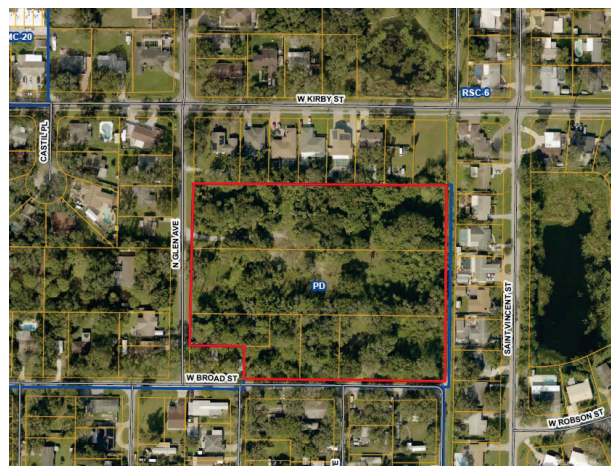




**PD Modification Application:** PRS 24-1124  
**Zoning Hearing Master Date:** NA  
**BOCC Land Use Meeting Date:** December 10, 2024

**1.0 APPLICATION SUMMARY**

**Applicant:** BSFR Glen Ave. LLC (Peggy Tseung)  
**FLU Category:** RES-20 and RES-6  
**Service Area:** Urban  
**Site Acreage:** 6.24  
**Community Plan Area:** None  
**Overlay:** None



**Introduction Summary:**

PD 18-0943, as most recently modified by PRS 23-0744 was approved in 2023 to allow for 61 attached (townhomes) conventional residential units. The applicant requests to modify the PD to reduce the dwelling units to 33, and to relocate the access to W. Broad St.

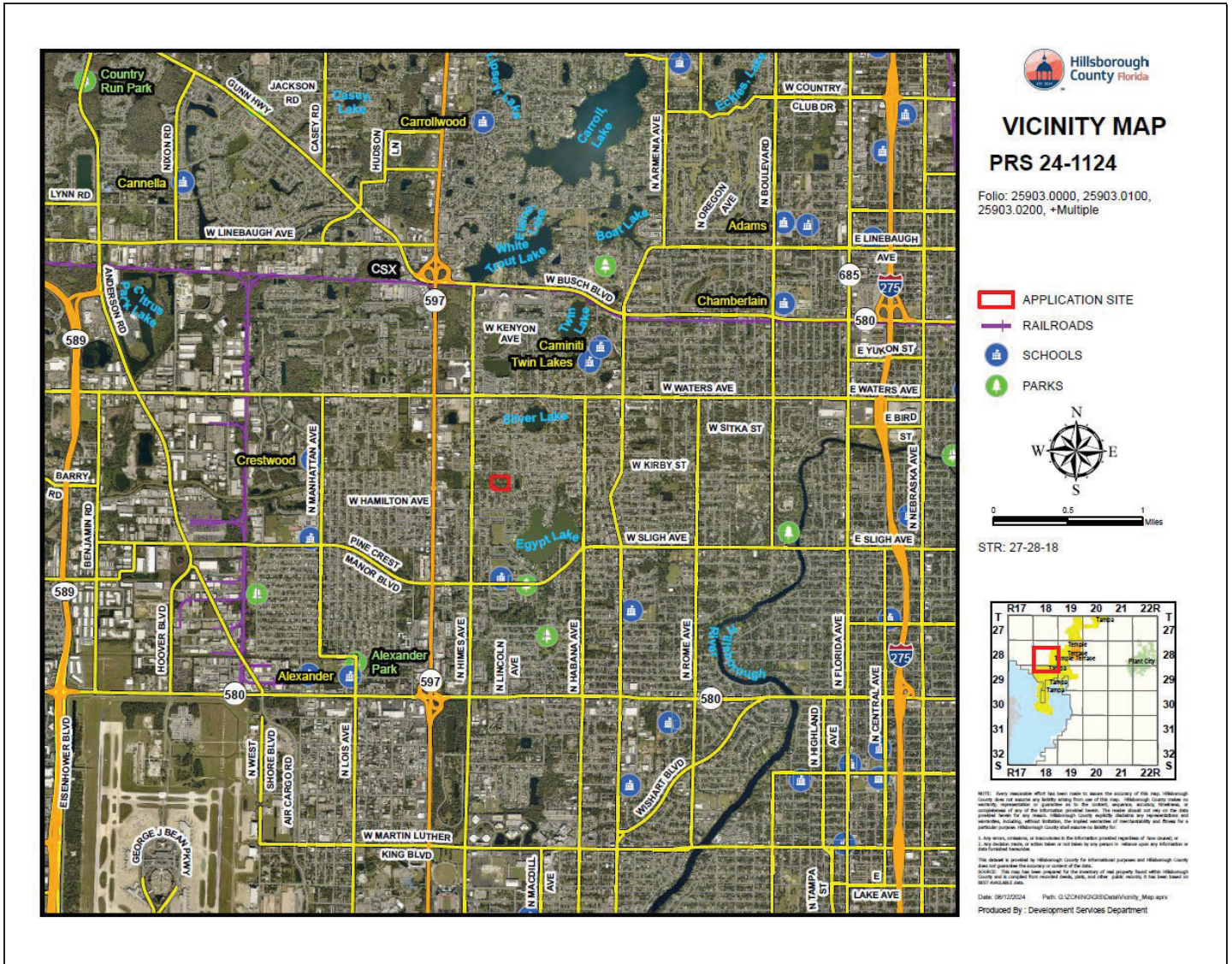
Existing Approval(s):	Proposed Modification(s):
The project shall be developed with up to 61 attached, (townhomes) residential units.	The project shall be developed with up to 33 attached, (townhomes) residential units.
Access to Broad Street as shown on the site plan PRS 23-0744.	To shift the access to W. Broad St. west +/- 40 Ft.

Additional Information:	
PD Variation(s):	None Requested as part of this application
Waiver(s) to the Land Development Code:	None Requested as part of this application

<b>Planning Commission Recommendation:</b> N/A	<b>Development Services Recommendation:</b> Approvable, subject to proposed conditions
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## 2.0 LAND USE MAP SET AND SUMMARY DATA

### 2.1 Vicinity Map



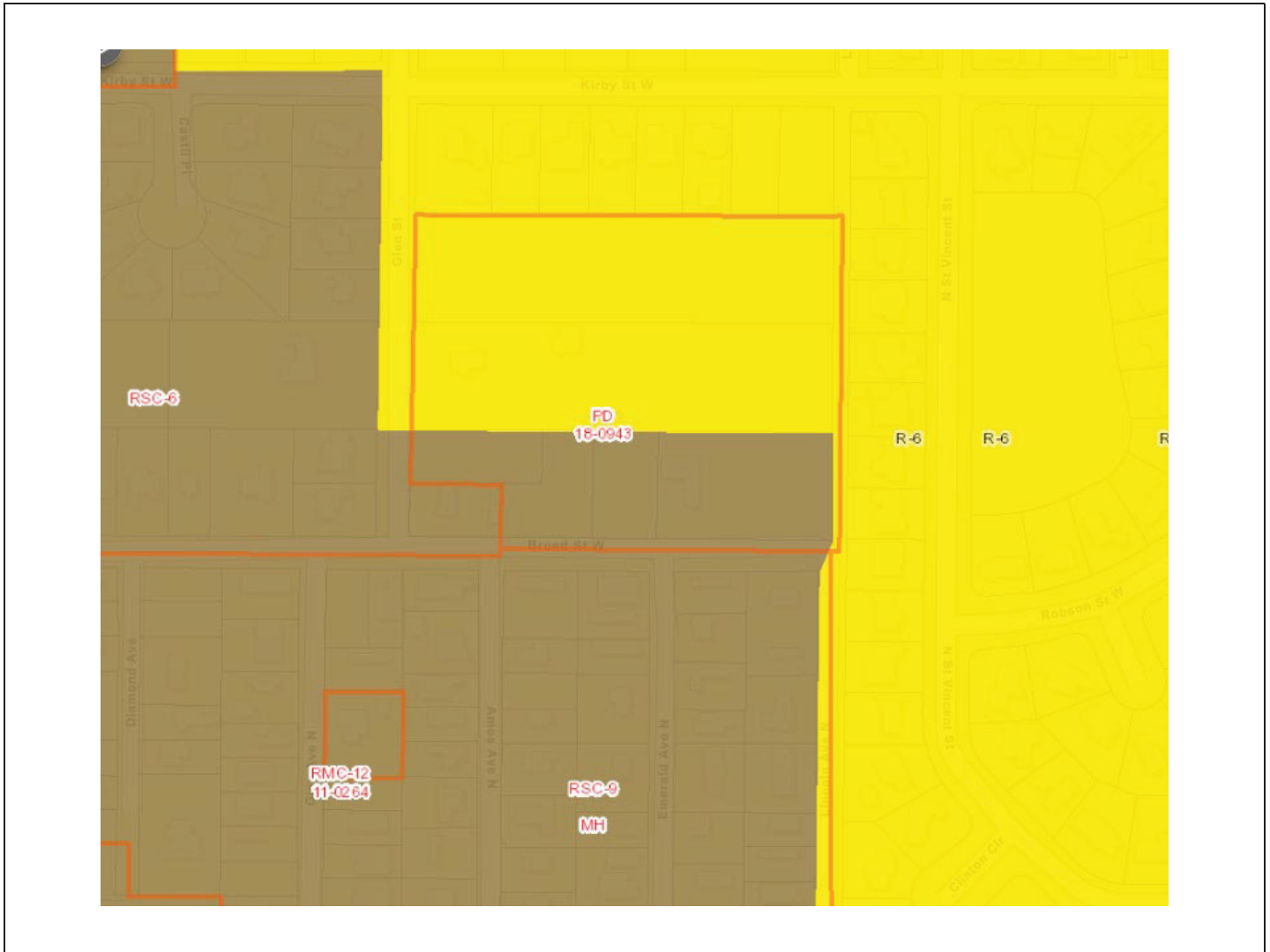
#### Context of Surrounding Area:

The property is located in the intersection of two local roads, Broad St W St., and Glen St., approximately 2,200 feet east of the intersection with Dale Mabry Hwy, in Carrollwood.

The property is surrounded by properties zoned RSC-9, RSC-6 with single family residential development.

**2.0 LAND USE MAP SET AND SUMMARY DATA**

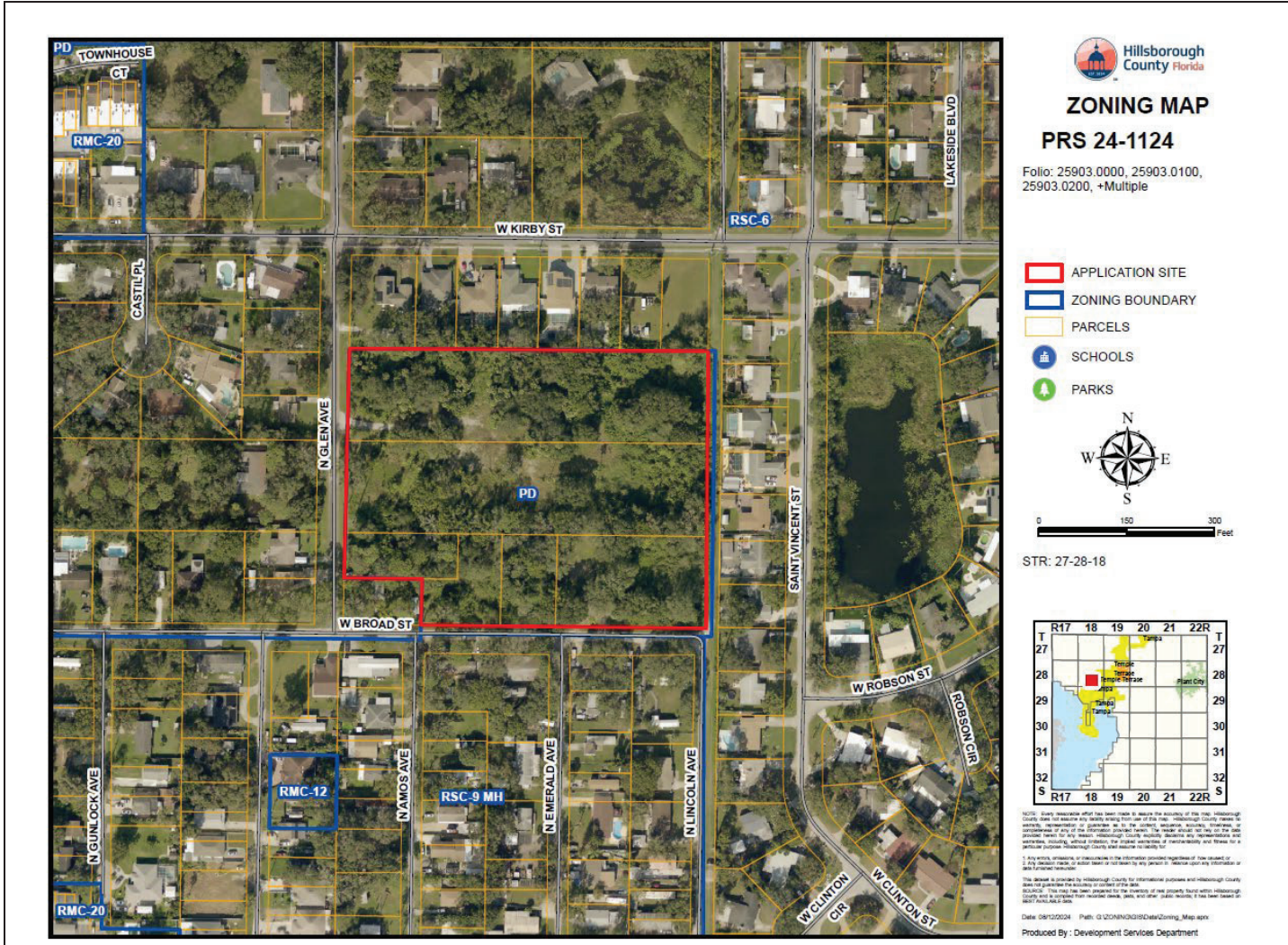
**2.2 Future Land Use Map**



Subject Site Future Land Use Category:	RES-6, RES-20
Maximum Density/F.A.R.:	RES-6: 6 DU/AC, 0.25 FAR. RES-20: 20 DU/AC, 0.50 FAR
Typical Uses:	<p>RES 6: Residential, suburban scale neighborhood commercial, office uses, multi-purpose projects and mixed use development.</p> <p>RES 20: Residential, neighborhood commercial, office uses, multi-purpose projects and mixed use developments</p>

2.0 LAND USE MAP SET AND SUMMARY DATA

2.3 Immediate Area Map

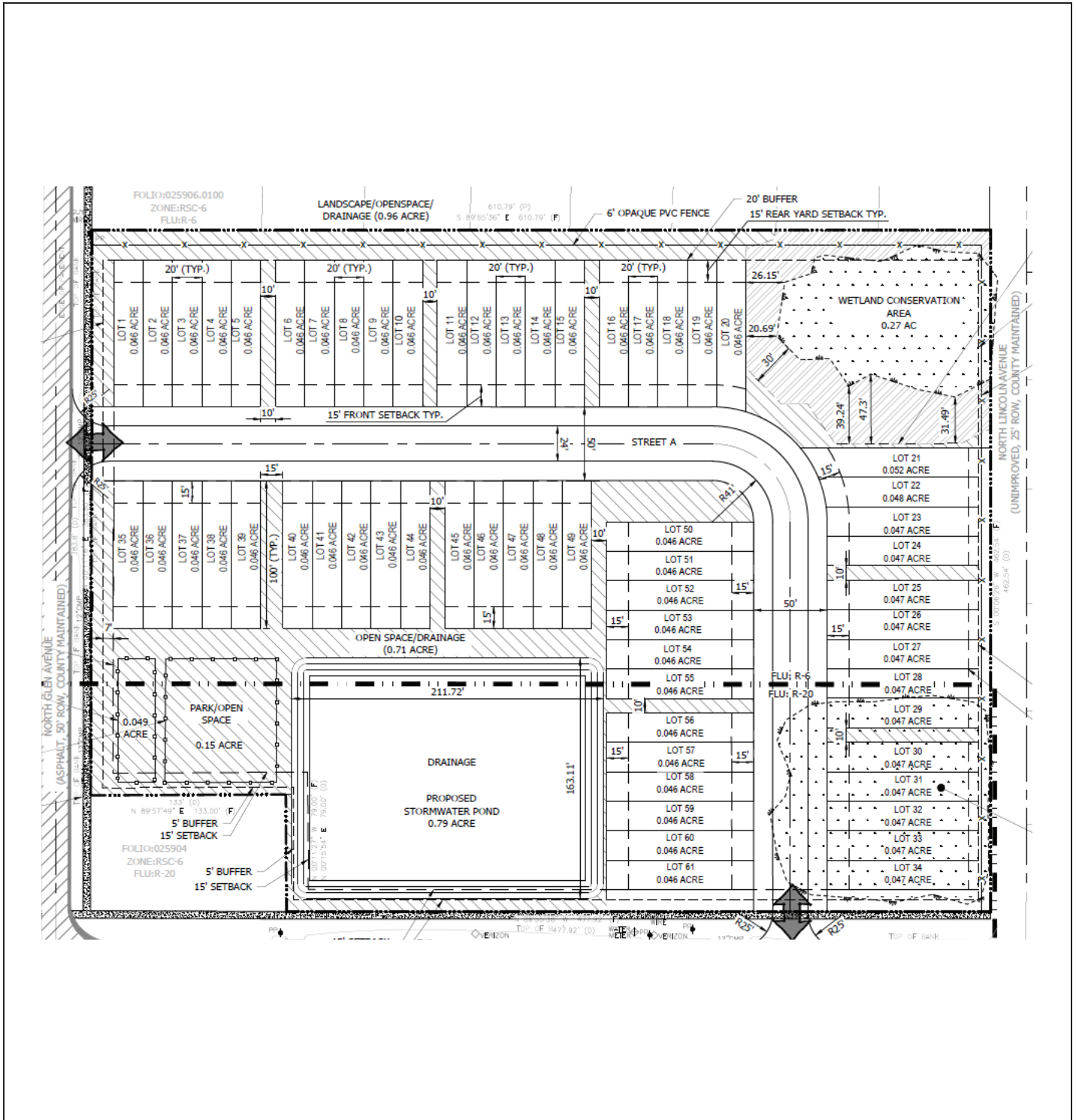


Adjacent Zonings and Uses

Location:	Zoning:	Maximum Density/F.A.R. Permitted by Zoning District:	Allowable Use:	Existing Use:
North	RSC-6	6 DU/AC	Single Family Residential	Single Family Residential
South	RSC-9 MH	9 DU/AC	Single Family Residential	Single Family Residential
East	RSC-6	6 DU/AC	Single Family Residential	Single Family Residential
West	RSC-6	6 DU/AC	Single Family Residential	Single Family Residential

