportunities. However, the majority of the area is within the RES-4 (Residential-4) FLU category, which is suitable for low density residential development. The overall area is also within the Hillsborough County Urban Service Area.

As shown in Exhibit 2, the site is adjacent to properties zoned ASC-1 and PD (to the west), PD (to the south), and RSC-2, PD, and OR (to the east), but within the general area there are other properties zoned RSC-3 (to the north).

Based on the above considerations, staff finds the proposed PD zoning district compatible with the existing zoning districts and development pattern in the area.

1.8 Agency/Department Comments

The following agencies and departments reviewed the request and offer no objections:

- Water Resource Services
- Conservation and Environmental Lands Management
- Natural Resources
- Environmental Protection Commission
- Transportation

1.9 Exhibits

Exhibit 1: Project Aerial

Exhibit 2: Zoning Map

Exhibit 3: Future Land Use Map

Exhibit 4: Site Plan

2.0 Recommendation

Based on the above considerations, staff recommends approval of the request, subject to conditions.

Approval - Approval of the request, subject to the conditions listed below, is based on the general site development plan received April 27, 2021.

1. The development shall be approved for a maximum of 60,216 square-foot air-conditioned self-storage facility, a maximum of 30,444 square-foot non air-conditioned self-storage facilities (fully enclosed and open with covered roof), and a maximum of three single-family residential lots that have a minimum lot area of 21,780 square feet each.

1.1 An issuance of a Certificate of Occupancy for one of the single-family residential lots shall be obtained

prior to/concurrent with development of the self-storage facilities.

2 The maximum building height permitted for the self-storage facilities shall be 50 feet. The maximum building height permitted for the single-family residential lots shall be 35 feet.

3. Minimum building setback for the self-storage facilities from the single-family residential lots shall be 20 feet, with an additional two feet of setback required for every foot of building height over 20 feet. Minimum building setbacks for the single-family residential lots shall be subject to the setback requirements of the Residential, Single-Family Conventional (RSC-2) zoning district.

4. The self-storage facilities' walls shall be enhanced with architectural features such as insets, columns, cornices etc. Lights shall not be permitted on the rear (north facing) facades of the self-storage facilities.

5. A minimum of 29 parking spaces shall be provided for the self-storage facilities. Rental trucks for display or rental shall not be permitted in the required parking spaces; with the exception of the rental trucks, no open storage is permitted. The parking requirements for the single-family residential lots shall be subject to the requirements of Section 6.05.02. of the Land Development Code.

6. The landscape buffering and screening shall be in accordance with the requirements of Part 6.06.00 of the Land Development Code, except as provided herein.

6.1 The developer shall provide a 20-foot buffer and Type B screening along the boundary adjacent to the single-family residential lot to the west and between the single-family residential lots and self-storage facilities (as depicted on the General Site Development Plan).

6.2 The developer shall provide a 10-foot buffer and Type B screening along the boundary between the single-family residential lots to the north and the access drive to Bell Shoals Road (as depicted on the General Site Development Plan)

7. Notwithstanding anything on the PD site plan or herein these conditions to the contrary, bicycle and pedestrian access may be permitted anywhere along the PD boundaries.

8. Notwithstanding anything shown on the PD site plan to the contrary, the developer shall be required to construct sidewalks internal to the site and/or along its project frontages as required by Section 6.02.08 and 6.03.02 of the LDC.

9. The developer shall construct minimum 5-foot wide sidewalk connection between the sidewalk to be constructed along the project's Knowles Road frontage and the sidewalk to be constructed along the north side of the northernmost proposed access driveway to Bell Shoals Road. Such sidewalk may be gated, but shall be available for the daily use of project patrons and residents.

10. The developer shall construct a vehicular gate on the project's northernmost access driveway to Bell Shoals Road. Such gate shall be located outside of the minimum throat depth area, and sufficient drive aisle width shall be provided to ensure that vehicles unable to gain entry can make a three-point turn without backing out into Bell Shoals Road. Additionally, the gate shall remain closed when not in immediate use.

11. Internal project driveways, as shown on the PD site plan, shall be considered Shared Access Facilities with folios 073312.0400, 073312.0000, 073312.0200 and 073312.0300. Prior to or concurrent with the initial increment of development, and provided such easements do not already exist within the official public records, the developer shall record in the Official Records of Hillsborough County a construction easement as well as any other easements necessary to permit the owner/developer of the specified adjacent properties (with which access is being shared) to construct and utilize required pedestrian and vehicular improvements within the Shared Access Facility upon (re)development of the adjacent properties without further consultation. The design and location of all connections shall be subject to the review and approval of Hillsborough County.

12. If PD 21-0123 is approved, the County Engineer will approve a Section 6.04.02.B. Administrative Variance (dated April 21, 2021) which was found approvable by the County Engineer (on May 7, 2021). Approval of this Administrative Variance will waive the Bell Shoals Road substandard road improvements required by Section 6.04.03.L. of the LDC.

13. If PD 21-0123 is approved, the County Engineer will approve a Section 6.04.02.B. Administrative Variance (dated April 21, 2021) which was found approvable by the County Engineer (on May 7, 2021). Approval of this Administrative Variance will permit the reduction of minimum access spacing between the project driveway and next closest driveway to the south to +/- 185 feet.

14. If PD 21-0123 is approved, the County Engineer will approve a Design Exception (dated April 21, 2021) which was found approvable by the County Engineer (on May 7, 2021). Approval of this Design Exception will permit the reduction of a portion of the internal project driveway from 24 feet to 20 feet in width.

15. Prior to PD site plan certification, the applicant shall revise the PD site plan to:

- Remove references to the Major Modification process from the PD site plan, and instead clearly show the new PD boundary;
- Add access arrows to Knowles Road for each of the three proposed single-family lots;
- Modify the label stating "Proposed Gated Access Connection to Bell Shoals Road (Gate to Remain Open During Operating Hours and Closed During Off Hours)" to read "Proposed Gated Access Connection to Bell Shoals Road – See Conditions of Approval";
- Designate the area shown in red on the transportation review comment sheet by shading or hatching the corresponding area and labeling as "Shared Access Facility with Folios 073312.0400, 073312.0000, 073312.0200 and 073312.0300 – See Conditions of Approval".
- Revise the PD site plan to add all required information to become minimally compliant. For example, roadway data is missing/stating right-of-way varies is insufficient. Right-of-way must be shown, and minimum and maximum width values must be depicted and labeled.

15. No septic tanks shall be used. The developer shall be required to connect to a public wastewater system and shall pay all costs for service delivery. The developer shall submit to the Development Services Department, prior to the issuance of Building Permits, or Final Plat approval, whichever comes first, evidence of commitment from the County to provide public wastewater service, and evidence of agreement to pay necessary costs.

16. The developer shall be required to utilize public potable water system and shall pay all costs for service delivery. The developer shall submit to the Development Services Department, prior to the issuance of

Building Permits, or Final Plat Approval, whichever comes first, evidence of commitment from the County to provide public potable water service, and evidence of agreement to pay all necessary costs.

17. Prior to issuance of Site Development Approval, adequate provisions pursuant to County regulations shall be made for storm retention/detention ponds. Appropriate cross easements for stormwater drainage, utility service, and ingress/egress shall be granted between the parcels within the PD district and the balance of the PD district.

17.1 The applicant shall dedicate to the County prior to Site Development Approval a drainage easement for the wetland/drainage ditch which crosses the site in an east-west direction. Said easement may be relocated if approved by appropriate agencies. The wetland may be mitigated pursuant to County regulations and the drainage way may be replaced by an underground culvert within the easement, subject to necessary governmental approval.

17.2 The access drive/road to the east of the building labeled "Existing 60,216 SF 3-Story Storage Building" shall include the following design features:

- Retaining wall(s) shall be provided along the eastern side of the access drive adjacent to the wetland.
- The access drive shall be designed with curbs to contain vehicles and stormwater and convey it to the stormwater system for the project.
- Deviations in the location/alignment of the access drive as shown on the site plan shall only be permitted so as to meet applicable technical design requirements as determined/required by Hillsborough County.

The above design measures shall be designated as Critical Design Features and any request to modify these design features shall require modification of the site plan project in accordance with LDC Section 5.03.07.A.

18. The project may be permitted, subject to formal delineation of on-site conservation areas, preservation areas and water bodies and final calculation of maximum intensity (FAR) permitted by the Comprehensive Plan in accordance with the Environmentally Sensitive Lands Credits requirement of the Comprehensive Plan. If the maximum square footage for the project as permitted herein exceeds the maximum intensity (FAR) permitted by the Comprehensive Plan, per the Environmentally Sensitive Lands Credits requirement, the square footage of the project shall decrease as necessary to conform to the Comprehensive Plan.

19. Approval of this application does not ensure that public wastewater and potable water services will be available at the time when the applicant seeks permits to actually develop.

20. Approval of this rezoning petition by Hillsborough County does not constitute a guarantee that the Environmental Protection Commission approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impacts to wetlands, and does not grant any implied or vested right to environmental approvals.

21. The type, location, size and number of signs permitted shall be as set forth in Part 7.03.00 of the Land Development Code with the following exception(s):

21.1 Ground Signs shall be limited to Monument Signs.

21.2 Billboards, pennants and banners shall be prohibited.

22. If the notes and/or graphic on the site plan are in conflict with specific zoning conditions and/or the Land Development Code (LDC) regulations, the more restrictive regulation shall apply, unless specifically conditioned otherwise. References to development standards of the LDC in the above stated conditions shall be interpreted as the regulations in effect at the time of preliminary site plan/plat approval.

23. The Development of the project shall proceed in strict accordance with the terms and conditions contained in the Development Order, the General Site Development Plan, the land use conditions contained herein, and all applicable rules, regulations, and ordinances of Hillsborough County.

24. Within 90 days of approval by the Hillsborough County Board of County Commissioners, the applicant shall submit to the Development Services Department a revised General Site Development Plan for certification which conforms the notes and graphic of the plan to the conditions outlined above and the Land Development Code (LDC). Subsequent to certification of the plan, if it is determined the certified plan does not accurately reflect the conditions of approval or requirements of the LDC, said plan will be deemed invalid and certification of the revised plan will be required.


Staff's Recommendation: Approvable, Subject to Conditions	
Zoning Administrator Sign-off:	 J. Brian Grady Mon May 10 2021 12:29:27

EXHIBIT 1



Hillsborough County Florida

Project Location Map

RZ-PD 21-0123

Folio: 73312.0100, 73314.0300,
73315.0000, 73315.0100

Application Site
Parcels

STR: 2-30-20

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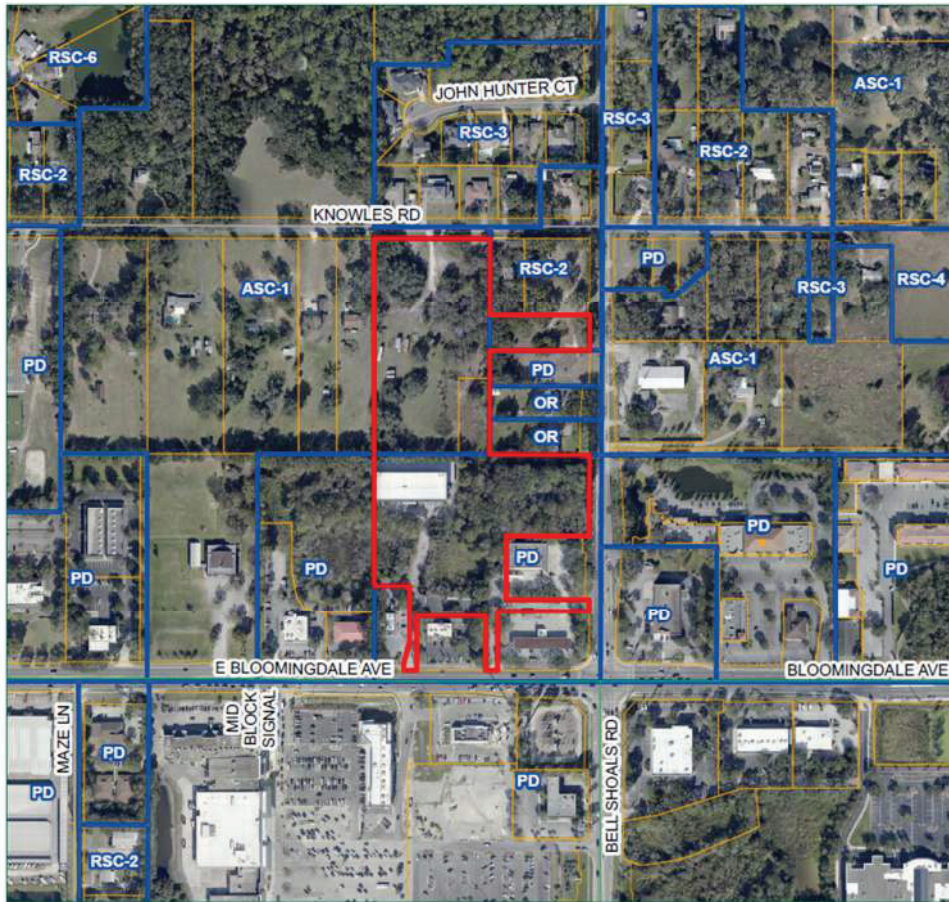
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Date: 12/30/2020 File: G:\2019-20\06\001-01a.aprx

EXHIBIT 2



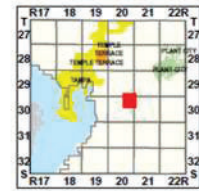
**Immediate Aerial
Zoning Map**
RZ-PD 21-0123

Folio: 73312.0100,
73314.0300, 73315.0000,
73315.0100

- Application Site
- Zoning Boundary
- Parcels



STR: 2-30-20



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Date: 12/30/2020 File: 02201901000 Data.Zoning_Site.aprx

APPLICATION: RZ-PD 21-0123
ZHM HEARING DATE: May 17, 2021
BOCC MEETING DATE:

CASE REVIEWER: Kevie Defranc

EXHIBIT 4

SEE ATTACHED

**COUNTY OF HILLSBOROUGH
LAND USE HEARING OFFICER'S RECOMMENDATION**

Application number:	RZ PD 21-0123
Hearing date:	May 17, 2021
Applicant:	BG Ventures, LLC
Request:	Rezone approximately 11 acres from the existing Planned Development (PD) 88-0103, as most recently modified by Personal Appearance (PRS) 19-0142; Agricultural, Single-family Conventional (ASC-1); and Residential Single-Family Conventional (RSC-2) zoning districts to the proposed PD 21-0123 to permit expansion of the existing self-storage facility use and the addition of single-family residential uses.
Location:	912 E. Bloomingdale Ave., approximately 60 feet northwest of the Bell Shoals Road and Bloomingdale Avenue intersection.
Parcel size:	11 acres +/-
Existing zoning:	Planned Development (PD) 88-0103; Agricultural, Single-family Conventional (ASC-1); and Residential, Single-Family Conventional (RSC-2)
Future land use designation:	Community Mixed Use-12
Service area:	Urban
Community planning area:	Brandon

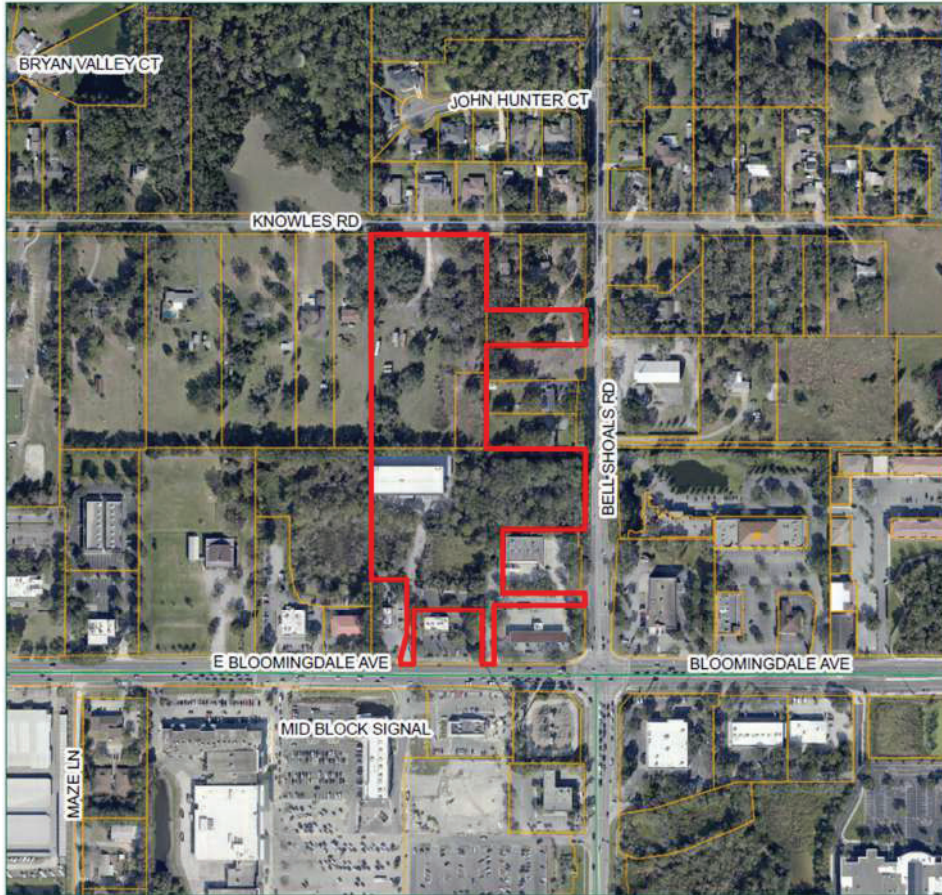
A. APPLICATION REVIEW

**DEVELOPMENT SERVICES STAFF REPORT
APPLICATION REVIEW SUMMARY AND RECOMMENDATION**



Hillsborough County Florida

STAFF REPORT



Project Location Map

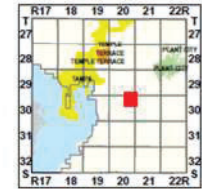
RZ-PD 21-0123

Folio: 73312.0100, 73314.0300,
73315.0000, 73315.0100

- Application Site
- Parcels



STR: 2-30-20



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Date: 12/29/2020 File: 0:20240-00-00-00-00-00

Application Review Summary and Recommendation

1.0 Summary

1.1 Project Narrative

The request is to rezone parcel folios 73312.0100, 73314.0300, 73315.0000, and 73315.0100 totaling approximately 11 acres from the existing Planned Development (PD) 88-0103, as most recently modified by Personal Appearance (PRS) 19-0142; Agricultural, Single-Family Conventional (ASC-1); and Residential, Single-Family Conventional (RSC-2) zoning districts to the proposed PD 21-0123 to permit the expansion of the existing self-storage facility use and the addition of single-family residential uses. The site is located at 912 East Bloomingdale Avenue, which is approximately 60 feet northwest of the Bell Shoals Road and Bloomingdale Avenue intersection. The underlying future land use (FLU) category of the subject parcel is Community Mixed Use-12 (CMU-12).

1.2 Compliance Overview with Land Development Code and Technical Manuals

A variation to Land Development Code (LDC) Section 6.06.06 to allow a sidewalk encroachment into where a 20-foot landscape buffer is required is being requested at this time. Another variation to LDC Section 6.06.06 to allow a 10-foot landscape buffer where a 20-foot buffer is required is being requested at this time, as well.

1.3 Analysis of Recommended Conditions

The proposed conditions of zoning incorporate the expansion of the existing self-storage facility use and the allowance for the new residential uses.

1.4 Evaluation of Existing and Planned Public Facilities

The site is located within the Urban Service Area where potable water and wastewater services are provided by Hillsborough County. A 16-inch potable water main exists and is located adjacent to the site. A 16-inch wastewater force main exists and is located adjacent to the site. Therefore, the site is required to connect to the publicly owned and operated potable water and wastewater systems in accordance with the requirements of the LDC. The developer is responsible for submitting a utility service request at the time of development plan review and will be responsible for any on-site improvements as well as possible off-site improvements.

However, the request is proposing to construct an onsite private septic system and drain field for sanitary waste disposal, which is not permissible for the proposed three lot subdivision. Therefore, the subdivide the property has proposed will require connection to public sewer.

Transit service is conveniently located to service this site. The closest transit stop is located 0.3 miles away just east of the intersection of Bryan Road and East Bloomingdale Avenue.

The site is located adjacent to East Bloomingdale Avenue, Bell Shoals Road, and Knowles Road. East Bloomingdale Avenue is a 4-lane, divided, substandard arterial roadway. There are no bicycle facilities present along East Bloomingdale Avenue. However, there are sidewalks along both sides of East Bloomingdale Avenue in the vicinity of the proposed project. Bell Shoals Road is a 2-lane, undivided, substandard collector roadway. There are no bicycle facilities present on Bell Shoals Road in the vicinity of the proposed project. However, there are sidewalks along portions of the east and west sides of Bell Shoals Road in the vicinity of the proposed project. Knowles Road is a 2-lane, undivided, local roadway.

There are no bicycle facilities and sidewalks present on Knowles Road.

Transportation staff has reviewed the application and offers no objections, subject to the listed conditions. Their review notes that the proposed project is anticipated to generate 264 average daily trips, 14 a.m. peak hour trips, and 28 p.m. peak hour trips. Vehicular access to the commercial portion of the site will be to/from Bell Shoals Road and East Bloomingdale Avenue. The developer will be required to keep the new project access gated when not in immediate use. This is to keep traffic from the remnant commercial outparcels from utilizing the project access, given that the project did not study the impacts that opening such connection would have (i.e. whether a turn lane would be triggered).

The applicant's Engineer of Record (EOR) submitted a Section 6.04.02.B. Administrative Variance Request (dated April 21, 2021) from the Section 6.04.03.L. LDC requirement, whereby the developer is required to improve Bell Shoals Road (between the project roadway and nearest roadway meeting County standards) to current County standards for a TS-4 collector roadway. Based on factors presented in the Administrative Variance Request, the County Engineer found the request approvable on May 7, 2021. If the rezoning is approved, the County Engineer will approve the above referenced Administrative Variance Request, upon which the developer will not be required to make improvements to the roadway.

The applicant's EOR also submitted a Section 6.04.02.B. Administrative Variance Request (dated and received April 21, 2021) from the Section 6.04.07 LDC requirement governing access. The Hillsborough County LDC requires a minimum connection spacing of 245 feet for Class 6 roadways. Based on factors presented in the Administrative Variance Request, the County Engineer found the request approvable on May 7, 2021. If the rezoning is approved, the County Engineer will approve the above referenced Administrative Variance Request, upon which the developer will be permitted to locate the Bell Shoals Road access +/- 185 feet from the next closest driveway connection to the south.

In accordance with Section 1.7.2. and other applicable sections of the Transportation Technical Manual (TTM), the applicant's EOR submitted a Design Exception request from the Typical Detail – 2 (TD-2) minimum drive aisle width requirement of 24 feet for a portion of the internal driveway between the existing storage building and proposed storage uses. Based on factors presented in the Design Exception Request, the County Engineer found the request approvable on May 7, 2021. If the rezoning is approved, the County Engineer will approve the above referenced Design Exception, upon which the developer will be permitted to construct a 20-foot wide internal driveway within the specified portion of the project.

It should also be noted that the proposed rezoning incorporates parcels, for proposed access and pond areas, owned by the County for proposed improvements to Bell Shoals Road as part of a land swap agreement between the parties, which is influencing the proposed project design. This access also is contingent upon the approval of a land swap between Hillsborough County and the developer.

A calculation of the estimated fees has been performed based on the fees at the time the review was made. The estimated fees include a \$248,682.00 Mobility Fee, \$76,230.00 Parks Fee, \$345,534.00 School Fee, and \$14,070.00 Fire Fee for three 2,000-square foot single family detached dwelling units. The estimated fees also include a \$499.00 Mobility Fee (per 1,000 square feet) and \$32.00 Fire Fee (per 1,000 square feet) for a self-storage type use. The estimated fees also include \$877.00 Mobility Fee (per 1,000 square feet) and \$34.00 Fire Fee (per 1,000 square feet) for a warehouse type use. Actual fees will be based on permit applications received and based on the fee schedule at the time of building permit application.

1.5 Environmental/Natural Resources

The Environmental Protection Commission (EPC) reviewed the request and finds that wetland and/or other surface water (OSW) areas, which have been delineated, exist in the southeastern and southwestern portion of the project area. Knowledge of the actual extent of the wetland and OSW areas are necessary in order to verify the avoidance of wetland and OSW areas impact pursuant to Chapter 1-11, Rules of the EPC. Prior to issuance of any building or land alteration permits or other development, the wetland and OSW areas must be field delineated in their entirety by EPC staff or Southwest Florida Water Management District staff and the wetland line surveyed. Once delineated, surveys must be submitted for review and formal approval by EPC staff. EPC staff is currently awaiting submittal. EPC comments state that based on the site plan's current configuration (with wetland encroachments for an access drive east of an existing storage building) a resubmittal is not necessary and the project as submitted is conceptually justified to move forward through the zoning review process subject to recommend conditions (which have been included in the recommended conditions of approval).

Pursuant to LDC Section 4.01.07.B.4, exceptions from wetland setback are allowed for roadways necessary for access and for retaining walls. The access driveway located to the east of the existing storage building in which encroachment into wetlands are depicted on the general site plan has been determined to be a roadway necessary for access. Furthermore, the design of the roadway is being conditioned to require a stem/retaining wall and for the road/driveway to be designed with curbing to contain vehicles and stormwater and to convey the stormwater to the stormwater system. These design measures help to accomplish the intended function of the wetland setback. The subject design measures are identified as critical design features so that failure to provide those design measures will require the applicant to amend the PD through a noticed public hearing.

1.6 Comprehensive Plan Consistency

The site is located within the CMU-12 FLU category and the Brandon Community Plan Area. Specifically, the subject property is located within the limits of the Suburban District within the Brandon Community Plan and this district is described as allowing mixed-use development.

Policy 1.3 of the Future Land Use Element requires that within the Urban Service Area and within land use categories permitting 4 dwelling units per gross acre or greater are to develop at no less than 75% of the allowable density of the land use category, unless meeting certain criteria. Due to the larger single-family lot pattern along this portion of Knowles Road, the proposed three single-family lots would meet the exception to minimum density due to compatibility.

Policy 19.1 of the Future Land Use Element requires sites 10 acres or greater in the CMU-12 Future Land use category to develop with a minimum of 2 land uses and at least 10% of the total square footage of the building must be designated for a second use. Due the proposal indicating residential as the second use, acreage is being used as the 10% threshold and, thus, is meeting the intent by providing 1.71 acres of the 10± acre site. To guarantee a development that provides a mixture of uses, as part of condition of approval a timing mechanism has been put in place.

Policy 19.2 of the Future Land Use Element requires that all development in the mixed-use categories shall be integrated and interconnected to each other and at a minimum should demonstrate internal connections within the developments. The revised site plan received April 27, 2021 demonstrates a pedestrian connection between the two proposed uses. Additionally, the applicant has provided several

buffering and screening measures to mitigate for any adverse effects on the surrounding area. Furthermore, Planning Commission staff finds the request to be consistent with the Comprehensive Plan for Unincorporated Hillsborough County.

1.7 Compatibility

The site is located in an area comprised of residential, office, and mix of high intensity commercial uses. The site is within the CMU-12 FLU category, which is urban in intensity and density of uses. The area on the south side of East Bloomingdale Roadway is within the OC-20 (Office Commercial-20) FLU category, which recognizes existing commercial and office centers and provides for future development opportunities. However, the majority of the area is within the RES-4 (Residential-4) FLU category, which is suitable for low density residential development. The overall area is also within the Hillsborough County Urban Service Area.

As shown in Exhibit 2, the site is adjacent to properties zoned ASC-1 and PD (to the west), PD (to the south), and RSC-2, PD, and OR (to the east), but within the general area there are other properties zoned RSC-3 (to the north).

Based on the above considerations, staff finds the proposed PD zoning district compatible with the existing zoning districts and development pattern in the area.

1.8 Agency/Department Comments

The following agencies and departments reviewed the request and offer no objections:

- Water Resource Services
- Conservation and Environmental Lands Management
- Natural Resources
- Environmental Protection Commission
- Transportation

1.9 Exhibits

Exhibit 1: Project Aerial

Exhibit 2: Zoning Map

Exhibit 3: Future Land Use Map

Exhibit 4: Site Plan

2.0 Recommendation

Based on the above considerations, staff recommends approval of the request, subject to conditions.

Approval - Approval of the request, subject to the conditions listed below, is based on the general site development plan received April 27, 2021.

1. The development shall be approved for a maximum of 60,216 square-foot air-conditioned self-storage facility, a maximum of 30,444 square-foot non air-conditioned self-storage facilities (fully enclosed and open with covered roof), and a maximum of three single-family residential lots that have a minimum lot area of 21,780 square feet each.

1.1 An issuance of a Certificate of Occupancy for one of the single-family residential lots shall be obtained

prior to/concurrent with development of the self-storage facilities.

2 The maximum building height permitted for the self-storage facilities shall be 50 feet. The maximum building height permitted for the single-family residential lots shall be 35 feet.

3. Minimum building setback for the self-storage facilities from the single-family residential lots shall be 20 feet, with an additional two feet of setback required for every foot of building height over 20 feet. Minimum building setbacks for the single-family residential lots shall be subject to the setback requirements of the Residential, Single-Family Conventional (RSC-2) zoning district.

4. The self-storage facilities' walls shall be enhanced with architectural features such as insets, columns, cornices etc. Lights shall not be permitted on the rear (north facing) facades of the self-storage facilities.

5. A minimum of 29 parking spaces shall be provided for the self-storage facilities. Rental trucks for display or rental shall not be permitted in the required parking spaces; with the exception of the rental trucks, no open storage is permitted. The parking requirements for the single-family residential lots shall be subject to the requirements of Section 6.05.02. of the Land Development Code.

6. The landscape buffering and screening shall be in accordance with the requirements of Part 6.06.00 of the Land Development Code, except as provided herein.

6.1 The developer shall provide a 20-foot buffer and Type B screening along the boundary adjacent to the single-family residential lot to the west and between the single-family residential lots and self-storage facilities (as depicted on the General Site Development Plan).

6.2 The developer shall provide a 10-foot buffer and Type B screening along the boundary between the single-family residential lots to the north and the access drive to Bell Shoals Road (as depicted on the General Site Development Plan)

7. Notwithstanding anything on the PD site plan or herein these conditions to the contrary, bicycle and pedestrian access may be permitted anywhere along the PD boundaries.

8. Notwithstanding anything shown on the PD site plan to the contrary, the developer shall be required to construct sidewalks internal to the site and/or along its project frontages as required by Section 6.02.08 and 6.03.02 of the LDC.

9. The developer shall construct minimum 5-foot wide sidewalk connection between the sidewalk to be constructed along the project's Knowles Road frontage and the sidewalk to be constructed along the north side of the northernmost proposed access driveway to Bell Shoals Road. Such sidewalk may be gated, but shall be available for the daily use of project patrons and residents.

10. The developer shall construct a vehicular gate on the project's northernmost access driveway to Bell Shoals Road. Such gate shall be located outside of the minimum throat depth area, and sufficient drive aisle width shall be provided to ensure that vehicles unable to gain entry can make a three-point turn without backing out into Bell Shoals Road. Additionally, the gate shall remain closed when not in immediate use.

11. Internal project driveways, as shown on the PD site plan, shall be considered Shared Access Facilities with folios 073312.0400, 073312.0000, 073312.0200 and 073312.0300. Prior to or concurrent with the initial increment of development, and provided such easements do not already exist within the official public records, the developer shall record in the Official Records of Hillsborough County a construction easement as well as any other easements necessary to permit the owner/developer of the specified adjacent properties (with which access is being shared) to construct and utilize required pedestrian and vehicular improvements within the Shared Access Facility upon (re)development of the adjacent properties without further consultation. The design and location of all connections shall be subject to the review and approval of Hillsborough County.

12. If PD 21-0123 is approved, the County Engineer will approve a Section 6.04.02.B. Administrative Variance (dated April 21, 2021) which was found approvable by the County Engineer (on May 7, 2021). Approval of this Administrative Variance will waive the Bell Shoals Road substandard road improvements required by Section 6.04.03.L. of the LDC.

13. If PD 21-0123 is approved, the County Engineer will approve a Section 6.04.02.B. Administrative Variance (dated April 21, 2021) which was found approvable by the County Engineer (on May 7, 2021). Approval of this Administrative Variance will permit the reduction of minimum access spacing between the project driveway and next closest driveway to the south to +/- 185 feet.

14. If PD 21-0123 is approved, the County Engineer will approve a Design Exception (dated April 21, 2021) which was found approvable by the County Engineer (on May 7, 2021). Approval of this Design Exception will permit the reduction of a portion of the internal project driveway from 24 feet to 20 feet in width.

15. Prior to PD site plan certification, the applicant shall revise the PD site plan to:

- Remove references to the Major Modification process from the PD site plan, and instead clearly show the new PD boundary;
- Add access arrows to Knowles Road for each of the three proposed single-family lots;
- Modify the label stating "Proposed Gated Access Connection to Bell Shoals Road (Gate to Remain Open During Operating Hours and Closed During Off Hours)" to read "Proposed Gated Access Connection to Bell Shoals Road – See Conditions of Approval";
- Designate the area shown in red on the transportation review comment sheet by shading or hatching the corresponding area and labeling as "Shared Access Facility with Folios 073312.0400, 073312.0000, 073312.0200 and 073312.0300 – See Conditions of Approval".
- Revise the PD site plan to add all required information to become minimally compliant. For example, roadway data is missing/stating right-of-way varies is insufficient. Right-of-way must be shown, and minimum and maximum width values must be depicted and labeled.

15. No septic tanks shall be used. The developer shall be required to connect to a public wastewater system and shall pay all costs for service delivery. The developer shall submit to the Development Services Department, prior to the issuance of Building Permits, or Final Plat approval, whichever comes first, evidence of commitment from the County to provide public wastewater service, and evidence of agreement to pay necessary costs.

16. The developer shall be required to utilize public potable water system and shall pay all costs for service delivery. The developer shall submit to the Development Services Department, prior to the issuance of

Building Permits, or Final Plat Approval, whichever comes first, evidence of commitment from the County to provide public potable water service, and evidence of agreement to pay all necessary costs.

17. Prior to issuance of Site Development Approval, adequate provisions pursuant to County regulations shall be made for storm retention/detention ponds. Appropriate cross easements for stormwater drainage, utility service, and ingress/egress shall be granted between the parcels within the PD district and the balance of the PD district.

17.1 The applicant shall dedicate to the County prior to Site Development Approval a drainage easement for the wetland/drainage ditch which crosses the site in an east-west direction. Said easement may be relocated if approved by appropriate agencies. The wetland may be mitigated pursuant to County regulations and the drainage way may be replaced by an underground culvert within the easement, subject to necessary governmental approval.