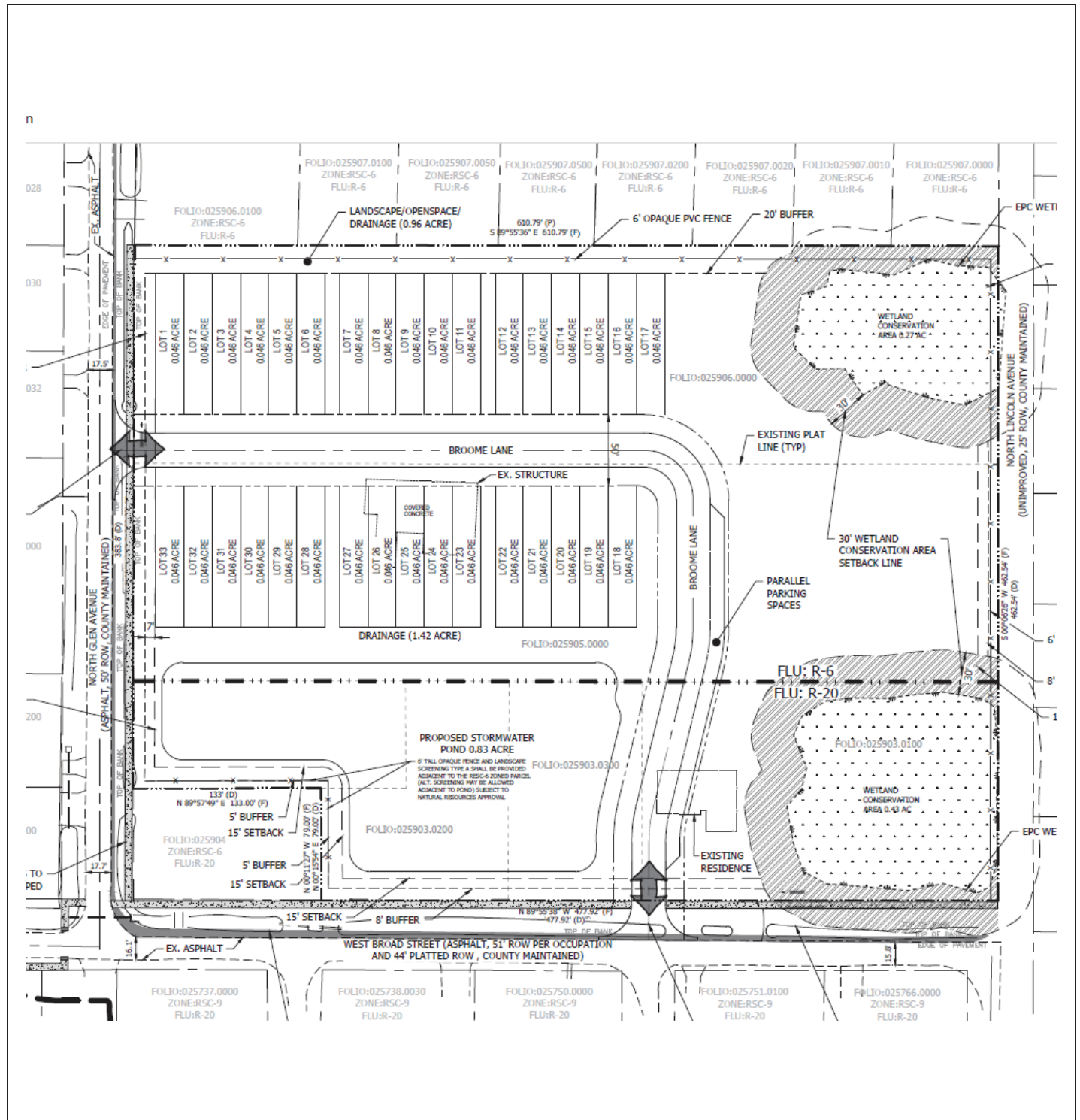
### 2.0 LAND USE MAP SET AND SUMMARY DATA

### 2.4 Approved Site Plan (partial provided below for size and orientation purposes. See Section 8.1 for full site plan)



2.0 LAND USE MAP SET AND SUMMARY DATA

2.5 Proposed Site Plan (partial provided below for size and orientation purposes. See Section 8.2 for full site plan)



**3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)**

**Adjoining Roadways (check if applicable)**

Road Name	Classification	Current Conditions	Select Future Improvements
N. Glen Ave.	County Local - Rural	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input checked="" type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input checked="" type="checkbox"/> Other (TBD)
W. Broad St.	County Local - Rural	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input checked="" type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input checked="" type="checkbox"/> Other (TBD)

**Project Trip Generation**  Not applicable for this request

	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	414	27	32
Proposed	200	12	16
Difference (+/-)	-214	-15	-16

\*Trips reported are based on net new external trips unless otherwise noted.

**Connectivity and Cross Access**  Not applicable for this request

Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North		Choose an item.	Choose an item.	Choose an item.
South		Choose an item.	Choose an item.	Choose an item.
East		Choose an item.	Choose an item.	Choose an item.
West		Choose an item.	Choose an item.	Choose an item.
Notes:				

**Design Exception/Administrative Variance**  Not applicable for this request

Road Name/Nature of Request	Type	Finding
	Choose an item.	Choose an item.
	Choose an item.	Choose an item.
Notes:		

**4.0 ADDITIONAL SITE INFORMATION & AGENCY COMMENTS SUMMARY**

INFORMATION/REVIEWING AGENCY				
Environmental:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Environmental Protection Commission	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Natural Resources	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Conservation & Environ. Lands Mgmt.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Check if Applicable: <ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> Wetlands/Other Surface Waters</li> <li><input type="checkbox"/> Use of Environmentally Sensitive Land Credit</li> <li><input type="checkbox"/> Wellhead Protection Area</li> <li><input type="checkbox"/> Surface Water Resource Protection Area</li> <li><input type="checkbox"/> Potable Water Wellfield Protection Area</li> <li><input type="checkbox"/> Significant Wildlife Habitat</li> <li><input type="checkbox"/> Coastal High Hazard Area</li> <li><input type="checkbox"/> Urban/Suburban/Rural Scenic Corridor</li> <li><input type="checkbox"/> Adjacent to ELAPP property</li> <li><input type="checkbox"/> Other _____</li> </ul>				
Public Facilities:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
<b>Transportation</b> <input type="checkbox"/> Design Exc./Adm. Variance Requested <input type="checkbox"/> Off-site Improvements Provided <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
<b>Service Area/ Water &amp; Wastewater</b> <input type="checkbox"/> Urban <input checked="" type="checkbox"/> City of Tampa <input type="checkbox"/> Rural <input type="checkbox"/> City of Temple Terrace	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<b>Hillsborough County School Board</b> Adequate <input checked="" type="checkbox"/> K-5 <input checked="" type="checkbox"/> 6-8 <input checked="" type="checkbox"/> 9-12 <input type="checkbox"/> N/A Inadequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<b>Impact/Mobility Fees</b>  No comments were received.				
Comprehensive Plan:	Comments Received	Findings	Conditions Requested	Additional Information/Comments
<b>Planning Commission</b> <input type="checkbox"/> Meets Locational Criteria <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Locational Criteria Waiver Requested <input type="checkbox"/> Minimum Density Met <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Inconsistent <input type="checkbox"/> Consistent	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	



## **5.0 IMPLEMENTATION RECOMMENDATIONS**

### **5.1 Compatibility**

Staff finds the proposed request to be compatible with the approved residential uses across Broad St. W., to the south. This minor modification will have little effect on the general character of the subject site, zoned PD today. Furthermore, the proposed project reduced the number of residential entitlements currently allowed in the subject property.

The access relocation will have minimal impact on the transportation network. Transportation Review staff offered no objection to the proposed access points relocation, subject to the revised conditions as outlined in the conditions of approval.

Staff finds the proposed modification to the approved Planned Development to be compatible with the surrounding areas.

### **5.2 Recommendation**

Staff recommends approval, subject to conditions.

6.0 PROPOSED CONDITIONS

Approval - Approval of the request, subject to the conditions listed below, is based on the general site plan submitted July 31, 2024.

1. The project shall be developed with up to ~~61~~ 33 attached, (townhomes) residential units.

2. Development standards shall be as follows:

Minimum lot area:	2,000 square feet
Minimum lot width:	20 feet
Maximum building height:	35 feet
Minimum front yard setback:	15 feet, except for garages shall be setback a minimum of 20 feet.
Minimum side yard setback:	0 feet; 10 feet between buildings
Minimum rear yard setback:	15 feet
Maximum lot coverage:	70 percent

2.1 All driveways shall be located in an alternating pattern on the left or right side of the unit’s front façade.

2.2 Homes shall not have the same driveway location (left or right side) as the adjacent home.

2.3 The alternating pattern may be adjusted at corner lots as necessary and in cases that the layout of power utilities prohibits provision of the alternating pattern.

2.4 Each unit’s primary entrance door shall face the roadway.

2.5 Building design shall be generally consistent with the elevations depicted in the General Site Plan.

3. A 20-foot buffer and a solid fence along the north PD line shall be provided. All other buffers shall be as indicated on the General Site Plan. The buffers shall not be platted as part of individual lots and shall be owned and maintained by the developer, homeowners association or similar entity.

3.1 A 6-foot high opaque PVC fence and landscape screening Type A shall be provided along the southwest adjacent to the RESC-6 zoned parcel. Alternative screening may be allowed in areas where a retention pond is provided, subject to Natural Resources approval.

3.2 A 6-foot high opaque PVC fence shall be provided along the east.

4. The project shall construct one (1) vehicular and pedestrian access to N. Glen Ave. and one (1) vehicular and pedestrian access to W. Broad St.

5. If PRS ~~23-0744~~ 24-1124 is approved, the County Engineer will approve a de minimums exception to the previously approved Design Exception (dated September 21, 2023) which was ~~found approvable~~ approved on (September 22, 2023 October 10, 2023) for the N. Glen. Ave. substandard roadway improvements. As N. Glen Ave. is a substandard local roadway, the developer will be required to make certain improvements to N. Glen Ave. (as specified below) concurrent with the initial increment of development, consistent with the Design Exception. Specifically, the developer shall:

- a. Widen N. Glen Ave. (between W. Kirby St. and the W. Broad St.) such that there is 20 feet of pavement.
- b. Construct on both sides of N. Glen Ave. (between W. Kirby St. and driveway. Broad St.) 6-foot stabilized shoulders; and,
- c. Construct (between W. Kirby St. and W. Broad St.) a 5-foot sidewalk along the east side of Glen Ave.

Other sidewalks internal and external to the project shall be constructed as required by the Hillsborough County Land Development Code and/or Transportation Technical Manual, as applicable. Approval of this de minimums exception will allow the previously approved Design Exception to stand as is.

6. If PRS ~~23-0744~~ 24-1124 is approved, the County Engineer will approve a Design Exception (dated ~~September 21, 2023~~ November 14, 2024) which was found approvable on (~~September 22, 2023~~ November 15, 2024) for the W. Broad St. substandard roadway improvements. As W. Broad St. is a substandard local roadway, the developer will be required to make certain improvements to W. Broad St. (as specified below) concurrent with the initial increment of development, consistent with the Design Exception. Specifically, the developer shall:

- a. Widen W. Broad St. (between the project access and Glen Ave.) such that there is 20 feet of pavement.
- b. Construct on both sides of W. Broad St. (between the project access and Glen Ave.) 6-foot stabilized shoulders.
- c. Construct (between the eastern project boundary and Glen Ave.) a 5-foot sidewalk along the north side of W. Broad St.; and,
- d. Notwithstanding anything shown on the PD site plan to the contrary, construct a 5-footwide sidewalk along either the north or south side of W. Broad St. (between Glen Ave. and Himes Ave.).

7. Notwithstanding anything on the PD plan or herein these conditions to the contrary, the developer shall construct:

Minimum 5-foot wide sidewalk connections between the internal project roadway and the sidewalks to be constructed along the project's W. Broad St.; and North Glen Ave. frontages;

8. Construction access shall be limited to those locations shown on PD site plan which are also proposed vehicular access connections. The developer shall include a note in each site/construction plan submittal which indicates same.

9. Approval of this zoning petition by Hillsborough County does not constitute a guarantee that the Environmental Protection Commission of Hillsborough County (EPC) approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impact to wetlands, and does not grant any implied or vested right to environmental approvals.
10. The construction and location of any proposed wetland impacts are not approved by this correspondence, but shall be reviewed by EPC staff under separate application pursuant to the EPC Wetlands rule detailed in Chapter 1-11, Rules of the EPC, (Chapter 1-11) to determine whether such impacts are necessary to accomplish reasonable use of the subject property.
11. Prior to the issuance of any building or land alteration permits or other development, the approved wetland/other surface water (OSW) line must be incorporated into the site plan. The wetland/OSW line must appear on all site plans, labeled as "EPC Wetland Line", and the wetland must be labeled as "Wetland Conservation Area" pursuant to the Hillsborough County Land Development Code (LDC).
12. Final design of buildings, stormwater retention areas, and ingress/egresses are subject to change pending formal agency jurisdictional determinations of wetland and other surface water boundaries and approval by the appropriate regulatory agencies.
13. In the event that permits/approvals by the Environmental Protection Commission (EPC) as provided in conditions 7 through 10 above are not approved for the project, any changes on the proposed General Site Plan shall constitute a critical design feature of the PD (Planned Development) and any alteration of one or more of the site conditions shall require a public hearing in accordance with Section 5.03.07.A of the Land Development Code (LDC).
14. No buildings shall encroach into the minimum required 30-foot wetland setbacks.
15. If the notes and/or graphic on the site plan are in conflict with specific zoning conditions and/or the Land Development Code (LDC) regulations, the more restrictive regulation shall apply, unless specifically conditioned otherwise. References to development standards of the LDC in the above stated conditions shall be interpreted as the regulations in effect at the time of preliminary site plan/plat approval.
16. The Development of the project shall proceed in strict accordance with the terms and conditions contained in the Development Order, the General Site Plan, the land use conditions contained herein, and all applicable rules, regulations, and ordinances of Hillsborough County.

**Zoning Administrator Sign Off:**



**SITE, SUBDIVISION AND BUILDING CONSTRUCTION IN ACCORDANCE WITH HILLSBOROUGH COUNTY SITE DEVELOPMENT PLAN & BUILDING REVIEW AND APPROVAL.**

Approval of this re-zoning petition by Hillsborough County does not constitute a guarantee that the project will receive approvals/permits necessary for site development as proposed will be issued, nor does it imply that other required permits needed for site development or building construction are being waived or otherwise approved. The project will be required to comply with the Site Development Plan Review approval process in addition to obtain all necessary building permits for on-site structures.

**APPLICATION NUMBER: PRS 24-1124**

ZHM HEARING DATE: NA

BOCC LUM MEETING DATE: December 10, 2024

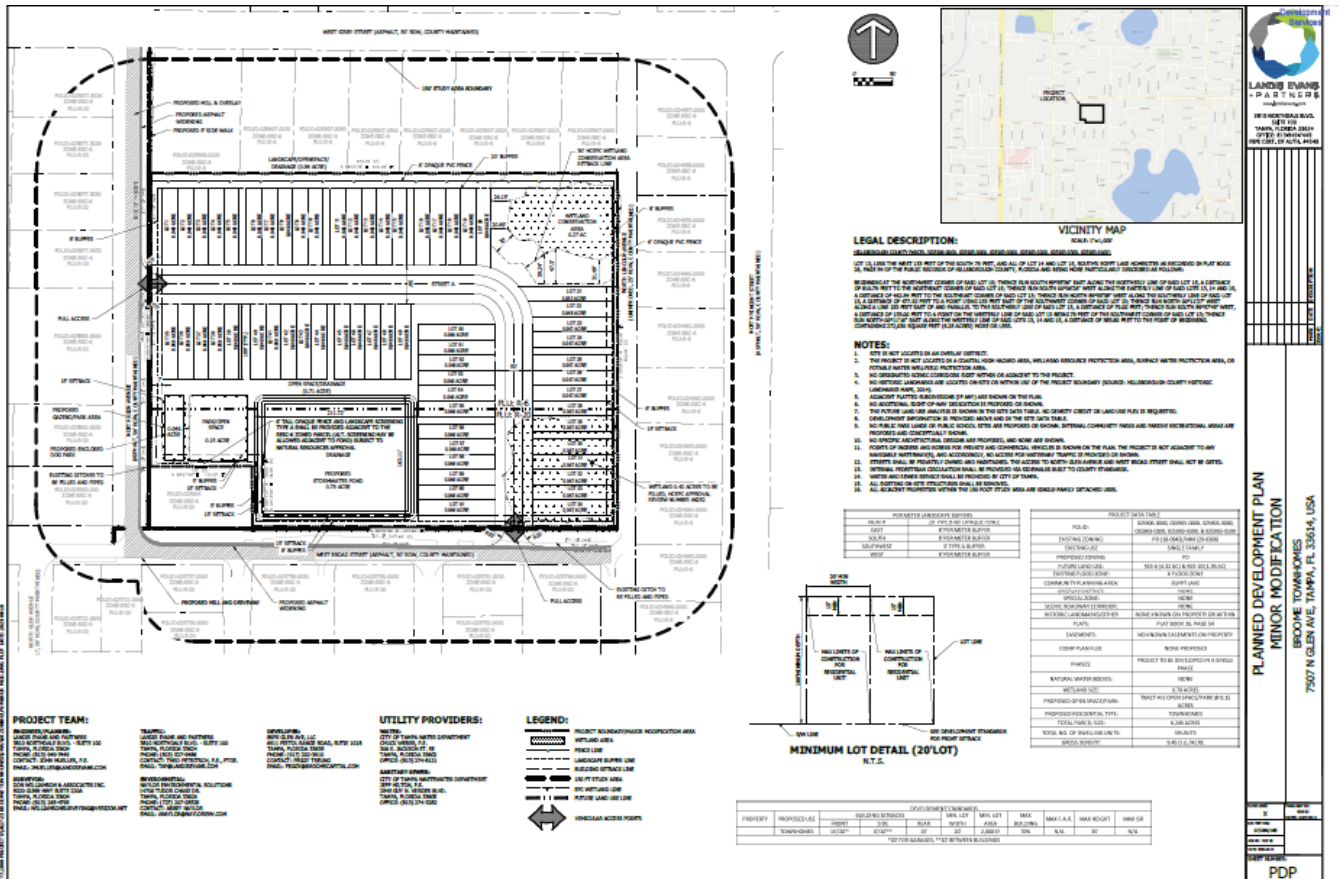
Case Reviewer: Planner Tania C. Chapela

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## **7.0 ADDITIONAL INFORMATION AND/OR GRAPHICS**

8.0 SITE PLANS (FULL)

8.1 Approved Site Plan (Full)



**LANDS EVANS PARTNERS**

7507 N GLEN AVE, TAMPA, FL 33614, USA

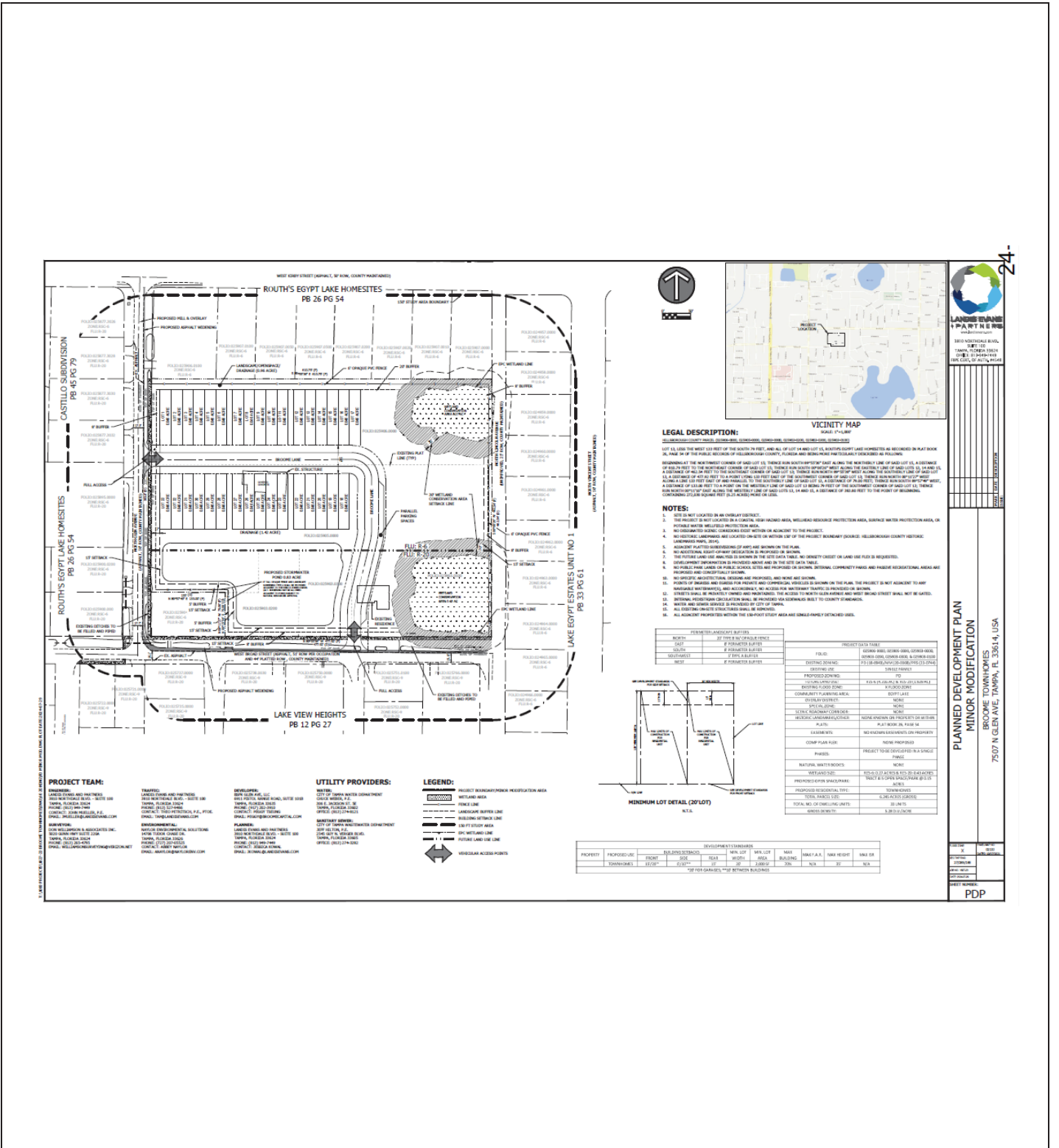
**PLANNED DEVELOPMENT PLAN MINOR MODIFICATION**

**PDP**

23-0744

8.0 SITE PLANS (FULL)

8.2 Proposed Site Plan (Full)



PLANNED DEVELOPMENT PLAN  
MINOR MODIFICATION  
BROOKS TOWNHOMES  
7507 N. GLEN AVE., TAMPA, FL 33614, USA  
PDP



**9.0 FULL TRANSPORTATION REPORT (see following pages)**

## AGENCY REVIEW COMMENT SHEET

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TO: Zoning Technician, Development Services Department

DATE: 11-15-2024

REVIEWER: Sarah Rose

AGENCY/DEPT: Transportation

PLANNING AREA/SECTOR: EGL/Northwest

PETITION NO: RZ 24-1124

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- This agency has no comments.
- This agency has no objection.
- This agency has no objection, subject to the listed or attached conditions.
- This agency objects for the reasons set forth below.

### **REVISED CONDITIONS**

#### *Revised Conditions*

5. If PRS ~~23-0744~~ 24-1124 is approved, the County Engineer will approve a [de minimus exception to the previously approved](#) Design Exception (dated September 21, 2023) which was ~~found approvable~~ [approved](#) on (~~September 22, 2023~~ [October 10, 2023](#)) for the N. Glen. Ave. substandard roadway improvements. As N. Glen Ave. is a substandard local roadway, the developer will be required to make certain improvements to N. Glen Ave. (as specified below) concurrent with the initial increment of development, consistent with the Design Exception. Specifically, the developer shall:

a. Widen N. Glen Ave. (between W. Kirby St. and the W. Broad St.) such that there is 20 feet of pavement.

b. Construct on both sides of N. Glen Ave. (between W. Kirby St. and driveway. Broad St.) 6-foot stabilized shoulders; and,

c. Construct (between W. Kirby St. and W. Broad St.) a 5-foot sidewalk along the east side of Glen Ave.

Other sidewalks internal and external to the project shall be constructed as required by the Hillsborough County Land Development Code and/or Transportation Technical Manual, as applicable.

[Approval of this de minimus exception will allow the previously approved Design Exception to stand as is.](#)

6. If PRS ~~23-0744~~ 24-1124 is approved, the County Engineer will approve a Design Exception (dated ~~September 21, 2023~~ November 14, 2024) which was found approvable on (~~September 22, 2023~~ November 15, 2024) for the W. Broad St. substandard roadway improvements. As W. Broad St. is a substandard local roadway, the developer will be required to make certain improvements to W. Broad St. (as specified below) concurrent with the initial increment of development, consistent with the Design Exception. Specifically, the developer shall:

a. Widen W. Broad St. (between the project access and Glen Ave.) such that there is 20 feet of pavement.

b. Construct on both sides of W. Broad St. (between the project access and Glen Ave.) 6-foot stabilized shoulders.

c. Construct (between the eastern project boundary and Glen Ave.) a 5-foot sidewalk along the north side of W. Broad St.; and,

d. Notwithstanding anything shown on the PD site plan to the contrary, construct a 5-footwide sidewalk along either the north or south side of W. Broad St. (between Glen Ave. and Himes Ave.

## **PROJECT SUMMARY AND ANALYSIS**

The applicant is requesting a minor modification, also known as Personal Appearance (PRS) to the approved Planned Development (PD) #18-0943, as most recently amended by PRS 23-0744, to reduce the number of allowable units to 33 attached single-family units and to shift the access to W. Broad St. west +/- 40FT. The current PD is approved for 61 attached single-family units (townhomes). The future land use is Neighborhood Mixed Use 4 (NMU-4) and Suburban Mixed Use 3 (SMU-3).

### **Trip Generation Analysis**

The applicant submitted a trip generation as required by the Development Review Procedures Manual (DRPM). Staff has prepared a comparison of the trips potentially generated under the existing and proposed zoning designations, utilizing a generalized worst-case scenario. Data presented below is based on the Institute of Transportation Engineer's Trip Generation Manual, 11th Edition.

Approved Uses:

Zoning, Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
PD: Single Family Attached Housing (ITE LUC 215) 61 Units	414	27	32

Proposed Uses:

Zoning, Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
PD: Single Family Attached Housing (ITE LUC 215) 33 Units	200	12	16

Trip Generation Difference:

Zoning, Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
<b>Difference*</b>	-214	-15	-16

**TRANSPORTATION INFRASTRUCTURE SERVING THE SITE**

The site has frontage on N. Glen Ave and W. Broad Street. N. Glen Ave. is a substandard 2-lane, undivided, county maintained, urban local roadway. The roadway is characterized by +/- 16FT of Pavement in Avg. Condition, no bike lanes or sidewalks within the vicinity of the proposed project, within +/- 50 ft of the right of way.

W. Broad St. is a substandard 2-lane, undivided, county maintained, urban local roadway. The roadway is characterized by +/- 16FT of Pavement in Avg. Condition, no bike lanes or sidewalks within the vicinity of the proposed project, within +/- 44 ft of the right of way.

**SITE ACCESS**

The subject site is currently approved for two access connections (one to W. Broad St. and one to N. Glen Ave.). The access to W. Broad St. is proposed to be shifted west +/- 40FT.

**DESIGN EXCEPTION REQUEST – BROAD ST. SUBSTANDARD RD.**

Given that Broad St. is a substandard local roadway, and the applicant is proposing to shift the access to W. Broad St. west +/- 40FT rendering the previously approved design exception under

PRS 23-0744 no longer valid and disqualified from being considered de minimis, the applicant's Engineer of Record (EOR) submitted a Design Exception request (dated November 14, 2024) for Broad St. to determine the specific improvements that would be required by the County Engineer. Based on factors presented in the Design Exception request, the County Engineer found the Design Exception request approvable (on November 15, 2024). The deviations from the Hillsborough County Transportation Technical Manual (TTM) Typical Section – 7 (TS-7) (for 2-lane Rural Local and Collector Roadways) include the following:

- The developer shall be able to utilize a 50-foot-wide right-of-way in lieu of the 96-foot-wide right-of-way required per TTM TS-7.
- The developer shall be permitted to provide 10-foot-wide travel lanes in lieu of the 12-foot-wide lanes required per TS-7.
- The developer shall be permitted to provide 6-foot-wide-stabilized but unpaved shoulders in lieu of the 8-foot-wide stabilized shoulders, of which 5-feet are required to be paved per TS-7; and,
- The developer shall be permitted to provide a 5-foot-wide sidewalk along the east side of the roadway with a 12-foot minimum spacing between the closest edge of the travel lane and closest edge of the sidewalk, in lieu of the 29-foot spacing required per TS-7.

Staff notes that as a part of this request the developer is proposing to construct an additional +/- 670 to +/- 790-feet of sidewalk along Broad St. (i.e. completing the sidewalk gap between the project and Himes Ave.) that it would not otherwise be required to construct given current LDC regulations governing required external sidewalks. The above differences in length depend upon whether the developer provides that portion of the required sidewalk west of Glen Ave. west along either the north or south side of the roadway.

If the BOCC approves PRS 24-1124, the County Engineer will approve the above-described Design Exception.

**PREVIOUSLY APPROVED DESIGN EXCEPTION REQUEST (AND DEMINIMIS REQUEST) – GLEN AVE. SUBSTANDARD RD.**

Given that Glen Ave. is a substandard local roadway, the applicant's Engineer of Record (EOR) previously submitted a Design Exception request (dated September 21, 2023) for Glen Ave. to determine the specific improvements that would be required by the County Engineer.

Based on factors presented in the Design Exception request, the County Engineer approved the Design Exception (on October 10, 2023). The deviations from the Hillsborough County Transportation Technical Manual (TTM) Typical Section – 7 (TS-7) (for 2-lane Rural Local and Collector Roadways) include the following:

- The developer shall be able to utilize a 50-foot-wide right-of-way in lieu of the 96-foot-wide right-of-way required per TTM TS-7.
- The developer shall be permitted to provide 10-foot-wide travel lanes in lieu of the 12-foot-wide lanes required per TS-7.
- The developer shall be permitted to provide 6-foot-wide-stabilized but unpaved shoulders in lieu of the 8-foot-wide stabilized shoulders, of which 5-feet are required to be paved per TS-7; and,
- The developer shall be permitted to provide a 5-foot-wide sidewalk along the east side of the roadway with a 12-foot minimum spacing between the closest edge of the travel lane and closest edge of the sidewalk, in lieu of the 29-foot spacing required per TS-7.

Staff notes that as a part of this request the developer is proposing to construct an additional +/- 80-feet of sidewalk along Glen Ave. (i.e. completing the gap between the project and Broad St.) that it would not otherwise be required to construct given current LDC regulations governing required external sidewalks.

No changes to this Design Exception were proposed by the applicant. The County Engineer found the requested zoning changes will have no effect on this Design Exception. As such, the County Engineer will approve a de minimis exception to the previously approved Design Exception in the event PRS 24-1124 is approved.

### **ROADWAY LEVEL OF SERVICE (LOS) INFORMATION**

Neither N. Glen Ave and W. Broad Street are a regulated roadway and are not included in the 2020 Hillsborough County Level of Service (LOS) Report. As such, no LOS information for this roadway can be provided.

**From:** [Williams, Michael](#)  
**To:** [John Mueller](#)  
**Cc:** [Jessica Kowal](#); [Chapela, Tania](#); [Rose, Sarah](#); [Perez, Richard](#); [Tirado, Sheida](#); [PW-CEIntake](#); [De Leon, Eleonor](#)  
**Subject:** FW: PRS 24-1124 - Design Exception Review  
**Date:** Friday, November 15, 2024 10:34:11 AM  
**Attachments:** [24-1124 DEAd 11-14-24 2.pdf](#)  
[image003.png](#)  
**Importance:** High

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John,

I have found the attached Design Exception (DE) for PD 24-1124 APPROVABLE.

Please note that it is you (or your client's) responsibility to follow-up with my administrative assistant, Eleonor De Leon ([DeLeonE@hcfl.gov](mailto:DeLeonE@hcfl.gov) or 813-307-1707) after the BOCC approves the PD zoning or PD zoning modification related to below request. This is to obtain a signed copy of the DE/AV.

If the BOCC denies the PD zoning or PD zoning modification request, staff will request that you withdraw the AV/DE. In such instance, notwithstanding the above finding of approvability, if you fail to withdraw the request, I will deny the AV/DE (since the finding was predicated on a specific development program and site configuration which was not approved).