17.2 The access drive/road to the east of the building labeled "Existing 60,216 SF 3-Story Storage Building" shall include the following design features:

- Retaining wall(s) shall be provided along the eastern side of the access drive adjacent to the wetland.
- The access drive shall be designed with curbs to contain vehicles and stormwater and convey it to the stormwater system for the project.
- Deviations in the location/alignment of the access drive as shown on the site plan shall only be permitted so as to meet applicable technical design requirements as determined/required by Hillsborough County.

The above design measures shall be designated as Critical Design Features and any request to modify these design features shall require modification of the site plan project in accordance with LDC Section 5.03.07.A.

18. The project may be permitted, subject to formal delineation of on-site conservation areas, preservation areas and water bodies and final calculation of maximum intensity (FAR) permitted by the Comprehensive Plan in accordance with the Environmentally Sensitive Lands Credits requirement of the Comprehensive Plan. If the maximum square footage for the project as permitted herein exceeds the maximum intensity (FAR) permitted by the Comprehensive Plan, per the Environmentally Sensitive Lands Credits requirement, the square footage of the project shall decrease as necessary to conform to the Comprehensive Plan.

19. Approval of this application does not ensure that public wastewater and potable water services will be available at the time when the applicant seeks permits to actually develop.

20. Approval of this rezoning petition by Hillsborough County does not constitute a guarantee that the Environmental Protection Commission approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impacts to wetlands, and does not grant any implied or vested right to environmental approvals.

21. The type, location, size and number of signs permitted shall be as set forth in Part 7.03.00 of the Land Development Code with the following exception(s):


21.1 Ground Signs shall be limited to Monument Signs.

21.2 Billboards, pennants and banners shall be prohibited.

22. If the notes and/or graphic on the site plan are in conflict with specific zoning conditions and/or the Land Development Code (LDC) regulations, the more restrictive regulation shall apply, unless specifically conditioned otherwise. References to development standards of the LDC in the above stated conditions shall be interpreted as the regulations in effect at the time of preliminary site plan/plat approval.

23. The Development of the project shall proceed in strict accordance with the terms and conditions contained in the Development Order, the General Site Development Plan, the land use conditions contained herein, and all applicable rules, regulations, and ordinances of Hillsborough County.

24. Within 90 days of approval by the Hillsborough County Board of County Commissioners, the applicant shall submit to the Development Services Department a revised General Site Development Plan for certification which conforms the notes and graphic of the plan to the conditions outlined above and the Land Development Code (LDC). Subsequent to certification of the plan, if it is determined the certified plan does not accurately reflect the conditions of approval or requirements of the LDC, said plan will be deemed invalid and certification of the revised plan will be required.

Staff's Recommendation: Approvable, Subject to Conditions	
Zoning Administrator Sign-off:	 J. Brian Grady Mon May 10 2021 12:29:27

B. HEARING SUMMARY

This case was heard by the Hillsborough County Land Use Hearing Officer on May 17, 2021. Mr. Brian Grady of the Hillsborough County Development Services Department introduced the petition.

Applicant

Mr. Michael Horner spoke on behalf of the applicant, BG Ventures, LLC. Mr. Horner introduced Scott Hinrichs of Caladesi Construction, and Greg Soulliere of BG Ventures LLC.

Mr. Horner explained the applicant has been in this process almost a year and has had several continuances related to transportation issues, administrative variances, and design exceptions. He stated the application has full recommendations of approval and a recommendation from the Planning Commission in terms of consistency with comprehensive plan policies. He stated the application has no objections from any review agency and no word of any opposition.

Mr. Horner stated the subject property is approximately 10.9 acres located between Bloomingdale Avenue to the south, Knowles Road to the north, and Bell Shoals Road to the east. He stated the subject property is zoned PD, ASC-1, and RSC-2 with the PD occupying the southern portion of the tract. He explained the applicant is requesting to rezone the northern portion of the tract to accommodate public storage facilities and three single-family lots. He stated the subject property is in CMU-12 mixed use, 12 units per acre, which extends through the area up to Knowles Road. He explained the applicant is seeking approval for 9,700 square feet of enclosed storage, 22,844 square feet of covered storage for boats and RVs, et cetera, and is incorporating the existing three-story 66,000-square-foot public storage building. Mr. Horner pointed out the existing public storage on the PD and the north portion of the subject property for which the applicant is seeking rezoning of the PD district. He stated the existing storage building has been in place for 30-plus years.

Mr. Horner stated the applicant coordinated with Hillsborough County for a parcel swap that is required for retention in flood compensation areas. He stated the county owns certain parcels west of Bell Shoals Road. He stated the applicant engaged in discussions and a settlement agreement was submitted into the record that allows the proposed project to have an access driveway to the east via a 43-foot-wide parcel. He explained that part of the county's pond and compensation area are within the PD and those uses will continue to be mitigation and ponds.

Mr. Horner stated that without the land swap the applicant's existing business and proposed uses would be virtually impossible to construct based on restricted access on Bloomingdale Avenue. He explained that Bloomingdale Avenue has recently been improved and restricted medians and illegal U-turn movements were added. He stated this makes it difficult for vehicles, particularly eastbound, to access the existing storage

building or the proposed storage building. Mr. Horner stated the county has widened Bell Shoals Road. Mr. Horner displayed a slide depicting the proposed access to Bell Shoals Road, the parcel strip that the applicant owns, and the 44-foot-wide parcel. He stated the applicant is incorporating the county's balance of the pond in the PD.

Mr. Horner stated the Bell Shoals improvement project allows for a full access and an alignment with a townhome PD to the east that was recently approved. He stated the access drive for the townhome PD will extend westward and allow the eastern access extension of the applicant's proposed project to align for a full median access opening.

Mr. Horner displayed the applicant's site plan and stated the plan reflects five storage buildings on the northern portion of the subject property. He stated the most northern portion of the proposed PD is a mixed-use component of three single-family lots. He stated the three lots are a little over half an acre and the applicant thought they would be on private well and septic tanks. He stated the applicant will connect with public water but did not think public sewer would be mandatory based on the limited impacts and the fact that public sewer is so far away.

Mr. Horner stated the applicant initially proposed townhomes and staff was supportive of that proposal for the CMU-12 density to be implemented under comprehensive plan Policy 1.4. He stated the applicant filed waivers for the single-family lots because some residents to the north of Knowles Road have lots zoned RSC-3 with single-family homes on septic tank and they indicated they were very concerned about attached units across the street. Mr. Horner stated the applicant amended the plan to allow for three single-family detached lots on half-acre lots.

Mr. Horner stated the proposed floor-area-ratio (FAR) is well below .50 even considering the density transfer allowed with the wetland areas of up to 158,500 square feet. He added the applicant is requesting approximately 32,500 square feet of new storage area.

Mr. Horner stated the applicant has a wetland delineation and has been working with the Environmental Protection Commission (EPC). He stated he would file in the record the EPC comments indicating no resubmittal was necessary. He stated there is a slight encroachment into the wetland area of about 300 square feet. He stated the applicant filed a variance for encroachment into the wetland setback because initially staff were concerned that this was an arbitrary access and not necessary. He stated that is not true given the Bloomingdale restricted access concerns with the turning movements. He stated that without the Bell Shoals access the project does not work.

Mr. Horner displayed a graphic showing the existing storage building on the subject property and stated it is a tight connection with wetlands on one side and the building on the other. He stated that is how it has existed and has been maintained for years. He stated staff advised the applicant over a month ago that the variance would not be necessary, so the applicant has withdrawn it. Mr. Horner stated site access exists and the Bell Shoals driveway is critical. He stated the cross-access is critical to take advantage of the full access at Bell Shoals.

Mr. Horner stated the proposed project meets the buffering and screening requirements and far exceeds the requirements on the western property line. He stated there is a large pond next to one of the buildings.

Mr. Horner stated the applicant did request a variation regarding the access driveway to Bell Shoals. He stated a 20-foot buffer was required but the site has only a 24-foot drive with 44-feet in width, which must include a buffer, sidewalk, and drainage. For that reason, the applicant is requesting a 10-foot variation to the 20-foot buffer requirement.

Mr. Horner stated in addition, staff required a PD variation for connectivity from the storage area to the single-family lot area. He stated a 20-foot Type B buffer was proposed in order to connect the sidewalk across. He stated staff initially wanted vehicular cross connection but accepted the pedestrian access. He stated the project will have a continuous proposed sidewalk path from Knowles Road down the eastern portion to a proposed east-west sidewalk connection that goes straight to Bell Shoals Road. Mr. Horner stated the applicant will construct all sidewalks in conjunction with the single-family homes.

Mr. Horner stated the applicant has requested transportation administrative variations, which have been approved. He stated these relate to the spacing requirements of the proposed access driveway to Bell Shoals Road. He stated the project will align access with the townhome project's proposed access drive connection. He stated the spacing has to do with Knowles Road separation to the driveway that was recommended for approval, and the second one is for substandard improvements because of the low-trip generation rate. He noted the staff report states improvements required to Bell Shoals Road and that this is not a condition but just a comment. He stated this will not be the case because Hillsborough County is currently widening and improving Bell Shoals Road. Mr. Horner stated the third variation is the connection between the building and the environmental area. He stated staff wanted the applicant to meet the 24-foot minimum requirement and that would have triggered more environmental mitigation to reduce impact. He stated the applicant proposed 20-feet and that proposal was accepted.

Mr. Horner introduced Mr. Hinrichs and stated Mr. Soulliere would close the applicant's comments.

Mr. Hinrichs stated he is with Caladesi Construction and has been the contractor of record for BG Ventures for the past 25 years. He stated the existing storage facility lost a turn lane access from Bloomingdale in 2018 due to road expansion. He displayed a graphic showing the area and pointed out a traffic light installed by the Dunkin' Donuts owner. He stated the applicant approached the Dunkin' Donuts owner about purchasing property that would give the storage facility access at the traffic light. He stated that proposal did not go through. He stated the applicant then met with Hillsborough County regarding access on the east side. He explained the applicant sought access via a service road, but the county denied the request because it would have been too close to the Bloomingdale access. Mr. Hinrichs stated since then the county started expanding Bell Shoals and the

applicant looked at the northern property going out to Knowles Road. He stated the applicant approached the owner of the property going out to Knowles Road and agreed on a land swap, which provided the applicant with access to Bell Shoals. He stated the applicant approached every avenue it could to expedite expansion of the business.

Mr. Soulliere stated the applicant is a 9 to 5 business and is residential oriented. He stated it is not really a commercial business. He stated it is a clean business with limited hours and is trying to run a nice residential business.

Development Services Department

Kevie Defranc, Hillsborough County Development Services Department, presented a summary of the findings and analysis as detailed in the staff report previously submitted into the record.

Planning Commission

Melissa Lienhard, Hillsborough County City-County Planning Commission, presented a summary of the findings and analysis as detailed in the Planning Commission report previously submitted into the record.

Proponents

The hearing officer asked whether there was anyone at the hearing in person or online to speak in support of the application. There were none.

Opponents

The hearing officer asked whether there was anyone at the hearing in person or online to speak in opposition to the application.

Mr. Edgardo Hernandez stated he is opposed to the drive adjacent to the wetland, which would be right behind his lot. He stated he is opposed to it because of safety and security concerns. He stated the applicant proposed to install a fence, but he believes a fence alone will not significantly secure his lot. He stated for this reason he is directly opposed to the rezoning. He stated the drive really imposes on his land.

Ms. Myrtle Cail stated in her community on Knowles Road there are homes only and no businesses. She stated it is a viable community and well-kept. She stated there have been some recent upscale new homes built in the area. She stated it is a quiet road and tree lined. She stated she does not see any lights from Bloomingdale, and she hopes the trees that are there will prevent pollution from reaching her from the thousands of cars that go down Bloomingdale. She stated she is sure the applicant will have to remove the trees that are at the back property line. She stated she knows they will try to put trees in but they do not have 50-year-old growth like the ones there now. Ms. Cail state the road is also home to the Knowles homestead that has been there for over 120 years, which has had previous historic designation. She stated properties are 1, 3, and even up to 5 and 8 acres on Knowles Road and are well-kept. She stated she has been there 44 years and others have been there longer. She stated the rezoning will allow a creep of business into the homes that have been there. She stated the project will encroach onto the back

property line that is in line with the properties up and down Knowles Road. She stated they have the same common property line, and the project will breach and come into her neighborhood, which opens up for more business. She stated hers is not a declining neighborhood. She stated the storage facility has problems and several other businesses do. She stated she did not know who planned that so the businesses could not get to their properties, but it was poor planning. Ms. Cail said it was nice the applicant would put three houses on Knowles Road, but her three acres go all the way to the back property line, and she would see all that goes on back there. She stated she would not see the homes, but she would see the new business. Ms. Cail stated she has had people visit her and say it was like paradise there. She stated if business comes in it will be like dominos falling and will destroy the area.

Development Services Department

Mr. Grady stated Development Services had nothing further.

Applicant Rebuttal

Mr. Horner stated the applicant does not want to destroy any neighborhoods, and for that reason the applicant abandoned the townhome development, which at 12 units per acre would have had 22 units. Instead, the applicant filed its plan for three single-family lots to serve as the unified incorporated PD buffer. He stated that phase is residential. He stated he is aware Ms. Cail is to the west and not to the north of Knowles Road. Mr. Horner displayed a graphic and pointed out the proposed project will have a retention pond and a buffer to the west and is proposing tree plantings to augment the existing trees and will have a 6-foot PVC 100 percent opaque fence. Mr. Horner stated the buildings will be one-story and architecturally finished. He stated this is a passive, quiet use that will be gated with secure, 24-hour video surveillance. Mr. Horner stated the applicant has accommodated Ms. Cail's privacy and that the townhomes would have had more impact than the three single-family homes.

Mr. Horner stated the driveway adjacent to Mr. Fernandez's property will have a 6-foot-high, 100 percent opaque PVC fence and Type B screening. He stated the applicant is only asking for reduction in width. He stated this is a low trip generation use and will be screened, secured, and gated. He added the driveway will be a private road that will be gated and secured. He stated the applicant wants to assure Mr. Fernandez and respects his right for his existing single-family home.

Mr. Horner stated Condition 15 requires no septic tank use in the Urban Service Area. He stated this has been difficult because the applicant has in its narrative and site plan indicated it seeks to construct on-site private septic. He stated Mr. Grady informed him that a recent LDC update prohibits septic tank use in the Urban Service Area. He stated this will be difficult for the applicant because it will have three single-family homes and a 16-inch force main under high pressure that will require a jack and bore. He stated the applicant's plans were predicated on the three single-family lots being used with septic tank, which is why the applicant allocated one-half acre lots. He stated it has been frustrating to find out a week before the hearing that the project cannot use septic tanks.

The hearing officer closed the hearing on rezoning 21-0123.

C. EVIDENCE SUBMITTED

The applicant's representative, Mr. Horner, submitted into the record at the hearing the following: Environmental Protection Commission's Agency Comment Sheet; email correspondence; site plan.

D. FINDINGS OF FACT

1. The subject parcel consists of approximately 11 acres located at 912 East Bloomingdale Avenue, which is northwest of the Bell Shoals Road and Bloomingdale Avenue intersection.
2. The subject property is zoned PD 88-0103 as most recently modified by Personal Appearance (PRS) 19-0142, and ASC-1, and RSC-2. The subject property is currently developed with a self-storage facility.
3. The subject property is designated CMU-12 on the *Future of Hillsborough Comprehensive Plan for Unincorporated Hillsborough County* Future Land Use Map. The subject property is within the boundary of the Brandon Community Plan and is in the Urban Services Area.
4. The applicant has requested to rezone the subject property to PD 21-0123 to allow expansion of the existing self-storage operation and the addition of a three-lot residential single-family subdivision.
5. The proposed project access on Bell Shoals Road is contingent on approval of a land swap between the developer and Hillsborough County.
6. Properties adjacent to the subject property are zoned ASC-1 and PD to the west, PD to the south, and RSC-2, PD, and OR to the east, and RSC-3 to the north. The surrounding area includes a mix of residential, office, and high intensity commercial uses. The proposed PD zoning is compatible with existing zoning districts and the development pattern in the surrounding area.
7. The applicant has requested to construct an onsite private septic system and drain field for sanitary waste disposal, which the LDC does not permit for the three-lot residential subdivision in the Urban Services Area. Public potable water and wastewater are available to the subject property, and the project will be required to connect to public water and wastewater systems.
8. The applicant has requested an administrative variance from Hillsborough County Land Development Code (LDC) section 6.04.03.L., which would have required improvements to Bell Shoals Road. The County Engineer has found the request approvable.

9. The applicant has requested an administrative variance from LDC section 6.04.07, to allow reduction of the minimum access spacing from 245 feet to 185 feet from the next closest driveway connection to the south along Bell Shoals Road. The County Engineer has found the request approvable.
10. The applicant has requested a design exception to reduce the Typical Detail-2 minimum drive aisle width requirement of 24 feet to 20-feet for a portion of the internal driveway between the existing storage building and the proposed new storage uses. The County Engineer has found the request approvable.
11. The applicant has requested a variation to LDC section 6.06.06 to allow a sidewalk encroachment into the area where a 20-foot landscape buffer is required. The applicant has also requested a variation to LDC section 6.06.06 to allow a 10-foot landscape buffer in an area where a 20-foot buffer is required.
12. The LDC at section 5.03.06.C.6. provides that the requirements of Part 6.06.00, Landscaping, Irrigation, and Buffering, may be varied as part of a PD based on the criteria enumerated in section 5.03.06.C.6.b. The Zoning Hearing Master's recommendation shall include a finding regarding whether the variations requested as part of a PD rezoning meet the criteria.

Findings on LDC 5.03.06.C.6.b. variation criteria:

- 1. The variation is necessary to achieve creative, innovative, and/or mixed-use development that could not be accommodated by strict adherence to current regulations.**

Variation to allow sidewalk encroachment into landscape buffer area. Yes. The proposed project is a mixed-use development, which requires connectivity. However, the two uses included in the proposed project are incompatible for the purpose of sharing the same access road. The variation will provide connectivity by allowing a 5-foot-wide sidewalk along the eastern 20-foot buffer area from the south gated access to the storage parcel north to Knowles Road. This will provide pedestrian connectivity from the residential parcels oriented to Knowles Road south to the storage parcel and eastward along the proposed access road to Bell Shoals Road.

Variation to allow 10-foot landscape buffer in an area where 20-foot buffer is required. Yes. The proposed project is a mixed-use development and is subject to approval of a land swap between Hillsborough County and the applicant to allow a driveway connection to Bell Shoals Road. The proposed land swap consists of an area that is 302 feet in length and 44 feet in width. The width is not sufficient to accommodate the 24-foot-wide access driveway plus drainage, recovery areas, a 5-foot sidewalk, and a 20-foot buffer. A reduction of the buffer

to 10 feet will accommodate the access driveway and necessary improvements within the 44-foot-wide land swap area.

2. The variation is mitigated through enhanced design features that are proportionate to the degree of variation.

Variation to allow sidewalk encroachment into landscape buffer area. Yes. The sidewalk encroaches only 5 feet into the 20-foot buffer area and provides the benefit of connectivity from Knowles Road south to a pedestrian gate at the western end of the Bell Shoals access driveway. The 20-foot buffer will include screening that consists of tree and vegetation plantings, and a 6-foot-high opaque fence. These features adequately mitigate the variation.

Variation to allow 10-foot landscape buffer in an area where 20-foot buffer is required. Yes. The site is designed so that no buildings or land uses are proposed along the driveway access from Bell Shoals Road. A county-owned drainage pond will be located south of the access driveway. The Bell Shoals access will be gated and secured for use only by patrons of the storage facility. The buffer area will provide full Type B screening, including 6-foot-high PVC opaque fencing. The design features adequately mitigate the variation.

3. The variation is in harmony with the purpose and intent of the Hillsborough County Land Development Code.

Variation to allow sidewalk encroachment into landscape buffer area. Yes. The variation will allow the site to provide connectivity within the development and will accommodate a mixed-use project that meets the compatibility and consistency requirements of the LDC and comprehensive plan.

Variation to allow 10-foot landscape buffer in an area where 20-foot buffer is required. Yes. The variation will allow the site to provide connectivity within the development and will accommodate a mixed-use project that meets the compatibility and consistency requirements of the LDC and comprehensive plan.

4. The variation will not substantially interfere with or injure the rights of adjacent property owners.

Variation to allow sidewalk encroachment into landscape buffer area. The 5-foot sidewalk encroachment into the 20-foot buffer area occurs along the east boundary of a residential lot that is part of the PD unified plan. The buffer will otherwise provide screening that consists of fencing and landscaping and will provide adequate protection to adjacent properties. The variation will not substantially interfere with or injure the rights of adjacent property owners.

Variation to allow 10-foot landscape buffer in an area where 20-foot buffer is required. The 10-foot buffer reduction along the Bell Shoals access roadway, together with screening that consists of fencing and landscaping, will provide adequate protection to adjacent properties. The variation will not substantially interfere with or injure the rights of adjacent property owners.

E. FINDINGS OF COMPLIANCE OR NON-COMPLIANCE WITH COMPREHENSIVE PLAN

The rezoning request is in compliance with, and does further the intent of the Goals, Objectives, and Policies of the *Future of Hillsborough Comprehensive Plan for Unincorporated Hillsborough County*.

F. CONCLUSIONS OF LAW

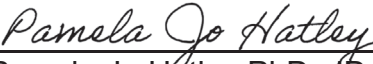
A development order is consistent with the comprehensive plan if “the land uses, densities or intensities, and other aspects of development permitted by such order...are compatible with and further the objectives, policies, land uses, and densities or intensities in the comprehensive plan and if it meets all other criteria enumerated by the local government.” § 163.3194(3)(a), Fla. Stat. (2020). Based on the evidence and testimony submitted in the record and at the hearing, including reports and testimony of Development Services Staff and Planning Commission staff, applicant’s testimony and evidence, there is substantial competent evidence demonstrating the requested rezoning is consistent with the *Future of Hillsborough Comprehensive Plan for Unincorporated Hillsborough County*, and does comply with the applicable requirements of the Hillsborough County Land Development Code.

G. SUMMARY

The applicant has requested to rezone the subject property to PD 21-0123 to allow expansion of the existing self-storage operation and the addition of a three-lot residential single-family subdivision. The proposed PD zoning is compatible with existing zoning districts and the development pattern in the surrounding area.

H. RECOMMENDATION

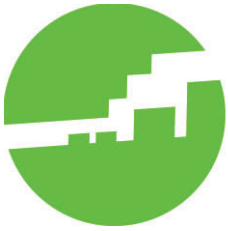
Based on the foregoing Findings of Fact and Conclusions of Law, this recommendation is for **APPROVAL** of the rezoning request.



Pamela Jo Hatley PhD, JD
Land Use Hearing Officer

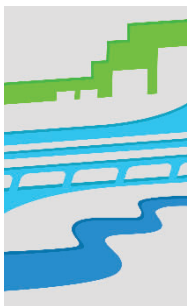
June 7, 2021

Date:



**Hillsborough County
City-County
Planning Commission**

Unincorporated Hillsborough County Rezoning	
Hearing Date: May 17, 2021 Report Prepared: May 10, 2021	Petition: 21-0123 912 E. Bloomingdale Avenue and 909 Knowles Road <i>Southwest corner of Bloomingdale Avenue and Knowles Road.</i>
Summary Data:	
Comprehensive Plan Finding:	CONSISTENT
Adopted Future Land Use:	Community Mixed-Use-12 (CMU-12)
Service Area	Urban
Community Plan:	Brandon
Requested Zoning:	Agricultural Single-Family Conventional-1 (ASC-1), Residential Single-Family Conventional-2 (RSC-2) and Planned Development to a Planned Development (PD) to permit a maximum of 92,760 square feet of mini storage with recreational vehicles and boat storage and 3 single family homes.
Parcel Size (Approx.):	+/-10.9 acres
Street Functional Classification:	Bloomingdale Avenue – Arterial Knowles Road – Local
Locational Criteria	N/A in CMU-12
Evacuation Zone	The subject property is not within an Evacuation Zone



Plan Hillsborough
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 813 – 272 – 5940
 601 E Kennedy Blvd
 18th floor
 Tampa, FL, 33602

Context

- The approximately 10.9-acre site is currently developed with mini-storage and is located at the northwest quadrant of Bloomingdale Avenue and Knowles Road. The subject site is in the Urban Service Area and within the Suburban District of the Brandon Community Planning Area.
- The subject site's Future Land Use designation is Community Mixed Use-12 (CMU-12). Typical allowable uses in the CMU-12 category include residential, community scale retail commercial, office uses, research corporate park uses, light industrial multi-purpose and clustered residential and/or mixed-use projects at appropriate locations. Non-residential land uses must be compatible with residential uses through established techniques of transition or by restricting the location of incompatible uses. Agricultural uses may be permitted pursuant to policies in the agricultural objective areas of the Future Land Use Element.
- Surrounding Future Land Use classifications include additional CMU-12 to the west, east and south most of which are primarily developed with non-residential uses to the east and south. However, there is some single family residential along the western and northeastern boundary of the site. North of the site is designated as Residential-4 and is developed with single family residential.
- The subject property is identified as agricultural with Agricultural Single-Family Conventional-1 (ASC-1), Planned Development (PD) and Residential Single Family Conventional-2 (RSC-2) zoning. Single-family, commercial, and a public use abuts the eastern boundary of the site and are designated with both Planned Development (PD) Office Residential (OR) and Residential Single Family Conventional-2 (RSC-2) zoning. South of the site along Bloomingdale Avenue is developed with commercial uses and is designated Planned Development. North of the site is developed with single family residential uses and has a Residential Single Family Conventional-3 (RSC-3) zoning.
- The applicant is requesting to rezone the subject site from Agricultural Single-Family Conventional-1 (ASC-1), Residential Single-Family Conventional-2 (RSC-2) and Planned Development to a Planned Development (PD) to allow for the development of a maximum of 92,760 square feet of mini storage with covered recreational vehicles and boat storage and 3 single family homes.

Compliance with Comprehensive Plan:

The following Goals, Objectives, and Policies apply to this rezoning request and are used as a basis for a consistency finding.

Future Land Use Element

Urban Service Area (USA)

Objective 1: Hillsborough County shall pro-actively direct new growth into the urban service area with the goal that at least 80% of all population growth will occur within the USA during the planning horizon of this Plan. Within the Urban Service Area, Hillsborough County will not impede agriculture. Building permit activity and other similar measures will be used to evaluate this objective.

Policy 1.2: Minimum Density

All new residential or mixed-use land use categories within the USA shall have a density of 4 du/ga or greater unless environmental features or existing development patterns do not support those densities.

Within the USA and in categories allowing 4 units per acre or greater, new development or redevelopment shall occur at a density of at least 75% of the allowable density of the land use category, unless the development meets the criteria of Policy 1.3.

Policy 1.3: Within the USA and within land use categories permitting 4 du/ga or greater, new rezoning approvals for residential development of less than 75% of the allowable density of the land use category will be permitted only in cases where one or more of the following criteria are found to be met:

- Development at a density of 75% of the category or greater would not be compatible (as defined in Policy 1.4) and would adversely impact with the existing development pattern within a 1,000-foot radius of the proposed development.
- Infrastructure (Including but not limited to water, sewer, stormwater and transportation) is not planned or programmed to support development.
- Development would have an adverse impact on environmental features on the site or adjacent to the property.
- The site is located in the Coastal High Hazard Area.
- The rezoning is restricted to agricultural uses and would not permit the further subdivision for residential lots.

Policy 1.4: Compatibility is defined as the characteristics of different uses or activities or design which allow them to be located near or adjacent to each other in harmony. Some elements affecting compatibility include the following: height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor and architecture. Compatibility does not mean “the same as.” Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development.

Land Use Categories

Objective 8: The Future Land Use Map will include Land Use Categories which outline the maximum level of intensity or density and range of permitted land uses allowed and planned for an area. A table of the land use categories and description of each category can be found in Appendix A.

Policy 8.1: The character of each land use category is defined by building type, residential density, functional use, and the physical composition of the land. The integration of these factors sets the general atmosphere and character of each land use category. Each category has a range of potentially permissible uses which are not exhaustive, but are intended to be illustrative of the character of uses permitted within the land use designation. Not all of those potential uses are routinely acceptable anywhere within that land use category.

Policy 8.2: Each potential use must be evaluated for compliance with the goals, objectives, and policies of the Future Land Use Element and with applicable development regulations.

Policy 8.7: Calculation of density/intensity of conservation and preservation land must follow the provisions of the Environmentally Sensitive Land Credit outlined in Policy 13.3.

Relationship to Land Development Regulations

Objective 9: All existing and future land development regulations shall be made consistent with the Comprehensive Plan, and all development approvals shall be consistent with those development regulations as per the timeframe provided for within Chapter 163, Florida Statutes. Whenever feasible and consistent with Comprehensive Plan policies, land development regulations shall be designed to provide flexible, alternative solutions to problems.

Policy 9.1: Each land use plan category shall have a set of zoning districts that may be permitted within that land use plan category, and development shall not be approved for zoning that is inconsistent with the plan.

Policy 9.2: Developments must meet or exceed the requirements of all land development regulations as established and adopted by Hillsborough County, the state of Florida and the federal government unless such requirements have been previously waived by those governmental bodies.

Neighborhood/Community Development

Objective 16: Neighborhood Protection The neighborhood is a functional unit of community development. There is a need to protect existing neighborhoods and communities and those that will emerge in the future. To preserve, protect and enhance neighborhoods and communities, all new development must conform to the following policies.

Policy 16.1: Established and planned neighborhoods and communities shall be protected by restricting incompatible land uses through mechanisms such as:

- a) locational criteria for the placement of non-residential uses as identified in this Plan,
- b) limiting commercial development in residential land use categories to neighborhood scale;
- c) requiring buffer areas and screening devices between unlike land uses;

Policy 16.2: Gradual transitions of intensities between different land uses shall be provided for as new development is proposed and approved, through the use of professional site planning, buffering and screening techniques and control of specific land uses.

Policy 16.3: Development and redevelopment shall be integrated with the adjacent land uses through:

- a) the creation of like uses; or
- b) creation of complementary uses; or
- c) mitigation of adverse impacts; and
- d) transportation/pedestrian connections

Policy 16.8: The overall density and lot sizes of new residential projects shall reflect the character of the surrounding area, recognizing the choice of lifestyles described in this Plan.

Policy 16.10: Any density increase shall be compatible with existing, proposed or planned surrounding development. Compatibility is defined as the characteristics of different uses or activities or design which allow them to be located near or adjacent to each other in harmony. Some elements affecting compatibility include the following: height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor and architecture. Compatibility does not mean "the same as". Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development.

Mixed Use Land Use Categories

Objective 19: All development in the mixed-use categories shall be integrated and interconnected to each other.

Policy 19.1: Larger new projects proposed in all mixed-use plan categories shall be required to develop with a minimum of 2 land uses in accordance with the following:

- Requirements for 2 land uses will apply to properties 10 acres or greater in the RMU-35, UMU-20, and CMU-12 land use categories, and to properties 20 acres or greater in the SMU-6 and NMU-4 land use categories.
- At least 10% of the total building square footage in the project shall be used for uses other than the primary use.
- The mix of uses may be horizontally integrated (located in separate building). Horizontal integration may also be achieved by utilizing off-site uses of a different type located within $\frac{1}{4}$ mile of the project, on the same side of the street of a collector or arterial roadway connected by a continuous pedestrian sidewalk.
- The land uses that may be included in a mixed-use project include: retail commercial, office, light industrial, residential, residential support uses, and civic uses provided that the use is permitted in the land use category.
- These requirements do not apply within $\frac{1}{2}$ of a mile of an identified Community Activity Centers (if other mixed-use standards have been adopted for that area or when the project is exclusively industrial).

Policy 19.2: In the mixed use land use categories, when two or more uses are required on the same project, then the development shall be implemented through a zoning district that demonstrates street connectivity, description of land uses, and site placement, access locations and internal connections at a minimum.

Conservation and Aquifer Recharge Element

Wetlands and Floodplain Resources

Objective 4: The County shall continue to apply a comprehensive planning-based approach to the protection of wetland ecosystems assuring no net loss of ecological values provided by the functions performed by wetlands and other surface waters authorized for projects in Hillsborough County, consistent with the Uniform Mitigation Assessment Method. The County shall work with the Environmental Protection Commission, the Southwest Florida Water Management District, the Florida Department of Environmental Protection, and the Tampa Bay Estuary Program to achieve a measurable annual increase in ecological values provided by the functions performed by wetlands and other surface waters. It shall be the County's intent to maintain optimum wetland functions as well as acreage.

Policy 4.1: The County shall, through the land use planning and development review processes, and in cooperation with the Environmental Protection Commission, continue to conserve and protect wetlands from detrimental physical and hydrological alteration.

Policy 4.3: The County shall, through the land planning and development review processes, and in cooperation with the Environmental Protection Commission, continue to prohibit unmitigated encroachment into wetlands.

Livable Communities Element: Brandon

Goal 6: Re-establish Brandon's historical, hospitable, and family oriented character through thoughtful planning and forward-thinking development practices by concentrating density in certain areas to preserve the semi-rural lifestyle of other areas. Attempt to buffer and transition uses in concentric circles where possible with most intense uses in an area at a node (intersection) and proceeding out from there. Create a plan for how areas could be developed and redeveloped for the future. Each of these areas would have potential for different building heights, parking configurations, fencing, buffering, landscape requirements, special use limitations, and design standards. These standards apply to new construction on infill property, redevelopment of undesirable areas and renovation of existing buildings. The primary consideration of all changes should be compatibility with existing structures to ensure neighborhood preservation.

5. *General design characteristics for each Brandon Character District are described below. The design characteristics are descriptive as to the general nature of the vicinity and its surroundings and do not affect the Future Land Use or zoning of properties in effect at the time of adoption of the Brandon Community Plan. Any proposed changes to the zoning of property may proceed in accordance with the Land Development Code.*

d. Suburban - Primarily residential area of single-family detached homes with side and perimeter yards on one-quarter acre or less. Mixed-use is usually confined to certain intersection locations. This district has a wide range of residential building types: single-family detached, single-family attached and townhouses. Setbacks and street canopy vary. Streets typically define medium-sized blocks. New development/redevelopment would be required to build internal sidewalks and connect to existing external sidewalks or trails.

Staff Analysis of Goals, Objectives and Policies:

The applicant is requesting to rezone the subject site from Agricultural Single-Family Conventional-1 (ASC-1), Residential Single-Family Conventional-2 (RSC-2) and Planned Development to a Planned Development (PD). The Planned Development proposes 60,216 square feet of enclosed mini storage, 22,844 square feet of covered recreational vehicles and boat storage and 3 single family homes.