Once I have signed the document, it is your responsibility to submit the signed AV/DE(s) together with your initial plat/site/construction plan submittal. If the project is already in preliminary review, then you must submit the signed document before the review will be allowed to progress. Staff will require resubmittal of all plat/site/construction plan submittals that do not include the appropriate signed AV/DE documentation.

Lastly, please note that it is critical to ensure you copy all related correspondence to [PW-CEIntake@hcfl.gov](mailto:PW-CEIntake@hcfl.gov)

Mike

**Michael J. Williams, P.E.**  
**Director, Development Review**  
**County Engineer**  
Development Services Department

---

P: (813) 307-1851  
M: (813) 614-2190  
E: [Williamsm@HCFL.gov](mailto:Williamsm@HCFL.gov)  
W: HCFLGov.net

**Hillsborough County**  
601 E. Kennedy Blvd., Tampa, FL 33602

Please note: All correspondence to or from this office is subject to Florida's Public Records law.

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**From:** Tirado, Sheida <TiradoS@hcfl.gov>  
**Sent:** Friday, November 15, 2024 10:07 AM  
**To:** Williams, Michael <WilliamsM@hcfl.gov>; De Leon, Eleonor <DeLeonE@hcfl.gov>  
**Cc:** Rose, Sarah <RoseSJ@hcfl.gov>; Perez, Richard <PerezRL@hcfl.gov>  
**Subject:** PRS 24-1124 - Design Exception Review  
**Importance:** High

Hello Mike,

The attached DE is APPROVABLE to me, please include the following people in your email response:

[jmueller@landisevans.com](mailto:jmueller@landisevans.com)

[jkowal@landisevans.com](mailto:jkowal@landisevans.com)

[chapelat@hcfl.gov](mailto:chapelat@hcfl.gov)

[rosesj@hcfl.gov](mailto:rosesj@hcfl.gov)

[perezrl@hcfl.gov](mailto:perezrl@hcfl.gov)

Best Regards,

**Sheida L. Tirado, PE**  
**Transportation Review Manager**  
Development Services Department

E: [TiradoS@HCFL.gov](mailto:TiradoS@HCFL.gov)

P: (813) 276-8364 | M: (813) 564-4676

601 E. Kennedy Blvd., Tampa, FL 33602

[HCFL.gov](http://HCFL.gov)







September 25, 2024

**Revised November 14, 2024**

Mr. Michael J. Williams, P.E.  
Hillsborough County Engineer  
601 E. Kennedy Boulevard  
20<sup>th</sup> Floor  
Tampa, Florida 33602

**Re: Broome Townhomes (FKA North Glen Single Family)  
Design Exception – W Broad Street  
Folio Nos. 25903-0000; 25903-0100; 25903-0200;  
25903-0300; 25905-0000; 25906-0000  
Zoning Case No. PRS 24-1124 (Original PD 18-0943)**

Dear Mr. Williams;

The purpose of this letter is to request a Design Exception to the Hillsborough County Transportation Technical Manual (TTM), Typical Section 7 (TS-7, residential variant; Figure 1) per Section 6.04.02.B of the Hillsborough County Land Development Code (LDC) as a part of to meet LDC Section 6.04.03.L (existing facility) for W Broad Street in association with the subject line development. This is being submitted as a part of a modification to the previously approved Planned Development (PD), PD 18-0943, and subsequently approved PD modifications, MM 20-0368 and PRS 23-0744.

The previous PD modifications proposed a subdivision located on the northeast quadrant of N Glen Ave and W Broad St to accommodate 61 single family attached units. Initially, two access points were proposed; full access to N Glen Ave and emergency-only access to W Broad St making improvements to W Broad St unnecessary as part of the previous MM application. Subsequently, with the minor PD modification, W Broad St was proposed as a full access to the subdivision requiring improvements to W Broad St. Although a Design Exception was previously

approved under PRS 23-0744 for W Broad St, the current PD modification does not qualify as de minimis, necessitating this current Design Exception request.

The current proposal is for 33 single family attached units. The ITE TripGen Web-Based App (using the ITE *Trip Generation Manual*, 11th Edition as Data Source) generates the following estimates of trip generation for the proposed development (ITE Code 215 – Single-Family Attached Housing):

- Average Daily Trips: 201
- AM Peak Hour Total Trips: 11
  - AM Peak Hour Inbound Trips: 3
  - AM Peak Hour Outbound Trips: 8
- PM Peak Hour Total Trips: 16
  - PM Peak Hour Inbound Trips: 9
  - PM Peak Hour Outbound Trips: 7

This Design Exception to modify TS-7 for the improvement of this substandard roadway within the constrained conditions. Figure 2 displays the proposed TS-7 modification, and the following section outlines the exceptions requested.

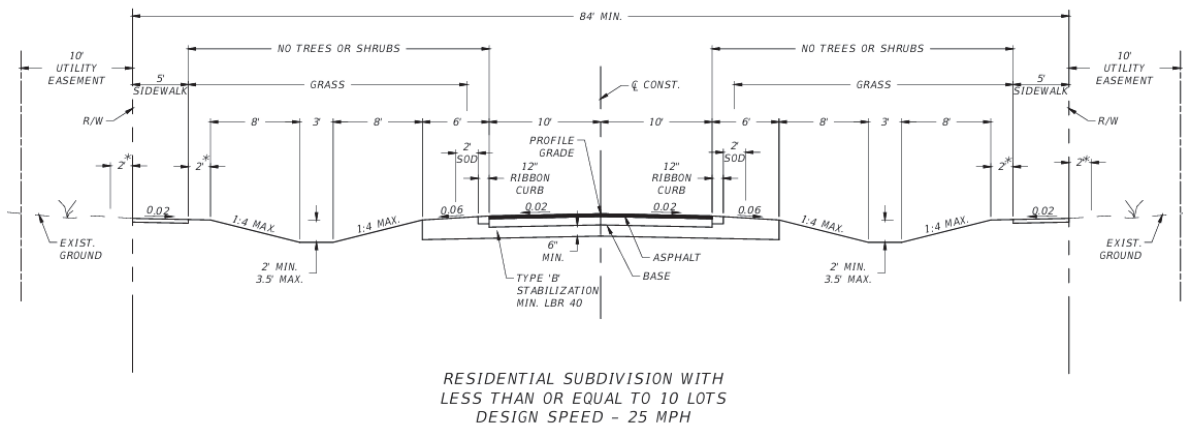


Figure 1 – Hillsborough County TTM TS-7

It should be noted that there is a private property on the northeast corner of the intersection (southwest of the development) that cannot be modified as a part of the proposed improvements.

The justification for this Design Exception is as follows:

1. According to the Hillsborough County Right of Way Inventory W Broad St has approximately 44 feet of ROW. Surveyed information indicates the ROW for W Broad St varies with a minimum width of 50 feet. TS-7 requires 84 feet with 10-foot travel lanes, 6-foot shoulders, 5-foot sidewalk and open drainage. There are existing 9-foot travel lanes and no sidewalks.
2. This ROW constraint is the main reason for the modification to TS-7. Due to the private property on the west end of this W Broad St segment (at N Glen Ave), the proposed section must be within the existing right of way.

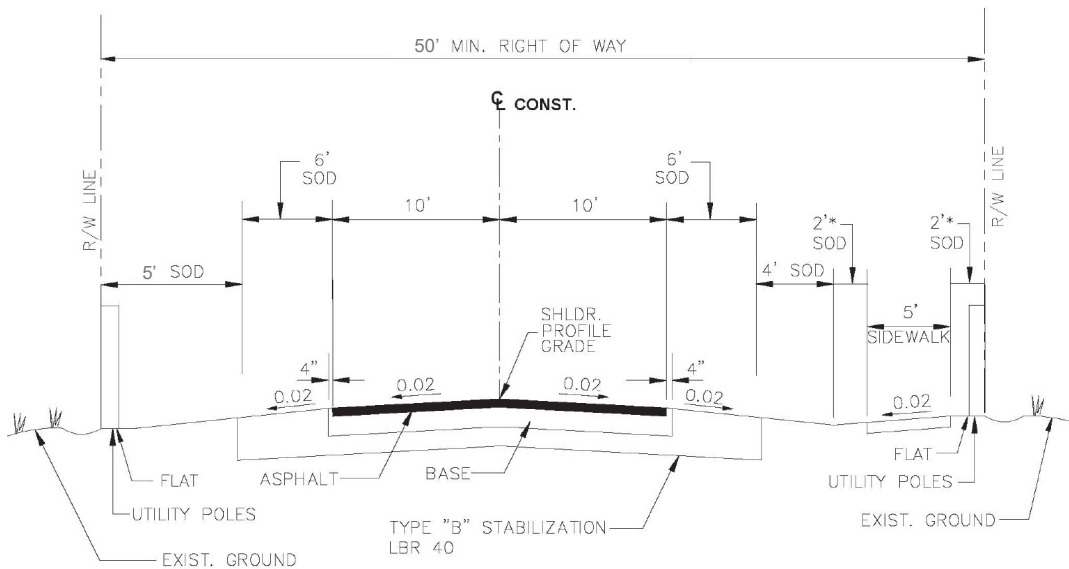


Figure 2 – Crowned Modification Option to Hillsborough County TTM TS-7

The following exceptions are requested for the proposed development roadway:

1. 50' minimum Right of Way (ROW) – TS-7 has 84' Right of Way
2. 5' sidewalk on north side – TS-7 indicates required 5' sidewalks on both sides of the road
3. No curbing – TS-7 indicates required ribbon curb
4. Maintain existing drainage – TS-7 indicates required 19' ditches on both sides of the road

For the segment W Broad St from N Glen Ave to N Himes Ave a 5-foot sidewalk will be constructed where not already present to provide pedestrian connectivity from the project

November 14, 2024  
Broome Townhomes Design Exception – W Broad St

Page 4 of 4

location to the existing sidewalk along N Himes Ave. We anticipate that this sidewalk will be along the south side of W Broad St but request flexibility in design as to the location in the event of unanticipated design constraints.

We respectfully request approval of this Design Exception. Please feel free to call me if you have any questions regarding this application.

Attachments list:

- 1. Site Plan

Sincerely,



Digitally signed by  
John J Mueller  
Date: 2024.11.14  
16:17:07-05'00'

**Landis Evans + Partners, Inc.**

John Mueller, P. E.  
Senior Civil Engineer  
PE #58713

John J. Mueller, PE, State of Florida, Professional Engineer, License No. 58713

This item has been digitally signed and sealed by John J. Mueller, PE on the date indicated here.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Based on the information provided by the applicant, this request is:

\_\_\_\_\_ Disapproved

\_\_\_\_\_ Approved with Conditions

\_\_\_\_\_ Approved

Michael J. Williams, P.E.  
Hillsborough County Engineer





September 21, 2023

**Mr. Michael Williams, P.E.**  
Hillsborough County Public Works  
601 E. Kennedy Boulevard  
Tampa, Florida 33602

The County Engineer has reviewed zoning modification application # 24-1124 and determined the changes to be de minimis. As such, the previous approval shall stand.

\_\_\_\_\_  
Michael J. Williams, P.E.

Hillsborough County Engineer on \_\_\_\_\_

**Re: Broome Townhomes (FKA North Glen Single Family) – PRS 23-0744**  
**TTM Section 1.7.2 Design Exception**  
**North Glen Avenue from W Broad St to W Kirby St**  
**Folio No.s 25903-0000; 25903-0100; 25903-0200;**  
**25903-0300; 25905-0000; 25906-0000**

Dear Mr. Williams;

The purpose of this letter is to request a modification to a previously approved Design Exception to the Hillsborough County Transportation Technical Manual (TTM) as a part of LDC Section 6.04.03L for N Glen Ave in association with the above referenced development. This is being submitted in conjunction with minor modification PRS 23-0744 to the existing Planned Development (PD), which was most recently modified by Major Modification Application, MM 20-0368. This request is updated pursuant to a conference call on September 20, 2023. Participating on the call with you were Sheida Tirado, James Ratliff, and Dallas Evans.

The proposed development consists of up to 61 single family attached dwelling units. The existing zoning allows for a full access onto N Glen Ave and a gated emergency access onto W Broad St. PRS 23-0744 requests to convert the emergency access onto W Broad St to a full access. In order to accommodate project traffic, we propose to extend the improvements proposed under previously approved design exceptions to include roadway improvements from the project's driveway on W Broad St west along W Broad St to N Glen Ave, and north from said intersection along N Glen Ave to W Kirby St. A sidewalk will be constructed (where not already present) along W Broad St from N Glen Ave to N Himes Ave.

This design exception addresses the proposed improvements on N Glen Ave from the project driveway to W Kirby St. The appropriate typical section for N Glen Avenue is TS-7. The requested exceptions to the TS-7 typical section and the justification is as follows:

1. Based upon recently obtained survey along this segment, there is 50 feet of right of way available on N. Glen Avenue. TS-7 requires 96 feet with 12-foot travel lanes, 8-foot shoulders, 5-foot sidewalk and open drainage. There are existing 9-foot travel lanes, no paved shoulders, open drainage and no sidewalks.
2. The request is to provide 10-foot travel lanes from W. Kirby Street south along N Glen Avenue to W Broad Street. Based on section 3.1.1 of the Transportation Technical Manual, 10 feet is the minimum lane width for local residential roads. Furthermore, the FDOT Florida Greenbook, Section 3-62, Table 3 identifies the minimum lane width for

local urban roads as 10 feet, however, notes that 9-foot lane widths may be used in residential areas where right of way is limited.

3. The request is to provide 6-foot stabilized shoulders in lieu of the 8-foot shoulders.
4. Reduce the width of the open drainage, as shown in Figure 2. The open drainage on the east side of N. Glen Avenue is proposed to remain unchanged.
5. A 5-foot sidewalk will be provided on the east side of N Glen Avenue from W Kirby Street to W Broad Street.

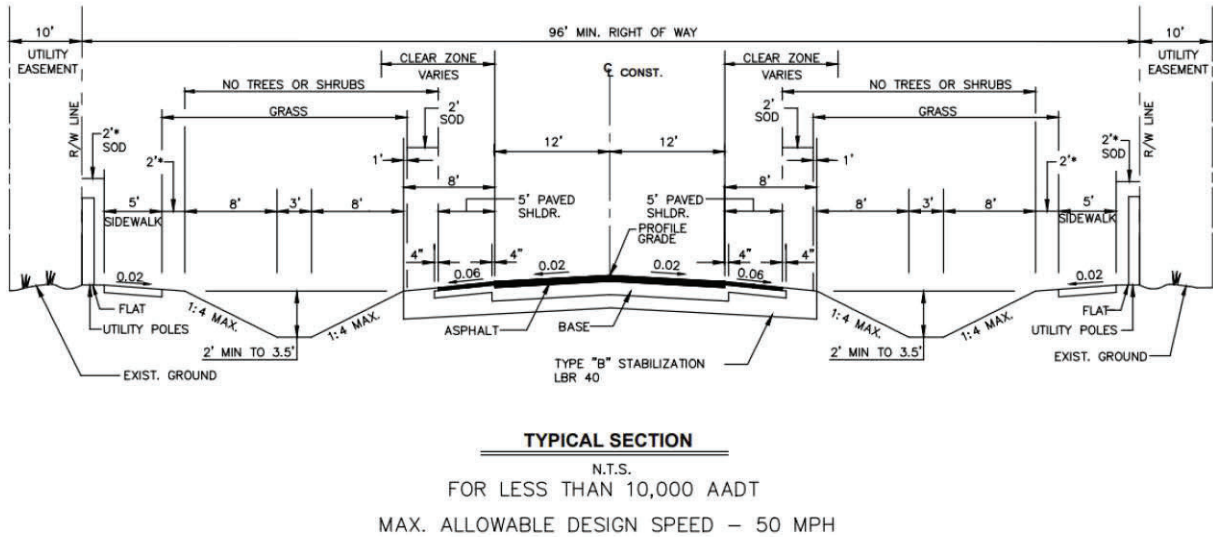


Figure 1 – Hillsborough County TTM TS-7

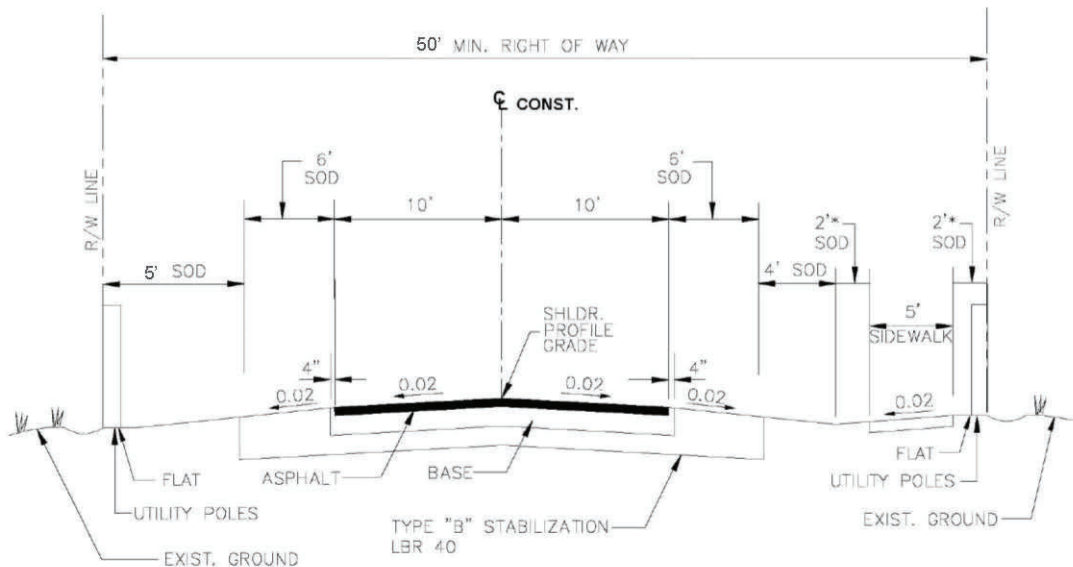
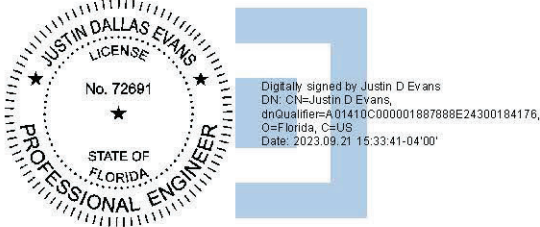


Figure 3 – Currently Proposed Modification to Hillsborough County TTM TS-7



We respectfully request approval of this Design Exception. Please feel free to call me if you have any questions regarding this application.