According to Policy 1.3 of the Future Land Use Element, developments within the Urban Service Area and within land use categories permitting 4 du/ga or greater are to develop at no less than 75% of the allowable density of the land use category, unless meeting certain criteria. The applicant is proposing 3 single family homes on 1.71 acres. With 1.71 acres, 75% of the plan category for CMU-12 translates to a minimum density requirement of 15 units. Due to the larger single-family lot pattern along this portion of Knowles Road, the proposed use would meet the exception to minimum density due to compatibility.

The applicant is proposing a total of 92,760 square feet of non-residential uses. The non-residential portion of the site contains 7.28 acres. The development could be considered for up to 158,558 sq ft of non-residential uses. (7.28 acres X 43,560 square feet X .50 FAR =158,558 sq. ft.). The applicant is requesting less than what can be considered on the site. Future Land Use Element Policy 19.1 requires sites 10 acres or greater in the CMU-12 Future Land use category to develop with a minimum of 2 land uses. Furthermore, according to Policy 19.1 at least 10% of the total square footage of the building must be designated for a second use. In this case, since the applicant is proposing residential as

the second use, acreage is being used as the 10% threshold. The applicant is meeting the intent by providing 1.71 acres of the 10± acre site. The applicant is proposing a mixture of single - family residential units and commercial uses. Additionally, all development in the mixed-use categories shall be integrated and interconnected to each other. A pedestrian connection between the two uses is being proposed. The applicant is meeting the intent of Objective 19 and Policy 19.1. To guarantee a development that provides a mixture of uses, as part of condition of approval a timing mechanism has been put in place.

There are approximately 1.94 acres of wetlands present on the site. The Environmental Protection Commission (EPC) Wetlands Division has reviewed the proposed rezoning. The EPC has determined a resubmittal is not necessary for the site plan's current configuration. If the site plan changes, EPC staff will need to review the zoning again. Planning Commission staff finds this request consistent given that there is a separate approval process for wetland impacts with the Environmental Protection Commission.

The subject property is in a unique area with low density residential and intensive Future Land Use classifications. In the vicinity of the northern portion of the site, the development pattern includes large lot single family residential. The southern boundary of the site is developed with commercial uses (convenience store and fast-food restaurant). Objective 16 and its accompanying policies 16.2 and 16.3 provide direction on achieving compatibility with surrounding land uses through various transitions, buffering and site planning techniques. The applicant has provided several buffering and screening measures to mitigate for any adverse effects on the surrounding area. Policy 1.4 states that "*compatibility does not mean "the same as". Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development.*" Because the applicant has covered the RV/boat storage, as well as provided a 20 foot buffer with a 6 foot opaque fence along the western boundary of the site, this mitigates any impacts to the adjacent single-family to the west, which is in keeping with the character of the area.

The subject property is located within the limits of the Suburban District within the Brandon Community Plan. This district is described as allowing mixed-use development however does not specify the exact locations. The proposed use supports the vision of the Brandon Community Plan by providing a mixed- use project.

Overall, the proposed Planned Development is consistent with the Goals, Objectives, and Policies of the *Future of Hillsborough Comprehensive Plan for Unincorporated Hillsborough County*, and is compatible with the existing and planned development pattern found in the surrounding area.

Recommendation

Based upon the above considerations, the Planning Commission staff finds the proposed Planned Development **CONSISTENT** with the *Future of Hillsborough Comprehensive Plan for Unincorporated Hillsborough County*.

HILLSBOROUGH COUNTY FUTURE LAND USE

RZ PD 20-0123

<all other values>

- Rezoning**
- APPROVED
 - CONTINUED
 - DENIED
 - WITHDRAWN
 - PENDING

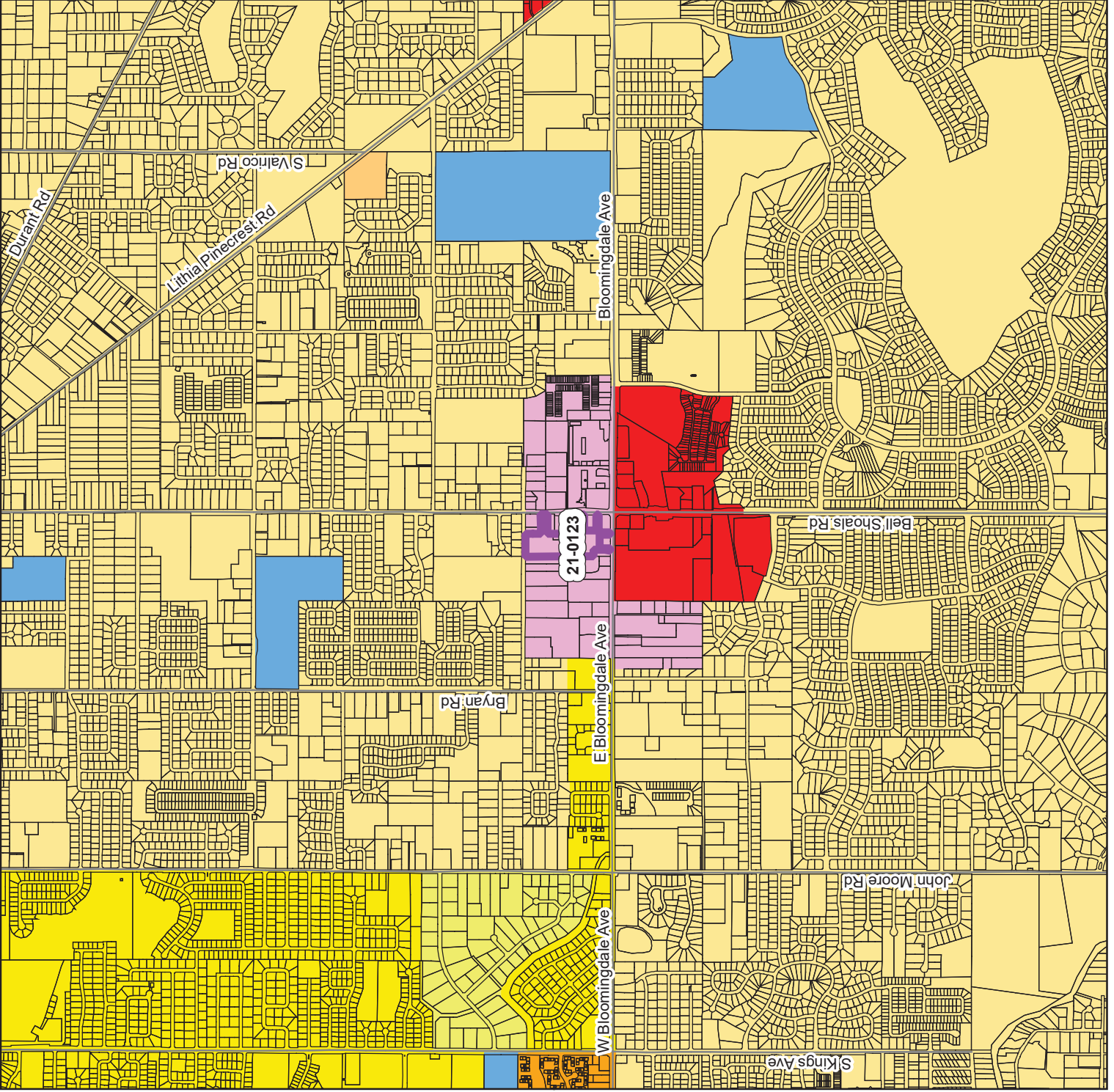
- Tampa Service
- Urban Service
- Shoreline
- County Boundary
- Jurisdiction Boundary
- Major Roads
- Parcels

- AGRICULTURAL/MINING-120 (.25 FAR)
- PEC PLANNED ENVIRONMENTAL COMMUNITY-1/2 (.25 FAR)
- AGRICULTURAL-1/10 (.25 FAR)
- AGRICULTURAL/RURAL-1/5 (.25 FAR)
- AGRICULTURAL ESTATE-1/2.5 (.25 FAR)
- RESIDENTIAL-1 (.25 FAR)
- RESIDENTIAL-2 (.25 FAR)
- RESIDENTIAL PLANNED-2 (.35 FAR)
- RESIDENTIAL-4 (.25 FAR)
- RESIDENTIAL-6 (.25 FAR)
- RESIDENTIAL-9 (.35 FAR)
- RESIDENTIAL-12 (.35 FAR)
- RESIDENTIAL-16 (.35 FAR)
- RESIDENTIAL-20 (.35 FAR)
- RESIDENTIAL-35 (1.0 FAR)
- NEIGHBORHOOD MIXED USE-4 (3) (.35 FAR)
- SUBURBAN MIXED USE-6 (.35 FAR)
- COMMUNITY MIXED USE-12 (.50 FAR)
- URBAN MIXED USE-20 (1.0 FAR)
- REGIONAL MIXED USE-35 (2.0 FAR)
- OC-20
- RESEARCH CORPORATE PARK (1.0 FAR)
- ENERGY INDUSTRIAL PARK (.50 FAR USES OTHER THAN RETAIL, .25 FAR RETAIL/COMMERCE)
- LIGHT INDUSTRIAL PLANNED (.50 FAR)
- LIGHT INDUSTRIAL (.50 FAR)
- HEAVY INDUSTRIAL (.50 FAR)
- PUBLIC/QUASI-PUBLIC
- NATURAL PRESERVATION
- WIMAUMA VILLAGE RESIDENTIAL-2 (.25 FAR)
- CITRUS PARK VILLAGE
- WATER
- WATER

DATA SOURCES: Rezoning boundaries from The Planning Commission and are not official. Parcel lines and data from Hillsborough County Property Appraiser. The rezoning data is for informational purposes only. For the most current data and information, visit the appropriate source.



Map Printed from Rezoning System: 1/19/2021
 Author: Beverly F. Daniels
 File: C:\Rezoning\System\MapProjects\HC\Georef\Rezoning.mxd





**GENERAL
SITE PLAN
FOR
CERTIFICATION**



**Hillsborough
County Florida**

**BOARD OF COUNTY
COMMISSIONERS**

Harry Cohen
Ken Hagan
Pat Kemp

Gwendolyn "Gwen" Myers
Kimberly Overman
Mariella Smith
Stacy R. White

COUNTY ADMINISTRATOR

Bonnie M. Wise

COUNTY ATTORNEY

Christine M. Beck

INTERNAL AUDITOR

Peggy Caskey

DEVELOPMENT SERVICES

PO Box 1110, Tampa, FL 33601-1110

**HILLSBOROUGH COUNTY
DEVELOPMENT SERVICES DEPARTMENT**

GENERAL SITE PLAN REVIEW/CERTIFICATION

DEPUTY COUNTY ADMINISTRATOR

Lucia E. Garsys

Project Name: _____

Zoning File: _____ **Modification:** _____

Atlas Page: _____ **Submitted:** _____

To Planner for Review: _____ **Date Due:** _____

Contact Person: _____ **Phone:** _____

Right-Of-Way or Land Required for Dedication: Yes No

() The Development Services Department HAS NO OBJECTION to this General Site Plan.

() The Development Services Department RECOMMENDS DISAPPROVAL of this General Site Plan for the following reasons:

Reviewed by: _____ **Date:** _____

Date Agent/Owner notified of Disapproval: _____



AGENCY COMMENTS

AGENCY REVIEW COMMENT SHEET

TO: Zoning Technician, Development Services Department

DATE: 5/02/2021

REVIEWER: James Ratliff, AICP, PTP

AGENCY/DEPT: Transportation

PLANNING AREA/SECTOR: BR/ Central

PETITION NO: RZ 21-0123

- This agency has no comments.
- This agency has no objection.
- This agency has no objection, subject to the listed or attached conditions.
- This agency objects for the reasons set forth below.

REPORT SUMMARY AND CONCLUSIONS

- The proposed project is anticipated to generate 264 average daily trips, 14 a.m. peak hour trips, and 28 p.m. peak hour trips).
- Vehicular access to the site will be to/from Bell Shoals Rd. and Bloomingdale Ave. The developer will be required to keep the new project access gated when not in immediate use. This is to keep traffic from the remnant commercial outparcels from utilizing the project access, given that the project did not study the impacts that opening such connection would have (i.e. whether a turn lane would be triggered).
- The applicant submitted a Section 6.04.02.B. Administrative Variance from the Section 6.04.07 access spacing requirements, which was found approvable by the County Engineer. If the rezoning is approved, the County Engineer will approve the Administrative Variance, upon which the developer shall be permitted to locate the project entry +/- 185 feet from the next closest driveway to the south. The project entry will be required to be located a minimum of 245 feet from Knowles Rd. and align with a proposed project on the east side of Bell Shoals Rd.
- Bell Shoals Rd. is a substandard collector roadway. The applicant requested a Section 6.04.02.B. Administrative Variance from the Section 6.04.03.L. requirement to improve the substandard roadway, which was found approvable by the County Engineer. If the rezoning is approved, the County Engineer will approve the Administrative Variance, upon which the developer will not be required to make improvements to Bell Shoals Rd.
- The applicant submitted a Design Exception to reduce a portion of the internal project driveway from 24-feet to 20 feet in width, which was found approvable by the County Engineer. This is to minimize wetland impacts of the proposed connection between the new and existing portions of the PD. If the rezoning is approved, the County Engineer will approve the Design Exception.
- Transportation Review Section staff has no objection to the proposed request, subject to the conditions of approval provided hereinbelow.

CONDITIONS OF APPROVAL

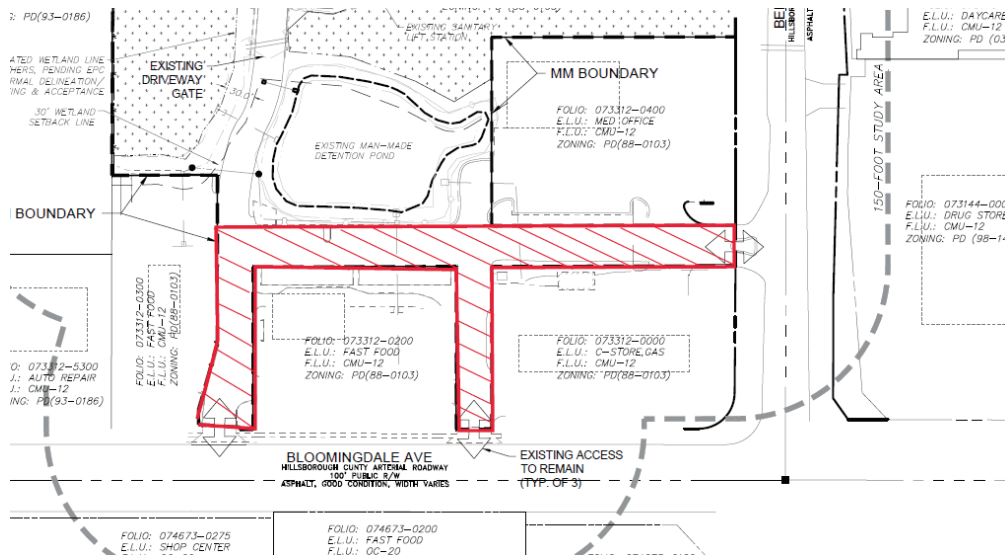
1. Notwithstanding anything on the PD site plan or herein these conditions to the contrary, bicycle and pedestrian access may be permitted anywhere along the PD boundaries.
2. If PD 21-0123 is approved, the County Engineer will approve a Section 6.04.02.B. Administrative Variance (dated April 21, 2021) which was found approvable by the County

Engineer (on May 7, 2021). Approval of this Administrative Variance will waive the Bell Shoals Rd. substandard road improvements required by Section 6.04.03.L. of the LDC.

3. If PD 21-0123 is approved, the County Engineer will approve a Section 6.04.02.B. Administrative Variance (dated April 21, 2021) which was found approvable by the County Engineer (on May 7, 2021). Approval of this Administrative Variance will permit the reduction of minimum access spacing between the project driveway and next closest driveway to the south to +/- 185 feet.
4. If PD 21-0123 is approved, the County Engineer will approve a Design Exception (dated April 21, 2021) which was found approvable by the County Engineer (on May 7, 2021). Approval of this Design Exception will permit the reduction of a portion of the internal project driveway from 24 feet to 20 feet in width.
5. The developer shall construct minimum 5-foot wide sidewalk connection between the sidewalk to be constructed along the project's Knowles Rd. frontage and the sidewalk to be constructed along the north side of the northernmost proposed access driveway to Bell Shoals Rd. Such sidewalk may be gated, but shall be available for the daily use of project patrons and residents.
6. The developer shall construct a vehicular gate on the project's northernmost access driveway to Bell Shoals Rd. Such gate shall be located outside of the minimum throat depth area, and sufficient drive aisle width shall be provided to ensure that vehicles unable to gain entry can make a three-point turn without backing out into Bell Shoals Rd. Additionally, the gate shall remain closed when not in immediate use.
7. Notwithstanding anything shown on the PD site plan to the contrary, the developer shall be required to construct sidewalks internal to the site and/or along its project frontages as required by Section 6.02.08 and 6.03.02 of the LDC.
8. Internal project driveways, as shown on the PD site plan, shall be considered Shared Access Facilities with folios 073312.0400, 073312.0000, 073312.0200 and 073312.0300. Prior to or concurrent with the initial increment of development, and provided such easements do not already exist within the official public records, the developer shall record in the Official Records of Hillsborough County a construction easement as well as any other easements necessary to permit the owner/developer of the specified adjacent properties (with which access is being shared) to construct and utilize required pedestrian and vehicular improvements within the Shared Access Facility upon (re)development of the adjacent properties without further consultation. The design and location of all connections shall be subject to the review and approval of Hillsborough County.

Other Conditions

- Prior to PD site plan certification, the applicant shall revise the PD site plan to:
 - Remove references to the Major Modification process from the PD site plan, and instead clearly show the new PD boundary;
 - Add access arrows to Knowles Rd. for each of the three proposed single-family lots;
 - Modify the label stating "Proposed Gated Access Connection to Bell Shoals Road (Gate to Remain Open During Operating Hours and Closed During Off Hours)" to read "Proposed Gated Access Connection to Bell Shoals Road – See Conditions of Approval";
 - Designate the area shown in red below by shading or hatching the corresponding area and labeling as "Shared Access Facility with Folios 073312.0400, 073312.0000, 073312.0200 and 073312.0300 – See Conditions of Approval".



- The PD site plan is not minimally compliant. Revise the PD site plan to add all required information. For example, roadway data is missing/stating right-of-way varies is insufficient. Right-of-way must be shown, and minimum and maximum width values must be depicted and labeled.

PROJECT SUMMARY AND ANALYSIS

The applicant is requesting to rezone multiple parcels, totaling +/- 11 ac., from Agricultural Single-Family Conventional – 1 (ASC-1), Residential Single-Family Conventional – 2 (RSC-2) and Planned Development (PD) #88-0103 (as most recently modified via PRS 19-0142) to PD. PRS 19-0142 is approved for 59,102 s.f. of self-storage facility with 1,800 s.f. maximum accessory private mailing service, as well as 14,155 s.f. of PD-C(N) uses. The applicant is proposing to leave behind (via a separate PRS application) the 14,155 s.f. of PD-C(N) uses and zone the remainder of the project into a new PD together with the new lands being added to its north. The proposed project will consist of 69,916 s.f. of mini-warehouse uses and

As required by Development Review Procedures Manual (DRPM), the applicant submitted a trip generation letter indicating that the project generates fewer than 50 peak hour trips and, as such, per the DRPM a trip generation and site access analysis was not required to process this zoning. Staff has calculated maximum trip generation potential of the proposed development, based upon data from the Institute of Transportation Engineer’s Trip Generation Manual, 10th Edition, utilizing a generalized worst-case scenario.

Proposed Zoning:

Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
PD, 69,916 s.f. of Mini-Warehouse uses and 22,844 s.f. of Accessory Open Storage (ITE LUC 151)	106	2	3
PD 1,800 s.f. Private Mail Service (ITE LUC 920)	130 (est.)	5	13
PD, 3 Single-Family Detached Dwelling Units (ITE LUC 210)	28	7	12
Subtotal:	264	14	28

TRANSPORTATION INFRASTRUCTURE SERVING THE SITE

Bell Shoals Rd. is a publicly maintained 2-lane, undivided, substandard collector roadway characterized by +/- 10-foot wide travel lanes in average condition. The roadway lies within a variable width right-of-way (between +/- 60 feet and +/- 70-feet in width) along the project’s frontage. There are no bicycle facilities present on Bell Shoals Rd. in the vicinity of the proposed project. There are +/- 4 and 5-foot

wide sidewalks along portions of the east and west sides of Bell Shoals Rd. in the vicinity of the proposed project.

Bloomington Ave. is a 4-lane, divided, substandard arterial roadway characterized by +/- 12-foot wide travel lanes in average condition. Along the project's frontage the roadway lies within a +/- 92 to 102-foot wide right-of-way. There are no bicycle facilities present along Bloomington Ave. There are +/- 5-foot wide sidewalks along both sides of Bloomington Ave. in the vicinity of the proposed project.

SITE ACCESS AND CONNECTIVITY

The existing PD which constitutes the southern half of this project, currently has one (1) right-in/right-out access on Bell Shoals Rd. and two (2) right-in/right-out connections to Bloomington Ave. The applicant is proposing one (1) additional access to Bell Shoals Rd. as a part of this PD application, and three (3) driveway connections to Knowles Rd. (one each to serve each of the three proposed residential dwelling units). The access would align with the proposed access for pending PD #20-1264. This access also is contingent upon the approval of a land swap between Hillsborough County and the developer.

In order to integrate and unify the development, the developer is proposing a 5-foot wide sidewalk connection between the 3 single-family dwelling units (which will take vehicular access from Knowles Rd.) and the storage uses.

The applicant is removing (via a concurrent PRS which has yet to be filed) four outparcels from the existing PD; however, this project will continue to serve as the sole means of access to those outparcels. Given the removal, staff has required the developer to record (if not already present in the official records) and easement agreement which permits the developer of those outparcels to modify the shared access facilities as may be necessary in the future to support compliance with the LDC should any of them choose to redevelop in the future.

Because there are existing gates segregating the storage uses from the remainder of the commercial uses, and since the new development is proposed to be gated, staff has proposed a condition requiring the gates to remain in place and closed except when not in immediate use. In the future, staff is open to the gates being removed (thereby allowing the northernmost connection on Bell Shoals to provide enhanced access to the remaining commercial properties); however, the applicant would be required to pursue a zoning modification and reanalyze traffic impacts to determine whether site access improvements are warranted pursuant to Section 6.04.04.D.

REQUESTED ADMINISTRATIVE VARIANCE #1

The applicant's Engineer of Record (EOR) submitted a Section 6.04.02.B. Administrative Variance Request (dated April 21, 2021) from the Section 6.04.03.L. LDC requirement, whereby the developer is required to improve Bell Shoals Rd. (between the project roadway and nearest roadway meeting County standards) to current County standards for a TS-4 collector roadway. Based on factors presented in the Administrative Variance Request, the County Engineer found the request approvable on May 7, 2021. If the rezoning is approved, the County Engineer will approve the above referenced Administrative Variance Request, upon which the developer will not be required to make improvements to the roadway.

REQUESTED ADMINISTRATIVE VARIANCE #2

The applicant's Engineer of Record (EOR) submitted a Section 6.04.02.B. Administrative Variance Request (dated and received April 21, 2021) from the Section 6.04.07 LDC requirement governing access. The Hillsborough County LDC requires a minimum connection spacing of 245 feet for Class 6 roadways. Based on factors presented in the Administrative Variance Request, the County Engineer found the request approvable on May 7, 2021. If the rezoning is approved, the County Engineer will approve the above referenced Administrative Variance Request, upon which the developer will be permitted to locate the Bell Shoals Rd. access +/- 185 feet from the next closest driveway connection to the south.

REQUESTED DESIGN EXCEPTION

In accordance with Section 1.7.2. and other applicable sections of the Transportation Technical Manual (TTM), the applicant’s Engineer of Record (EOR) submitted a Design Exception request from the Typical Detail – 2 (TD-2) minimum drive aisle width requirement of 24 feet for a portion of the internal driveway between the existing storage building and proposed storage uses. Based on factors presented in the Design Exception Request, the County Engineer found the request approvable on May 7, 2021. If the rezoning is approved, the County Engineer will approve the above referenced Design Exception, upon which the developer will be permitted to construct a 20-foot wide internal driveway within the specified portion of the project.

ROADWAY LEVEL OF SERVICE (LOS)

Roadway	From	To	LOS Standard	Peak Hour Directional LOS
Bell Shoals Rd.	Lithia Pinecrest Rd.	Bloomington Ave.	D	C

Source: Hillsborough County 2019 Level of Service Report.

From: [Williams, Michael](#)
To: [Micahel Yates \(myates@palmtraffic.com\)](#); [Michael Horner](#)
Cc: [Tirado, Sheida](#); [PW-CEIntake](#); [Ratliff, James](#)
Subject: RZ PD 21-0123
Date: Friday, May 7, 2021 3:41:44 PM
Attachments: [image001.png](#)
[21-0123 DEReq OR 04-27-21.pdf](#)
[21-0123 AVReq 04-21-21_1.pdf](#)
[21-0123 AVReq OR 04-21-21 .pdf](#)
[image002.png](#)

Michael – Two variances and one design exception (attached) have been submitted for this project. All have been found to be APPROVABLE. A description with notes for each is below:

- Design Exception - Commercial Drive Aisle Width (April 26, 2021)
- Administrative Variance – Driveway Spacing (April 21, 2021)
- Administrative Variance – Substandard Road (April 19, 2021) – The request includes an unsigned letter date April 21 and a signed version of the same letter dated April 19. At the time of final approval the April 21 version will be deleted to correct this presumed scrivener's error.

If you have any questions or concerns, let me know.

Mike

Michael J. Williams, P.E.
Director, Development Review
County Engineer
Development Services Department

P: (813) 307-1851
M: (813) 614-2190
E: Williamsm@HillsboroughCounty.org
W: HCFLGov.net

Hillsborough County
601 E. Kennedy Blvd., Tampa, FL 33602

[Facebook](#) | [Twitter](#) | [YouTube](#) | [LinkedIn](#) | [HCFL Stay Safe](#)

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From: Rome, Ashley <RomeA@hillsboroughcounty.org>
Sent: Tuesday, April 27, 2021 4:31 PM
To: Ackett, Kelli <AckettK@hillsboroughcounty.org>; Albert Marrero <marreroa@plancom.org>; Alvarez, Alicia <AlvarezA@hillsboroughcounty.org>; Amber Dickerson

<amber.dickerson@sdhc.k12.fl.us>; Andrea Papandrew <papandrewa@plancom.org>; Ayesha Brinkley <ayesha.brinkley@sdhc.k12.fl.us>; Blinck, Jim <BlinckJ@HillsboroughCounty.ORG>; Brown, Gregory <BrownGr@hillsboroughcounty.org>; Cabrera, Richard <CabreraR@HillsboroughCounty.ORG>; Castro, Jason <CastroJR@HillsboroughCounty.ORG>; Santos, Daniel <daniel.santos@dot.state.fl.us>; David Skrelunas <David.Skrelunas@dot.state.fl.us>; Dickerson, Ross <DickersonR@HillsboroughCounty.ORG>; Ellen Morrison <ellen.morrison@swfwmd.state.fl.us>; Franklin, Deborah <FranklinDS@hillsboroughcounty.org>; Greg Colangelo <colangeeg@plancom.org>; Hansen, Raymond <HansenR@hillsboroughcounty.org>; Holman, Emily - PUD <HolmanE@HillsboroughCounty.ORG>; Hudkins, Michael <HudkinsM@hillsboroughcounty.org>; Hummel, Christina <HummelC@hillsboroughcounty.org>; Impact Fees <ImpactFees@hillsboroughcounty.org>; Ivana Kajtezovic <lkajtezovic@tampabaywater.org>; James Hamilton <jkhamilton@tecoenergy.com>; Jillian Massey <masseyj@plancom.org>; Jiwan Haley <haleyj@plancom.org>; Kaiser, Bernard <KAISERB@HillsboroughCounty.ORG>; Katz, Jonah <KatzJ@hillsboroughcounty.org>; Kelly O'Connor <kelly.oconnor@myfwc.com>; Mineer, Lindsey <Lindsey.Mineer@dot.state.fl.us>; Lindstrom, Eric <LindstromE@hillsboroughcounty.org>; Mackenzie, Jason <MackenzieJ@hillsboroughcounty.org>; Matthew Pleasant <matthew.pleasant@hcps.net>; McGuire, Kevin <McGuireK@HillsboroughCounty.ORG>; Melanie Ganas <mxganas@tecoenergy.com>; Melissa Lienhard <lienhardm@plancom.org>; Martin, Monica <MartinMo@hillsboroughcounty.org>; Olivia Ryall <oryall@teamhcso.com>; Perez, Richard <PerezRL@hillsboroughcounty.org>; Petrovic, Jaksa <PetrovicJ@HillsboroughCounty.ORG>; Pezone, Kathleen <PezoneK@hillsboroughcounty.org>; Ratliff, James <RatliffJa@hillsboroughcounty.org>; Hessinger, Rebecca <HessingerR@hillsboroughcounty.org>; Carroll, Richard <CarrollR@HillsboroughCounty.ORG>; Rochelle, Randy <RochelleR@HillsboroughCounty.ORG>; Rodriguez, Dan <RodriguezD@gohart.org>; Sanchez, Silvia <sanchezs@epchc.org>; Schipfer, Andy <Schipfer@epchc.org>; Shelton, Carla <SheltonC@HillsboroughCounty.ORG>; Tapley, Kimberly <tapleyk@epchc.org>; Thompson, Mike <Thompson@epchc.org>; Tony Mantegna <tmantegna@tampaairport.com>; Salisbury, Troy <SalisburyT@hillsboroughcounty.org>; Turbiville, John (Forest) <TurbivilleJ@HillsboroughCounty.ORG>; Valdez, Rick <ValdezR@HillsboroughCounty.ORG>; Yeneka Mills <millsy@plancom.org>

Cc: Grady, Brian <GradyB@HillsboroughCounty.ORG>; Defranc, Kevie <DefrancK@hillsboroughcounty.org>; Timoteo, Rosalina <TimoteoR@HillsboroughCounty.ORG>; Vazquez, Bianca <VazquezB@hillsboroughcounty.org>; Padron, Ingrid <PadronI@hillsboroughcounty.org>; Williams, Michael <WilliamsM@HillsboroughCounty.ORG>

Subject: RE RZ PD 21-0123

Good Day All,

Please be advised, we have received and uploaded to Optix **revised documents/plans** for the above mentioned application. Please review and comment.

For further information regarding the change/update please contact the assigned planner.

Planner assigned:

Planner: Kevie Defranc

Contact: defranck@hillsboroughcounty.org

Have a good one,

Ashley Rome

Planning & Zoning Technician

Development Services Dept.

P: (813) 272-5595

E: romea@hillsboroughcounty.org

W: HCFLGov.net

Hillsborough County

601 E. Kennedy Blvd., Tampa, FL 33602

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April 26, 2021

Mr. Michael Williams, P.E.
Hillsborough County Public Works
601 East Kennedy Boulevard
Tampa, Florida 33602

RE: Bloomingdale Storage (21-0123)
Design Exception – Commercial Drive Aisles Width
Folio #: 073315-0000, 073312-0100, 073315-0100,
073314-0300
Palm Traffic Project No. T21032

Dear Mr. Williams:

The purpose of this letter is to provide justification for the design exception to Hillsborough County Transportation Technical Manual TD-2, Minimum Commercial Drive Aisle Width, in association with the Bloomingdale Storage PD project. The project is located west of Bell Shoals Road and south of Knowles Road, as shown in Figure 1. The developer proposes to rezone the property to Planned Development (PD) to allow up to 60,216 square feet enclosed storage (existing), 9,700 square feet proposed additional enclosed storage, 22,844 square feet proposed covered RV/boat storage and three proposed (3) single family dwelling units. This request is made based on our discussion with James Ratliff on April 26, 2021

The project proposes to have the following access:

- one (1) full access to Bells Shoals Road across from proposed townhome project on the east side
- one (1) existing shared right-in/right-out access to Bell Shoals Road
- two (2) existing shared right-in/right-out accesses to Bloomingdale Avenue.

This request is a design exception to the Hillsborough County Transportation Technical Manual for TD-2, Minimum Commercial Drive Aisle Width. Per TD-2, as illustrated in Figure 2, the minimum commercial drive aisle width is 24 feet. However, the internal driveway connection between the existing enclosed storage building and the proposed new building is requested to be 20 feet, as shown in Figure 3. The justifications to the request are as follows:

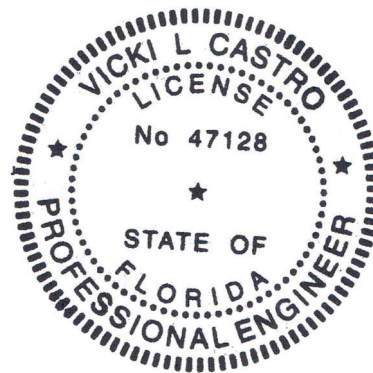
1. There is no parking along this commercial drive aisle.
2. This connection only provides internal connection within the PD and therefore would have very limited daily volume.
3. The FDOT Design Manual allows for 10-foot travel lanes when the design speed is 35 mph or less in suburban and urban areas, as shown in Figure 4.
4. The 20-foot drive isle requires a 349 SF wetland impact. Increasing the driveway width could add significant, additional impacts to the wetland. EPC has reviewed and approved the limited encroachment to these wetlands to accommodate this enhanced driveway based

upon existing conditions, necessity of access and hardship given no other way of accessing between unified ownership properties in this proposed PD. The existing wetland is forested, thus any additional encroachment or impacts beyond 20 feet will trigger new impact assessments, mitigation and compensatory plantings. (see EPC correspondence dated April 13, 2021).

- 5. EPC has conceptually approved the proposed limited impacts to the wetland. It is also noted that a prior filed LUHO Variance action (VAR 21-0469) for wetland setback encroachments was withdrawn per Development Services staff due to necessity of access and limitation of impacts associated with the minimum 20-foot proposed driveway. This Variance action may be reinstated for refiling if additional impacts are realized by the widening of this driveway to 24 feet. The applicant has worked diligently to recognize this existing driveway and minimize all associated impacts with regulatory authorities to receive current Approval recommendations.

Please do not hesitate to contact us if you have any questions or require any additional information.

Sincerely,



Vicki L Castro, P.E.
Principal

Based on the information provided by the applicant, this request is:

_____ Disapproved _____ Approved

If there are any further questions or you need clarification, please contact Benjamin Kniesly, P.E.