Sincerely,



**Landis Evans + Partners, Inc.**

Dallas Evans, P.E., AICP  
Principal  
PE #72691

Based on the information provided by the applicant, this request is:

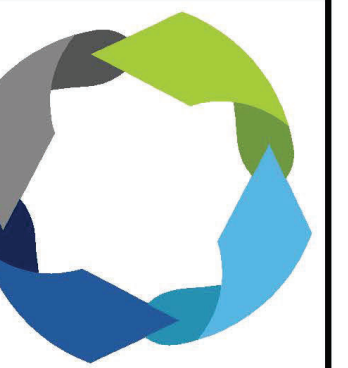
\_\_\_\_\_ Disapproved

\_\_\_\_\_ Approved with Conditions

**APPROVED**  
Approved

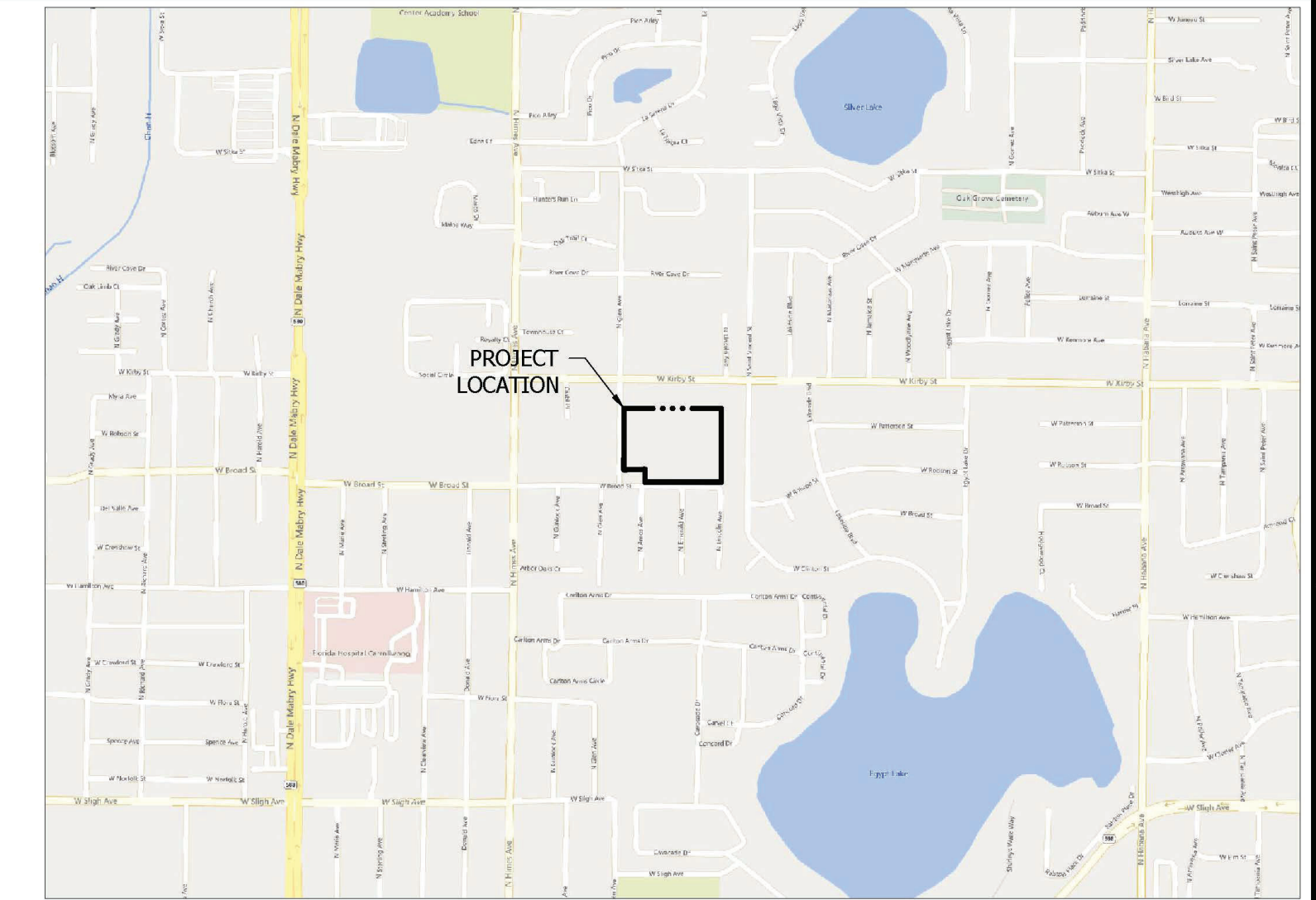
Michael J. Williams, P.E.  
Hillsborough County Engineer

**Michael J. Williams**  
Digitally signed by Michael J. Williams  
Date: 2023.10.10 18:16:43 -04'00'

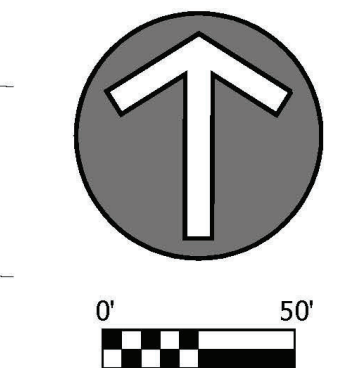


LANDIS EVANS + PARTNERS  
www.landisevans.com

3810 NORTHALE BLVD.  
SUITE 100  
TAMPA, FLORIDA 33624  
OFFICE: 813-949-7449  
FBPE CERT. OF AUTH. #4548



VICINITY MAP  
SCALE: 1"=1,000'



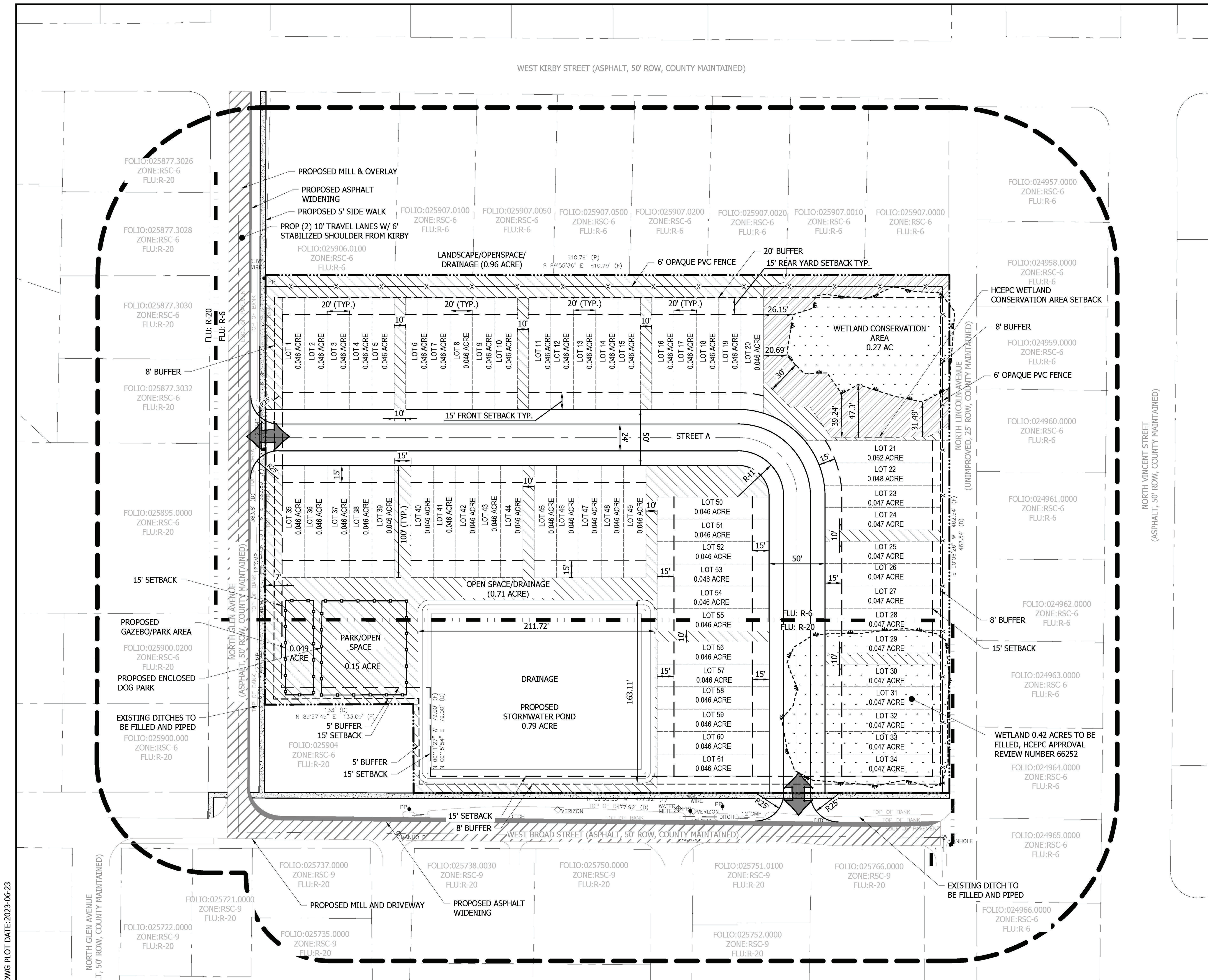
**LEGAL DESCRIPTION:**

HILLSBOROUGH COUNTY PARCEL (025906-0000, 025905-0000, 025903-0000, 025903-0200, 025903-0300, 025903-0100)  
Lot 13, less the West 133 feet of the South 79 feet, and all of Lot 14 and Lot 15, Routh's Egypt Lake Homesites as recorded in Plat Book 26, Page 54 of the Public Records of Hillsborough County, Florida and being more particularly described as follows:

Beginning at the Northwest corner of said Lot 15; thence run South 89°55'36" East along the northerly line of said Lot 15, a distance of 810.79 feet to the Northeast corner of said Lot 15; thence run South 00°06'26" West along the easterly line of said Lots 13, 14 and 15, a distance of 462.54 feet to the Southeast corner of said Lot 13; thence run North 89°55'38" West along the southerly line of said Lot 13, a distance of 477.92 feet to a point lying 133 feet East of the Southwest corner of said Lot 13; thence run North 00°11'27" West along a line 133 feet East of and parallel to the Southerly line of said Lot 13, a distance of 79.00 feet; thence run South 89°57'49" West, a distance of 133.00 feet to a point on the Westerly line of said Lot 13 being 79 feet of the Southwest corner of said Lot 13; thence run North 00°11'16" East along the Westerly line of said Lots 13, 14 and 15, a distance of 383.80 feet to the Point of Beginning. Containing 272,030 square feet (6.25 acres) more or less.

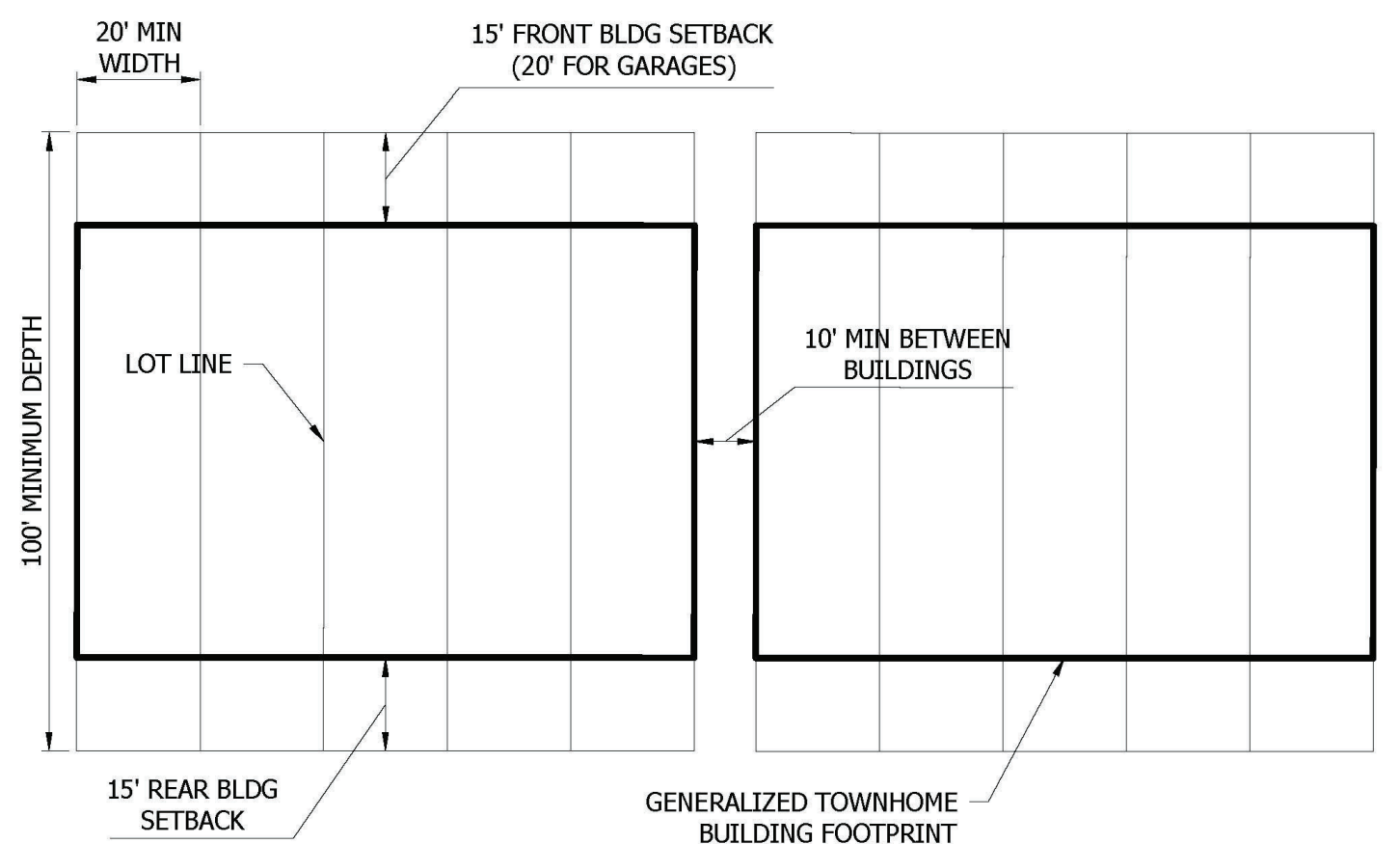
**NOTES:**

- 1. SITE IS NOT LOCATED IN AN OVERLAY DISTRICT.
- 2. THE PROJECT IS NOT LOCATED IN A COASTAL HIGH HAZARD AREA, WELLHEAD RESOURCE PROTECTION AREA, SURFACE WATER PROTECTION AREA, OR POTABLE WATER WELLFIELD PROTECTION AREA.
- 3. NO DESIGNATED SCENIC CORRIDORS EXIST WITHIN OR ADJACENT TO THE PROJECT.
- 4. NO HISTORIC LANDMARKS ARE LOCATED ON-SITE OR WITHIN 150' OF THE PROJECT BOUNDARY (SOURCE: HILLSBOROUGH COUNTY HISTORIC LANDMARKS MAPS, 2014).
- 5. ADJACENT PLATTED SUBDIVISIONS (IF ANY) ARE SHOWN ON THE PLAN.
- 6. NO ADDITIONAL RIGHT-OF-WAY DEDICATION IS PROPOSED OR SHOWN.
- 7. THE FUTURE LAND USE ANALYSIS IS SHOWN IN THE SITE DATA TABLE. NO DENSITY CREDIT OR LAND USE FLEX IS REQUESTED.
- 8. DEVELOPMENT INFORMATION IS PROVIDED ABOVE AND IN THE SITE DATA TABLE.
- 9. NO PUBLIC PARK LANDS OR PUBLIC SCHOOL SITES ARE PROPOSED OR SHOWN. INTERNAL COMMUNITY PARKS AND PASSIVE RECREATIONAL AREAS ARE PROPOSED AND CONCEPTUALLY SHOWN.
- 10. NO SPECIFIC ARCHITECTURAL DESIGNS ARE PROPOSED, AND NONE ARE SHOWN.
- 11. LANDSCAPE BUFFERS ALONG ROADWAY AND ALONG THE PERIMETER SHALL BE PROVIDED. ROADWAY LANDSCAPE BUFFERS SHALL BE A MINIMUM OF TWENTY (20) FEET IN WIDTH. PERIMETER BUFFERS SHALL BE A MINIMUM OF THIRTY (30) FEET IN WIDTH UNLESS OTHERWISE NOTED. NO ADDITIONAL SCREENING OR BUFFERING WILL BE PROVIDED, AND NO ADDITIONAL BUFFERING IS SHOWN.
- 12. POINTS OF INGRESS AND EGRESS FOR PRIVATE AND COMMERCIAL VEHICLES IS SHOWN ON THE PLAN. THE PROJECT IS NOT ADJACENT TO ANY NAVIGABLE WATERWAY(S), AND ACCORDINGLY, NO ACCESS FOR WATERWAY TRAFFIC IS PROVIDED OR SHOWN.
- 13. STREETS SHALL BE PRIVATELY OWNED AND MAINTAINED. THE ACCESS TO NORTH GLEN AVENUE AND WEST BROAD STREET SHALL NOT BE GATED.
- 14. INTERNAL PEDESTRIAN CIRCULATION SHALL BE PROVIDED VIA SIDEWALKS BUILT TO COUNTY STANDARDS.
- 15. WATER AND SEWER SERVICE SHALL BE PROVIDED BY CITY OF TAMPA.
- 16. ALL EXISTING ON-SITE STRUCTURES SHALL BE REMOVED.
- 17. ALL ADJACENT PROPERTIES WITHIN THE 150 FOOT STUDY AREA ARE SINGLE-FAMILY DETACHED USES.