Sincerely,

Michael J. Williams
Hillsborough County Engineer

FIGURE 1. LOCATION MAP

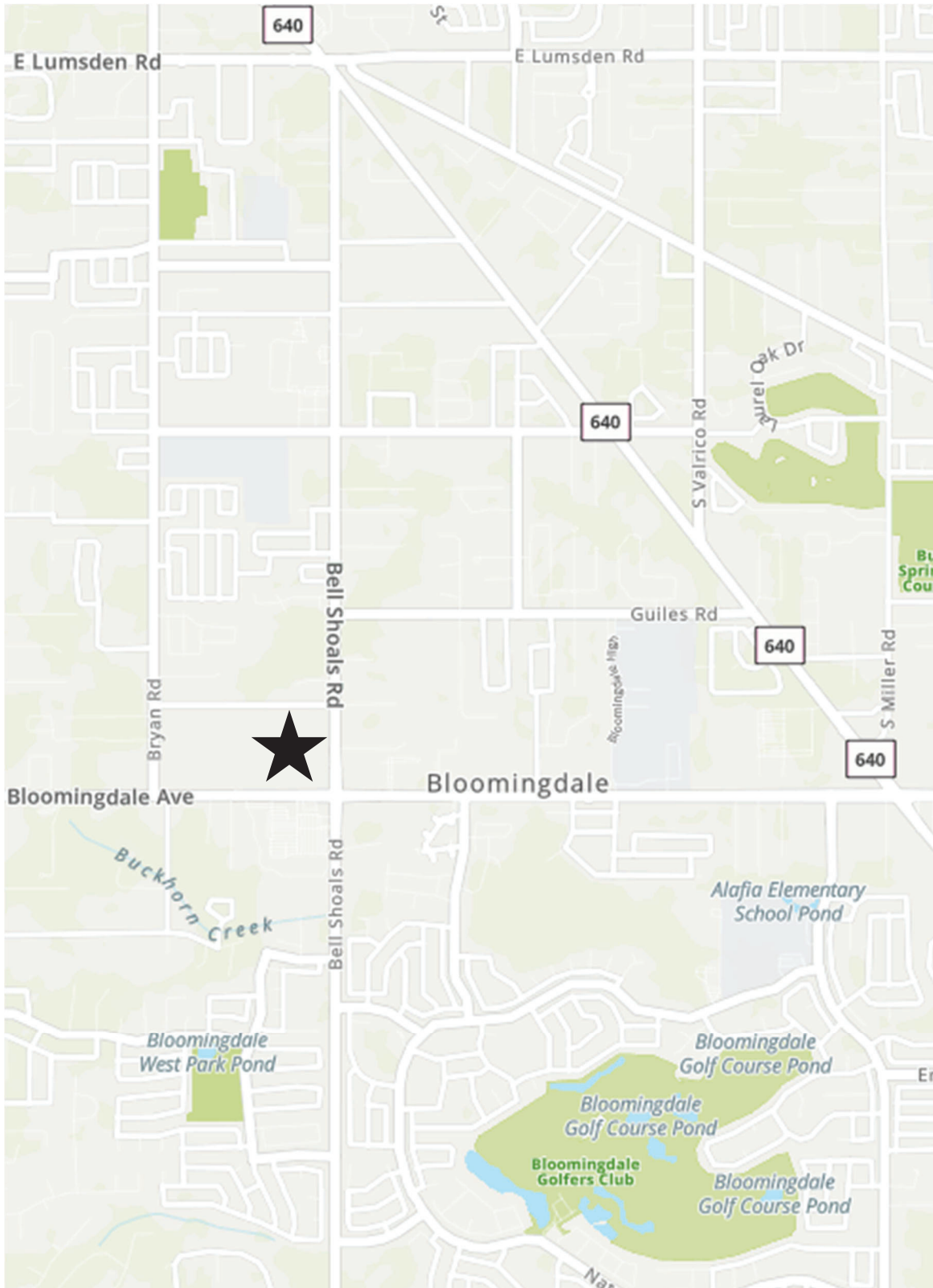
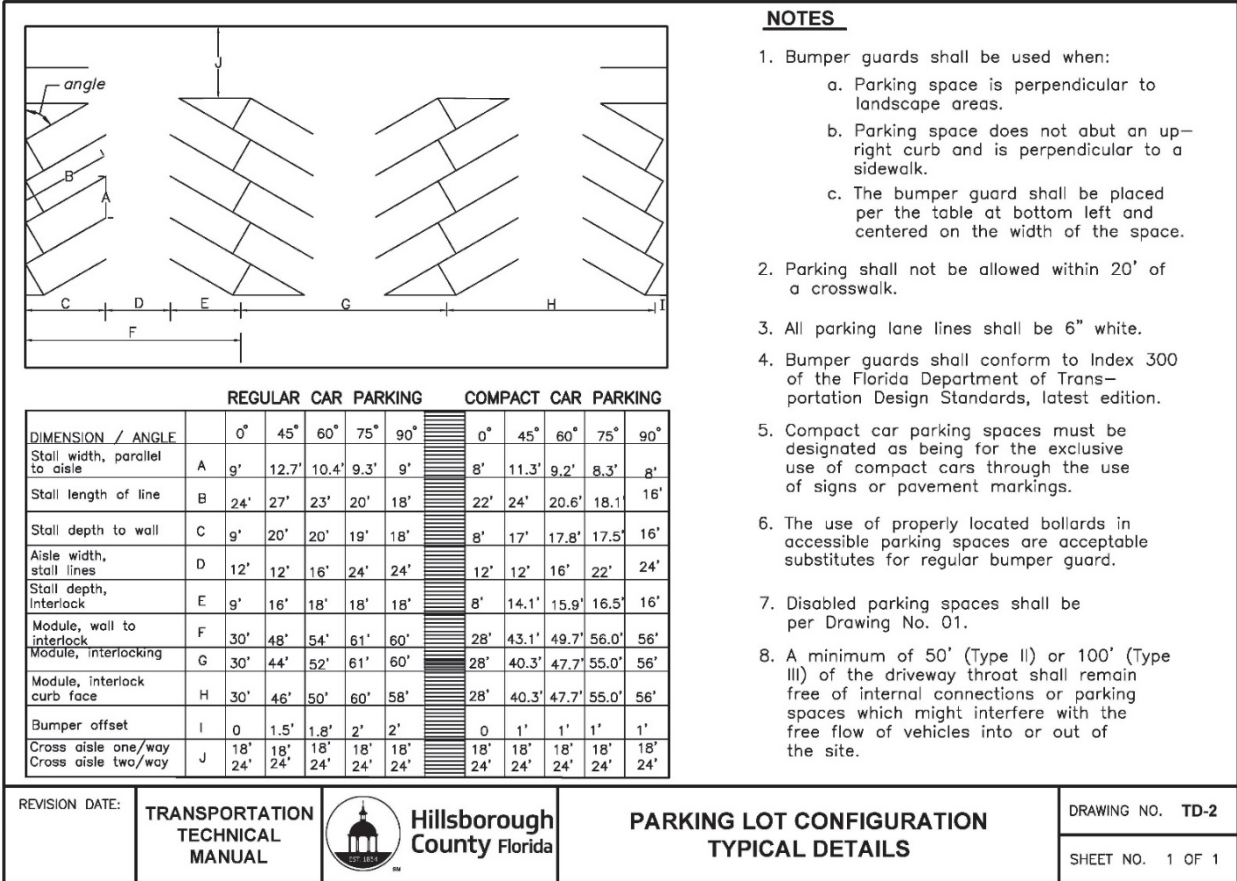


FIGURE 2. TECHNICAL DRAWING – TD-2



NOTES

1. Bumper guards shall be used when:
 - a. Parking space is perpendicular to landscape areas.
 - b. Parking space does not abut an up-right curb and is perpendicular to a sidewalk.
 - c. The bumper guard shall be placed per the table at bottom left and centered on the width of the space.
2. Parking shall not be allowed within 20' of a crosswalk.
3. All parking lane lines shall be 6" white.
4. Bumper guards shall conform to Index 300 of the Florida Department of Transportation Design Standards, latest edition.
5. Compact car parking spaces must be designated as being for the exclusive use of compact cars through the use of signs or pavement markings.
6. The use of properly located bollards in accessible parking spaces are acceptable substitutes for regular bumper guard.
7. Disabled parking spaces shall be per Drawing No. 01.
8. A minimum of 50' (Type II) or 100' (Type III) of the driveway throat shall remain free of internal connections or parking spaces which might interfere with the free flow of vehicles into or out of the site.

FIGURE 3. PROPOSED 20 FOOT DRIVEWAY WIDTH

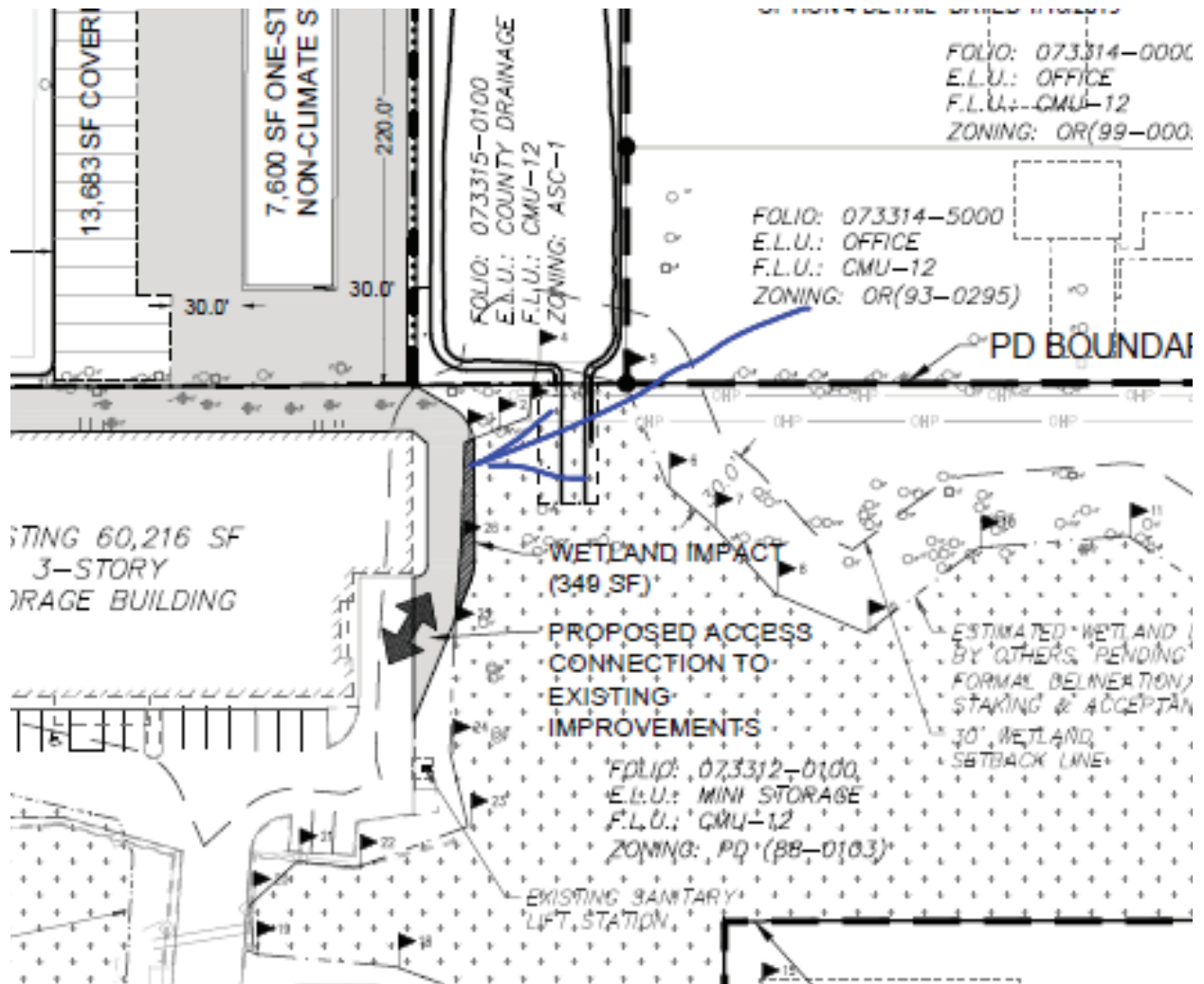


FIGURE 4. FDOT DESIGN MANUAL

Topic #625-000-002
 FDOT Design Manual

January 1, 2021

Table 210.2.1 – Minimum Travel and Auxiliary Lane Widths

Context Classification		Travel (feet)			Auxiliary (feet)			Two-Way Left Turn (feet)	
		Design Speed (mph)			Design Speed (mph)			Design Speed (mph)	
		25-35	40-45	≥ 50	25-35	40-45	≥ 50	25-35	40
C1	Natural	11	11	12	11	11	12	N/A	
C2	Rural	11	11	12	11	11	12		
C2T	Rural Town	11	11	12	11	11	12	12	12
C3	Suburban	10	11	12	10	11	12	11	12
C4	Urban General	10	11	12	10	11	12	11	12
C5	Urban Center	10	11	12	10	11	12	11	12
C6	Urban Core	10	11	12	10	11	12	11	12

Notes:

Travel Lanes:

- (1) Minimum 11-foot travel lanes on designated freight corridors, SIS facilities, or when truck volume exceeds 10% on very low speed roadways (design speed ≤ 35 mph) (regardless of context).
- (2) Minimum 12-foot travel lanes on all undivided 2-lane, 2-way roadways (for all context classifications and design speeds). However, 11-foot lanes may be used on 2-lane, 2-way curbed roadways that have adjacent buffered bicycle lanes.
- (3) 10-foot travel lanes are typically provided on very low speed roadways (design speed ≤ 35 mph), but should consider wider lanes when transit is present or truck volume exceeds 10%.
- (4) Travel lanes should not exceed 14 feet in width.

Auxiliary Lanes:

- (1) Auxiliary lanes are typically the same width as the adjacent travel lane.
- (2) Table values for right turn lanes may be reduced by 1 foot when a bicycle keyhole is present.
- (3) Median turn lanes should not exceed 15 feet in width.
- (4) For high speed curbed roadways, 11-foot minimum lane widths are allowed for the following:
 - Dual left turn lanes
 - Single left turn lanes at directional median openings.
- (5) For RRR Projects, 9-foot right turn lanes on very low speed roadways (design speed ≤ 35 mph) are allowed.

Two-way Left Turn Lanes:

- (1) Two-way left turn lanes are typically one foot wider than the adjacent travel lanes.
- (2) For RRR Projects, the values in the table may be reduced by 1-foot.

210 – Arterials and Collectors

ATTACHMENT

COMMISSION

Mariella Smith CHAIR
 Pat Kemp VICE-CHAIR
 Harry Cohen
 Ken Hagan
 Gwendolyn “Gwen” W. Myers
 Kimberly Overman
 Stacy White



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 Andy Schipfer, P.E. WETLANDS DIVISION
 Sterlin Woodard, P.E. AIR DIVISION

AGENCY COMMENT SHEET

REZONING	
<p>HEARING DATE: 5/17/2021</p> <p>PETITION NO.: 21-0123</p> <p>EPC REVIEWER: Dessa Clock</p> <p>CONTACT INFORMATION: (813) 627-2600 X1158</p> <p>EMAIL: clockd@epchc.org</p>	<p>COMMENT DATE: 4/13/2021</p> <p>PROPERTY ADDRESS: 912 E Bloomingdale Ave, 909 Knowles Rd, and Bell Shoals Rd, Brandon, FL 33511</p> <p>FOLIO #: 073312-0100, 073314-0300, 073315-0000, 073315-0100</p> <p>STR: 02-30S-20E</p>
<p>REQUESTED ZONING: PD</p>	
FINDINGS	
WETLANDS PRESENT	YES
SITE INSPECTION DATE	1/13/2021
WETLAND LINE VALIDITY	Valid through 3/23/2026
WETLANDS VERIFICATION (AERIAL PHOTO, SOILS SURVEY, EPC FILES)	Wetlands located in southeastern and southwestern portion of the project area
<p>***These comments shall supersede comments issued by EPC Wetlands Division on February 1, 2021***</p> <p>The EPC Wetlands Division has reviewed the proposed rezoning. In the site plan’s current configuration, a resubmittal is not necessary. If the zoning proposal changes and/or the site plans are altered, EPC staff will need to review the zoning again. This project as submitted is conceptually justified to move forward through the zoning review process as long as the following conditions are included:</p> <ul style="list-style-type: none"> Approval of this zoning petition by Hillsborough County does not constitute a guarantee that the Environmental Protection Commission of Hillsborough County (EPC) approvals/ permits necessary for the development as proposed will be issued, does not itself serve to justify any impact to wetlands, and does not grant any implied or vested right to environmental approvals. The construction and location of any proposed wetland impacts are not approved by this correspondence, but shall be reviewed by EPC staff under separate application pursuant to the 	

Environmental Excellence in a Changing World

EPC Wetlands rule detailed in Chapter 1-11, Rules of the EPC, (Chapter 1-11) to determine whether such impacts are necessary to accomplish reasonable use of the subject property.

- Prior to the issuance of any building or land alteration permits or other development, the approved wetland / other surface water (OSW) line must be incorporated into the site plan. The wetland/ OSW line must appear on all site plans, labeled as "EPC Wetland Line", and the wetland must be labeled as "Wetland Conservation Area" pursuant to the Hillsborough County Land Development Code (LDC).
- Final design of buildings, stormwater retention areas, and ingress/egresses are subject to change pending formal agency jurisdictional determinations of wetland and other surface water boundaries and approval by the appropriate regulatory agencies.

INFORMATIONAL COMMENTS:

The following specific comments are made for informational purposes only and to provide guidance as to the EPC review process. However, future EPC staff review is not limited to the following, regardless of the obviousness of the concern as raised by the general site plan and EPC staff may identify other legitimate concerns at any time prior to final project approval.

- The site plan depicts wetland impacts that have not been authorized by EPC. The wetland impacts are indicated as 349 square feet for a proposed access connection. If you choose to proceed with the wetland impact depicted on the plan, a separate Miscellaneous Activities in Wetlands application and appropriate fees must be submitted to this agency for review.
- The Hillsborough County Land Development Code (LDC) defines wetlands and other surface waters as Environmentally Sensitive Areas. Pursuant to the LDC, wetlands and other surface waters are further defined as Conservation Areas or Preservation Areas and these areas must be designated as such on all development plans and plats. A minimum setback must be maintained around the Conservation/Preservation Area and the setback line must also be shown on all future plan submittals.
- Any activity interfering with the integrity of wetland(s) or other surface water(s), such as clearing, excavating, draining or filling, without written authorization from the Executive Director of the EPC or authorized agent, pursuant to Section 1-11.07, would be a violation of Section 17 of the Environmental Protection Act of Hillsborough County, Chapter 84-446, and of Chapter 1-11.



**Hillsborough
County Florida**
Development Services

601 E. Kennedy Blvd., 19th Floor | (813) 272 5600

Additional / Revised Information Sheet

Received Apr 21, 2021
Development Services

Date Stamp Here

Application Number: RZ 21-0123 Applicant's Name: B&G Ventures c/o Michael D. Horner, AICP

Reviewing Planner's Name: Kevie Defranc Date: 04/21/2021

Application Type:

- Planned Development (PD)
 Minor Modification/Personal Appearance (PRS)
 Standard Rezoning (RZ)
 Variance (VAR)
 Development of Regional Impact (DRI)
 Major Modification (MM)
 Special Use (SU)
 Conditional Use (CU)
 Other Admin Variances

Current Hearing Date (if applicable): 05/11/2021

The following must be attached to this Sheet.

Cover Letter with summary of the changes and/or additional information provided. If a revised Site Plan is being submitted, all changes on the site plan must be listed in detail in the Cover Letter.

An updated Project Narrative consistent with the changes or additional information provided, if applicable.

Submittal Via:

Email (Preferred). Note that no follow up paper file is necessary. Pdf format only. Maximum attachment(s) size is 15 MB.

Email this sheet along all the additional/revised submittal items in pdf to: ZoningIntake-DSD@hcflgov.net

Mail or delivery. Number of Plans Submitted: Large _____ Small _____

For PD, MM, PRS and SU: 7 large copies 24"X36", one small 8.5X11".
 For RZ-Standard: if plot plan is larger than 8.5"X11", 7 large copies should be submitted.
 For Minor Change: 6 large copies.
 For Variances or Conditional Use permits: one 8.5"X11" or larger)

Mail to:
 Development Services Department
 Community Development Division
 P.O. Box 1110
 Tampa, FL 33601-1110

Hand Deliver to:
 County Center
 Development Services Department
 19th Floor
 601 E. Kennedy Blvd., Tampa

I certify that changes described above are the only changes that have been made to the submission. Any further changes will require an additional submission and certification.

michael d. horner

Signature

04/21/2021

Date

FOR OFFICE USE ONLY

- Notification E-Mail Sent
 Scanned into OPTIX
 Transmittal Completed

In-Take Completed by: _____



April 21, 2021

Mr. Michael Williams, P.E.
Hillsborough County Public Works
601 E. Kennedy Boulevard
Tampa, Florida 33602

RE: Bloomingdale Storage (21-0123)
Administrative Variance – Minimum Spacing
Folio #: 073315-0000, 073312-0100,
073315-0100, 073314-0300
Palm Traffic Project No. T21032

Dear Mr. Williams:

The letter documents our request for an administrative variance to Hillsborough County Land Development Code (LDC) Section 6.04.07 (minimum spacing) for the access to Bell Shoals Road for the project. The project is located west of Bell Shoals Road and south of Knowles Road, as shown in Figure 1. The developer proposes to rezone the property to Planned Development (PD) to allow up to 60,216 square feet enclosed storage (existing), 9,700 square feet proposed additional enclosed storage, 22,844 square feet proposed covered RV/boat storage and three proposed (3) single family dwelling units. This request is made based on our discussion with James Ratliff on April 9, 2021 and your discussion with Michael Horner and Michael Yates on April 19, 2021.

The project proposes to have the following access:

- one (1) full access to Bells Shoals Road across from proposed townhome project on the east side
- one (1) existing shared right-in/right-out access to Bell Shoals Road
- two (2) existing shared right-in/right-out accesses to Bloomingdale Avenue.

The access to Bell Shoals Road from the project is to align with the proposed access to serve the townhome project on the east side of Bell Shoals Road. The subject access is approximately 285' feet from Knowles Road and approximately 185' feet from the office driveway, as illustrated in Figure 2.

The request is for an Administrative Variance to Section 6.04.07 of the Hillsborough County LDC for the access spacing for the access to Bell Shoals Road. Based on Section 6.04.07, the connection spacing for Bell Shoals Road is 245 feet.

The justification variance is as follows:

a) There is unreasonable burden on the applicant

The project has frontage on Knowles Road and Bell Shoals Road. Knowles Road is a substandard local road that serves Single Family Homes. Given the status of Knowles Road, the access for the project is proposed to be via Bell Shoals Road, a County collector road.

Mr. Michael Williams
April 21, 2021
Page 2

b) The variance would not be detrimental to the public health, safety and welfare.

The proposed access will align with the proposed access for the townhome project.

Based on the above, the proposed variance is not detrimental to the health, safety, and welfare of the public.

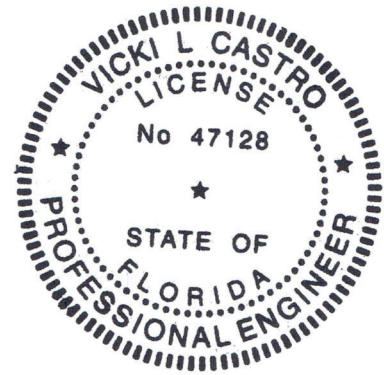
c) Without the variance, reasonable access cannot be provided.

The subject property has limited frontage along Bell Shoals Road. The location of the access was set due to the townhome project on the east side of Bell Shoals Road.

Sincerely,
Palm Traffic

**Vicki L
Castro**

Digitally signed
by Vicki L Castro
Date: 2021.04.21
10:22:13 -04'00'



Vicki L Castro, P.E.
Principal

Based on the information provided by the applicant, this request is:

_____ Disapproved _____ Approved

If there are any further questions or you need clarification, please contact Benjamin Kniesly, P.E.

Sincerely,

Michael J. Williams
Hillsborough County Engineer

Figure 1. Location Map

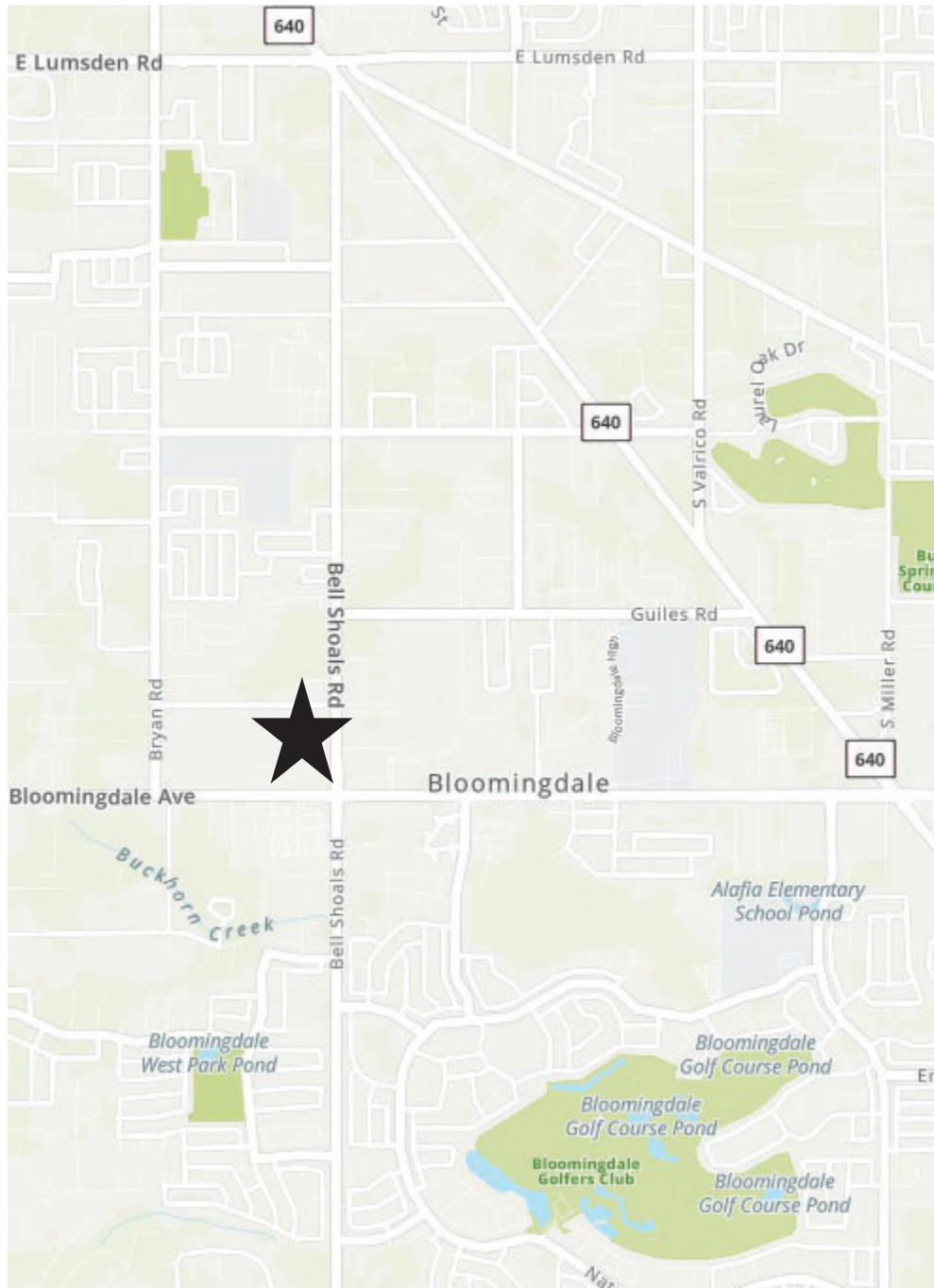
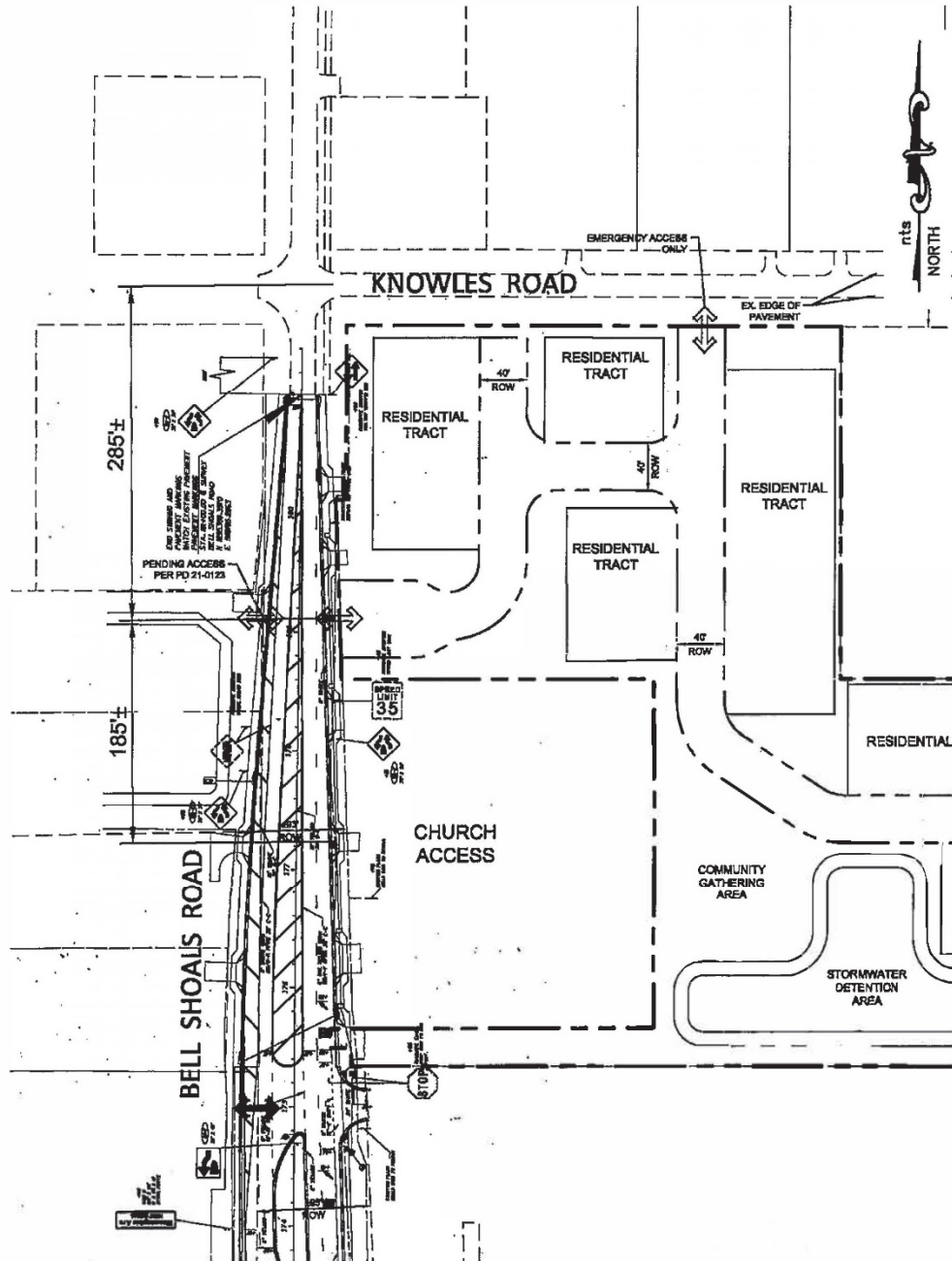


Figure 2. Driveway Spacing



APPENDIX

APPENDIX
PD PLAN

SHEET NO. 1 of 1

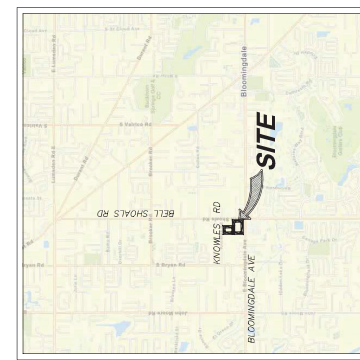
DESIGNED-JCS
DRAWN-JCS
CHECKED-MDH

GENERAL DEVELOPMENT PLAN
BLOOMINGDALE STORAGE
& SINGLE FAMILY PD
PREPARED FOR: BG VENTURES, LLC

Sec. 20, Twp. 30 Rng. 20
Date: 2020-11-19
Loc: HILLSBOROUGH CO.

MICHAEL D. HORNER, A.L.P.
PLANNING CONSULTANT
1452 NORTH DALE MARRY HWY, SUITE 200
TAMPA, FLORIDA 33618
(813) 962-2395

REVISONS
1/23/21 METLAND LINE UPDATES
1/22/21 BUFFER, BOUNDARY, AND DESIGN UPDATES
1/26/21 SIDEWALK, GATE UPDATES PER STAFF



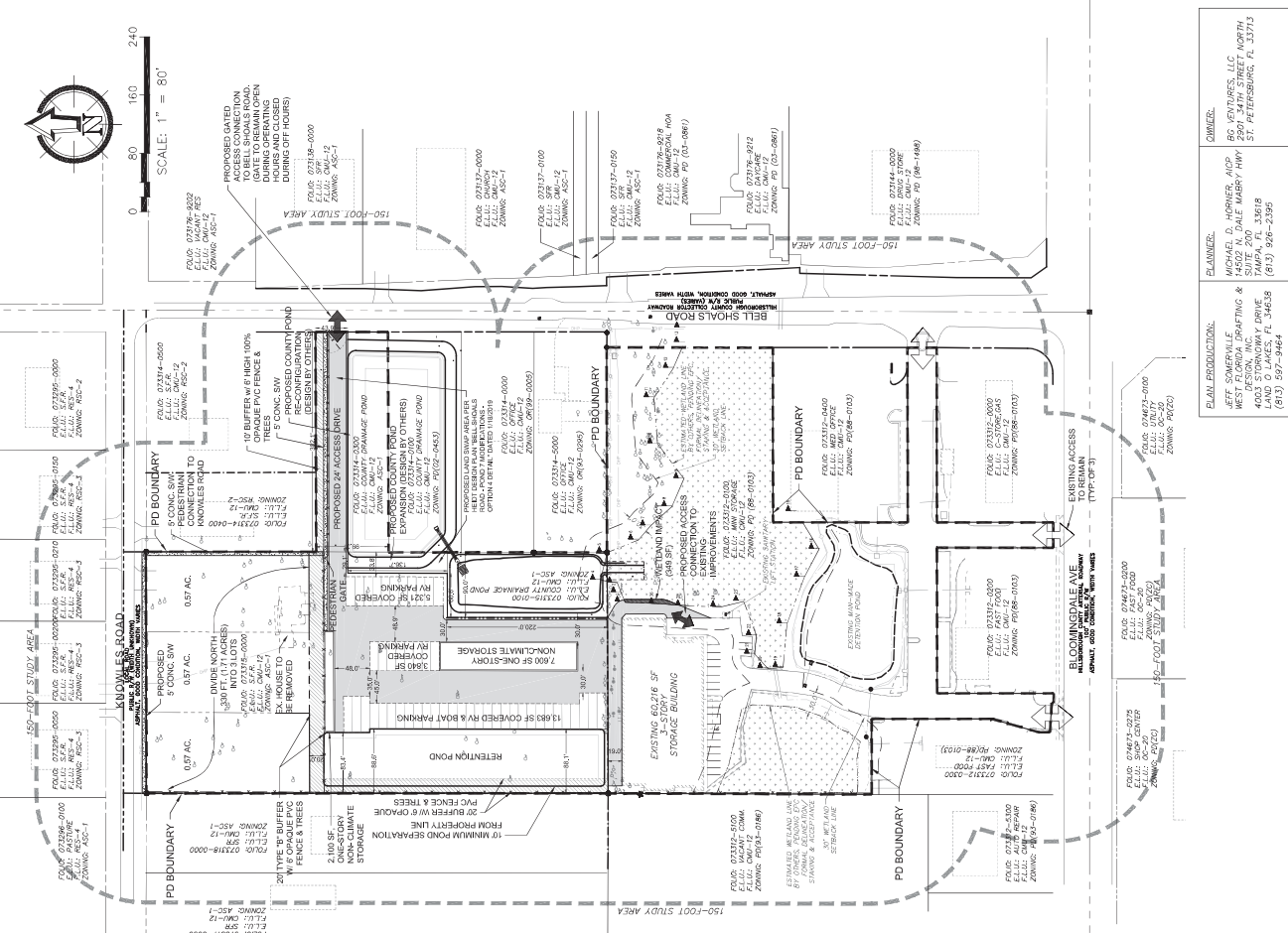
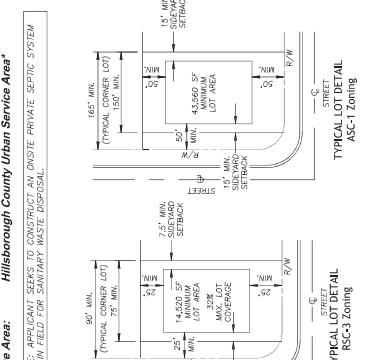
VICINITY MAP
N 15° E
LEGAL DESCRIPTION
(SEE PG. PROPERTY APPROVALS)

LEGAL DESCRIPTION
(SEE PG. PROPERTY APPROVALS)
FOLD 023112-0100: ...
FOLD 023113-0100: ...
FOLD 023114-0100: ...
FOLD 023115-0100: ...

GENERAL NOTES:
1. SEE PLAN FOR THE LEGAL DESCRIPTION FOR THE PROJECT BOUNDARIES, A GRAPHIC DELINEATION OF THE PROJECT BOUNDARIES, AND THE NAME OF THE OWNER, DESIGNER, AND...
2. SEE PLAN FOR THE NAME OF THE APPROVED PD AND THE NAME OF THE OWNER, DESIGNER, AND...
3. SEE PLAN FOR MOBILE HOME SCALE, SCALE STATEMENT, DATE, AND NORTH ARROW.
4. COUNTY, CITY, AND LOCAL JURISDICTION WITHIN THE PROJECT BOUNDARIES AND WITHIN 150 FEET OF THE PROJECT BOUNDARIES.
5. PROJECT BOUNDARIES.
6. PROJECT BOUNDARIES.
7. NO ELEMENTS ARE KNOWN TO EXIST WITHIN THE PROJECT BOUNDARIES AND WITHIN 150 FEET OF THE PROJECT BOUNDARIES.
8. PROJECT BOUNDARIES AND WITHIN 150 FEET OF THE PROJECT BOUNDARIES.
9. SEE PLAN FOR CURRENT ZONING WITHIN THE PROJECT BOUNDARIES AND WITHIN 150 FEET OF THE PROJECT BOUNDARIES.
10. SEE PLAN AND "PROJECT DATA TABLE" FOR ANY COMPREHENSIVE PLAN RESERVATIONS WITHIN THE PROJECT BOUNDARIES AND WITHIN 150 FEET OF THE PROJECT BOUNDARIES.
11. SEE PLAN FOR THE GENERAL LEGAL DESCRIPTIONS OF ALL EXISTING STRUCTURES WITHIN THE PROJECT BOUNDARIES AND WITHIN 150 FEET OF THE PROJECT BOUNDARIES.
12. SEE PLAN FOR PLANNED DEVELOPMENT ZONING DISTRICT INFORMATION THAT EXISTS WITHIN 150 FEET OF THE PROJECT BOUNDARIES.
13. SEE PLAN FOR A GENERAL DEFINITION OF THE PROPOSED BILLIARD TABLES WITHIN THE PROJECT BOUNDARIES.
14. SEE PLAN FOR THE PROJECT EXISTING POINT OF INTERSECTIONS, WHICH SHALL REMAIN IN ITS CURRENT CONDITION.
15. SEE PLAN FOR THE PROJECT EXISTING POINT OF INTERSECTIONS, WHICH SHALL REMAIN IN ITS CURRENT CONDITION.
16. SEE PLAN FOR THE PROJECT EXISTING POINT OF INTERSECTIONS, WHICH SHALL REMAIN IN ITS CURRENT CONDITION.
17. SEE PLAN FOR ALL PUBLIC RIGHTS-OF-WAY ON THE SITE PLAN, ACCORDING TO THE FUNCTIONAL CLASSIFICATION OF THE RIGHTS-OF-WAY.
18. SEE PLAN FOR ALL PUBLIC RIGHTS-OF-WAY ON THE SITE PLAN, ACCORDING TO THE FUNCTIONAL CLASSIFICATION OF THE RIGHTS-OF-WAY.
19. SEE PLAN FOR ALL PUBLIC RIGHTS-OF-WAY ON THE SITE PLAN, ACCORDING TO THE FUNCTIONAL CLASSIFICATION OF THE RIGHTS-OF-WAY.
20. SEE PLAN FOR ALL PUBLIC RIGHTS-OF-WAY ON THE SITE PLAN, ACCORDING TO THE FUNCTIONAL CLASSIFICATION OF THE RIGHTS-OF-WAY.

PROPERTY FOLD NUMBERS	PROJECT DATA TABLE	PROPOSED ZONING	EXISTING ZONING	PROPOSED USE	EXISTING USE
023112-0100, 023113-0100, 023114-0100, 023115-0100	THE COMMUNITY PLANNING AREA (CPA) IS THE COMMUNITY PLANNING AREA (CPA) OF THE PROJECT. THE PROJECT DOES NOT LIE WITHIN AN OPERABLE DISTRICT.	ASC-1, RSC-2, PD (R288-0103)	PD	10.33 Acres incl PD for Enclosed and Covered Storage, Plus a Single Family	
023112-0100, 023113-0100, 023114-0100, 023115-0100	NO PORTIONS OF THE PROJECT DRIVEWAY ARE ADJACENT TO AN ADJACENT PROPERTY AND THE ADJACENT PROPERTY IS NOT A PUBLIC ROADWAY CORRIDOR.	ASC-1, RSC-2, PD (R288-0103)	PD	(1) SFR - 260,216 SF Enclosed Storage (2) SFR on 1.71 Acres (1.75 DU/AC) +8,700 SF Proposed Enclosed Storage +2,984 SF Proposed Covered RV & Boat Parking CMU-12	
023112-0100, 023113-0100, 023114-0100, 023115-0100	NO DESIGNATED HISTORIC LANDMARKS OR ARCHAEOLOGICAL SITES AND/OR STRUCTURES EXIST WITHIN THE PROJECT BOUNDARIES OR WITHIN 150 FEET OF THE PD BOUNDARY.	ASC-1, RSC-2, PD (R288-0103)	PD	Hillsborough County Urban Service Area*	
023112-0100, 023113-0100, 023114-0100, 023115-0100	NO PLANS HAVE BEEN IDENTIFIED WITHIN THE PD BOUNDARY OR WITHIN 150 FEET OF THE PD BOUNDARY.	ASC-1, RSC-2, PD (R288-0103)	PD		

SITE DATA:
Parcel Size: 10.33 Acres incl PD for Enclosed and Covered Storage, Plus a Single Family
Existing Use: (1) SFR - 260,216 SF Enclosed Storage (2) SFR on 1.71 Acres (1.75 DU/AC) +8,700 SF Proposed Enclosed Storage +2,984 SF Proposed Covered RV & Boat Parking CMU-12
Proposed Use: Hillsborough County Urban Service Area*



PLANNER: MICHAEL D. HORNER, A.L.P.
4002 STORONWAY DRIVE
TAMPA, FL 33618
(813) 962-2395

CLIENT: BG VENTURES, LLC
2207 34TH STREET NORTH
SUITE 200
TAMPA, FL 33618
(813) 962-2395

PLANNING: JEFF SOMERVILLE, A.L.P.
WEST FERRIS, INC.
4002 STORONWAY DRIVE
TAMPA, FL 33618
(813) 962-2395

OWNER: BG VENTURES, LLC
2207 34TH STREET NORTH
SUITE 200
TAMPA, FL 33618
(813) 962-2395

APPENDIX
HILLSBOROUGH COUNTY LDC 6.04.07

Sec. 6.04.07. - Table: Minimum Spacing

MINIMUM SPACING			
ACCESS CLASSIFICATION(See Notes)	MINIMUM CONNECTION SPACING	MINIMUM MEDIAN; OPENING SPACING (Directional)	MINIMUM MEDIAN OPENING SPACING (Full)
CLASS 1	(See Federal Highway Administration and FDOT Requirements)		
Roadway providing for high speed, high volume traffic movement serving interstate, interregional and intercity needs as well as some intracity travel. These roadways do not provide direct property connections.			
CLASS 2			
A specially protected corridor distinguished by an extensive existing or planned system of access roads and restrictive median treatments.	>45 mph 1320 ft ≤45 mph 660 ft	>45 mph 1320 ft ≤ 45 mph 660'	>45 mph 2640 ft ≤ 45 mph 1320 ft

CLASS 3			
<p>New and existing roadways primarily in areas without extensive development or extensive subdivided properties. These corridors will be distinguished by existing or desired restrictive median treatments. Two lane highways with a desired high degree of access management should also be included.</p>	<p>>45 mph 660 ft ≤45 mph 330 ft</p>	<p>>45 mph 1320 ft ≤45 mph 660 ft</p>	<p>>45 mph 2640 ft ≤45 mph 1320 ft</p>
CLASS 4			

<p>New and existing roadways primarily in areas without extensive development or extensive subdivided properties. These corridors will be distinguished by nonrestrictive median treatments or highways with two-way left turn lanes.</p>	<p>>45 mph 660 ft ≤ 45 mph 330 ft</p>	<p>N.A.</p>	<p>N.A.</p>
<p>CLASS 5</p>			
<p>Existing roadways primarily in areas with moderate or extensive development or where the land is extensively subdivided. These corridors will be distinguished by existing or desired restrictive median treatments.</p>	<p>>45 mph 330 ft ≤ 45 mph 245 ft</p>	<p>All Speeds 660 ft</p>	<p>>45 mph 1320 ft ≤ 45 mph 660 ft</p>
<p>CLASS 6</p>			

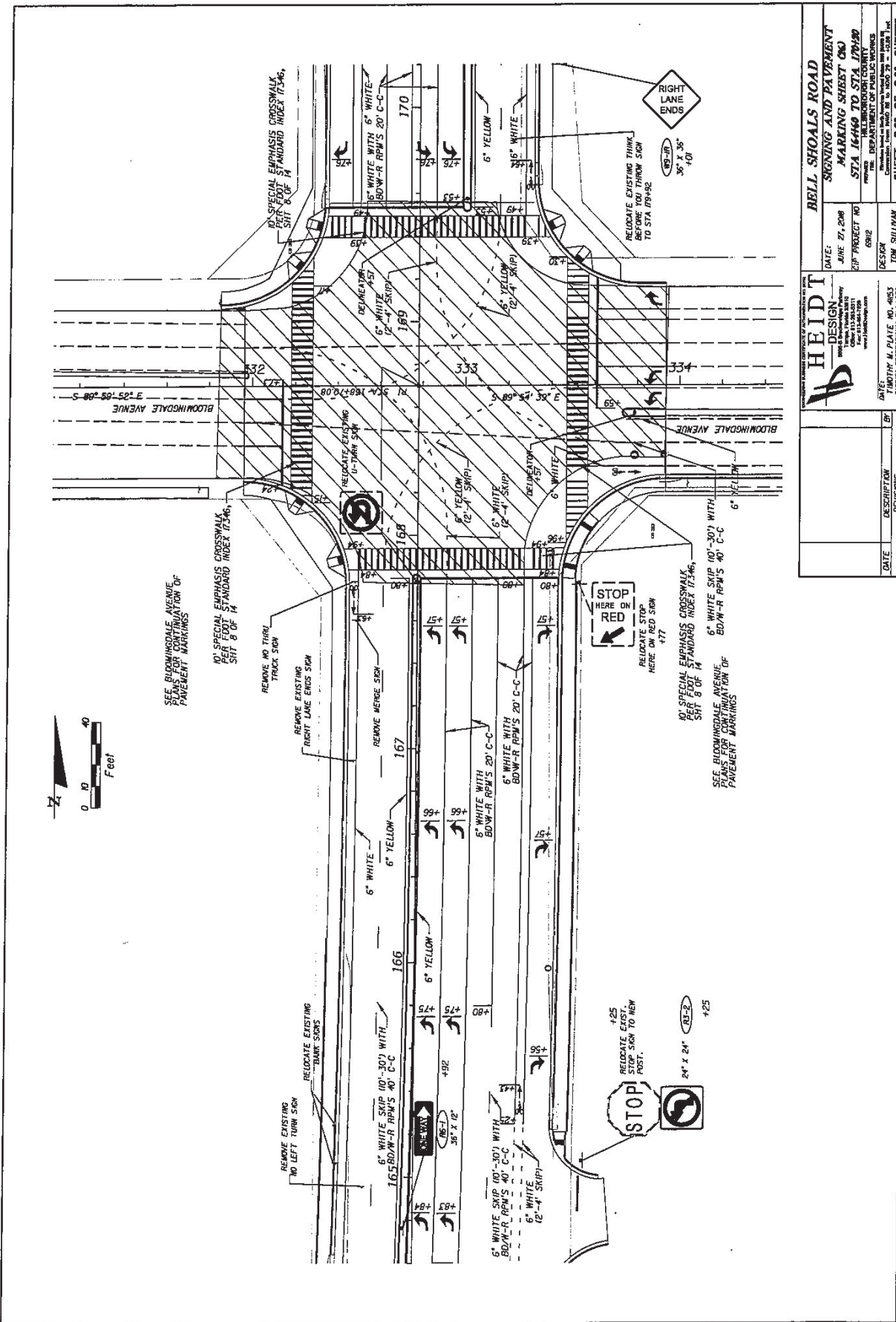
<p>Existing roadways primarily in areas with extensive development or where the land is extensively subdivided. These corridors will be distinguished by existing or expected non restrictive medians, such as an undivided two or four lane highway or multi-lane highways with two-way left turn lanes.</p>	<p>>45 mph 330 ft ≤45 mph 245 ft</p>	<p>N.A.</p>	<p>N.A.</p>
<p>CLASS 7</p>			
<p>Subdivision roads and all other local roadways functioning as subdivision roads.</p>	<p>TYPE I = 10 ft Type II = 50 ft (<5000 vpd*) 175 ft (≥ 5000 vpd*)</p>	<p>ALL SPEEDS 330 ft</p>	<p>ALL SPEEDS 330 ft</p>
<p>March 1, 1991</p>	<p>Type III =50 ft (<5000 vpd*) 250 ft (≥ 5000 vpd*) * refers to volume on adjacent roadway</p>		

NOTES AND SPECIAL REQUIREMENTS

1. Access road systems in Access Class 2 assumes the provision of an access road system or adequate internal property circulation through existing or new public and private roads in transportation and comprehensive plans and through local land development regulations.
2. Minimum connection and directional median spacing openings specified here may not be adequate if extensive right or left-turn storage is required. Greater distances may be required to provide sufficient site-specific storage.
3. Connections and median openings on the public roadway system located up to $\frac{1}{4}$ mile from an interchange area or up to the first intersection with an arterial roadway, whichever distance is less, shall be regulated to protect the safety and operational efficiency of the limited access facility and the interchange area. The $\frac{1}{4}$ mile distance shall be measured from the end of the taper of the ramp furthest from the interchange.
 - a. The distance to the first connection shall be at least 660 feet where the posted speed limit is greater than 45 mph or 440 feet where the posted speed limit is 45 mph or less. The distance will be measured from the end of the taper for the particular quadrant of the interchange. If the above connection spacing cannot be provided, a single connection per property will be provided if no other reasonable access to the property exists and the issuing authority determines that the connection does not create a safety, operational or weaving hazard.
 - b. The minimum distance to the first median opening shall be at least 1,320 feet as measured from the end of the taper of the egress ramp.
 - c. Connections and median openings meeting the above spacing standards still may not be permitted in the location requested in the permit application, when the issuing authority determines, based on traffic engineering principles, that the safety or operation of the interchange or the limited access highway would be adversely affected.

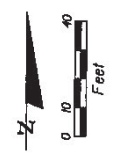
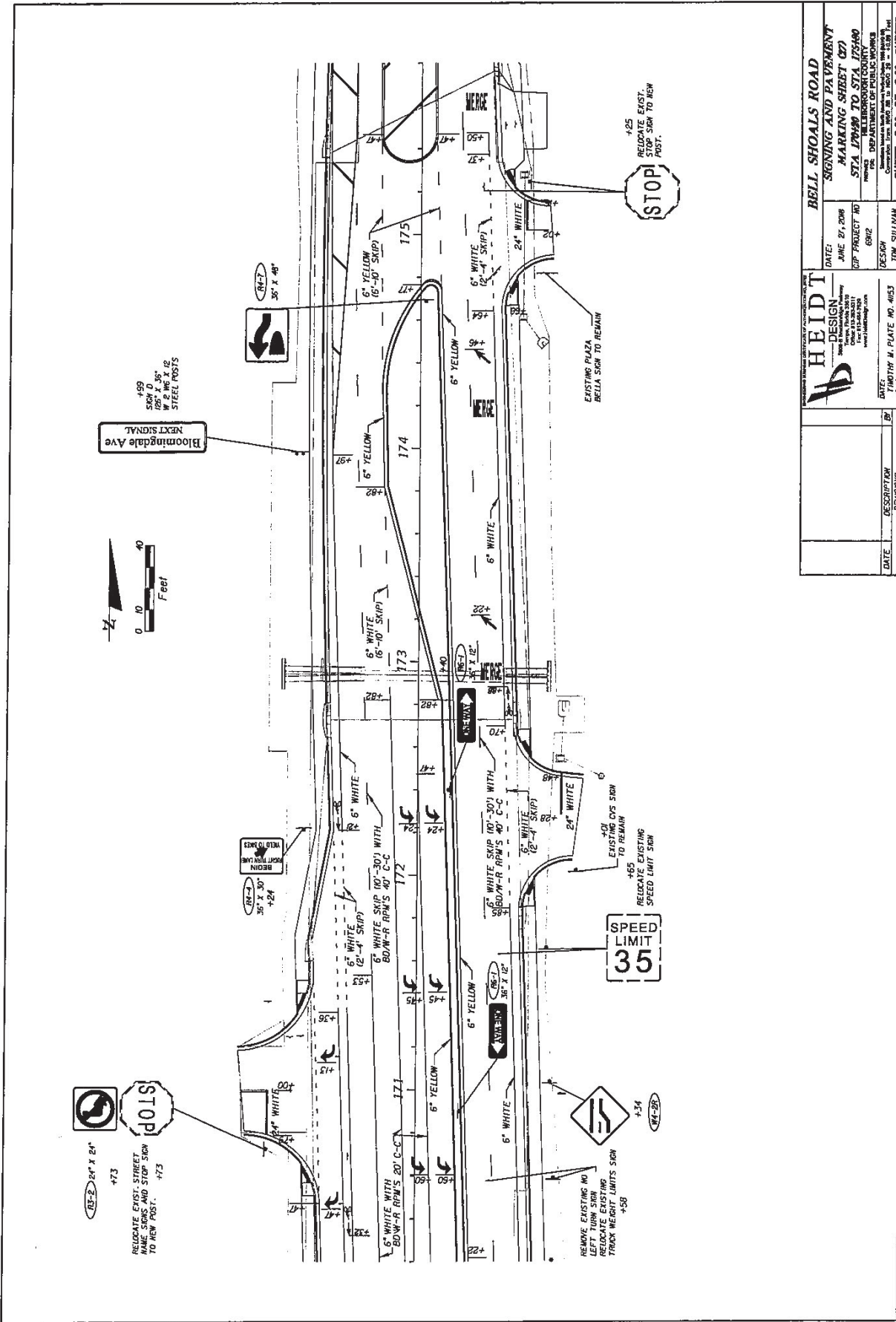
(Ord. No. 00-21, § 2, 5-18-00; Ord. No. 08-15, § 2, 6-12-08, eff. 10-1-08)

APPENDIX
BELL SHOALS ROAD PLANS



DATE	DESCRIPTION	BY
	REVISIONS	

HEIDT DESIGN 1000 S. Orange Ave. Suite 100 Orlando, FL 32811 Tel: 407-242-1111 www.heidtdesign.com	
BELL SHOALS ROAD	MARKING AND PAVEMENT
MARKING SHEET NO	STA. 164+00 TO STA. 170+00
PROJECT NO	6802
DESIGNER	JRM
CHECKER	JRM
APPROVED	JRM
DATE	JUNE 27, 2008
SCALE	AS SHOWN
PROJECT	DEPARTMENT OF PUBLIC WORKS
CITY	DADE COUNTY
FLORIDA PROFESSIONAL ENGINEER	NO. 4653
DATE	JUNE 27, 2008



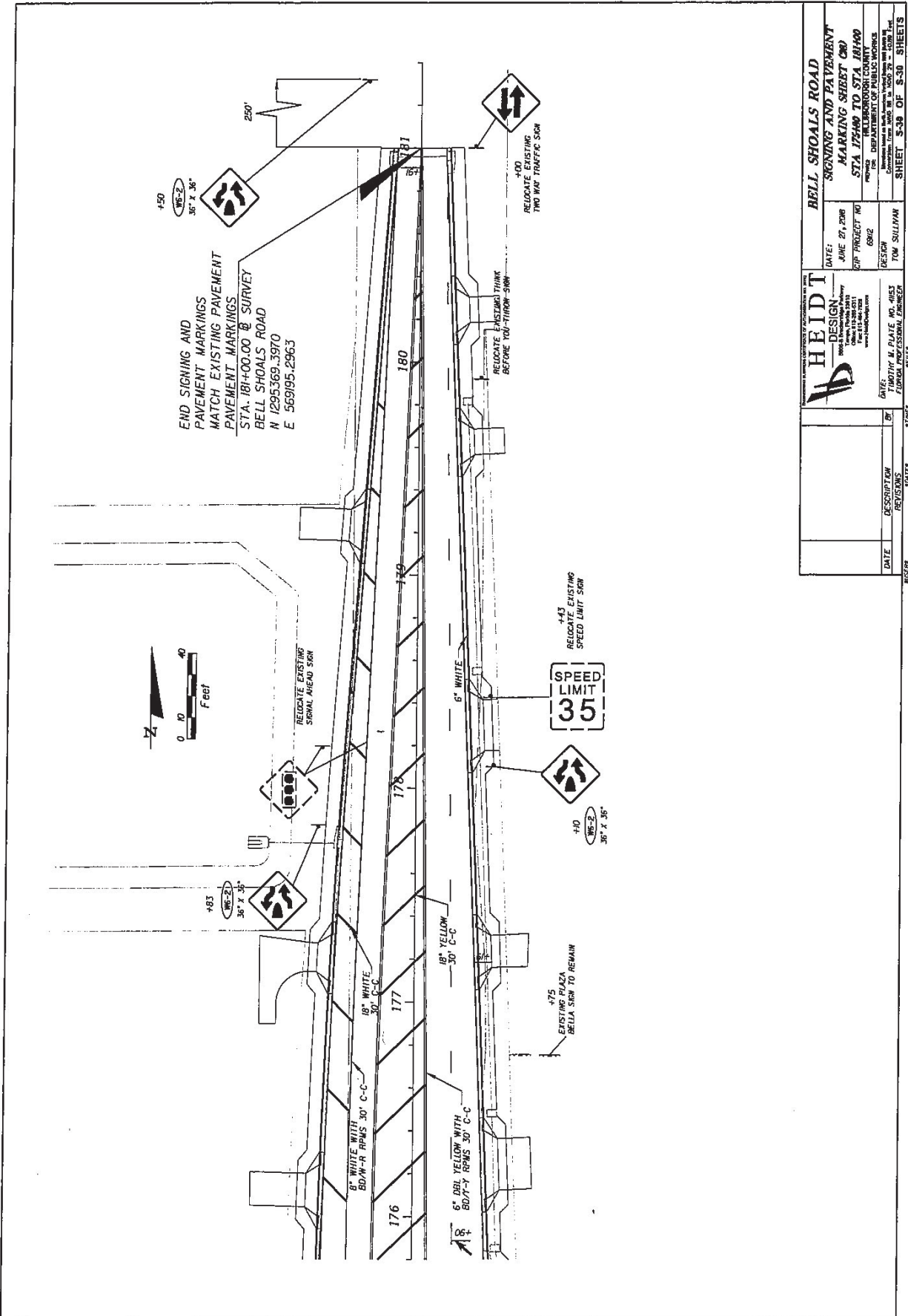
Bloomington Ave
NEXT SIGNAL
+59
SIGN D
12" X 12"
W 2 1/2" X 12"
STEEL POSTS

RELOCATE EXIST. STREET
NAME SIGN AND STOP SIGN
TO NEW POST.
+73
R4-2 24" X 24"
STOP

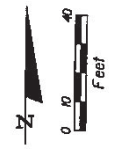
SPEED
LIMIT
35

STOP
+85
RELOCATE EXIST.
STOP SIGN TO NEW
POST.

HEIDT DESIGN		BELL SHOALS ROAD	
DATE: JUNE 27, 2008		SIGNING AND PAVEMENT	
JOB PROJECT NO: 6902		MARKING SHEET 077	
DATE: [Blank]		STA 176600 TO STA 175400	
DESIGNER: [Blank]		FOR: DEPARTMENT OF PUBLIC WORKS	
DATE: [Blank]		FOR: [Blank]	
DESCRIPTION: [Blank]		SHEET S-29 OF S-30 SHEETS	
DATE: [Blank]		SHEET S-29 OF S-30 SHEETS	



END SIGNING AND PAVEMENT MARKINGS MATCH EXISTING PAVEMENT MARKINGS STA. 181+00.00 @ SURVEY BELL SHOALS ROAD N 1295369-3970 E 569195-2963



		BELL SHOALS ROAD SIGNING AND PAVEMENT MARKING SHEET C80	
		DATE:	JUNE 27, 2008
		GP PROJECT NO:	6912
		DESIGN:	TOM SULLIVAN
STA 176+00 TO STA 181+00 THE DEPARTMENT OF PUBLIC WORKS HILLBROOK TOWN & COUNTY HILLBROOK, MISSOURI		SHEET S-38 OF S-38 SHEETS	
DATE:	MAURITZ M. PLATE, P.E. NO. 4957	DATE:	9/17/08
BY:	FORMAN PROFESSIONAL ENGINEER	DATE:	9/17/08
DESCRIPTION:	REVISIONS:	DATE:	9/17/08

April 21, 2021

Mr. Michael Williams, P.E.
Hillsborough County Public Works
601 E. Kennedy Boulevard
Tampa, Florida 33602

RE: Bloomingdale Storage (21-0123)
Administrative Variance – Typical Section
Folio #: 073315-0000, 073312-0100,
073315-0100, 073314-0300
Palm Traffic Project No. T21032

Dear Mr. Williams:

The letter documents our request for an administrative variance to Hillsborough County Land Development Code (LDC) Section 6.04.03.L (existing facility). The project is located west of Bell Shoals Road and south of Knowles Road. The developer proposes to rezone the property to Planned Development (PD) of up to 60,216 square feet enclosed storage (existing), 9,700 square feet proposed additional enclosed storage, 22,844 square feet proposed covered RV/boat storage and three proposed (3) single family dwelling units. This request is made based on our discussion with James Ratliff on April 9, 2021 and your discussion with Michael Horner and Michael Yates on April 19, 2021.

The project proposes to have the following access:

- one (1) full access to Bells Shoals Road across from proposed townhome project on the east side
- one (1) existing shared right-in/right-out access to Bell Shoals Road
- two (2) existing shared right-in/right-out accesses to Bloomingdale Avenue.

The request is to waive the requirement to improve Bell Shoals Road (between Bloomingdale Avenue and the project access) to current County standards for a TS-4 roadway, the standards for which are found within the Hillsborough County Transportation Technical Manual. It should be noted that Bell Shoals Road is currently under construction to be widened to a four-lane divided roadway south of Bloomingdale Avenue. To the north of Bloomingdale Avenue, the widening extends approximately 700 feet and then transitions to the two-lane undivided roadway. Bell Shoals Road meets TS-4 north of Bloomingdale Avenue for the four-lane section. Within the transition, from the four-lane section to the two-lane undivided section, the bike lanes are dropped. This occurs approximately 400' south of the project access. The justification variance is as follows:

a) There is unreasonable burden on the applicant

TS-4 has 7-foot bike lanes. The Bell Shoal Road plans have 5-foot bike lanes from Bloomingdale Avenue to approximately 400' south of the project access for the project. Based on the construction plans for Bell Shoals Road, there is not sufficient right of way to extend the bike lanes north to the project access.

Sidewalk is proposed to be provided on the east and west side of Bell Shoals Road to the terminus of the roadway project, which then connects to the existing sidewalk on the east side of Bell Shoals Road.

The variance would not be detrimental to the public health, safety and welfare.

The substandard section is approximately 400 feet south of the project access and sidewalk is to be provided on the east and west sides of Bell Shoals Road as part of that project.

b) Without the variance, reasonable access cannot be provided.

Bell Shoals Road is only the reasonable access to a collector roadway for the project.

Sincerely,

Palm Traffic

Vicki L Castro, P.E.
Principal

Based on the information provided by the applicant, this request is:

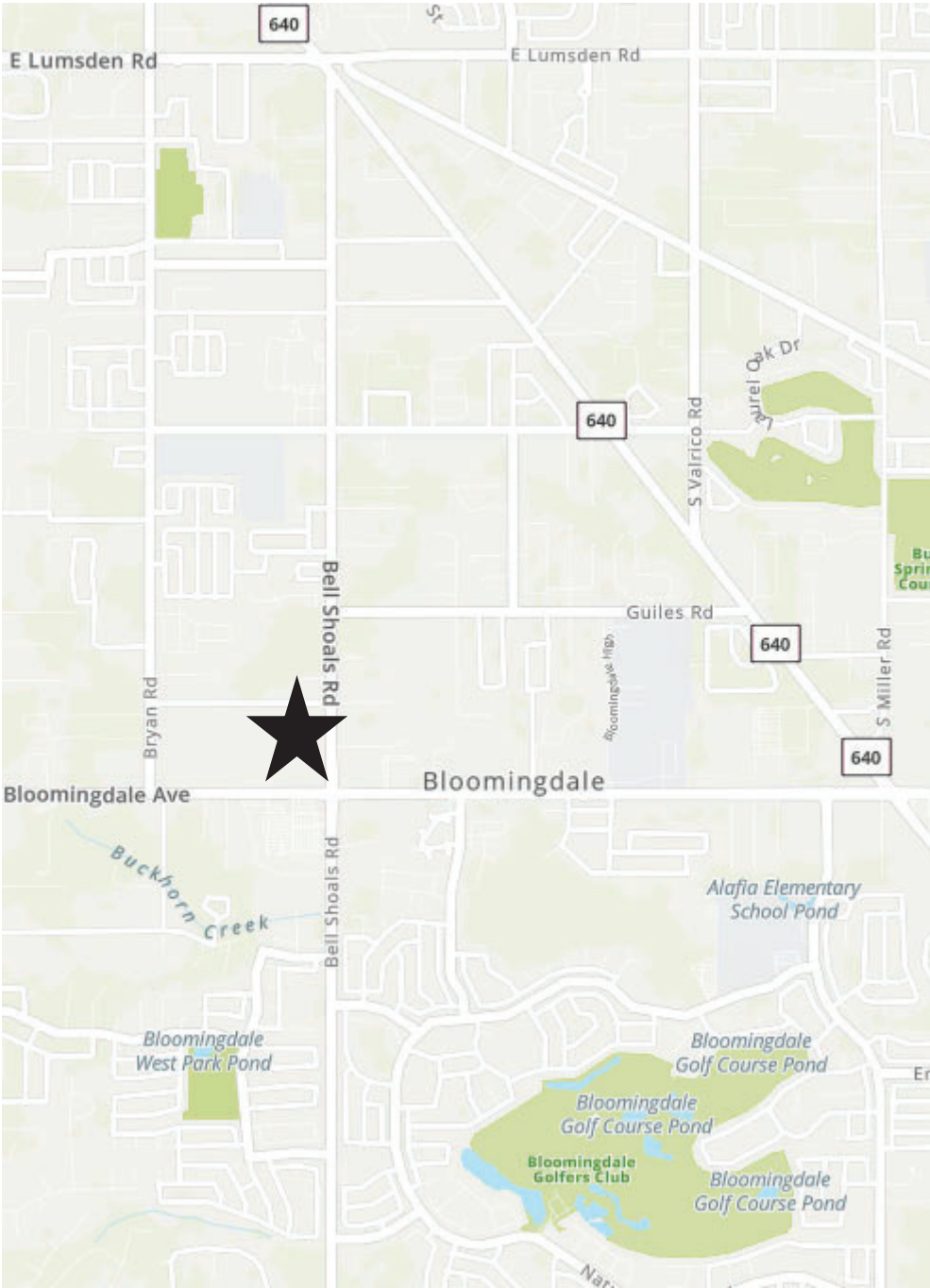
_____ Disapproved _____ Approved

If there are any further questions or you need clarification, please contact Benjamin Kniesly, P.E.