PERIMETER LANDSCAPE BUFFERS

NORTH	20' TYPE B W/ OPAQUE FENCE
EAST	8' PERIMETER BUFFER
SOUTH	8' PERIMETER BUFFER
SOUTHWEST	5' TYPE A BUFFER
WEST	8' PERIMETER BUFFER



**TYPICAL LOT DETAIL**  
SCALE: 1" = 30'

PROJECT DATA TABLE

FOLIO:	025906-0000, 025905-0000, 025903-0000, 025903-0200, 025903-0300, & 025903-0100
EXISTING ZONING:	PD (18-0943)/MM (20-0368)
EXISTING USE:	SINGLE FAMILY
PROPOSED ZONING:	PD
FUTURE LAND USE:	RES-6 (4.32 AC) & RES-20 (1.93 AC)
EXISTING FLOOD ZONE:	X FLOOD ZONE
COMMUNITY PLANNING AREA:	EYPT LAKE
OVERLAY DISTRICT:	NONE
SPECIAL ZONE:	NONE
SCENIC ROADWAY CORRIDOR:	NONE
HISTORIC LANDMARKS/OTHER:	NONE KNOWN ON PROPERTY OR WITHIN
PLATS:	PLAT BOOK 26, PAGE 54
EASEMENTS:	NO KNOWN EASEMENTS ON PROPERTY
COMP PLAN FLEX:	NONE PROPOSED
PHASES:	PROJECT TO BE DEVELOPED IN A SINGLE PHASE
NATURAL WATER BODIES:	NONE
WETLAND SIZE:	0.69 ACRES
PROPOSED OPEN SPACE/PARK:	1.67 ACRES
PROPOSED RESIDENTIAL TYPE:	TOWNHOMES
TOTAL PARCEL SIZE:	6.245 ACRES
TOTAL NO. OF DWELLING UNITS:	61 UNITS
GROSS DENSITY:	9.77 D.U./ACRE
MAXIMUM HEIGHT:	35'
MAXIMUM BUILDING COVERAGE:	70%
MAXIMUM IMPERVIOUS SURFACE:	NONE
MINIMUM LOT SIZE:	2000 SF
MINIMUM LOT WIDTH:	20'
LOT YARDS:	FRONT: 15'/20** SIDE: 0'/10** REAR: 15'
**20' FOR GARAGES; **10' BETWEEN BUILDINGS	

**PROJECT TEAM:**  
**ENGINEER/PLANNER:** LANDIS EVANS AND PARTNERS, 3810 NORTHALE BLVD., SUITE 100, TAMPA, FLORIDA 33624, PHONE: (813) 949-7449, CONTACT: JOHN MUELLER, P.E., EMAIL: JMUELLER@LANDISEVANS.COM  
**SURVEYOR:** DON WILLIAMSON & ASSOCIATES INC., 5020 GUNN HWY SUITE 220A, TAMPA, FLORIDA 33624, PHONE: (813) 265-4795, EMAIL: WILLIAMSONSURVEYING@VERIZON.NET  
**TRAFFIC:** LANDIS EVANS AND PARTNERS, 3810 NORTHALE BLVD., SUITE 100, TAMPA, FLORIDA 33624, PHONE: (813) 527-9486, CONTACT: THEO PETRITSCH, P.E., PTOE, EMAIL: TAP@LANDISEVANS.COM  
**DEVELOPER:** BSRF GLEN AVE, LLC, 6911 PISTOL RANGE ROAD, SUITE 1018, TAMPA, FLORIDA 33635, PHONE: (917) 202-3910, CONTACT: PEGGY TSEUNG, EMAIL: PEGGY@BROOMCAPITAL.COM  
**UTILITY PROVIDERS:**  
**WATER:** CITY OF TAMPA WATER DEPARTMENT, CHUCK WEBER, P.E., 306 E. JACKSON ST. 5E, TAMPA, FLORIDA 33602, OFFICE: (813) 274-8121  
**SANITARY SEWER:** CITY OF TAMPA WASTEWATER DEPARTMENT, JEFF HILTON, P.E., 2545 GUY N. VERGER BLVD., TAMPA, FLORIDA 33605, OFFICE: (813) 274-3282  
**ENVIRONMENTAL:** NAVLOR ENVIRONMENTAL SOLUTIONS, 14706 TUDOR CHASE DR., TAMPA, FLORIDA 33626, PHONE: (727) 207-0525, CONTACT: ABBEY NAVLOR, EMAIL: ANAVLOR@NAVLOREVM.COM

T:\1000 PROJECTS\1827-23 BROOME TOWNHOMES\DWG\60 ZONING\PD MINOR MOD.DWG PLOT DATE:2023-06-23

PLANNED DEVELOPMENT PLAN  
MINOR MODIFICATION  
BROOME TOWNHOMES  
7507 N GLEN AVE, TAMPA, FL 33614, USA

FLOOD ZONE: X  
SEC TWP PRG: 27/28S/18E  
JOB NO.: 1827-23  
DATE: 2023-06-23  
SHEET NUMBER:  
PDP

Transportation Comment Sheet

**3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)**

<b>Adjoining Roadways (check if applicable)</b>			
Road Name	Classification	Current Conditions	Select Future Improvements
N. Glen Ave	County Local - Rural	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input checked="" type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input checked="" type="checkbox"/> Other (TBD)
W. Broad St.	County Local - Rural	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input checked="" type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input checked="" type="checkbox"/> Other (TBD)

<b>Project Trip Generation</b> <input type="checkbox"/> Not applicable for this request			
	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	414	27	32
Proposed	200	12	16
Difference (+/-)	-214	-15	-16

\*Trips reported are based on net new external trips unless otherwise noted.

<b>Connectivity and Cross Access</b> <input checked="" type="checkbox"/> Not applicable for this request				
Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North		Choose an item.	Choose an item.	Choose an item.
South		Choose an item.	Choose an item.	Choose an item.
East		Choose an item.	Choose an item.	Choose an item.
West		Choose an item.	Choose an item.	Choose an item.
Notes:				

<b>Design Exception/Administrative Variance</b> <input checked="" type="checkbox"/> Not applicable for this request		
Road Name/Nature of Request	Type	Finding
	Choose an item.	Choose an item.
	Choose an item.	Choose an item.
Notes:		

**4.0 Additional Site Information & Agency Comments Summary**

Transportation	Objections	Conditions Requested	Additional Information/Comments
<input type="checkbox"/> Design Exception/Adm. Variance Requested <input type="checkbox"/> Off-Site Improvements Provided <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	



**CURRENTLY  
APPROVED**

---

Approval of the request, subject to the conditions listed, is based on the revised general site plan submitted August 10, 2023.

1. The project shall be developed with up to 61 attached, (townhomes) residential units.
2. Development standards shall be as follows:

Minimum lot area:	2,000 square feet
Minimum lot width:	20 feet
Maximum building height:	35 feet
Minimum front yard setback:	15 feet, except for garages shall be setback a minimum of 20 feet.
Minimum side yard setback:	0 feet; 10 feet between buildings
Minimum rear yard setback:	15 feet
Maximum lot coverage:	70 percent

  - 2.1 All driveways shall be located in an alternating pattern on the left or right side of the unit's front façade.
  - 2.2 Homes shall not have the same driveway location (left or right side) as the adjacent home.
  - 2.3 The alternating pattern may be adjusted at corner lots as necessary and in cases that the layout of power utilities prohibits provision of the alternating pattern.
  - 2.4 Each unit's primary entrance door shall face the roadway.
  - 2.5 Building design shall be generally consistent with the elevations depicted in the General Site Plan.
3. A 20-foot buffer and a solid fence along the north PD line shall be provided. All other buffers shall be as indicated on the General Site Plan. The buffers shall not be platted as part of individual lots and shall be owned and maintained by the developer, homeowners association or similar entity.
  - 3.1 A 6-foot high opaque PVC fence and landscape screening Type A shall be provided along the southwest adjacent to the RESC-6 zoned parcel. Alternative screening may be allowed in areas where a retention pond is provided, subject to Natural Resources approval.
  - 3.2 A 6-foot high opaque PVC fence shall be provided along the east.
4. The project shall construct one (1) vehicular and pedestrian access to N. Glen Ave. and one (1) vehicular and pedestrian access to W. Broad St.
5. If PRS 23-0744 is approved, the County Engineer will approve a Design Exception (dated September 21, 2023) which was found approvable on (September 22, 2023) for the N. Glen. Ave. substandard roadway improvements. As N. Glen Ave. is a substandard local roadway, the developer will be required to make certain improvements to N. Glen Ave. (as specified below) concurrent with the initial increment of development, consistent with the Design Exception. Specifically, the developer shall:
  - a. Widen N. Glen Ave. (between W. Kirby St. and the W. Broad St.) such that there is 20 feet of pavement.

- 
- b. Construct on both sides of N. Glen Ave. (between W. Kirby St. and driveway. Broad St.) 6-foot stabilized shoulders; and,
  - c. Construct (between W. Kirby St. and W. Broad St.) a 5-foot sidewalk along the east side of Glen Ave.

Other sidewalks internal and external to the project shall be constructed as required by the Hillsborough County Land Development Code and/or Transportation Technical Manual, as applicable.

- 6. If PRS 23-0744 is approved, the County Engineer will approve a Design Exception (dated September 21, 2023) which was found approvable on (September 22, 2023) for the W. Broad St. substandard roadway improvements. As W. Broad St. is a substandard local roadway, the developer will be required to make certain improvements to W. Broad St. (as specified below) concurrent with the initial increment of development, consistent with the Design Exception. Specifically, the developer shall:
  - a. Widen W. Broad St. (between the project access and Glen Ave.) such that there is 20 feet of pavement.
  - b. Construct on both sides of W. Broad St. (between the project access and Glen Ave.) 6-foot stabilized shoulders.
  - c. Construct (between the eastern project boundary and Glen Ave.) a 5-foot sidewalk along the north side of W. Broad St.; and,
  - d. Notwithstanding anything shown on the PD site plan to the contrary, construct a 5-footwide sidewalk along either the north or south side of W. Broad St. (between Glen Ave. and Himes Ave.).
- 7. Notwithstanding anything on the PD plan or herein these conditions to the contrary, the developer shall construct:

Minimum 5-foot wide sidewalk connections between the internal project roadway and the sidewalks to be constructed along the project's W. Broad St.; and North Glen Ave. frontages;
- 8. Construction access shall be limited to those locations shown on PD site plan which are also proposed vehicular access connections. The developer shall include a note in each site/construction plan submittal which indicates same.
- 9. Approval of this zoning petition by Hillsborough County does not constitute a guarantee that the Environmental Protection Commission of Hillsborough County (EPC) approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impact to wetlands, and does not grant any implied or vested right to environmental approvals.
- 10. The construction and location of any proposed wetland impacts are not approved by this correspondence, but shall be reviewed by EPC staff under separate application pursuant to the EPC Wetlands rule detailed in Chapter 1-11, Rules of the EPC, (Chapter 1-11) to determine whether such impacts are necessary to accomplish reasonable use of the subject property.

11. Prior to the issuance of any building or land alteration permits or other development, the approved wetland/other surface water (OSW) line must be incorporated into the site plan. The wetland/OSW line must appear on all site plans, labeled as "EPC Wetland Line", and the wetland must be labeled as "Wetland Conservation Area" pursuant to the Hillsborough County Land Development Code (LDC).
12. Final design of buildings, stormwater retention areas, and ingress/egresses are subject to change pending formal agency jurisdictional determinations of wetland and other surface water boundaries and approval by the appropriate regulatory agencies.
13. In the event that permits/approvals by the Environmental Protection Commission (EPC) as provided in conditions 7 through 10 above are not approved for the project, any changes on the proposed General Site Plan shall constitute a critical design feature of the PD (Planned Development) and any alteration of one or more of the site conditions shall require a public hearing in accordance with Section 5.03.07.A of the Land Development Code (LDC).
14. No buildings shall encroach into the minimum required 30-foot wetland setbacks.
15. If the notes and/or graphic on the site plan are in conflict with specific zoning conditions and/or the Land Development Code (LDC) regulations, the more restrictive regulation shall apply, unless specifically conditioned otherwise. References to development standards of the LDC in the above stated conditions shall be interpreted as the regulations in effect at the time of preliminary site plan/plat approval.
16. The Development of the project shall proceed in strict accordance with the terms and conditions contained in the Development Order, the General Site Plan, the land use conditions contained herein, and all applicable rules, regulations, and ordinances of Hillsborough County.



# **AGENCY COMMENTS**



## AGENCY REVIEW COMMENT SHEET

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TO: Zoning Technician, Development Services Department

DATE: 11-15-2024

REVIEWER: Sarah Rose

AGENCY/DEPT: Transportation

PLANNING AREA/SECTOR: EGL/Northwest

PETITION NO: RZ 24-1124

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- This agency has no comments.
- This agency has no objection.
- This agency has no objection, subject to the listed or attached conditions.
- This agency objects for the reasons set forth below.

### **REVISED CONDITIONS**

#### *Revised Conditions*

5. If PRS ~~23-0744~~ 24-1124 is approved, the County Engineer will approve a de minimus exception to the previously approved Design Exception (dated September 21, 2023) which was ~~found approvable~~ approved on (~~September 22, 2023~~ October 10, 2023) for the N. Glen. Ave. substandard roadway improvements. As N. Glen Ave. is a substandard local roadway, the developer will be required to make certain improvements to N. Glen Ave. (as specified below) concurrent with the initial increment of development, consistent with the Design Exception. Specifically, the developer shall:

a. Widen N. Glen Ave. (between W. Kirby St. and the W. Broad St.) such that there is 20 feet of pavement.

b. Construct on both sides of N. Glen Ave. (between W. Kirby St. and driveway. Broad St.) 6-foot stabilized shoulders; and,

c. Construct (between W. Kirby St. and W. Broad St.) a 5-foot sidewalk along the east side of Glen Ave.

Other sidewalks internal and external to the project shall be constructed as required by the Hillsborough County Land Development Code and/or Transportation Technical Manual, as applicable.

[Approval of this de minimus exception will allow the previously approved Design Exception to stand as is.](#)

6. If PRS ~~23-0744~~ 24-1124 is approved, the County Engineer will approve a Design Exception (dated ~~September 21, 2023~~ November 14, 2024) which was found approvable on (~~September 22, 2023~~ November 15, 2024) for the W. Broad St. substandard roadway improvements. As W. Broad St. is a substandard local roadway, the developer will be required to make certain improvements to W. Broad St. (as specified below) concurrent with the initial increment of development, consistent with the Design Exception. Specifically, the developer shall:

a. Widen W. Broad St. (between the project access and Glen Ave.) such that there is 20 feet of pavement.

b. Construct on both sides of W. Broad St. (between the project access and Glen Ave.) 6-foot stabilized shoulders.

c. Construct (between the eastern project boundary and Glen Ave.) a 5-foot sidewalk along the north side of W. Broad St.; and,

d. Notwithstanding anything shown on the PD site plan to the contrary, construct a 5-footwide sidewalk along either the north or south side of W. Broad St. (between Glen Ave. and Himes Ave.

## **PROJECT SUMMARY AND ANALYSIS**

The applicant is requesting a minor modification, also known as Personal Appearance (PRS) to the approved Planned Development (PD) #18-0943, as most recently amended by PRS 23-0744, to reduce the number of allowable units to 33 attached single-family units and to shift the access to W. Broad St. west +/- 40FT. The current PD is approved for 61 attached single-family units (townhomes). The future land use is Neighborhood Mixed Use 4 (NMU-4) and Suburban Mixed Use 3 (SMU-3).

### **Trip Generation Analysis**

The applicant submitted a trip generation as required by the Development Review Procedures Manual (DRPM). Staff has prepared a comparison of the trips potentially generated under the existing and proposed zoning designations, utilizing a generalized worst-case scenario. Data presented below is based on the Institute of Transportation Engineer's Trip Generation Manual, 11th Edition.

Approved Uses:

Zoning, Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
PD: Single Family Attached Housing (ITE LUC 215) 61 Units	414	27	32

Proposed Uses:

Zoning, Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
PD: Single Family Attached Housing (ITE LUC 215) 33 Units	200	12	16

Trip Generation Difference:

Zoning, Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
<b>Difference*</b>	-214	-15	-16

**TRANSPORTATION INFRASTRUCTURE SERVING THE SITE**

The site has frontage on N. Glen Ave and W. Broad Street. N. Glen Ave. is a substandard 2-lane, undivided, county maintained, urban local roadway. The roadway is characterized by +/- 16FT of Pavement in Avg. Condition, no bike lanes or sidewalks within the vicinity of the proposed project, within +/- 50 ft of the right of way.

W. Broad St. is a substandard 2-lane, undivided, county maintained, urban local roadway. The roadway is characterized by +/- 16FT of Pavement in Avg. Condition, no bike lanes or sidewalks within the vicinity of the proposed project, within +/- 44 ft of the right of way.

**SITE ACCESS**

The subject site is currently approved for two access connections (one to W. Broad St. and one to N. Glen Ave.). The access to W. Broad St. is proposed to be shifted west +/- 40FT.

**DESIGN EXCEPTION REQUEST – BROAD ST. SUBSTANDARD RD.**

Given that Broad St. is a substandard local roadway, and the applicant is proposing to shift the access to W. Broad St. west +/- 40FT rendering the previously approved design exception under

PRS 23-0744 no longer valid and disqualified from being considered de minimis, the applicant's Engineer of Record (EOR) submitted a Design Exception request (dated November 14, 2024) for Broad St. to determine the specific improvements that would be required by the County Engineer. Based on factors presented in the Design Exception request, the County Engineer found the Design Exception request approvable (on November 15, 2024). The deviations from the Hillsborough County Transportation Technical Manual (TTM) Typical Section – 7 (TS-7) (for 2-lane Rural Local and Collector Roadways) include the following:

- The developer shall be able to utilize a 50-foot-wide right-of-way in lieu of the 96-foot-wide right-of-way required per TTM TS-7.
- The developer shall be permitted to provide 10-foot-wide travel lanes in lieu of the 12-foot-wide lanes required per TS-7.
- The developer shall be permitted to provide 6-foot-wide-stabilized but unpaved shoulders in lieu of the 8-foot-wide stabilized shoulders, of which 5-feet are required to be paved per TS-7; and,
- The developer shall be permitted to provide a 5-foot-wide sidewalk along the east side of the roadway with a 12-foot minimum spacing between the closest edge of the travel lane and closest edge of the sidewalk, in lieu of the 29-foot spacing required per TS-7.

Staff notes that as a part of this request the developer is proposing to construct an additional +/- 670 to +/- 790-feet of sidewalk along Broad St. (i.e. completing the sidewalk gap between the project and Himes Ave.) that it would not otherwise be required to construct given current LDC regulations governing required external sidewalks. The above differences in length depend upon whether the developer provides that portion of the required sidewalk west of Glen Ave. west along either the north or south side of the roadway.

If the BOCC approves PRS 24-1124, the County Engineer will approve the above-described Design Exception.

#### **PREVIOUSLY APPROVED DESIGN EXCEPTION REQUEST (AND DEMINIMIS REQUEST) – GLEN AVE. SUBSTANDARD RD.**

Given that Glen Ave. is a substandard local roadway, the applicant's Engineer of Record (EOR) previously submitted a Design Exception request (dated September 21, 2023) for Glen Ave. to determine the specific improvements that would be required by the County Engineer.

Based on factors presented in the Design Exception request, the County Engineer approved the Design Exception (on October 10, 2023). The deviations from the Hillsborough County Transportation Technical Manual (TTM) Typical Section – 7 (TS-7) (for 2-lane Rural Local and Collector Roadways) include the following:

- The developer shall be able to utilize a 50-foot-wide right-of-way in lieu of the 96-foot-wide right-of-way required per TTM TS-7.
- The developer shall be permitted to provide 10-foot-wide travel lanes in lieu of the 12-foot-wide lanes required per TS-7.
- The developer shall be permitted to provide 6-foot-wide-stabilized but unpaved shoulders in lieu of the 8-foot-wide stabilized shoulders, of which 5-feet are required to be paved per TS-7; and,
- The developer shall be permitted to provide a 5-foot-wide sidewalk along the east side of the roadway with a 12-foot minimum spacing between the closest edge of the travel lane and closest edge of the sidewalk, in lieu of the 29-foot spacing required per TS-7.

Staff notes that as a part of this request the developer is proposing to construct an additional +/- 80-feet of sidewalk along Glen Ave. (i.e. completing the gap between the project and Broad St.) that it would not otherwise be required to construct given current LDC regulations governing required external sidewalks.

No changes to this Design Exception were proposed by the applicant. The County Engineer found the requested zoning changes will have no effect on this Design Exception. As such, the County Engineer will approve a de minimis exception to the previously approved Design Exception in the event PRS 24-1124 is approved.

### **ROADWAY LEVEL OF SERVICE (LOS) INFORMATION**

Neither N. Glen Ave and W. Broad Street are a regulated roadway and are not included in the 2020 Hillsborough County Level of Service (LOS) Report. As such, no LOS information for this roadway can be provided.

**From:** [Williams, Michael](#)  
**To:** [John Mueller](#)  
**Cc:** [Jessica Kowal](#); [Chapela, Tania](#); [Rose, Sarah](#); [Perez, Richard](#); [Tirado, Sheida](#); [PW-CEIntake](#); [De Leon, Eleonor](#)  
**Subject:** FW: PRS 24-1124 - Design Exception Review  
**Date:** Friday, November 15, 2024 10:34:11 AM  
**Attachments:** [24-1124 DEAd 11-14-24 2.pdf](#)  
[image003.png](#)  
**Importance:** High

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John,

I have found the attached Design Exception (DE) for PD 24-1124 APPROVABLE.

Please note that it is you (or your client's) responsibility to follow-up with my administrative assistant, Eleonor De Leon ([DeLeonE@hcfl.gov](mailto:DeLeonE@hcfl.gov) or 813-307-1707) after the BOCC approves the PD zoning or PD zoning modification related to below request. This is to obtain a signed copy of the DE/AV.

If the BOCC denies the PD zoning or PD zoning modification request, staff will request that you withdraw the AV/DE. In such instance, notwithstanding the above finding of approvability, if you fail to withdraw the request, I will deny the AV/DE (since the finding was predicated on a specific development program and site configuration which was not approved).

Once I have signed the document, it is your responsibility to submit the signed AV/DE(s) together with your initial plat/site/construction plan submittal. If the project is already in preliminary review, then you must submit the signed document before the review will be allowed to progress. Staff will require resubmittal of all plat/site/construction plan submittals that do not include the appropriate signed AV/DE documentation.

Lastly, please note that it is critical to ensure you copy all related correspondence to [PW-CEIntake@hcfl.gov](mailto:PW-CEIntake@hcfl.gov)

Mike

**Michael J. Williams, P.E.**  
**Director, Development Review**  
**County Engineer**  
Development Services Department

---

P: (813) 307-1851  
M: (813) 614-2190  
E: [Williamsm@HCFL.gov](mailto:Williamsm@HCFL.gov)  
W: HCFLGov.net

**Hillsborough County**  
601 E. Kennedy Blvd., Tampa, FL 33602

Please note: All correspondence to or from this office is subject to Florida's Public Records law.

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**From:** Tirado, Sheida <TiradoS@hcfl.gov>  
**Sent:** Friday, November 15, 2024 10:07 AM  
**To:** Williams, Michael <WilliamsM@hcfl.gov>; De Leon, Eleonor <DeLeonE@hcfl.gov>  
**Cc:** Rose, Sarah <RoseSJ@hcfl.gov>; Perez, Richard <PerezRL@hcfl.gov>  
**Subject:** PRS 24-1124 - Design Exception Review  
**Importance:** High

Hello Mike,

The attached DE is APPROVABLE to me, please include the following people in your email response:

[jmueller@landisevans.com](mailto:jmueller@landisevans.com)

[jkowal@landisevans.com](mailto:jkowal@landisevans.com)

[chapelat@hcfl.gov](mailto:chapelat@hcfl.gov)

[rosesj@hcfl.gov](mailto:rosesj@hcfl.gov)

[perezrl@hcfl.gov](mailto:perezrl@hcfl.gov)

Best Regards,

**Sheida L. Tirado, PE**  
**Transportation Review Manager**  
Development Services Department

E: [TiradoS@HCFL.gov](mailto:TiradoS@HCFL.gov)

P: (813) 276-8364 | M: (813) 564-4676

601 E. Kennedy Blvd., Tampa, FL 33602

[HCFL.gov](http://HCFL.gov)







September 25, 2024

**Revised November 14, 2024**

Mr. Michael J. Williams, P.E.  
Hillsborough County Engineer  
601 E. Kennedy Boulevard  
20<sup>th</sup> Floor  
Tampa, Florida 33602

**Re: Broome Townhomes (FKA North Glen Single Family)  
Design Exception – W Broad Street  
Folio Nos. 25903-0000; 25903-0100; 25903-0200;  
25903-0300; 25905-0000; 25906-0000  
Zoning Case No. PRS 24-1124 (Original PD 18-0943)**

Dear Mr. Williams;

The purpose of this letter is to request a Design Exception to the Hillsborough County Transportation Technical Manual (TTM), Typical Section 7 (TS-7, residential variant; Figure 1) per Section 6.04.02.B of the Hillsborough County Land Development Code (LDC) as a part of to meet LDC Section 6.04.03.L (existing facility) for W Broad Street in association with the subject line development. This is being submitted as a part of a modification to the previously approved Planned Development (PD), PD 18-0943, and subsequently approved PD modifications, MM 20-0368 and PRS 23-0744.

The previous PD modifications proposed a subdivision located on the northeast quadrant of N Glen Ave and W Broad St to accommodate 61 single family attached units. Initially, two access points were proposed; full access to N Glen Ave and emergency-only access to W Broad St making improvements to W Broad St unnecessary as part of the previous MM application. Subsequently, with the minor PD modification, W Broad St was proposed as a full access to the subdivision requiring improvements to W Broad St. Although a Design Exception was previously

approved under PRS 23-0744 for W Broad St, the current PD modification does not qualify as de minimis, necessitating this current Design Exception request.

The current proposal is for 33 single family attached units. The ITE TripGen Web-Based App (using the ITE *Trip Generation Manual*, 11th Edition as Data Source) generates the following estimates of trip generation for the proposed development (ITE Code 215 – Single-Family Attached Housing):

- Average Daily Trips: 201
- AM Peak Hour Total Trips: 11
  - AM Peak Hour Inbound Trips: 3
  - AM Peak Hour Outbound Trips: 8
- PM Peak Hour Total Trips: 16
  - PM Peak Hour Inbound Trips: 9
  - PM Peak Hour Outbound Trips: 7

This Design Exception to modify TS-7 for the improvement of this substandard roadway within the constrained conditions. Figure 2 displays the proposed TS-7 modification, and the following section outlines the exceptions requested.

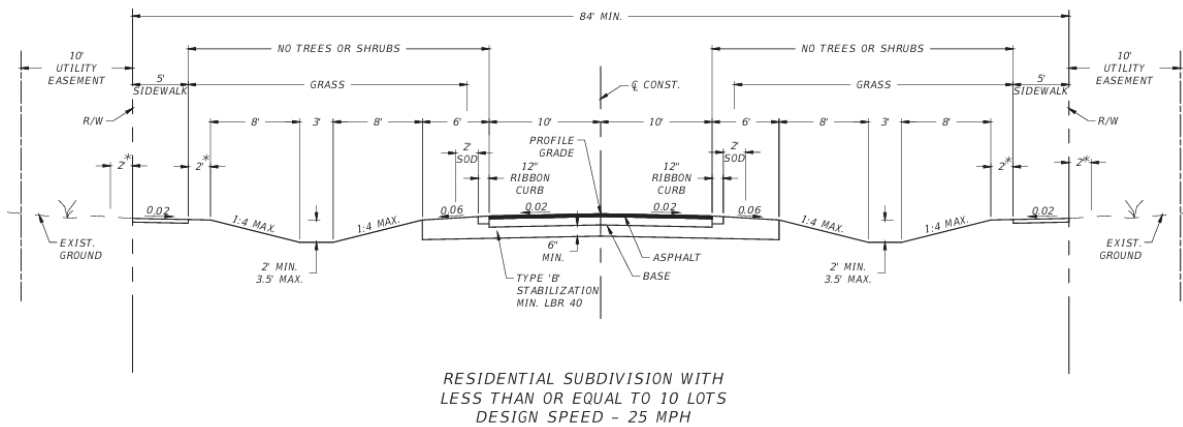


Figure 1 – Hillsborough County TTM TS-7

It should be noted that there is a private property on the northeast corner of the intersection (southwest of the development) that cannot be modified as a part of the proposed improvements.

The justification for this Design Exception is as follows:

1. According to the Hillsborough County Right of Way Inventory W Broad St has approximately 44 feet of ROW. Surveyed information indicates the ROW for W Broad St varies with a minimum width of 50 feet. TS-7 requires 84 feet with 10-foot travel lanes, 6-foot shoulders, 5-foot sidewalk and open drainage. There are existing 9-foot travel lanes and no sidewalks.
2. This ROW constraint is the main reason for the modification to TS-7. Due to the private property on the west end of this W Broad St segment (at N Glen Ave), the proposed section must be within the existing right of way.

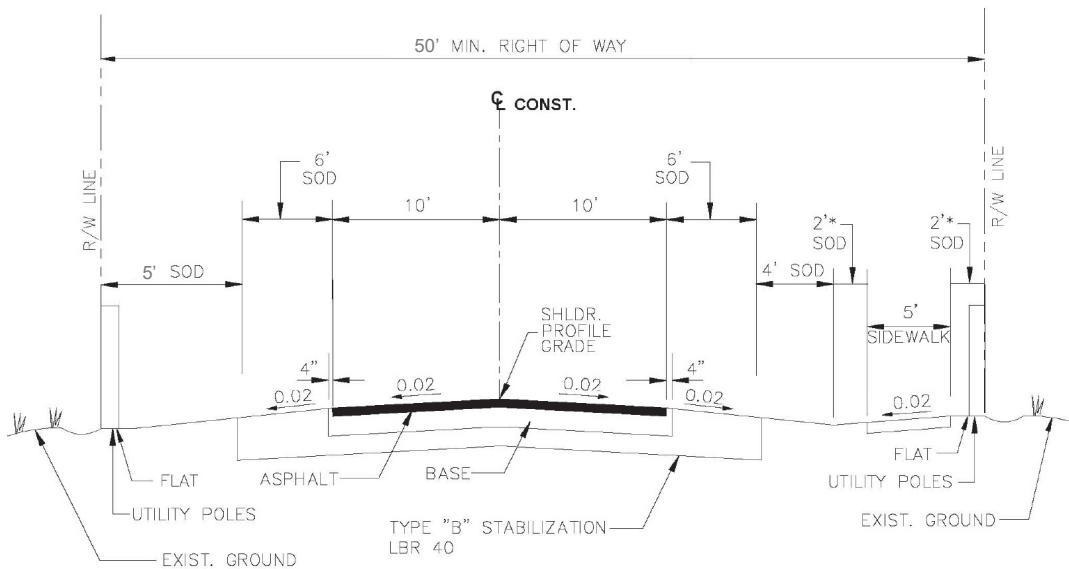


Figure 2 – Crowned Modification Option to Hillsborough County TTM TS-7

The following exceptions are requested for the proposed development roadway:

1. 50' minimum Right of Way (ROW) – TS-7 has 84' Right of Way
2. 5' sidewalk on north side – TS-7 indicates required 5' sidewalks on both sides of the road
3. No curbing – TS-7 indicates required ribbon curb
4. Maintain existing drainage – TS-7 indicates required 19' ditches on both sides of the road

For the segment W Broad St from N Glen Ave to N Himes Ave a 5-foot sidewalk will be constructed where not already present to provide pedestrian connectivity from the project

November 14, 2024  
Broome Townhomes Design Exception – W Broad St

Page 4 of 4

location to the existing sidewalk along N Himes Ave. We anticipate that this sidewalk will be along the south side of W Broad St but request flexibility in design as to the location in the event of unanticipated design constraints.

We respectfully request approval of this Design Exception. Please feel free to call me if you have any questions regarding this application.

Attachments list:

- 1. Site Plan

Sincerely,



Digitally signed by  
John J Mueller  
Date: 2024.11.14  
16:17:07-05'00'

**Landis Evans + Partners, Inc.**

John Mueller, P. E.  
Senior Civil Engineer  
PE #58713

John J. Mueller, PE, State of Florida, Professional Engineer, License No. 58713

This item has been digitally signed and sealed by John J. Mueller, PE on the date indicated here.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Based on the information provided by the applicant, this request is:

\_\_\_\_\_ Disapproved

\_\_\_\_\_ Approved with Conditions

\_\_\_\_\_ Approved

Michael J. Williams, P.E.  
Hillsborough County Engineer





September 21, 2023

**Mr. Michael Williams, P.E.**  
Hillsborough County Public Works  
601 E. Kennedy Boulevard  
Tampa, Florida 33602

The County Engineer has reviewed zoning modification application # 24-1124 and determined the changes to be de minimis. As such, the previous approval shall stand.