Sincerely,

Michael J. Williams
Hillsborough County Engineer

Location Map



April 19, 2021

Mr. Michael Williams, P.E.
Hillsborough County Public Works
601 E. Kennedy Boulevard
Tampa, Florida 33602

RE: Bloomingdale Storage (21-0123)
Administrative Variance – Typical Section
Folio #: 073315-0000, 073312-0100,
073315-0100, 073314-0300
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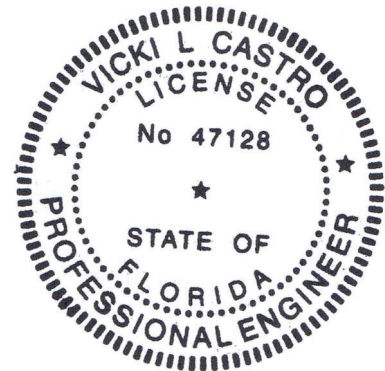
The variance would not be detrimental to the public health, safety and welfare.

The substandard section is approximately 400 feet south of the project access and sidewalk is to be provided on the east and west sides of Bell Shoals Road as part of that project.

b) Without the variance, reasonable access cannot be provided.

Bell Shoals Road is only the reasonable access to a collector roadway for the project.

Sincerely,
Palm Traffic



Vicki L Castro, P.E.
Principal

Based on the information provided by the applicant, this request is:

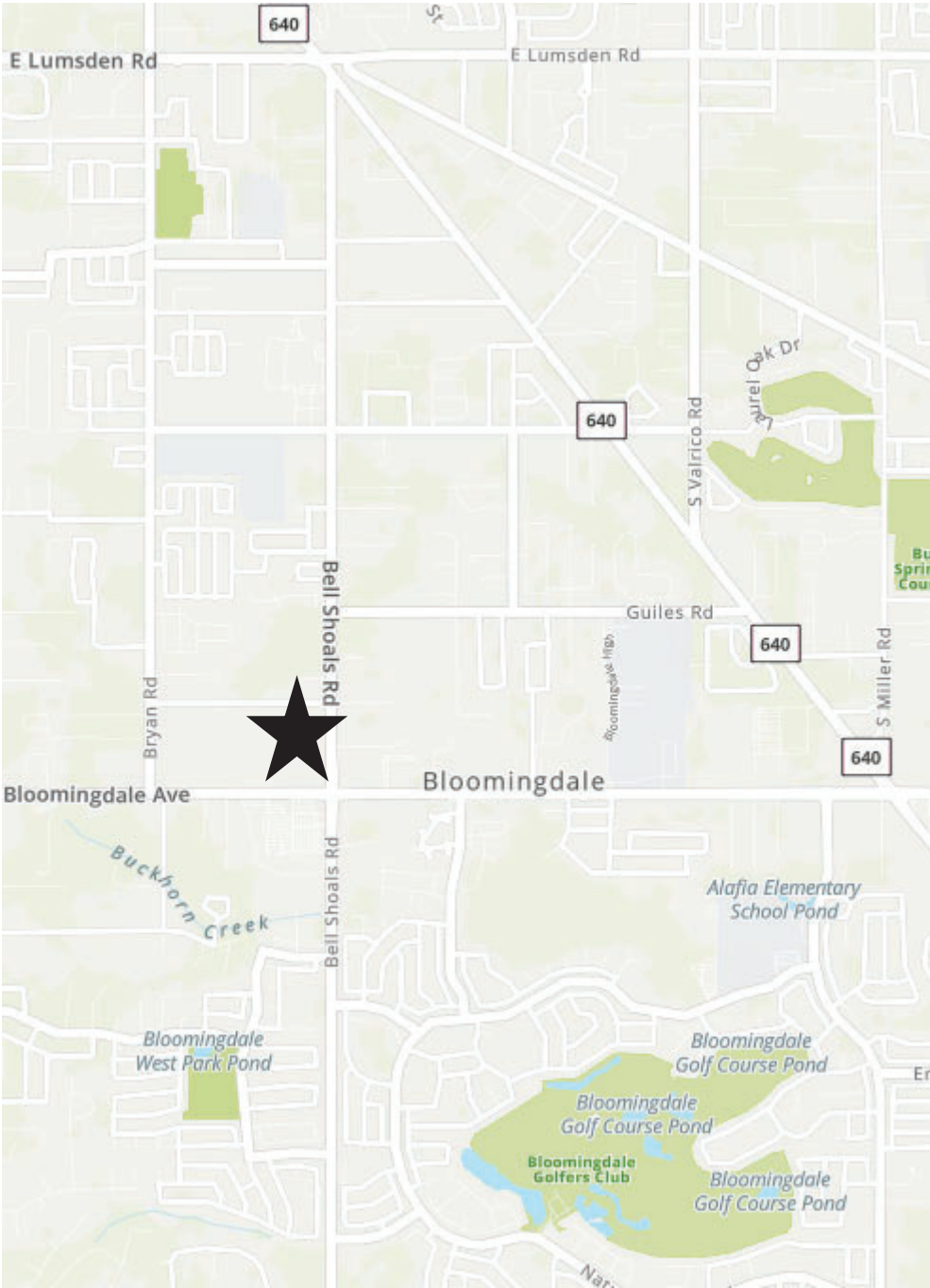
_____ Disapproved _____ Approved

If there are any further questions or you need clarification, please contact Benjamin Kniesly, P.E.

Sincerely,

Michael J. Williams
Hillsborough County Engineer

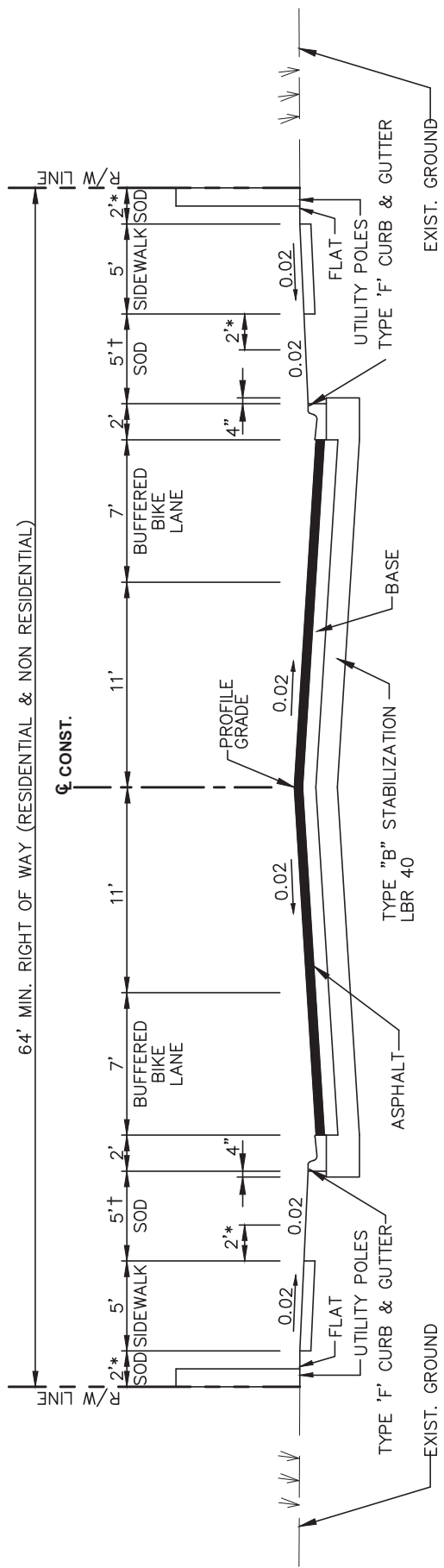
Location Map



APPENDIX

APPENDIX
PD PLAN

APPENDIX
TYPICAL SECTION T-4



TYPICAL SECTION

N.T.S.

5,000 TO 10,000 AADT

MAX. ALLOWABLE DESIGN SPEED – 40 MPH

1. ALL DIMENSIONS SHOWN ARE MINIMUM.
2. SEE APPROPRIATE SECTIONS OF TECHNICAL MANUAL FOR DESIGN PARAMETERS.
- * 3. PROVIDE 2' MINIMUM CLEARANCE FROM FENCES, WALLS, HEDGES, ABOVEGROUND UTILITIES OR IMPROVEMENTS, DROP OFFS, OR FROM THE TOPS OF BANKS WITH SLOPES STEEPER THAN 1 TO 4, THAT INTERFERE WITH THE SAFE, FUNCTIONAL USE OF THE SIDEWALK. INTERMITTENT ABOVEGROUND UTILITIES, OR MATURE TREES, 2' OR LESS IN DIAMETER MAY BE PLACED IN THIS 2' STRIP AS FAR FROM THE SIDEWALK AS POSSIBLE, IF NOT IN THE CLEAR ZONE.
- † 4. SEE SIDEWALK PROTECTION OPTIONS, DRAWING NO. TD-16 SHEET 7 OF 7 FOR USE WHEN TREES ARE PLANTED IN THE PARKWAY AREA (BETWEEN THE BACK OF CURB AND SIDEWALK).
5. SOD SHALL BE PLACED IN TWO ROWS STAGGERED. (BOTH TEMPORARY AND PERMANENT)

REVISION DATE:
10/17

**TRANSPORTATION
TECHNICAL
MANUAL**



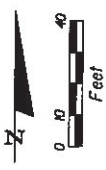
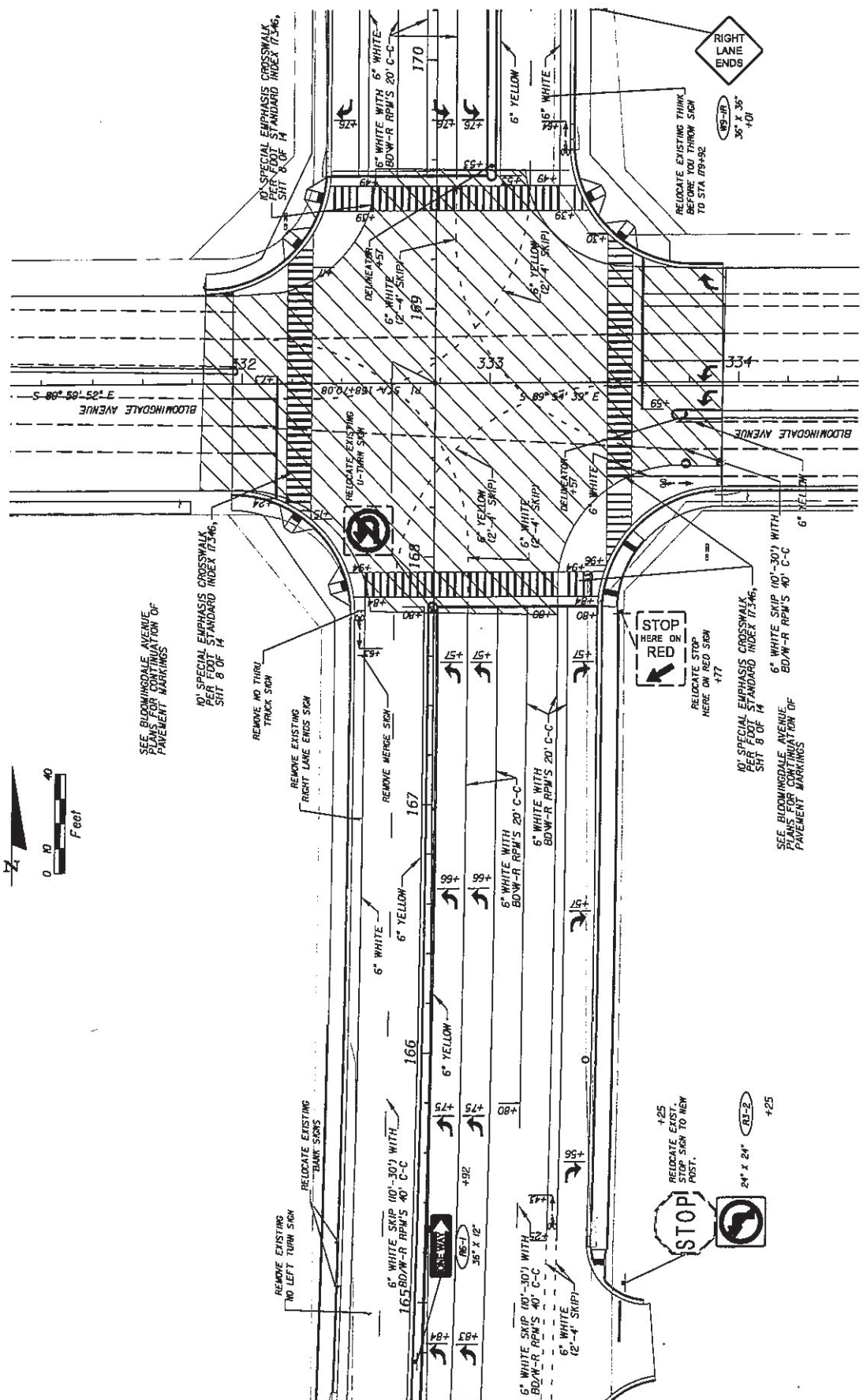
**Hillsborough
County Florida**

**URBAN COLLECTORS
(2 LANE UNDIVIDED)
TYPICAL SECTION**

DRAWING NO. **TS-4**

SHEET NO. 1 OF 1

APPENDIX
BELL SHOALS ROAD PLANS



SEE BLOOMINGDALE AVENUE PLANS FOR CONTINUATION OF PAVEMENT MARKINGS

10' SPECIAL EMPHASIS CROSSWALK PER FOOT STANDARD INDEX 17546, SHT 8 OF 14

REMOVE NO THRU TRACK SIGN

REMOVE EXISTING RIGHT LANE ENDS SIGN

REMOVE MERGE SIGN

RELOCATE EXISTING U-TURN SIGN

RELOCATE EXISTING TRACK SIGN

RELOCATE EXIST. STOP SIGN TO NEW POST.

10' SPECIAL EMPHASIS CROSSWALK PER FOOT STANDARD INDEX 17546, SHT 8 OF 14

SEE BLOOMINGDALE AVENUE PLANS FOR CONTINUATION OF PAVEMENT MARKINGS

RELOCATE EXISTING THINK BEFORE YOU TURN SIGN TO STA 170+92

RELOCATE STOP HERE ON RED SIGN

10' SPECIAL EMPHASIS CROSSWALK PER FOOT STANDARD INDEX 17546, SHT 8 OF 14

SEE BLOOMINGDALE AVENUE PLANS FOR CONTINUATION OF PAVEMENT MARKINGS

RELOCATE EXIST. STOP SIGN TO NEW POST.

RELOCATE EXISTING THINK BEFORE YOU TURN SIGN TO STA 170+92

RELOCATE EXISTING THINK BEFORE YOU TURN SIGN TO STA 170+92

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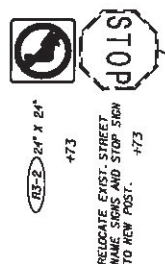
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RELOCATE EXISTING THINK BEFORE YOU TURN SIGN TO STA 170+92

HEIDT DESIGN		BELL SHOALS ROAD	
DATE: JUNE 27, 2008		SIGNING AND PAVEMENT MARKING SHEET 060	
CIP PROJECT NO: 6312		STA 164+00 TO STA 170+00	
DESIGN: TOM SULLIVAN		SHEET 5-28 OF 5-30 SHEETS	
DATE: JUNE 27, 2008		PROJECT NO: 6312	
DESIGNER: TOM SULLIVAN		DRAWN BY: [blank]	
CHECKED BY: [blank]		DATE: [blank]	
APPROVED BY: [blank]		DATE: [blank]	
FLORIDA PROFESSIONAL ENGINEER		FLORIDA PROFESSIONAL ENGINEER	



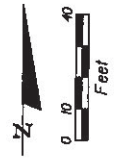
RELOCATE EXIST. STREET NAME SIGNS AND STOP SIGN TO NEW POST. +73

RS-2 24" X 24" +73



RELOCATE EXIST. STOP SIGN TO NEW POST. +73

RS-1 36" X 30" +73



RELOCATE EXIST. STOP SIGN TO NEW POST. +73

RS-1 36" X 30" +73



RELOCATE EXIST. STOP SIGN TO NEW POST. +73

RS-1 36" X 30" +73



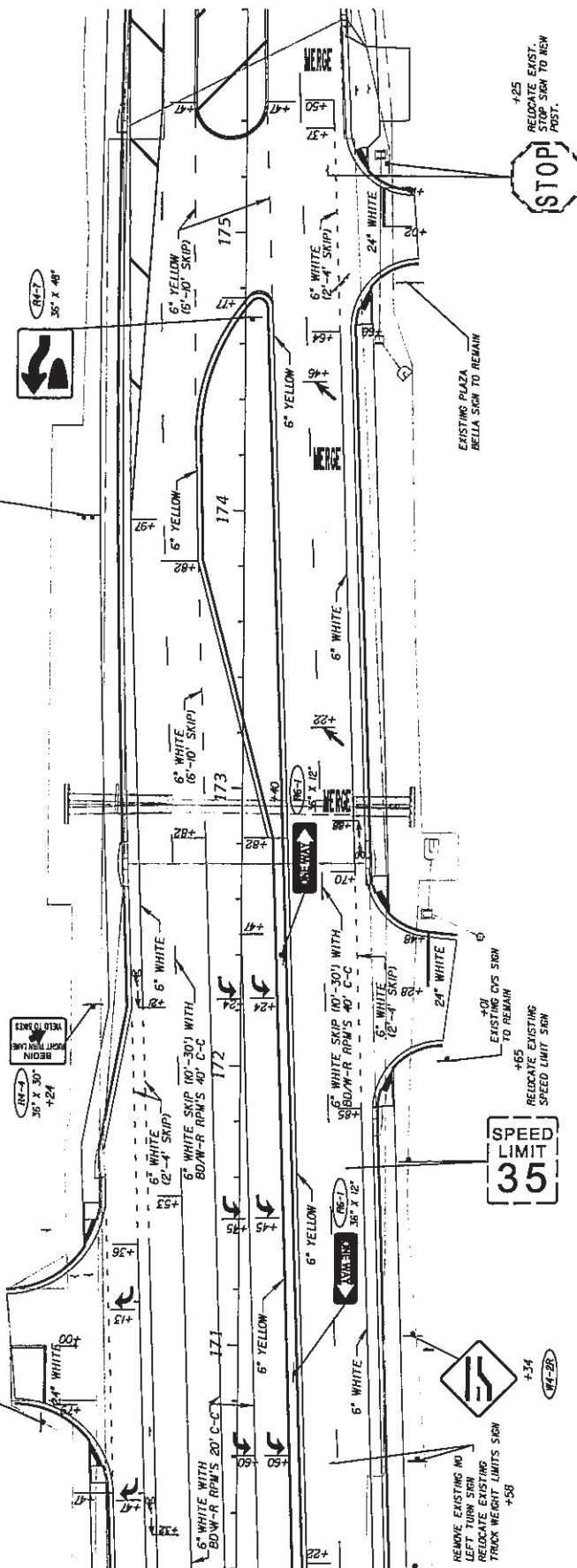
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RS-1 36" X 30" +73



RELOCATE EXIST. STOP SIGN TO NEW POST. +73

RS-1 36" X 30" +73



RELOCATE EXISTING SPEED LIMIT SIGN +65



EXISTING CYS SIGN TO REMAIN +70



REMOVE EXISTING NO LEFT TURN SIGN RELOCATE EXISTING TRUCK WEIGHT LIMITS SIGN +58



RELOCATE EXISTING STOP SIGN TO NEW POST. +73



RELOCATE EXISTING STOP SIGN TO NEW POST. +73



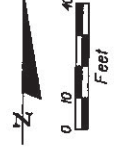
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RELOCATE EXIST. STOP SIGN TO NEW POST. +73

RS-1 36" X 30" +73



RELOCATE EXIST. STOP SIGN TO NEW POST. +73

RS-1 36" X 30" +73



RELOCATE EXIST. STOP SIGN TO NEW POST. +73

RS-1 36" X 30" +73



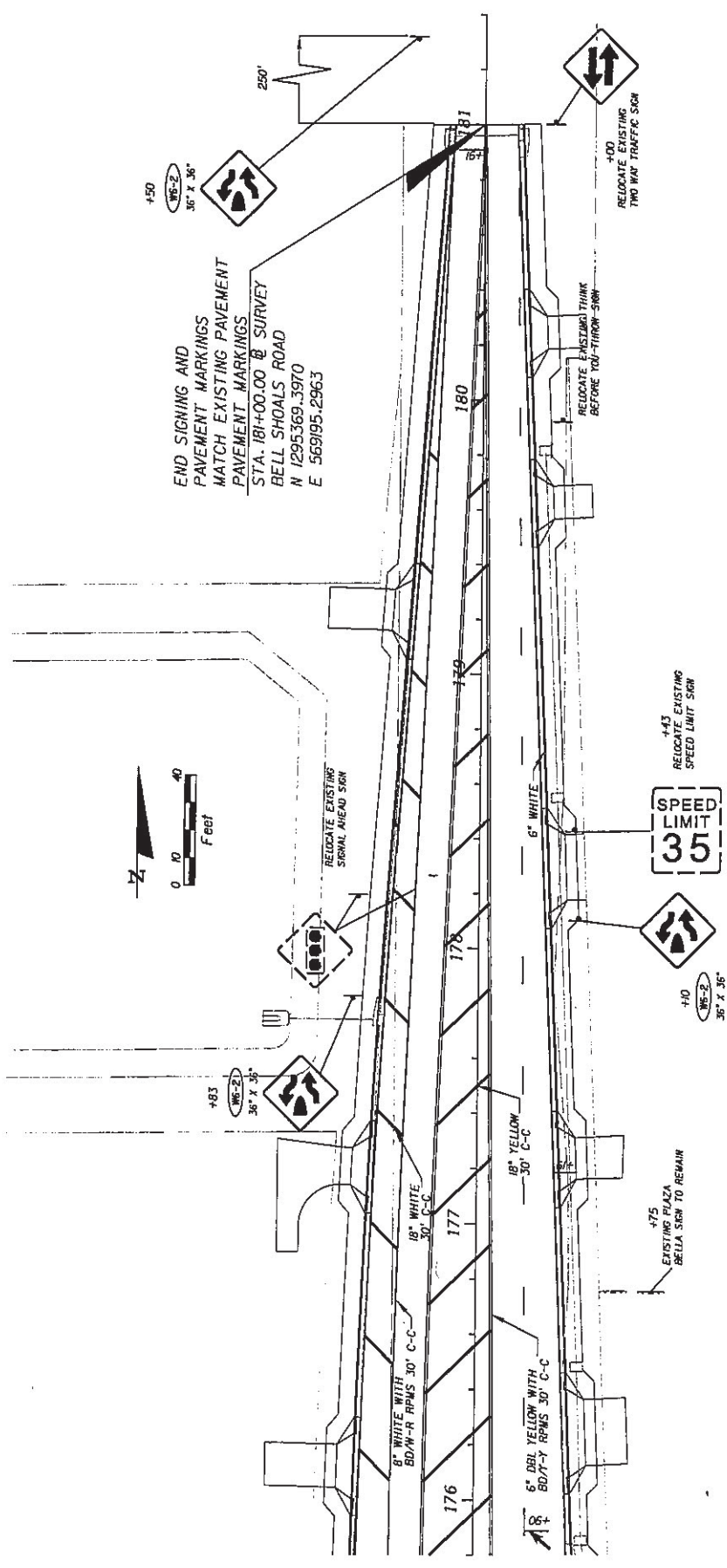
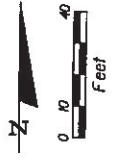
RELOCATE EXIST. STOP SIGN TO NEW POST. +73

RS-1 36" X 30" +73

HEIDT DESIGN		BELL SHOALS ROAD	
DATE: JUNE 27, 2008		SIGNING AND PAVEMENT MARKING SHEET 037	
CIP PROJECT NO: 6912		STA 170+00 TO STA 175+00	
DESIGNER: TOM SULLIVAN		MILLER/ROCK COUNTY DEPARTMENT OF PUBLIC WORKS	
DATE: JANUARY 14, 2008		CONTRACT NO. 0140000000	
BY: [Signature]		SHEET 8-29 OF 8-30 SHEETS	

DATE: JUNE 27, 2008
 CIP PROJECT NO: 6912
 DESIGNER: TOM SULLIVAN
 DATE: JANUARY 14, 2008
 BY: [Signature]
 SHEET 8-29 OF 8-30 SHEETS

END SIGNING AND
PAVEMENT MARKINGS
MATCH EXISTING PAVEMENT
PAVEMENT MARKINGS
STA. 181+00.00 @ SURVEY
BELL SHOALS ROAD
N 1295369.3970
E 569195.2963



		BELL SHOALS ROAD SIGNING AND PAVEMENT MARKING SHEET (80) STA 175+00 TO STA 181+00 PROJECT NO. 68012 PREPARED FOR: DEPARTMENT OF PUBLIC WORKS <small>Information based on North American Vertical Datum 1988 and Florida Coordinate System from 2000 BM to 2005, 76 - 2208 Feet</small>	
DATE:	JUNE 27, 2008	DESIGN:	TOM SULLIVAN
CIP PROJECT NO:	68012	DRWING:	TOM SULLIVAN
TIMOTHY M. PLATE, P.E., M.S.E. FLORIDA PROFESSIONAL ENGINEER <small>www.heidtdesign.com</small>		SHEET 5-30 OF 8-30 SHEETS	
DATE	DESCRIPTION	DATE	REVISIONS

Rome, Ashley

From: Clock, Dessa <clockd@epchc.org>
Sent: Wednesday, April 28, 2021 2:57 PM
To: Defranc, Kevie; Rome, Ashley
Subject: RZ PD 21-0123

[External]

Good Afternoon,

The revised documents/plans do not change the previously issued comments by EPC Wetlands Division.

Thank you,

Dessa Clock

Environmental Supervisor I
Wetlands Division
(813) 627-2600 ext. 1158 | www.epchc.org

Environmental Protection Commission

3629 Queen Palm Drive, Tampa, FL 33619

Our mission is *"to protect our natural resources, environment, and quality of life in Hillsborough County."*

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 Sterlin Woodard, P.E. AIR DIVISION

AGENCY COMMENT SHEET

REZONING	
HEARING DATE: 2/15/2021 PETITION NO.: 21-0123 EPC REVIEWER: Dessa Clock CONTACT INFORMATION: (813) 627-2600 X1158 EMAIL: clockd@epchc.org	COMMENT DATE: 2/01/2021 PROPERTY ADDRESS: 912 E Bloomingdale Avenue, 909 Knowles Rd, and Bell Shoals Rd, Brandon, FL 33511 FOLIO #: 073312-0100, 073314-0300, 073315-0000,073315-0100 STR: 02-30S-20E
REQUESTED ZONING: PD	
FINDINGS	
WETLANDS PRESENT	YES
SITE INSPECTION DATE	1/13/2021
WETLAND LINE VALIDITY	Expired. New delineation completed. Awaiting survey submittal.
WETLANDS VERIFICATION (AERIAL PHOTO, SOILS SURVEY, EPC FILES)	Wetlands located in southeastern and southwestern portion of the project area
<p>The EPC Wetlands Division has reviewed the proposed rezoning. In the site plan’s current configuration, a resubmittal is not necessary. If the zoning proposal changes and/or the site plans are altered, EPC staff will need to review the zoning again. This project as submitted is conceptually justified to move forward through the zoning review process as long as the following conditions are included:</p> <ul style="list-style-type: none"> Approval of this zoning petition by Hillsborough County does not constitute a guarantee that the Environmental Protection Commission of Hillsborough County (EPC) approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impact to wetlands, and does not grant any implied or vested right to environmental approvals. The construction and location of any proposed wetland impacts are not approved by this correspondence, but shall be reviewed by EPC staff under separate application pursuant to the EPC Wetlands rule detailed in Chapter 1-11, Rules of the EPC, (Chapter 1-11) to determine whether such impacts are necessary to accomplish reasonable use of the subject property. 	

Environmental Excellence in a Changing World

Environmental Protection Commission - Roger P. Stewart Center
 3629 Queen Palm Drive, Tampa, FL 33619 - (813) 627-2600 - www.epchc.org

- Prior to the issuance of any building or land alteration permits or other development, the approved wetland / other surface water (OSW) line must be incorporated into the site plan. The wetland/ OSW line must appear on all site plans, labeled as "EPC Wetland Line", and the wetland must be labeled as "Wetland Conservation Area" pursuant to the Hillsborough County Land Development Code (LDC).
- Final design of buildings, stormwater retention areas, and ingress/egresses are subject to change pending formal agency jurisdictional determinations of wetland and other surface water boundaries and approval by the appropriate regulatory agencies.

INFORMATIONAL COMMENTS:

The following specific comments are made for informational purposes only and to provide guidance as to the EPC review process. However, future EPC staff review is not limited to the following, regardless of the obviousness of the concern as raised by the general site plan and EPC staff may identify other legitimate concerns at any time prior to final project approval.

- The subject property contains wetland/OSW areas, which were delineated on November 24, 2020. Surveys have not been submitted to EPC as of January 28, 2021. Knowledge of the actual extent of the wetland and OSW are necessary in order to verify the avoidance of wetland impacts pursuant to Chapter 1-11. Prior to the issuance of any building or land alteration permits or other development, the wetlands/OSWs must be field delineated in their entirety by EPC staff or Southwest Florida Water Management District staff (SWFWMD) and the wetland line surveyed. **Surveys must be submitted for review and formal approval by EPC staff.**
- The site plan depicts wetland impacts that have not been authorized by the Executive Director of the EPC. The wetland impacts are indicated for an internal connection road and stormwater. Chapter 1-11, prohibits wetland impacts unless they are necessary for reasonable use of the property. Staff of the EPC recommends that this requirement be taken into account during the earliest stages of site design so that wetland impacts are avoided or minimized to the greatest extent possible. The size, location, and configuration of the wetlands may result in requirements to reduce or reconfigure the improvements depicted on the plan. If you choose to proceed with the wetland impacts depicted on the plan, a separate wetland impact/mitigation proposal and appropriate fees must be submitted to this agency for review.
- The Hillsborough County Land Development Code (LDC) defines wetlands and other surface waters as Environmentally Sensitive Areas. Pursuant to the LDC, wetlands and other surface waters are further defined as Conservation Areas or Preservation Areas and these areas must be designated as such on all development plans and plats. A minimum setback must be maintained around the Conservation/Preservation Area and the setback line must also be shown on all future plan submittals.
- Any activity interfering with the integrity of wetland(s) or other surface water(s), such as clearing, excavating, draining or filling, without written authorization from the Executive Director of the EPC or authorized agent, pursuant to Section 1-11.07, would be a violation of Section 17 of the Environmental Protection Act of Hillsborough County, Chapter 84-446, and of Chapter 1-11.

Rome, Ashley

From: RYALL, OLIVIA J <oryall@teamhcso.com>
Sent: Wednesday, April 28, 2021 10:19 AM
To: Rome, Ashley
Subject: Fwd: RE RZ PD 21-0123

[External]

Good Morning,

There are no concerns at this time.

Thank you,
Olivia

Olivia J. Ryall

Program Specialist
Grants, Research, and Development Unit
Hillsborough County Sheriff's Office
J: 813.247.8232
oryall@teamhcso.com

From: "DANIEL P HAWKINS" <dhawkins@teamhcso.com>
To: "OLIVIA J RYALL" <oryall@teamhcso.com>
Sent: Wednesday, April 28, 2021 10:14:40 AM
Subject: Re: RE RZ PD 21-0123

No concerns. Thank you.

Corporal Daniel Hawkins ABN#221999
Hillsborough County Sheriff's Office
District V - Traffic
Office (813) 318-5461

From: "OLIVIA J RYALL" <oryall@teamhcso.com>
To: "DANIEL P HAWKINS" <dhawkins@teamhcso.com>
Sent: Wednesday, April 28, 2021 8:55:40 AM
Subject: Fwd: RE RZ PD 21-0123

Good Morning Sir,

Please let me know, if you have any comments or concerns.

Thank you,
Olivia

Olivia J. Ryall

Program Specialist
Grants, Research, and Development Unit
Hillsborough County Sheriff's Office
P: 813.247.8232
oryall@teamhcso.com

From: "Ashley Rome" <RomeA@hillsboroughcounty.org>

To: "Ackett, Kelli" <AckettK@hillsboroughcounty.org>, "Albert Marrero" <marreroa@plancom.org>, "Alvarez, Alicia" <AlvarezA@hillsboroughcounty.org>, "Amber Dickerson" <amber.dickerson@sdhc.k12.fl.us>, "Andrea Papandrew" <papandrewa@plancom.org>, "Ayesha Brinkley" <ayasha.brinkley@sdhc.k12.fl.us>, "Blinck, Jim" <BlinckJ@HillsboroughCounty.ORG>, "Brown, Gregory" <BrownGr@hillsboroughcounty.org>, "Cabrera, Richard" <CabreraR@HillsboroughCounty.ORG>, "Castro, Jason" <CastroJR@HillsboroughCounty.ORG>, "Santos, Daniel" <daniel.santos@dot.state.fl.us>, "David Skrelunas" <David.Skrelunas@dot.state.fl.us>, "Dickerson, Ross" <DickersonR@HillsboroughCounty.ORG>, "Ellen Morrison" <ellen.morrison@swfwmd.state.fl.us>, "Franklin, Deborah" <FranklinDS@hillsboroughcounty.org>, "Greg Colangelo" <colangeg@plancom.org>, "Hansen, Raymond" <HansenR@hillsboroughcounty.org>, "Holman, Emily - PUD" <HolmanE@HillsboroughCounty.ORG>, "Hudkins, Michael" <HudkinsM@hillsboroughcounty.org>, "Hummel, Christina" <HummelC@hillsboroughcounty.org>, "Impact Fees" <ImpactFees@hillsboroughcounty.org>, "Ivana Kajtezovic" <Ikajtezovic@tampabaywater.org>, "James Hamilton" <jkhamilton@tecoenergy.com>, "Jillian Massey" <masseyj@plancom.org>, "Jiwuan Haley" <haleyj@plancom.org>, "Kaiser, Bernard" <KAISERB@HillsboroughCounty.ORG>, "Katz, Jonah" <KatzJ@hillsboroughcounty.org>, "Kelly O'Connor" <kelly.oconnor@myfwc.com>, "Mineer, Lindsey" <Lindsey.Mineer@dot.state.fl.us>, "Lindstrom, Eric" <LindstromE@hillsboroughcounty.org>, "Mackenzie, Jason" <MackenzieJ@hillsboroughcounty.org>, "Matthew Pleasant" <matthew.pleasant@hcps.net>, "McGuire, Kevin" <McGuireK@HillsboroughCounty.ORG>, "Melanie Ganas" <mxganas@tecoenergy.com>, "Melissa Lienhard" <lienhardm@plancom.org>, "Martin, Monica" <MartinMo@hillsboroughcounty.org>, "OLIVIA J RYALL" <oryall@teamhcso.com>, "Perez, Richard" <PerezRL@hillsboroughcounty.org>, "Petrovic, Jakska" <PetrovicJ@HillsboroughCounty.ORG>, "Pezone, Kathleen" <PezoneK@hillsboroughcounty.org>, "Ratliff, James" <RatliffJa@hillsboroughcounty.org>, "Hessinger, Rebecca" <HessingerR@hillsboroughcounty.org>, "Carroll, Richard" <CarrollR@HillsboroughCounty.ORG>, "Rochelle, Randy" <RochelleR@HillsboroughCounty.ORG>, "Rodriguez, Dan" <RodriguezD@gohart.org>, "Sanchez, Silvia" <sanchezs@epchc.org>, "Schipfer, Andy" <Schipfer@epchc.org>, "Shelton, Carla" <SheltonC@HillsboroughCounty.ORG>, "Tapley, Kimberly" <tapleyk@epchc.org>, "Thompson, Mike" <Thompson@epchc.org>, "Tony Mantegna" <tmantegna@tampairport.com>, "Salisbury, Troy" <SalisburyT@hillsboroughcounty.org>, "Turbiville, John (Forest)" <TurbivilleJ@HillsboroughCounty.ORG>, "Valdez, Rick" <ValdezR@HillsboroughCounty.ORG>, "Yeneka Mills" <millsy@plancom.org>

Cc: "Brian Grady" <GradyB@HillsboroughCounty.ORG>, "Defranc, Kevie" <Defranck@hillsboroughcounty.org>, "Rosalina Timoteo" <TimoteoR@HillsboroughCounty.ORG>, "Bianca Vazquez" <VazquezB@hillsboroughcounty.org>, "Padron, Ingrid" <PadronI@hillsboroughcounty.org>, "Williams, Michael" <WilliamsM@HillsboroughCounty.ORG>

Sent: Tuesday, April 27, 2021 4:31:00 PM

Subject: RE RZ PD 21-0123

CAUTION: This email originated from an **External Source**. Please use proper judgment and caution when opening attachments, clicking links, or responding to this email.

Good Day All,

Please be advised, we have received and uploaded to Optix **revised documents/plans** for the above mentioned application. Please review and comment.

For further information regarding the change/update please contact the assigned planner.

Planner assigned:

Planner: Kevie Defranc

Contact: defranck@hillsboroughcounty.org

Have a good one,

Ashley Rome

Planning & Zoning Technician

Development Services Dept.

P: (813) 272-5595

E: romea@hillsboroughcounty.org

W: HCFLGov.net

Hillsborough County

601 E. Kennedy Blvd., Tampa, FL 33602

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AGENCY COMMENT SHEET

TO: **Zoning/Code Administration, Development Services Department**

FROM: **Reviewer:** Carla Shelton Knight **Date:** February 25, 2021

Agency: Natural Resources **Petition #:** 21-0123

- This agency has **no comment**
- This agency has **no objections**
- This agency has **no objections, subject to listed or attached conditions**
- This agency **objects, based on the listed or attached issues.**

1. Wetlands or other surface waters are considered Environmentally Sensitive Areas and are subject to Conservation Area setbacks. A minimum setback must be maintained around these areas which shall be designated on all future plan submittals and where land alterations are restricted. **Impervious encroachment into Wetland Conservation Area setbacks as depicted on the proposed rezoning plan will require a variance from the Land Use Hearing Officer prior to approval of Site Construction plans.**
2. Approval of this petition by Hillsborough County does not constitute a guarantee that Natural Resources approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impacts to trees, natural plant communities or wildlife habitat, and does not grant any implied or vested right to environmental approvals.
3. The construction and location of any proposed environmental impacts are not approved by this correspondence, but shall be reviewed by Natural Resources staff through the site and subdivision development plan process pursuant to the Land Development Code.
4. If the notes and/or graphic on the site plan are in conflict with specific zoning conditions and/or the Land Development Code (LDC) regulations, the more restrictive regulation shall apply, unless specifically conditioned otherwise. References to development standards of the LDC in the above stated conditions shall be interpreted as the regulations in effect at the time of preliminary site plan/plat approval.



NOTE: THIS IS ONLY FOR ESTIMATE PURPOSES, BASED ON THE FEES AT THE TIME THE REVIEW WAS MADE. ACTUAL FEES WILL BE ASSESSED BASED ON PERMIT APPLICATIONS RECEIVED AND BASED ON THE FEE SCHEDULE AT THE TIME OF BUILDING PERMIT APPLICATION.

TO: Zoning Review, Development Services

DATE: 02/12/2021

REVIEWER: Ron Barnes, Impact & Mobility Fee Coordinator

APPLICANT: BG Ventures, LLC

PETITION NO: 21-0123

LOCATION: W of Bell Shoals, N of Bloomingdale Ave

FOLIO NO: 73312.0100/73315.0000/73314.0300/73315.0100

Estimated Fees:

(Fee estimate is based on a 2,000 square foot, 3 bedroom, Single Family Detached)

Mobility: \$5,921.00 * 3 units = \$248,682.00

Parks: \$1,815 * 3 units = \$ 76,230.00

School: \$8,227.00 * 3 units = \$345,534.00

Fire: \$335.00 * 3 units = \$ 14,070.00

Total Single Family Detached = \$684,516.00

Self-Storage

(per 1,000 s.f.)

Mobility: \$449.00

Fire: \$32.00

Warehouse

(per 1,000 s.f.)

Mobility: \$877.00

Fire: \$34.00

Project Summary/Description:

Urban Mobility, Central Park/Fire - 3 Single Family Units; 32,000 s.f. storage/warehouse

AGENCY REVIEW COMMENT SHEET

TO: ZONING TECHNICIAN, Planning Growth Management

DATE: 14 Dec 2020

REVIEWER: Bernard W. Kaiser, Conservation and Environmental Lands Management

APPLICANT: Michael Horner

PETITION NO: RZ-PD 21-0123

LOCATION: 909 Knowles Rd., Brandon, FL 33511

**FOLIO NO: 73312.0100, 73315.0000, 73314.0300,
73315.0100**

SEC: 02 TWN: 30 RNG: 20

- This agency has no comments.
- This agency has no objection.
- This agency has no objection, subject to listed or attached conditions.
- This agency objects, based on the listed or attached conditions.

COMMENTS: _____.

**WATER RESOURCE SERVICES
REZONING REVIEW COMMENT SHEET: WATER & WASTEWATER**

PETITION NO.: PD21-0123 **REVIEWED BY:** Randy Rochelle **DATE:** 12/9/2020

FOLIO NO.: 73312.0100, 73315.0000, 73314.0300 & 73315.0100

This agency would (support), (conditionally support) the proposal.

WATER

- The property lies within the Hillsborough County Water Service Area. The applicant should contact the provider to determine the availability of water service.
- No Hillsborough County water line of adequate capacity is presently available.
- A 16 inch water main exists (adjacent to the site), (approximately ___ feet from the site) and is located within the west Right-of-Way of Bell Shoals Road.
- Water distribution improvements may be needed prior to connection to the County's water system.
- No CIP water line is planned that may provide service to the proposed development.
- The nearest CIP water main (____ inches), will be located (adjacent to the site), (feet from the site at ____). Expected completion date is ____.

WASTEWATER

- The property lies within the Hillsborough County Wastewater Service Area. The applicant should contact the provider to determine the availability of wastewater service.
- No Hillsborough County wastewater line of adequate capacity is presently available.
- A 16 inch wastewater force main exists (adjacent to the site), (approximately ___ feet from the site) and is located within the north Right-of-Way of 16th Avenue SW.
- Wastewater distribution improvements may be needed prior to connection to the County's wastewater system.
- No CIP wastewater line is planned that may provide service to the proposed development.
- The nearest CIP wastewater main (____ inches), will be located (adjacent to the site), (feet from the site at ____). Expected completion date is ____.

COMMENTS: This site is located within the Hillsborough County Urban Service Area, therefore the subject property should be served by Hillsborough County Water and Wastewater Service. This comment sheet does not guarantee water or wastewater service or a point of connection. Developer is responsible for submitting a utility service request at the time of development plan review and will be responsible for any on-site improvements as well as possible off-site improvements.



VERBATIM TRANSCRIPT

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HILLSBOROUGH COUNTY, FLORIDA
BOARD OF COUNTY COMMISSIONERS

ZONING HEARING MASTER HEARINGS
May 17, 2021
ZONING HEARING MASTER: PAMELA JO HATLEY

D2:
Application Number: RZ-PD 21-0123
Applicant: BG Ventures, LLC
Location: 60' North of Intersection
Bloomingdale Ave., Bell Shoals
Rd.
Folio Number: 073312.0100, 073314.0300,
073315.0000 & 073315.0100
Acreage: 11 acres, more or less
Comprehensive Plan: CMU-12
Service Area: Urban
Existing Zoning: PD (88-0103), ASC-1 & RSC-2
Request: Rezone to Planned Development

1 MR. GRADY: The next item then is agenda
2 item D-2, Rezoning Application RZ-PD 21-0123. The
3 applicant is BG Ventures, LLC.

4 The request is to rezone from PD, ASC-1, and
5 RSC-2 to Planned Development. Kevie Defranc with
6 County Staff will provide staff recommendation
7 after presentation by the applicant.

8 MR. HORNER: Good evening, Madam Hearing
9 Master. For the record, I'm Michael Horner, 14502
10 North Dale Mabry Highway, Suite 200, Tampa, 33618.

11 With me tonight, Madam Hearing Master, is
12 Mr. Scott Hinrichs of Caladesi Construction. He's
13 going to make a brief comment after my comments,
14 and then also Greg Soulliere, who is owner of BG
15 Ventures, the actual owner of this property and the
16 applicant.

17 Madam Hearing Master, we've been in this
18 process a long time. My records go back almost a
19 year, including some preop meetings prior to that.
20 So we have -- we think that it is quite thoroughly.

21 We've had several continuances, one of them
22 due to transportation issue and administrative
23 variances and design exceptions. Other due to
24 filing a design variations that came up in the
25 middle of our process.

1 This application comes to you with full
2 recommendations of approval and unanimous
3 recommendations from the Planning Commission in
4 terms of consistency with all Comp Plan policies,
5 the Future Land Use Element.

6 We also have no objections from any review
7 agency. We have no word of any opposition. This
8 is approximately 10.9 acres, Madam Hearing Master.
9 It's located between Bloomingdale and Knowles Road
10 to the north, Bloomingdale Avenue to the south.
11 We're just west of Bell Shoals Road.

12 We are zoned PD, ASC-1, and RSC-2. The PD
13 occupies the southern portion of this tract. We
14 are rezoning the northern portion of this tract to
15 accommodate public storage facilities and three
16 single-family lots, I might add.

17 We are in CMU-12 mixed use, 12 units per
18 acre, which extends throughout this entire area up
19 to Knowles Road. We are seeking approval for
20 9700 square feet of enclosed storage; 22,844 square
21 feet of covered storage, boats, RVs, etc. And
22 incorporating existing three-story
23 66,000-square-foot public storage building that I
24 can point out.

25 See the existing public storage building on

1 the north side of the Bloomingdale PD. This is the
2 north portion that we are seeking additional
3 rezoning the PD district for. That existing
4 storage building has been in place for, I want to
5 say, 30-plus years.

6 We have coordinated with Hillsborough County
7 regarding parcel swaps that allow for -- they're
8 required retention in flood compensation areas. So
9 we have a joint applicant of Hillsborough County.
10 They own certain parcels west of Bell Shoals Road.

11 We have engaged with those discussions.
12 Settlement agreement that was submitted into the
13 record that essentially allows us to have an access
14 driveway to the east via a 43-foot-wide parcel.

15 So part of Hillsborough County's pond and
16 part of Hillsborough County's compensation area are
17 within the PD. Those uses will continue to be
18 mitigation and ponds.

19 Without that trade-off and that land swap,
20 Madam Hearing Master, my client's existing business
21 and certainly any proposed uses we think would be
22 virtually impossible to construct based upon
23 restricted access currently in Bloomingdale Avenue.

24 Some meandering access. Bloomingdale Avenue
25 has recently been improved. Restricted medians

1 have come into place. Illegal U-turn movements.
2 So it's extremely difficult for anyone,
3 particularly eastbound, to be able to access my
4 client's existing storage building, let alone
5 proposed.

6 Hillsborough County has widened Bell Shoals
7 Road with those improvements. Move to the site
8 plan. I'm sorry. You can see our proposed access
9 to Bell Shoals Road to the east. Again, that
10 parcel strip that my client has fee simple
11 ownership interest in for that agreement is
12 44 feet. We are incorporating the County's balance
13 of the pond in the PD.

14 The Bell Shoals improvement project allows
15 for a full access. It also allows for an alignment
16 that was recently incorporated into a PD to the
17 east, which was recently reviewed and approved by
18 the Hearing Master and was on the consent agenda
19 last Tuesday, I believe, for the Board of County
20 Commissioners.

21 So they are conducting that access drive
22 westward with their townhome PD and allowing that
23 full access to our proposed eastern extension of
24 that driveway for a full median access opening.

25 I'm going to go through a couple of these

1 exhibits. Is there a microphone here?

2 HEARING MASTER HATLEY: Mr. Horner, if you
3 would just speak into the microphone and then point
4 out what you're talking about, that'd be helpful.
5 Thank you. And I'm following you. I've got the
6 site plan up right here.

7 MR. HORNER: Yeah. I'm trying to point and
8 speak and I can't do. Remember the hold days, we
9 had the handheld microphone.

10 HEARING MASTER HATLEY: Thank you.

11 MR. HORNER: In any event, our plan reflects
12 a number of storage buildings, five on the northern
13 portion. The most northern portion of our proposed
14 PD is actually a mixed-use component, and we ask
15 for three single-family lots.

16 Those three single-family lots we proposed
17 per RSC-3, RSC-2 standards, they are a little over
18 half an acre. And the reason we propose those is
19 we thought we would be on private well, septic
20 tank.

21 We have public water we're connecting to,
22 but we did not think the public sewer would be
23 mandatory based upon the limited impacts and the
24 fact that public sewer is so far away.

25 In addition to that, we proposed initially

1 townhomes. Staff was supportive of that,
2 obviously, for the CMU-12 density to be implemented
3 under Policy 1.4. We had to file waivers for the
4 single-family because some residents to the
5 north -- those residents north of Knowles Road have
6 RSC-3 zoned lots, single-family homes all on septic
7 tank. And they indicated they were very concerned
8 about attached units across the street.

9 Understandably, my client pulled back, and
10 we amended the plan to allow for three
11 single-family detached lots on 1.5, 1.7 acres, more
12 or less.

13 I might also add the FAR that we're proposing
14 is well below the .50, even when you consider the
15 density transfer allowance with the intensities of
16 the wetlands up to 158,500 square feet. Again, we
17 are proposing approximately 32,500 square feet of
18 new storage area.

19 I believe should also advise you that we have
20 a full wetland delineation out there, Madam Hearing
21 Master. We have worked with EPC. I'm going to
22 file in the record their comments indicating no
23 resubmittal was necessary. I think we have a
24 slight encroachment into the wetland area itself of
25 about 300 square feet, more or less.

1 We also filed for a LUHO variance for
2 encroachment into the wetland setback because the
3 initial staff concerns were this was an arbitrary
4 access.

5 Something in addition not necessary and that
6 clearly cannot be further from the truth, given the
7 Bloomingdale restricted access concerns with those
8 turning movements. Without that, Bell Shoals
9 access with this project does not work. This
10 graphic -- the two photographs north and south are
11 abutting Mr. Soulliere's existing
12 60,000-square-foot building.

13 You can see it's a pretty tight connection.
14 We have the wetlands on one side, the building on
15 the other. That's how it's been existing for years
16 and also has been maintained for years. Long story
17 short, staff has advised us -- over a month ago
18 actually advised us that we do not have to go
19 forward with the LUHO variance. That's been
20 withdrawn.

21 But I wanted to let you know that that site
22 access exists. There's pavement underneath in
23 terms of concrete and asphalt. The Bell Shoals
24 driveway is critical. The cross-access is critical
25 to take advantage of that full access at Bell

1 Shoals.

2 In terms of buffering and screening Madam
3 Hearing Master, we meet all of those requirements
4 under 6.06. We far exceed those on the western
5 property line. We have a large pond next to one of
6 our buildings.

7 We did have to file a variation regarding
8 the access driveway to Bell Shoals. 20-foot buffer
9 was required. Obviously, we only have a 24-foot
10 drive and 44 feet. Plus we have to have a buffer
11 and sidewalk and drainage. For that reason, we ask
12 for a 10-foot variation to the 20-foot buffer
13 requirement.

14 In addition to that, staff required a PD
15 variation for crossing connectivity from the
16 storage to the single-family lot area. Had a
17 20-foot buffer proposed, Type B, in order to
18 connect that sidewalk across.

19 Staff initially wanted vehicular cross
20 connection. So they accepted the pedestrian
21 access. So we will have a continuous proposed
22 sidewalk path from Knowles Road down the eastern
23 portion to a proposed east-west sidewalk connection
24 that goes straight to Bell Shoals Road.

25 Knowles Road sidewalks are not in place. My

1 client will be constructing all of those in
2 conjunction with single-family homes. One comment,
3 Madam Hearing Master, we have a number of design
4 variations in terms of transportation. So I didn't
5 want to get into minutiae details.

6 Suffice to say they are presented to you as
7 approvable. They relate to the spacing
8 requirements of the proposed access driveway to
9 Bell Shoals Road. We are aligning with the
10 townhome-proposed access drive connection. That
11 spacing has to do with Knowles Road separation to
12 the driveway that was recommended for approval.

13 And the second one is for substandard
14 improvements because low-trip generation rate, open
15 storage of that has not been required. The staff
16 report does state improvements required to Bell
17 Shoals Road. It's not a condition. It was just a
18 comment.

19 I want you to know that that was not the
20 case. There will be no additional improvements to
21 Knowles Road because Hillsborough County is
22 currently widening and improving Bell Shoals Road.

23 The third variation, Madam Hearing Master,
24 is that connection between the building, which is
25 pointed out between the building and environmental

1 area.

2 Staff wanted us to meet the 24-foot minimum
3 requirement. That would have triggered more
4 environmental reduce impact to mitigation. So that
5 4-foot difference. We propose 20. It was
6 accepted.

7 I'm going to stop at this point and allow
8 Mr. Hinrichs to offer his comments, and then Greg
9 Soulliere is going to close. And I'll be happy to
10 answer any questions in the meantime if you have
11 any right now.

12 HEARING MASTER HATLEY: You have just under
13 three minutes.

14 MR. HORNER: All right. Scott, speak quick.

15 MR. HINRICHS: My name is Scott Hinrichs
16 with Caladesi Construction. I live at 2220 Bow
17 Lane in Safety Harbor representing Caladesi
18 Construction.

19 I've been the contractor of record for BG
20 Ventures for the last 25 years. I've done projects
21 for him. Back in 2018, when the Bloomingdale
22 project started at the road expansion, the mini
23 storage lost access off of Bloomingdale from a turn
24 lane, which is represented right here in this area.

25 There's a light installed at this area here

1 by the Dunkin' Donuts, which is actually a little
2 further east -- west. At that time we did approach
3 the Dunkin' Donut owner to see about purchasing his
4 property behind him to give us that light access
5 onto the mini storage. That did not go through.

6 So then we went to the other side, and we
7 actually had a preliminary meeting with
8 Hillsborough County in order to gain access on the
9 west side -- east side of his property -- sorry.

10 So his existing property stops at that line.
11 And at that time we approached the County to seek
12 about getting an access down the service road going
13 to Bell Shoals. At that time they denied us
14 because it was too close to the Bloomingdale
15 access, and it would have been a problem.

16 Since then, then they started doing the
17 expansion at Bell Shoals. We looked at the
18 northern property going out to Knowles Road. We
19 approached the gentleman owning that, and during
20 that time, Bell Shoals expansion took a quarter of
21 that property, which limited us as far as on
22 getting back and forth.

23 We approached them. We ended up trading off
24 through the land swap, which gave us an access to
25 Bell Shoals. That's kind of highlighted in the red

1 area. All of this has been going on since about
2 2018.

3 We approached every avenue that we could in
4 order to expedite his services of expanding his
5 business. Thank you very much.

6 HEARING MASTER HATLEY: Thank you.

7 MR. HORNER: By chance for Mr. Soulliere --

8 HEARING MASTER HATLEY: You're at
9 14 seconds. Can you sum it up in one minute?

10 MR. SOULLIERE: We're a 9 to 5 business --

11 MR. GRADY: Sir, we need your name and
12 address.

13 HEARING MASTER HATLEY: We need your name.

14 MR. SOULLIERE: Greg Soulliere,
15 S-o-u-l-l-i-e-r-e, 1727 Anglers Court, Safety
16 Harbor, Florida 34695. I'll be brief.

17 We're a 9 to 5 business, and we're
18 residential oriented. We're not really a
19 commercial business. We're lawn guys. We're a
20 clean business, limited hours, and trying to run a
21 nice residential, low buying business.

22 HEARING MASTER HATLEY: All right. Thank
23 you very much. Please see the clerk over here and
24 sign in.

25 MR. HORNER: Thank you, Madam.

1 HEARING MASTER HATLEY: All right. Thank
2 you, Mr. Horner.

3 All right. County Development Services,
4 please.

5 MR. DEFRANC: Good evening. My name is
6 Kevie Defranc with Hillsborough County Development
7 Services.

8 Is my screen share visible for everyone?

9 MR. PUTNAM: Yes, it is.

10 MR. DEFRANC: So for this rezoning
11 application, the applicant is requesting to rezone
12 the subject property from the existing PD 88-0103,
13 ASC-1, and RSC-2 zoning districts to a new PD
14 zoning district.

15 And the subject property is located
16 approximately 60 feet northwest of Bell Shoals Road
17 and Bloomingdale Avenue intersections. But as you
18 can see, certain or different portions of the
19 subject property are adjacent to Bloomingdale
20 Avenue, Bell Shoals Road, and Knowles Road.

21 And the property associated with the subject
22 rezoning application has a Future Land Use
23 designation of CMU-12, and CMU-12 category permits
24 consideration of residential densities up to a
25 maximum density of 12 units per acre and

1 nonresidential intensities of up to a maximum FAR
2 of .5. And nearby FLU categories include OC-20 and
3 RES-4.

4 And, again, Planning Commission staff will
5 speak about overall Comprehensive Plan compliance,
6 location criteria, etc., after this presentation or
7 report.

8 HEARING MASTER HATLEY: Is that all,
9 Mr. Defranc?

10 MR. DEFRANC: No. I'm continuing.

11 HEARING MASTER HATLEY: All right. Thank
12 you.

13 MR. DEFRANC: And the surrounding zoning
14 consists of adjacent properties zoned ASC-1 and PD
15 to the west, PD to the south, RSC-2, PD, and OR to
16 the east; but within the general area, there are
17 other properties zoned RSC-3 to the north.

18 And the surrounding development pattern
19 comprises of existing residential, primarily
20 single-family, office, and mix of high-intensity
21 commercial uses.

22 And, specifically, the proposed PD requested
23 uses include the existing self-storage facility,
24 additional self-storage facilities, and a maximum
25 of three single-family residential lots that have a

1 minimum lot area of 21,780 square feet each.

2 But important outstanding issues that need
3 to be highlighted include the submittal of a
4 revised site plan prior to site plan certification
5 addressing several transportation-related issues,
6 the filing of a companion PRS to obtain an approval
7 for the removal of the existing portion of the
8 subject site that is within the existing PD, and
9 the prohibition -- the prohibition of the requested
10 use of septic tanks. Thus the requirement for
11 connection to the public wastewater system and the
12 critical design features requirement for the
13 internal access drive that's adjacent to the
14 wetland, and the required sidewalk pedestrian
15 connection between the uses that encroaches within
16 the required landscape buffer.

17 And based on the CMU-12 Future Land Use
18 classification, the surrounding zoning and
19 development pattern and the proposed uses, slash,
20 development standards for the proposed PD, staff
21 finds the request approvable subject to conditions,
22 and that concludes my report. And I'm available
23 for questions.

24 HEARING MASTER HATLEY: Thank you,
25 Mr. Defranc.

1 All right. We'll hear from Planning
2 Commission, please.

3 MS. LIENHARD: Thank you. Melissa Lienhard,
4 Planning Commission staff.

5 The subject property is located in the
6 Community Mixed-Use-12 Future Land Use category.
7 It is in the Urban Service Area, and the subject
8 property is located within the limits of the
9 Brandon Community Plan.

10 According to Future Land Use Element
11 Policy 1.3, developments within the Urban Service
12 Area and within land use categories permitting four
13 dwelling units -- four dwelling units or greater
14 are to develop at no less than 75 percent of the
15 allowable density of the Future Land Use category
16 unless meeting certain criteria.

17 The applicant is proposing three
18 single-family homes on 1.71 acres. With this
19 acreage, 75 percent of the plan category for CMU-12
20 translates to a minimum density requirement of
21 15 units.

22 Due to the larger single-family lot pattern
23 along this portion of Knowles Road, the proposed
24 use meets the exception to minimum density due to
25 compatibility concerns.

1 Future Land Use Element Policy 19.1 requires
2 sites that are 10 acres or greater in CMU-12 Future
3 Land Use categories to develop with a minimum of
4 two land uses.

5 Furthermore, according to Policy 19.1, at
6 least 10 percent of the total square footage of the
7 building must be designated for the second use. In
8 this case, since the applicant is proposing
9 residential as the second use, it encourages being
10 used as the 10 percent threshold.

11 The applicant is meeting the intent by
12 providing 1.71 acres of the 10-acre site. This
13 applicant is proposing a mixture of single-family
14 residential units and commercial uses.

15 Additionally, all development in the
16 mixed-use categories are to be integrated and
17 interconnected to one another. A pedestrian
18 connection between the two uses is being proposed.

19 The applicant is meeting the intent of
20 Objective 19 and Policy 19.1 with regard to
21 mixed-use policy language. To guarantee
22 development that provides a mixture of uses as part
23 of a condition of approval, a tiny mechanism has
24 been put into the place.

25 The subject property is in a unique area

1 with low density residential and intensive Future
2 Land Use classifications. In the vicinity of the
3 northern portion of the site, the development
4 pattern includes large lot single-family
5 residential.

6 The southern boundary of the site is
7 developed with commercial uses. Objective 16 and
8 its accompanying Policy 16.2 and 16.3 provide
9 direction on achieving compatibility with
10 surrounding land uses through various transitions,
11 buffering and site planning techniques.

12 The applicant has provided several buffering
13 and screening measures to mitigate for any adverse
14 effects on the surrounding area. Policy 1.4 of the
15 Future Land Use Element states that compatibility
16 does not mean the same as, rather it refers to the
17 sensitivity of development proposals and
18 maintaining the character of existing development.

19 Because the applicant has covered the RV and
20 boat storage, as well as provided a 20-foot buffer
21 with a 6-foot opaque fence along the western
22 boundary of the site, this mitigates any impacts to
23 the adjacent single-family to the west, which is in
24 keeping with the character of the area and is
25 consistent with policy direction.

1 Based upon those considerations, Planning
2 Commission staff finds the proposed Planned
3 Development consistent with the Future of
4 Hillsborough Comprehensive Plan for unincorporated
5 Hillsborough County subject to the conditions
6 proposed by Development Services. Thank you.

7 HEARING MASTER HATLEY: Thank you.

8 All right. Are there any persons in the room
9 or online who wish to speak in support of this
10 application? Don't hear any.

11 Are there any persons here in the room or
12 online who wish to speak in opposition? All right.

13 MR. HERNANDEZ: Edgardo Hernandez. I'm at
14 917 Knowles Road, which you guys have RSC-2, and
15 I'm opposed to the drive adjacent to the wetland,
16 which would be right behind my lot.

17 HEARING MASTER HATLEY: Okay. Go ahead,
18 sir.

19 MR. HERNANDEZ: Okay. I just wanted to
20 point out with this is that that drive will be
21 directly behind my lot, and I'm opposed to it
22 because of safety and security concerns.

23 I know that they've proposed that they will
24 do a fence on that side, but just a fence won't
25 really secure my lot significantly. So this is why

1 we are directly opposed to this.

2 HEARING MASTER HATLEY: Okay. Anything
3 else?

4 MR. HERNANDEZ: At this point, like I said,
5 it's just really that drive right there; and if,
6 you know, I can get some more information on what
7 they're trying to -- if they're going to try to up
8 the security in that drive, I really -- the drive
9 really imposes on my land.

10 HEARING MASTER HATLEY: Okay. And your
11 property is 917 Knowles Road? Is that yours?

12 MR. HERNANDEZ: You got it. Exactly.

13 HEARING MASTER HATLEY: Okay. Okay. I
14 understand. Thank you, sir.

15 All right. Are there any other persons here
16 or online who wish to speak in opposition to this
17 application? Come up, please.

18 MS. CAIL: My name is Myrtle Cail. I live
19 at 811 Knowles Road, Brandon, Florida 33511.

20 HEARING MASTER HATLEY: Go ahead, please.
21 Thank you.

22 MS. CAIL: Within our community on Knowles
23 Road, we have homes only. There's been no
24 business. It's a viable community. It's well
25 kept. We even have some recently upscale new homes

1 built in the area.

2 It's a quiet road. It's tree lined. We
3 don't see any lights from Bloomingdale. Hopefully,
4 the trees that are there will prevent pollution
5 from reaching us from the thousands of cars that do
6 go down Bloomingdale.

7 And I'm sure they will have to remove the
8 trees that are at that back property line. I know
9 they're going to try and put trees in, but they
10 don't have 50-year-old growth like we have now.

11 That road is also home to the Knowles
12 homestead that's been there for over 120 years. It
13 has had previous historic designation. Our
14 properties are 1, 3, and even up to 5 and 8 acres
15 on the road. They're well kept. Our residents
16 have been there sometimes -- I've been there
17 44 years. I know some others have been there
18 longer.

19 This rezoning will allow a creep of business
20 into these homes that have been there. They're
21 well kept. When that encroaches onto that back
22 property line and -- it's in line with all the
23 properties up and down Knowles.

24 We have the same common property line. That
25 will breach and come into our neighborhood, which

1 opens up for more business. The homes are well
2 kept up. It's not a declining neighborhood to say,
3 okay, we bring business in and this improves the
4 area.

5 I know the storage facility has problems
6 there. There's several other businesses that do,
7 and I don't know who planned that way back when
8 that allowed that they couldn't get into their
9 properties. It was poor planning for them. I
10 understand that.

11 I know they're going to put three homes
12 there on Knowles, which is nice for the neighbors
13 right across. I'm a little further down, and my
14 3 acres go all the way to that back property line.
15 I will see all of that that goes in there back
16 there. I won't see the homes. I will see this new
17 business.

18 I've had people visit me and they'd say,
19 this is like paradise here, and it is for us. But
20 if business comes in there, it's going to be just
21 like dominos falling. It will -- it will basically
22 destroy that area, I believe. I guess that's all I
23 have to say. Thank you.

24 HEARING MASTER HATLEY: Thank you, Ms. Cail.

25 All right. Any -- any other persons in the

1 room or online who wish to speak in opposition?

2 Okay.

3 Development Services, any further comments?

4 MR. GRADY: Nothing further.

5 HEARING MASTER HATLEY: Okay. Applicant,
6 rebuttal?

7 MR. HORNER: Thank you, Madam Hearing
8 Master. Again, Michael Horner for the record.

9 We don't want to destroy any neighborhoods,
10 and for that reason, we abandoned the townhome
11 development 12 units per acre, which one and a half
12 acres. Have 22 units.

13 So we filed this plan with those three
14 single-family lots to serve as that unified
15 incorporated PD buffer. It's a residential, phase
16 is residential. That being said, I know she is to
17 the west and not to the north of Knowles Road.

18 MR. GRADY: You need to pull the graphic
19 down a little bit. You can't see the --

20 MR. HORNER: So you can see our proposed
21 retention pond. We also have a buffer to the west.
22 We are proposing tree plantings to augment the
23 existing trees as well as we have a 6-foot PVC 100
24 percent opaque fence.

25 In addition to that, we actually have

1 buildings closer to the west property line, and we
2 widen that pond and increase that separation to our
3 first -- so it's a considerable distance.

4 Also, Hearing Master, these are all
5 one-story buildings. They'll be architecturally
6 finished. This is a passive, quiet use. This will
7 be gated. This will be secure, 24-hour video
8 surveillance.

9 So I respect Ms. Cail, want her to have her
10 privacy. We think we've accommodated that, and I
11 can assure you if we offered 20 townhomes there,
12 traffic, noise, parking, etc., would be a much
13 bigger impact than our three single-family homes.

14 To Mr. Fernandez's (sic) comment --

15 HEARING MASTER HATLEY: I see.

16 MR. HORNER: -- that driveway will have also
17 6-foot-high, 100 percent opaque PVC fence. We're
18 maintaining the Type B screening. So we're not
19 asking for any relief, only on the width.

20 Again, this being a low trip generation use.
21 In addition to that, it's going to be screened and
22 it's going to be secured and gated. So I don't
23 want Mr. Fernandez to think this is going to be a
24 thoroughfare through traffic; that this will be a
25 private road that will be gated and secured.

1 So we want to assure him and I believe he
2 has some nonresidential land use opportunities in
3 the future because he meets all the locational
4 criteria at Knowles Road and Bell Shoals.

5 But we're respecting his right for existing
6 single-family home and that's why we think this
7 limited driveway, limited access with full
8 screening under 6.06 and just modifying the buffer
9 width is reasonable.

10 Lastly -- and I'll close -- so Condition 15,
11 Madam Hearing Master, requires no septic tank use
12 in the Urban Service Area. And it's been difficult
13 for us because all through our narrative and all
14 through our site plan in big, bold letters,
15 applicant seeks to construct on-site private
16 septic. Public water but septic tank use.

17 Mr. Grady informed me today that given a
18 recent LDC update early this year, the further
19 subdivision of (unintelligible) no longer in the
20 Urban Service Area. You can go to the LUHO for a
21 variance for third lot on a septic tank or second
22 lot on a septic tank.

23 So it's going to be difficult for us because
24 we have three single-family homes and a 16-inch
25 force main under high pressure that will require

1 probably a jack and bore.

2 So I just throw that out there that we
3 offered that. Our whole plans were predicated on
4 those three single-family lots being used with
5 septic tank. That's why we allocated the half
6 acre.

7 So it's been a little frustrating to find
8 out a week before the hearing that we cannot use
9 septic tanks. For what that's worth, we appreciate
10 your time and thank you for your support.

11 HEARING MASTER HATLEY: All right. Thank
12 you, Mr. Horner.

13 All right. That will close the hearing then
14 on application PD 21-0123.

15 MR. GRADY: Madam Hearing Master, this is
16 about the time we usually take a quick break for
17 the clerk's office. However long you want to take.

18 HEARING MASTER HATLEY: All right. We're
19 going to break for ten minutes. Back at 8:20.

20 (Recess taken at 8:10 p.m.)

21 (Recess concluded at 8:20 p.m.)

22 HEARING MASTER HATLEY: All right. Thank
23 you, everyone. We're ready to reconvene. This is
24 the Zoning Hearing Master Hearing for May 17, 2021.

25 And, Mr. Grady, call the next case, please.

1 application is being withdrawn from the Zoning
2 Hearing Master process.

3 Item A-3, Major Mod Application 20-1068.
4 This application is out of order to be heard and is
5 being continued to the May 17th, 2021, Zoning
6 Hearing Master Hearing.

7 Item A-4, Rezoning-PD 20-1198. This
8 application is being continued by the applicant to
9 the May 17th, 2021, Zoning Hearing Master Hearing.

10 Item A-5, Rezoning-PD 20-1377. This
11 application is out of order to be heard and is
12 being continued to the July 26, 2021, Zoning
13 Hearing Master Hearing.

14 Item A-6, Major Mod Application 21-0036.
15 This application is out of order to be heard and is
16 being continued to the May 17, 2021, Zoning Hearing
17 Master Hearing.

18 Item A-7, Major Mod Application 21-0038.
19 This application is being continued by staff to the
20 May 17, 2021, Zoning Hearing Master Hearing.

21 Item A-8, PD 21-0123. This application is
22 being continued by staff to the May 17th, 2021,
23 Zoning Hearing Master Hearing.

24 Item A-9, Major Mod Application 21-0169.
25 This application is being continued by staff to the

HILLSBOROUGH COUNTY, FLORIDA
BOARD OF COUNTY COMMISSIONERS

-----X
)
 IN RE:)
)
 ZONE HEARING MASTER)
 HEARINGS)
)
 -----X

ZONING HEARING MASTER HEARING
TRANSCRIPT OF TESTIMONY AND PROCEEDINGS

BEFORE: SUSAN FINCH
Land Use Hearing Master

DATE: Monday, March 15, 2021

TIME: Commencing at 6:00 p.m.
Concluding at 10:35 p.m.

PLACE: Webex Videoconference

Reported By:

Christina M. Walsh, RPR
Executive Reporting Service
Ulmerton Business Center
13555 Automobile Blvd., Suite 100
Clearwater, FL 33762
(800) 337-7740

1 the May 17th, 2021, Zoning Hearing Master Hearing.

2 Item A-12, Major Mod Application 21-0116.
3 This application is being -- staff is requesting
4 this be continued to the May 17th, 2021, Zoning
5 Hearing Master Hearing.

6 Item A-13, RZ-PD 21-0123 -- 123. The staff
7 is requesting this be continued to the April 19,
8 2021, Zoning Hearing Master Hearing.

9 Item A-14, Major Mod Application 21-0169.
10 This application is out of order to be heard and is
11 being continued to the April 19, 2021, Zoning
12 Hearing Master Hearing.

13 Item A-15, Rezoning-PD 21-0212. This
14 application is being continued by the applicant to
15 the April 19, 2021, Zoning Hearing Master Hearing.

16 Item A-16, Rezoning-PD 21-0220. This
17 application is out of order to be heard and is
18 being continued to the April 19, 2021, Zoning
19 Hearing Master Hearing.

20 Item A-17, Rezoning-PD 21-0221. This
21 application is out of order to be heard and is
22 being continued to the April 19, 2021, Zoning
23 Hearing Master Hearing.

24 Item A-18, Rezoning-PD 21-0222. This
25 application is being continued by the applicant to

1 application is being continued by staff to the
2 March 15th, 2021, Zoning Hearing Master Hearing.

3 Item A-22, Rezoning-PD 21-0113. This
4 application is being continued by the applicant to
5 the May 17th, 2021, Zoning Hearing Master Hearing.

6 Item A-23, Major Mod 21-0116. This
7 application is being continued by staff to the
8 March 15th, 2021, Zoning Hearing Master Hearing.

9 Item A-24, Rezoning-PD 21-121. This
10 application is out of order to be heard and is
11 being continued to the March 15th, 2021, Zoning
12 Hearing Master Hearing.

13 Item A-25, RZ-PD 21-0123. This application
14 is being continued by the applicant to the
15 March 15th, 2021, Zoning Hearing Master Hearing.

16 And item A-26, Rezoning-Standard 21-0242.
17 This application is being continued by staff to the
18 March 15th, 2021, Zoning Hearing Master.

19 That concludes all withdrawals and
20 continuances.

21 HEARING MASTER HATLEY: Thank you,
22 Mr. Grady.

23 All right. Before we get into the hearings
24 tonight, I'm going to go over some procedures. The
25 agenda tonight consists of items that require a



**EXHIBITS SUBMITTED
DURING THE ZHM HEARING**

DATE/TIME: 5/17/21 6pm

HEARING MASTER: Pamela Jo Harley

PLEASE **PRINT CLEARLY**, THIS INFORMATION WILL BE USED FOR MAILING

<p>APPLICATION # <u>RZ 21-0371</u></p>	<p>PLEASE PRINT NAME <u>Todd Pressman</u></p> <p>MAILING ADDRESS <u>1000 Jay Ave S #451</u></p> <p>CITY <u>St Pete</u> STATE <u>FL</u> ZIP <u>33706</u> PHONE <u>727-804-1760</u></p>
<p>APPLICATION # <u>RZ 21-0371</u></p>	<p>PLEASE PRINT NAME <u>Alan Meyer</u></p> <p>MAILING ADDRESS <u>1223 US Hwy 92 EAST</u></p> <p>CITY <u>Soffen</u> STATE <u>FL</u> ZIP <u>33584</u> PHONE <u>813-299-4935</u></p>
<p>APPLICATION # <u>RZ 21-0371</u></p>	<p>PLEASE PRINT NAME <u>DAVID SCHANZ</u></p> <p>MAILING ADDRESS <u>901 US 92 E</u></p> <p>CITY <u>Seffert</u> STATE <u>FL</u> ZIP <u>33592</u> PHONE <u>813-299-5038</u></p>
<p>APPLICATION # <u>RZ-21-0371</u></p>	<p>PLEASE PRINT NAME <u>Stephanie Mortellaro</u></p> <p>MAILING ADDRESS <u>705 Bryan Rd</u></p> <p>CITY <u>Brandon</u> STATE <u>FL</u> ZIP <u>33511</u> PHONE <u>813-997-8675</u></p>
<p>APPLICATION # <u>RZ 21-0110</u></p>	<p>PLEASE PRINT NAME <u>Todd Pressman</u></p> <p>MAILING ADDRESS <u>1000 Jay Ave S #451</u></p> <p>CITY <u>St Pete</u> STATE <u>FL</u> ZIP <u>33706</u> PHONE <u>727-804-1760</u></p>
<p>APPLICATION # <u>RZ 21-0110</u></p>	<p>PLEASE PRINT NAME <u>Scott Fitzpatrick</u></p> <p>MAILING ADDRESS <u>811-B Cypress Village Blvd.</u></p> <p>CITY <u>Riskin</u> STATE <u>FL</u> ZIP <u>32577</u> PHONE <u>813-634-5425</u></p>

DATE/TIME: 6:00pm 5/17/21

HEARING MASTER: Pamela Jo Hatley

PLEASE PRINT CLEARLY, THIS INFORMATION WILL BE USED FOR MAILING

APPLICATION # RZ-PD-21-0123	PLEASE PRINT NAME <u>Michael D. Horner</u> MAILING ADDRESS <u>14522 N. Dale Pass Dr.</u> CITY <u>T</u> STATE <u>FL</u> ZIP <u>33618</u> PHONE <u>962-2385</u>
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APPLICATION # RZ-PD-21-0123	PLEASE PRINT NAME <u>[Signature]</u> MAILING ADDRESS <u>2220 Bow Lane</u> CITY <u>Safety Harbor</u> STATE <u>FL</u> ZIP <u>34695</u> PHONE <u>727-638-3369</u>
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APPLICATION # RZ-PD-21-0123	PLEASE PRINT NAME <u>Greg Soutter</u> MAILING ADDRESS <u>1727 Anglers Ct</u> CITY <u>Safety Harbor</u> STATE <u>FL</u> ZIP <u>34695</u> PHONE <u>727-418-1475</u>
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APPLICATION # RZ-PD-21-0123	PLEASE PRINT NAME <u>Myrtle Carl</u> MAILING ADDRESS <u>811 Knowles Rd.</u> CITY <u>Brandon</u> STATE <u>FL</u> ZIP <u>33571</u> PHONE <u>813-716-7689</u>
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APPLICATION # MM 21-0312	PLEASE PRINT NAME <u>Cannon Brickmeyer</u> MAILING ADDRESS <u>601 N. Astley Dr.</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33602</u> PHONE <u>(813) 229-7700</u>
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APPLICATION # RZ 21-0314	PLEASE PRINT NAME <u>Rebecca Kert</u> MAILING ADDRESS <u>606 E Madison</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33602</u> PHONE <u>813 368-3004</u>
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DATE/TIME: 5/17/21 6pm

HEARING MASTER: Pamela Jo Harley

PLEASE PRINT CLEARLY, THIS INFORMATION WILL BE USED FOR MAILING

APPLICATION # RZ 21-0314	PLEASE PRINT NAME <u>Christie Barreiro</u> MAILING ADDRESS <u>5904-A Hampton Oaks Parkway</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33610</u> PHONE <u>813-253-5311</u>
APPLICATION # RZ 21-0314	PLEASE PRINT NAME <u>Stanley OUSOL</u> MAILING ADDRESS <u>RuSoBo@gmail.com</u> CITY <u>TPA</u> STATE <u>FL</u> ZIP <u>33608</u> PHONE <u>813-914-4828</u>
APPLICATION # RZ 21-0314	PLEASE PRINT NAME <u>Pam Hannam</u> MAILING ADDRESS <u>13802 Orange Sunset Dr.</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33618</u> PHONE <u>858-539-3121</u>
APPLICATION # RZ 21-0314	PLEASE PRINT NAME <u>MADONNA M'DERMOTT</u> MAILING ADDRESS <u>13322 MORAN DR</u> CITY <u>TPA</u> STATE <u>FL</u> ZIP <u>33618</u> PHONE <u>813-961-9103</u>
APPLICATION # RZ 21-0314	PLEASE PRINT NAME <u>ANDREW R LAVIN</u> MAILING ADDRESS <u>13322 MORAN DR.</u> CITY <u>TPA</u> STATE <u>FL</u> ZIP <u>33618</u> PHONE <u>(913)961-9103</u>
APPLICATION # RZ 21-0314	PLEASE PRINT NAME <u>Steve Hanley</u> MAILING ADDRESS <u>5023 W. LAUREL ST</u> CITY <u>TPA</u> STATE <u>FL</u> ZIP <u>33607</u> PHONE <u>33607</u>

DATE/TIME: 5/17/21 6pm HEARING MASTER: Pamela Jo HatleyPLEASE **PRINT CLEARLY**, THIS INFORMATION WILL BE USED FOR MAILING

APPLICATION # <u>RZ</u> <u>21-0314</u>	PLEASE PRINT NAME <u>Michael Brooks</u> MAILING ADDRESS <u>606 E Madison Ave</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33602</u> PHONE <u>543-5900</u>
APPLICATION # <u>RZ</u> <u>21-0315</u>	PLEASE PRINT NAME <u>Steve Haney</u> MAILING ADDRESS <u>5023 W. CANAL ST</u> CITY <u>TPA</u> STATE <u>FL</u> ZIP <u>33607</u> PHONE <u>813-289-0039</u>
APPLICATION # <u>RZ</u> <u>21-0315</u>	PLEASE PRINT NAME <u>Kami Corbett</u> <u>3500</u> MAILING ADDRESS <u>101 E Kennedy Blvd, Ste 3500</u> CITY <u>TAMPA</u> STATE <u>FL</u> ZIP <u>33602</u> PHONE <u>813-227-8421</u>
APPLICATION # <u>RZ</u> <u>21-0319</u>	PLEASE PRINT NAME <u>CLAYTON BRECKENRIDGE</u> MAILING ADDRESS <u>601 N. Asher Dr</u> CITY <u>TAMPA</u> STATE <u>FL</u> ZIP <u>33602</u> PHONE <u>(813) 229-7200</u>
APPLICATION # <u>RZ</u> <u>21-0319</u>	PLEASE PRINT NAME <u>Shameyiah Francis</u> MAILING ADDRESS <u>9501 Traboga Pkce Riverview, FL</u> CITY <u>Riverview</u> STATE <u>FL</u> ZIP <u>33578</u> PHONE <u>813-504-9560</u>
APPLICATION # <u>RZ</u> <u>21-0319</u>	PLEASE PRINT NAME <u>Andrea Waller</u> MAILING ADDRESS <u>9901 W. 20th St.</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33612</u> PHONE <u>813-863-4693</u>

DATE/TIME: 5/17/21 6pm HEARING MASTER: Pamela Jo HatleyPLEASE **PRINT CLEARLY**, THIS INFORMATION WILL BE USED FOR MAILING


APPLICATION # <u>RZ</u> <u>21-0319</u>	PLEASE PRINT NAME <u>RICK GNATOWSKY</u> MAILING ADDRESS <u>10445 RIVERCREST DRIVE</u> CITY <u>RIVERVIEW</u> STATE <u>FL</u> ZIP <u>33578</u> PHONE <u>501/632-9798</u>
APPLICATION # <u>RZ</u> <u>21-0319</u>	PLEASE PRINT NAME <u>Edith Satter</u> MAILING ADDRESS <u>9606 Mathog Rd</u> CITY <u>Riverview</u> STATE <u>FL</u> ZIP <u>33578</u> PHONE ⁸¹³ <u>611-0907</u>
APPLICATION # <u>RZ</u> <u>21-0319</u>	PLEASE PRINT NAME <u>Carol Strachan</u> MAILING ADDRESS <u>9345 MATHOG RD</u> CITY <u>Rvw</u> STATE <u>FL</u> ZIP <u>33578</u> PHONE ⁷²⁷⁻⁴²²⁻ <u>5625</u>
APPLICATION # <u>RZ</u> <u>21-0319</u>	PLEASE PRINT NAME <u>Michael SALTER</u> MAILING ADDRESS <u>9606 MATHOG Rd</u> CITY <u>TAMPA</u> STATE <u>FL</u> ZIP <u>33578</u> PHONE ⁸⁰³ <u>404-2135</u>
APPLICATION # <u>RZ</u> <u>21-0319</u>	PLEASE PRINT NAME <u>JAMES LADNER</u> MAILING ADDRESS <u>33578 9345 MATHOG RD</u> CITY <u>RIVERVIEW</u> STATE <u>FL</u> ZIP <u>33578</u> PHONE <u>813 319 3282</u>
APPLICATION # <u>RZ</u> <u>21-0319</u>	PLEASE PRINT NAME <u>PETER PENSA, AICP, AVID GROUP</u> MAILING ADDRESS <u>2300 CURLEW RD, STE 201, PALM HARBOR 34683</u> CITY _____ STATE _____ ZIP _____ PHONE <u>727-234-8015</u>

DATE/TIME: 5/17/21 6am HEARING MASTER: Pamela Jo HurleyPLEASE **PRINT CLEARLY**, THIS INFORMATION WILL BE USED FOR MAILING

APPLICATION # <u>RZ</u> <u>21-0319</u>	PLEASE PRINT NAME <u>Steve Hawley</u> MAILING ADDRESS <u>503 W. LAUREL ST</u> CITY <u>TPA</u> STATE <u>FL</u> ZIP <u>33607</u> PHONE <u>815-289-0039</u>
APPLICATION # <u>RZ</u> <u>21-0371</u>	PLEASE PRINT NAME <u>Elizabeth Belcher (virtual)</u> MAILING ADDRESS <u>617 Penn National Road</u> CITY <u>Seffner</u> STATE <u>FL</u> ZIP <u>33584</u> PHONE _____
APPLICATION # <u>RZ</u> <u>21-0371</u>	PLEASE PRINT NAME <u>Grace McComas (virtual)</u> MAILING ADDRESS <u>805 Old Darby Street</u> CITY <u>Seffner</u> STATE <u>FL</u> ZIP <u>33584</u> PHONE _____
APPLICATION # <u>RZ-PD</u> <u>21-0123</u>	PLEASE PRINT NAME <u>Edgardo Hernandez (virtual)</u> MAILING ADDRESS <u>971 Knowles Road</u> CITY <u>Brandon</u> STATE <u>FL</u> ZIP <u>33511</u> PHONE _____
APPLICATION # <u>RZ 21-0577</u>	PLEASE PRINT NAME <u>Tyler Hudson (virtual)</u> MAILING ADDRESS <u>400 North Ashley Drive</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33602</u> PHONE _____
APPLICATION # <u>MM 21-0344</u>	PLEASE PRINT NAME <u>Tyler Hudson (virtual)</u> MAILING ADDRESS <u>400 North Ashley Drive</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33602</u> PHONE _____

MAY 17, 2021 - ZONING HEARING MASTER


The Zoning Hearing Master (ZHM), Hillsborough County, Florida, met in Regular Meeting, scheduled for Monday, May 17, 2021, at 6:00 p.m., held virtually.


 Pamela Jo Hatley, ZHM, called the meeting to order and led in the pledge of allegiance to the flag.

A. WITHDRAWALS AND CONTINUANCES

 Brian Grady, Development Services, reviewed changes/withdrawals/continuances.


D.3. MM 21-0169

 Pamela Jo Hatley, ZHM, sought verification of continued agenda item D.3. MM 21-0169.

 Pamela Jo Hatley, ZHM, announced D.3 MM 21-0222 was continued to June 14, 2021.

 Brian Grady, Development Services, made comments on how to proceed.


 Pamela Jo Hatley, ZHM, calls proponents/opponents on MM 21-0169.

 Pamela Jo Hatley, ZHM, continued MM 21-0169 to June 14, 2021.

 Brian Grady, Development Services, reviewed withdrawals/continuances.

 Pamela Jo Hatley, ZHM, reviewed the meeting procedures.

 Assistant County Attorney Mary Dorman overview of oral argument/ZHM process.

 Pamela Jo Hatley, ZHM, oath.

B. REMANDS - Not Addressed.

C. REZONING STANDARD (RZ-STD):

C.1. RZ-STD 21-0371

 Brian Grady, Development Services, calls RZ 21-0371.

 Todd Pressman, applicant rep, presents testimony, submitted exhibits.

 Pamela Jo Hatley, ZHM, questions to applicant rep.


MONDAY, MAY 17, 2021

- 📄 Todd Pressman, applicant rep, answers questions and continues testimony.
- 📄 Christopher Grandlienard, Development Services, staff report.
- 📄 Melissa Lienhard, Planning Commission, staff report.
- 📄 Pamela Jo Hatley, ZHM, calls proponents.
- 📄 Alan Moyer, proponent, presents testimony.
- 📄 David Schanz, proponent, presents testimony.
- 📄 Stephanie Mortellaro, proponent, presents testimony.
- 📄 Pamela Jo Hatley, ZHM, calls opponents.
- 📄 Elizabeth Belcher, opponent, presents testimony.
- 📄 Grace McComas, opponent, presents testimony.
- 📄 Pamela Jo Hatley, ZHM, calls for Development Services.
- 📄 Brian Grady, Development Services, made remarks.
- 📄 Pamela Jo Hatley, ZHM, called for applicant rep.
- 📄 Brian Grady, Development Services, added comments.
- 📄 Todd Pressman, applicant rep, gave rebuttal.
- 📄 Pamela Jo Hatley, ZHM, closes RZ 21-0371

C.2. RZ-STD 21-0577

- 📄 Brian Grady, Development Services, calls RZ 21-0577.
- 📄 Tyler Hudson, applicant rep, presents testimony.
- 📄 Pamela Jo Hatley, ZHM, questions to applicant rep.
- 📄 Tyler Hudson, applicant rep, answers questions and continues testimony.
- 📄 Christopher Grandlienard, Development Services, staff report.
- 📄 Melissa Lienhard, Planning Commission, staff report.

MONDAY, MAY 17, 2021

 Pamela Jo Hatley, ZHM, calls proponents/opponents/Development Services/applicant rep/closes RZ 21-0577.

D. REZONING-PLANNED DEVELOPMENT (RZ-PD) & MAJOR MODIFICATION (MM):

D.1. RZ-PD 21-0110

 Brian Grady, Development Services, calls RZ 21-0110.

 Todd Pressman, applicant rep, presents testimony.

 Michelle Heinrich, Development Services, staff report.

 Melissa Lienhard, Planning Commission, staff report.

 Pamela Jo Hatley, ZHM, calls for proponents/opponents.


 Scott Fitzpatrick, opponent, presents testimony.

 Pamela Jo Hatley, ZHM, calls for Development Services/applicant rep.

 James Ratliff, Development Services, transportation staff report.

 Brian Grady, Development Services, made remarks.

 Pamela Jo Hatley, ZHM, calls applicant rep.

 Todd Pressman, applicant rep, gave rebuttal.

 Pamela Jo Hatley, ZHM, closes RZ 21-0110.

D.2. RZ-PD 21-0123

 Brian Grady, Development Services, calls RZ 21-0123.

 Michael Horner, applicant rep, presents testimony.

 Scott Hinrichs, applicant rep, presents testimony.

 Gregory Soulliere, applicant rep, presents testimony.

 Kevie Defranc, Development Services, staff report.

 Melissa Lienhard, Planning Commission, staff report.

 Pamela Jo Hatley, ZHM, calls proponents/opponents

 Edgardo Hernandez, opponent, presents testimony.

MONDAY, MAY 17, 2021

Myrtle Cail, opponent, presents testimony.

Pamela Jo Hatley, ZHM, calls Development Services/applicant rep.

Michael Horner, applicant rep, gave rebuttal.

Pamela Jo Hatley, ZHM, closes RZ 21-0123.

ZHM Breaks

ZHM Resumes Hearing

D.4. MM 21-0312

Brian Grady, Development Services, calls MM 21-0312.

Clayton Bricklemyer, applicant rep, presents testimony.

Tania Chapela, Development Services, staff report.

Melissa Lienhard, Planning Commission, staff report.

Pamela Jo Hatley, ZHM, calls proponents/opponents/Development Services/applicant rep/closes MM 21-0312.

D.5. RZ-PD 21-0314

Brian Grady, Development Services, calls RZ 21-0314.

Rebecca Kert, applicant rep, presents testimony.

Christie Barreiro, applicant rep, presents testimony.

Pamela Jo Hatley, ZHM, questions to applicant rep.

Rebecca Kert, applicant rep, answers ZHM questions.

Kevie Defranc, Development Services, staff report.

Melissa Lienhard, Planning Commission, staff report.

Pamela Jo Hatley, ZHM, calls proponents/opponents.

Stanley O'Neal, opponent, presents testimony.

Pamela Hannam, opponent, presents testimony.

- 📄 Madonna McDermott, opponent, presents testimony.
- 📄 Andrew Lavin, opponent, presents testimony.
- 📄 Pamela Jo Hatley, ZHM, call Development Services/applicant rep.
- 📄 Michael Brooks, applicant rep, gave rebuttal.
- 📄 Steve Henry, applicant rep, gave rebuttal.
- 📄 Michael Brooks, applicant rep, gave rebuttal.
- 📄 Pamela Jo Hatley, ZHM, closes RZ 21-0314.

D.6. RZ-PD 21-0315

- 📄 Brian Grady, Development Services, calls RZ 21-0315.
- 📄 Kami Corbett, applicant rep, presents testimony.
- 📄 Steve Henry, applicant rep, presents testimony.
- 📄 Kami Corbett, applicant rep, presents testimony.
- 📄 Israel Monsanto, Development Services, staff report.
- 📄 Melissa Lienhard, Planning Commission, staff report.
- 📄 Pamela Jo Hatley, ZHM, calls for proponents/opponents/Development Services/applicant rep.
- 📄 Kami Corbett, applicant rep, made rebuttal.
- 📄 Pamela Jo Hatley, ZHM, closes RZ 21-0315.

D.7. RZ-PD 21-0319

- 📄 Brian Grady, Development Services, calls RZ 21-0319.
- 📄 Clayton Bricklemeyer, applicant rep, presents testimony.
- 📄 Pamela Jo Hatley, ZHM, questions to application rep.
- 📄 Clayton Bricklemeyer, applicant rep, answers question.
- 📄 Michelle Heinrich, Development Services, staff report.

MONDAY, MAY 17, 2021


- 📄 Melissa Lienhard, Planning Commission, staff report.
- 📄 Pamela Jo Hatley, ZHM, calls for proponents/opponents
- 📄 Shameyah Francis, opponent, presents testimony.
- 📄 Andrea Waller, opponent, presents testimony.
- 📄 Brian Grady, Development Services, made comments.
- 📄 Rick Gnatowsky, opponent, presents testimony.
- 📄 Edith Salter, opponent, presents testimony.
- 📄 Carol Strachan, opponent, presents testimony.
- 📄 Michael Salter, opponent, presents testimony.
- 📄 Jim Ladner, opponent, presents testimony.
- 📄 Pamela Jo Hatley, ZHM, call Development Services
- 📄 James Ratliff, Development Services, transportation staff report.
- 📄 Pamela Jo Hatley, ZHM, calls applicant rep.
- 📄 Clayton Bricklemyer, applicant rep, gave rebuttal.
- 📄 Peter Pensa, applicant rep, gave rebuttal.
- 📄 Steve Henry, applicant rep, gave rebuttal.
- 📄 Pamela Jo Hatley, ZHM, closes RZ 21-0319.

D.8. MM 21-0344

- 📄 Brian Grady, Development Services, calls RZ 20-1282.
- 📄 Tyler Hudson, applicant rep, presents testimony.
- 📄 Steven Beachy, Development Services, staff report.
- 📄 Melissa Lienhard, Planning Commission, staff report.
- 📄 Pamela Jo Hatley, ZHM, calls proponents/opponents/Development Services/applicant rep/closes RZ 20-1282

MONDAY, MAY 17, 2021

ADJOURNMENT

 Pamala Jo Hatley, ZHM, adjourns the meeting.

COMMISSION

Mariella Smith CHAIR
 Pat Kemp VICE-CHAIR
 Harry Cohen
 Ken Hagan
 Gwendolyn "Gwen" W. Myers
 Kimberly Overman
 Stacy White



Application No. 21-0123
 Name: Michael Horner
 Entered at Public Hearing: ZHM
 Exhibit # 1 Date: 5-17-21

Janet L. Dougeny EXECUTIVE DIRECTOR
 Hooshang Boostani, P.E. WASTE DIVISION
 Elaine S. DeLeeuw ADMIN DIVISION
 Sam Elrabi, P.E. WATER DIVISION
 Rick Muratti, Esq. LEGAL DEPT
 Andy Schipfer, P.E. WETLANDS DIVISION
 Sterlin Woodard, P.E. AIR DIVISION

AGENCY COMMENT SHEET

REZONING	
HEARING DATE: 5/17/2021	COMMENT DATE: 4/13/2021
PETITION NO.: 21-0123	PROPERTY ADDRESS: 912 E Bloomingdale Ave, 909 Knowles Rd, and Bell Shoals Rd, Brandon, FL 33511
EPC REVIEWER: Dessa Clock	FOLIO #: 073312-0100, 073314-0300, 073315-0000, 073315-0100
CONTACT INFORMATION: (813) 627-2600 X1158	STR: 02-30S-20E
EMAIL: clockd@epchc.org	
REQUESTED ZONING: PD	
FINDINGS	
WETLANDS PRESENT	YES
SITE INSPECTION DATE	1/13/2021
WETLAND LINE VALIDITY	Valid through 3/23/2026
WETLANDS VERIFICATION (AERIAL PHOTO, SOILS SURVEY, EPC FILES)	Wetlands located in southeastern and southwestern portion of the project area
<p>***These comments shall supersede comments issued by EPC Wetlands Division on February 1, 2021***</p> <p>The EPC Wetlands Division has reviewed the proposed rezoning. In the site plan's current configuration, a resubmittal is not necessary. If the zoning proposal changes and/or the site plans are altered, EPC staff will need to review the zoning again. This project as submitted is conceptually justified to move forward through the zoning review process as long as the following conditions are included:</p> <ul style="list-style-type: none"> • Approval of this zoning petition by Hillsborough County does not constitute a guarantee that the Environmental Protection Commission of Hillsborough County (EPC) approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impact to wetlands, and does not grant any implied or vested right to environmental approvals. • The construction and location of any proposed wetland impacts are not approved by this correspondence, but shall be reviewed by EPC staff under separate application pursuant to the 	

Environmental Excellence in a Changing World

Environmental Protection Commission - Roger P. Stewart Center
 3629 Queen Palm Drive, Tampa, FL 33619 - (813) 627-2600 - www.epchc.org

EPC Wetlands rule detailed in Chapter 1-11, Rules of the EPC, (Chapter 1-11) to determine whether such impacts are necessary to accomplish reasonable use of the subject property.

- Prior to the issuance of any building or land alteration permits or other development, the approved wetland / other surface water (OSW) line must be incorporated into the site plan. The wetland/ OSW line must appear on all site plans, labeled as "EPC Wetland Line", and the wetland must be labeled as "Wetland Conservation Area" pursuant to the Hillsborough County Land Development Code (LDC).
- Final design of buildings, stormwater retention areas, and ingress/egresses are subject to change pending formal agency jurisdictional determinations of wetland and other surface water boundaries and approval by the appropriate regulatory agencies.

INFORMATIONAL COMMENTS:

The following specific comments are made for informational purposes only and to provide guidance as to the EPC review process. However, future EPC staff review is not limited to the following, regardless of the obviousness of the concern as raised by the general site plan and EPC staff may identify other legitimate concerns at any time prior to final project approval.

- The site plan depicts wetland impacts that have not been authorized by EPC. The wetland impacts are indicated as 349 square feet for a proposed access connection. If you choose to proceed with the wetland impact depicted on the plan, a separate Miscellaneous Activities in Wetlands application and appropriate fees must be submitted to this agency for review.
- The Hillsborough County Land Development Code (LDC) defines wetlands and other surface waters as Environmentally Sensitive Areas. Pursuant to the LDC, wetlands and other surface waters are further defined as Conservation Areas or Preservation Areas and these areas must be designated as such on all development plans and plats. A minimum setback must be maintained around the Conservation/Preservation Area and the setback line must also be shown on all future plan submittals.
- Any activity interfering with the integrity of wetland(s) or other surface water(s), such as clearing, excavating, draining or filling, without written authorization from the Executive Director of the EPC or authorized agent, pursuant to Section 1-11.07, would be a violation of Section 17 of the Environmental Protection Act of Hillsborough County, Chapter 84-446, and of Chapter 1-11.



Michael Horner <mdhorner.aicp@gmail.com>

Bloom Storage photos

1 message

Michael Horner <mdhorner.aicp@gmail.com>
To: "Shelton, Carla" <SheltonC@hillsboroughcounty.org>

Wed, Mar 10, 2021 at 1:55 PM

Carla,

Great to speak with you this morning on this case.

Below are two photos of the 'wetland setback' area directly abutting the existing 60,000 s.f. storage building on east side (which has been there 30+ years)

One photo looking north with building on west/left, and other looking south w/ building on east/right side.

We are getting Kelly Holland correct ownership authorization on wetland line sign off, which he has already accepted.

M>

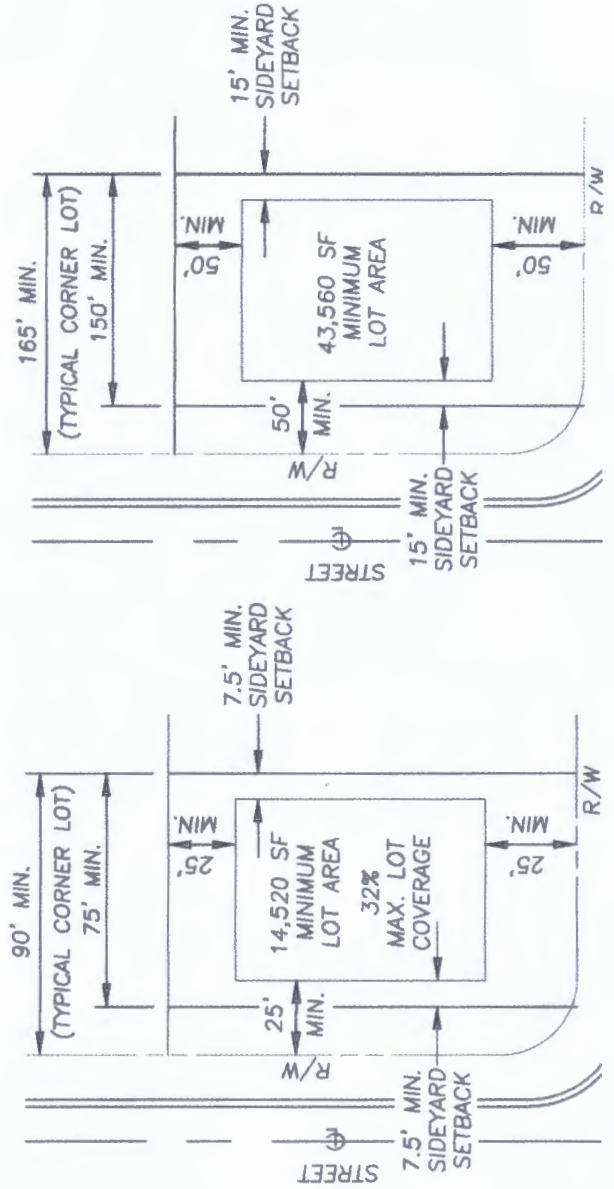


Michael D. Horner, AICP
14502 North Dale Mabry Highway
Suite 200
Tampa, FL 33618

SITE DATA:

Parcel Size: 10.93 Acres mol
Existing Zoning: ASC-1, RSC-2, PD (RZ88-0103)
Proposed Zoning: PD for Enclosed and Covered Storage, Plus 3 Single Family Residences
Existing Use: (1) SFR, ±60,216 SF Enclosed Storage
Proposed Use: (3) SFR on 1.71 Acres (1.75 DU/AC) ±60,216 SF Existing Enclosed Storage, +9,700 SF Proposed Enclosed Storage +22,844 SF Proposed Covered RV & Boat Parking = 92,760 SF Total on 9.22 Acres (0.231 FAR)
Existing FLUC: CMU-12
Service Area: Hillsborough County Urban Service Area*

* NOTE: APPLICANT SEEKS TO CONSTRUCT AN ONSITE PRIVATE SEPTIC SYSTEM & DRAIN FIELD FOR SANITARY WASTE DISPOSAL.



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GENERAL NO1

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3. SEE PLAN FOR SCALE, S
4. SEE PLAN FOR VICINITY COUNTY.
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7. NO EASEMENTS ARE KNC PROJECT BOUNDARIES.
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14. NO OPTIONAL BUILDING I
15. SEE PLAN FOR THE PRO CURRENT CONDITION.
16. SEE PLAN FOR THE GEN, 17. NO ADDITIONAL DIGITS



**PARTY OF
RECORD**

NONE