\_\_\_\_\_  
Michael J. Williams, P.E.

Hillsborough County Engineer on \_\_\_\_\_

**Re: Broome Townhomes (FKA North Glen Single Family) – PRS 23-0744  
TTM Section 1.7.2 Design Exception  
North Glen Avenue from W Broad St to W Kirby St  
Folio No.s 25903-0000; 25903-0100; 25903-0200;  
25903-0300; 25905-0000; 25906-0000**

Dear Mr. Williams;

The purpose of this letter is to request a modification to a previously approved Design Exception to the Hillsborough County Transportation Technical Manual (TTM) as a part of LDC Section 6.04.03L for N Glen Ave in association with the above referenced development. This is being submitted in conjunction with minor modification PRS 23-0744 to the existing Planned Development (PD), which was most recently modified by Major Modification Application, MM 20-0368. This request is updated pursuant to a conference call on September 20, 2023. Participating on the call with you were Sheida Tirado, James Ratliff, and Dallas Evans.

The proposed development consists of up to 61 single family attached dwelling units. The existing zoning allows for a full access onto N Glen Ave and a gated emergency access onto W Broad St. PRS 23-0744 requests to convert the emergency access onto W Broad St to a full access. In order to accommodate project traffic, we propose to extend the improvements proposed under previously approved design exceptions to include roadway improvements from the project's driveway on W Broad St west along W Broad St to N Glen Ave, and north from said intersection along N Glen Ave to W Kirby St. A sidewalk will be constructed (where not already present) along W Broad St from N Glen Ave to N Himes Ave.

This design exception addresses the proposed improvements on N Glen Ave from the project driveway to W Kirby St. The appropriate typical section for N Glen Avenue is TS-7. The requested exceptions to the TS-7 typical section and the justification is as follows:

1. Based upon recently obtained survey along this segment, there is 50 feet of right of way available on N. Glen Avenue. TS-7 requires 96 feet with 12-foot travel lanes, 8-foot shoulders, 5-foot sidewalk and open drainage. There are existing 9-foot travel lanes, no paved shoulders, open drainage and no sidewalks.
2. The request is to provide 10-foot travel lanes from W. Kirby Street south along N Glen Avenue to W Broad Street. Based on section 3.1.1 of the Transportation Technical Manual, 10 feet is the minimum lane width for local residential roads. Furthermore, the FDOT Florida Greenbook, Section 3-62, Table 3 identifies the minimum lane width for

local urban roads as 10 feet, however, notes that 9-foot lane widths may be used in residential areas where right of way is limited.

3. The request is to provide 6-foot stabilized shoulders in lieu of the 8-foot shoulders.
4. Reduce the width of the open drainage, as shown in Figure 2. The open drainage on the east side of N. Glen Avenue is proposed to remain unchanged.
5. A 5-foot sidewalk will be provided on the east side of N Glen Avenue from W Kirby Street to W Broad Street.

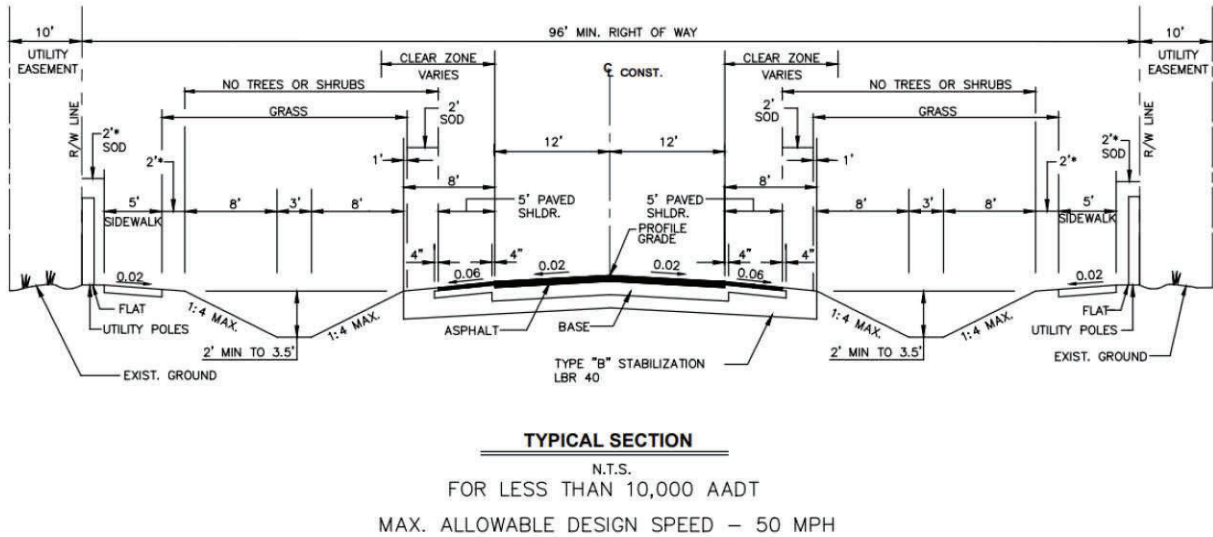


Figure 1 – Hillsborough County TTM TS-7

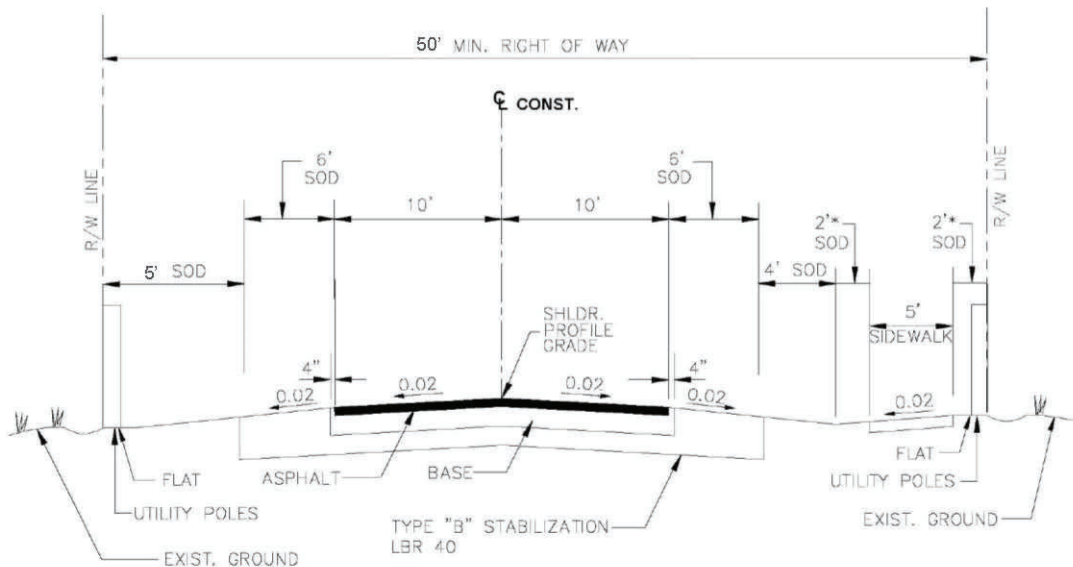
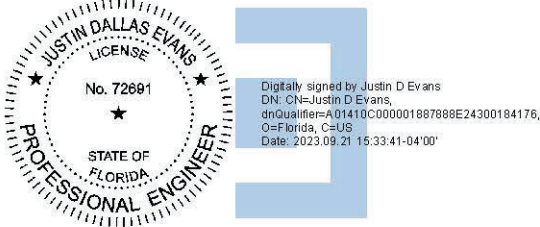


Figure 3 – Currently Proposed Modification to Hillsborough County TTM TS-7

We respectfully request approval of this Design Exception. Please feel free to call me if you have any questions regarding this application.

Sincerely,



**Landis Evans + Partners, Inc.**

Dallas Evans, P.E., AICP  
Principal  
PE #72691

Based on the information provided by the applicant, this request is:

\_\_\_\_\_ Disapproved

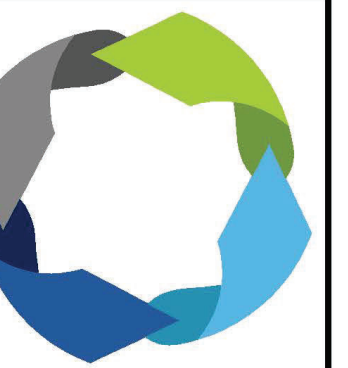
\_\_\_\_\_ Approved with Conditions

**APPROVED**  
\_\_\_\_\_ Approved

Michael J. Williams, P.E.  
Hillsborough County Engineer

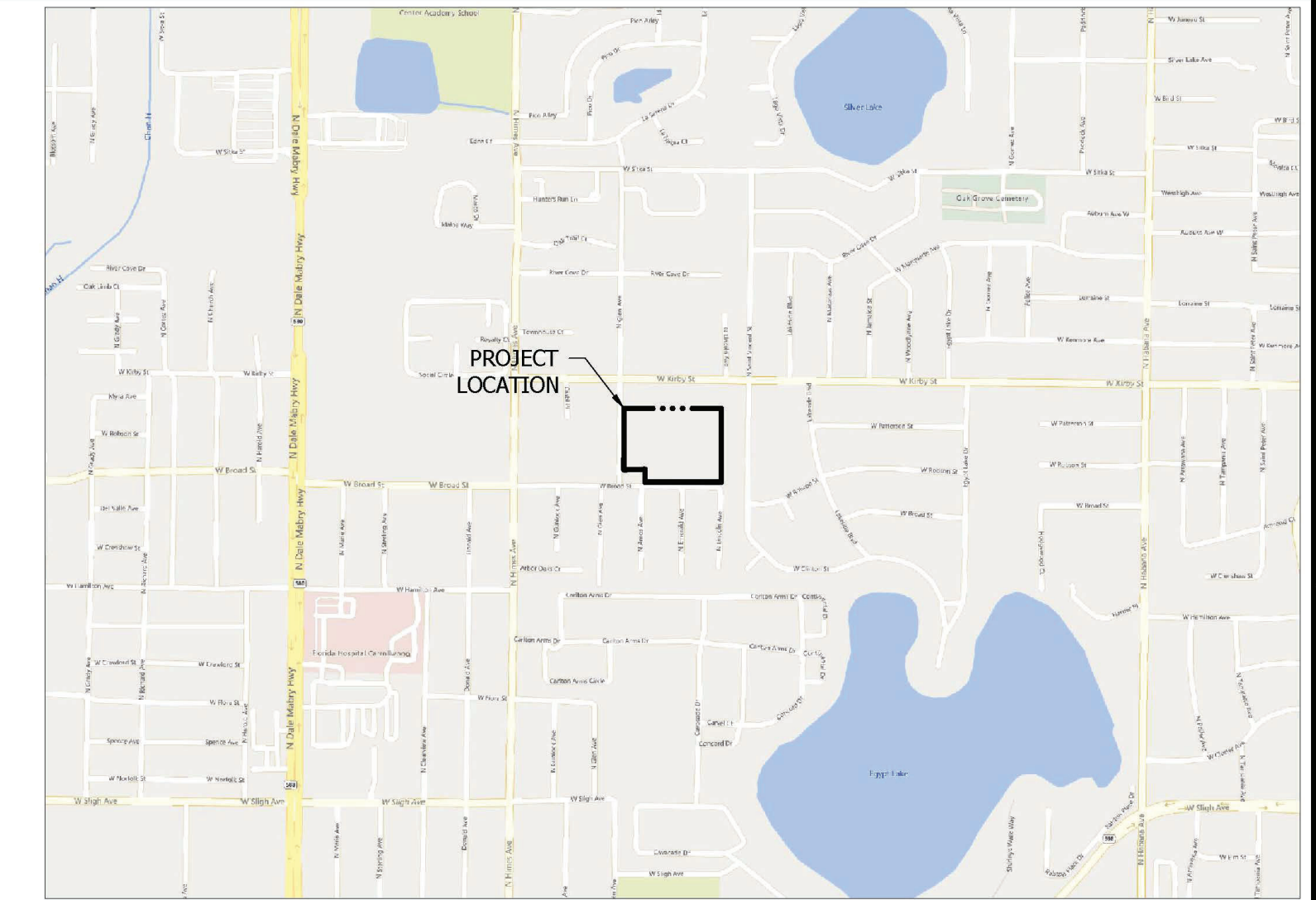
**Michael J. Williams**  
Digitally signed by Michael J. Williams  
Date: 2023.10.10 18:16:43 -04'00'



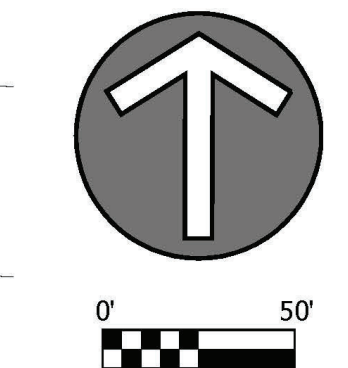


**LANDIS EVANS  
+ PARTNERS**  
www.landisevans.com

3810 NORTHALE BLVD.  
SUITE 100  
TAMPA, FLORIDA 33624  
OFFICE: 813-949-7449  
FBPE CERT. OF AUTH. #4548



**VICINITY MAP**  
SCALE: 1"=1,000'



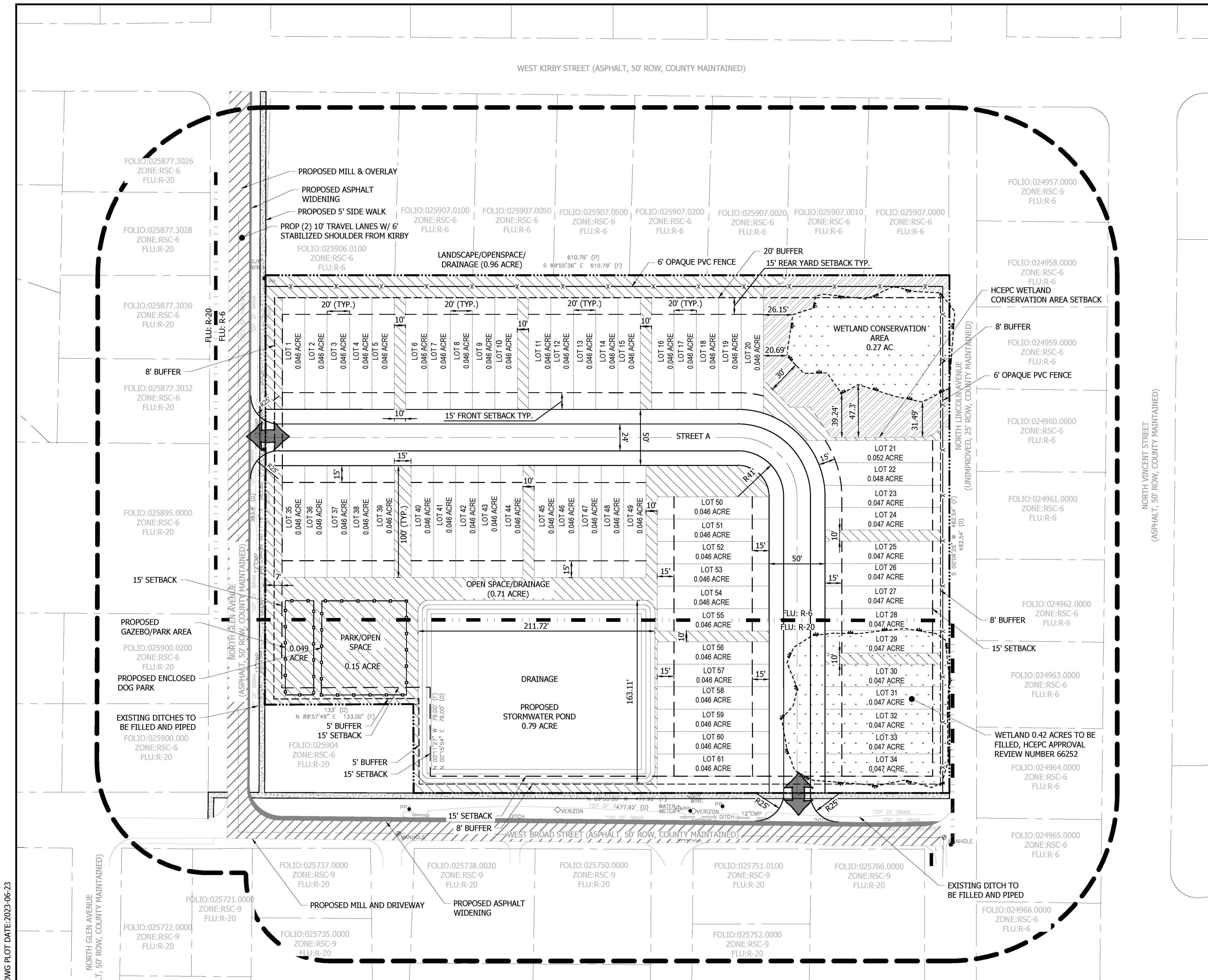
**LEGAL DESCRIPTION:**

HILLSBOROUGH COUNTY PARCEL (025906-0000, 025905-0000, 025903-0000, 025903-0200, 025903-0300, 025903-0100)  
Lot 13, less the West 133 feet of the South 79 feet, and all of Lot 14 and Lot 15, Routh's Egypt Lake Homesites as recorded in Plat Book 26, Page 54 of the Public Records of Hillsborough County, Florida and being more particularly described as follows:

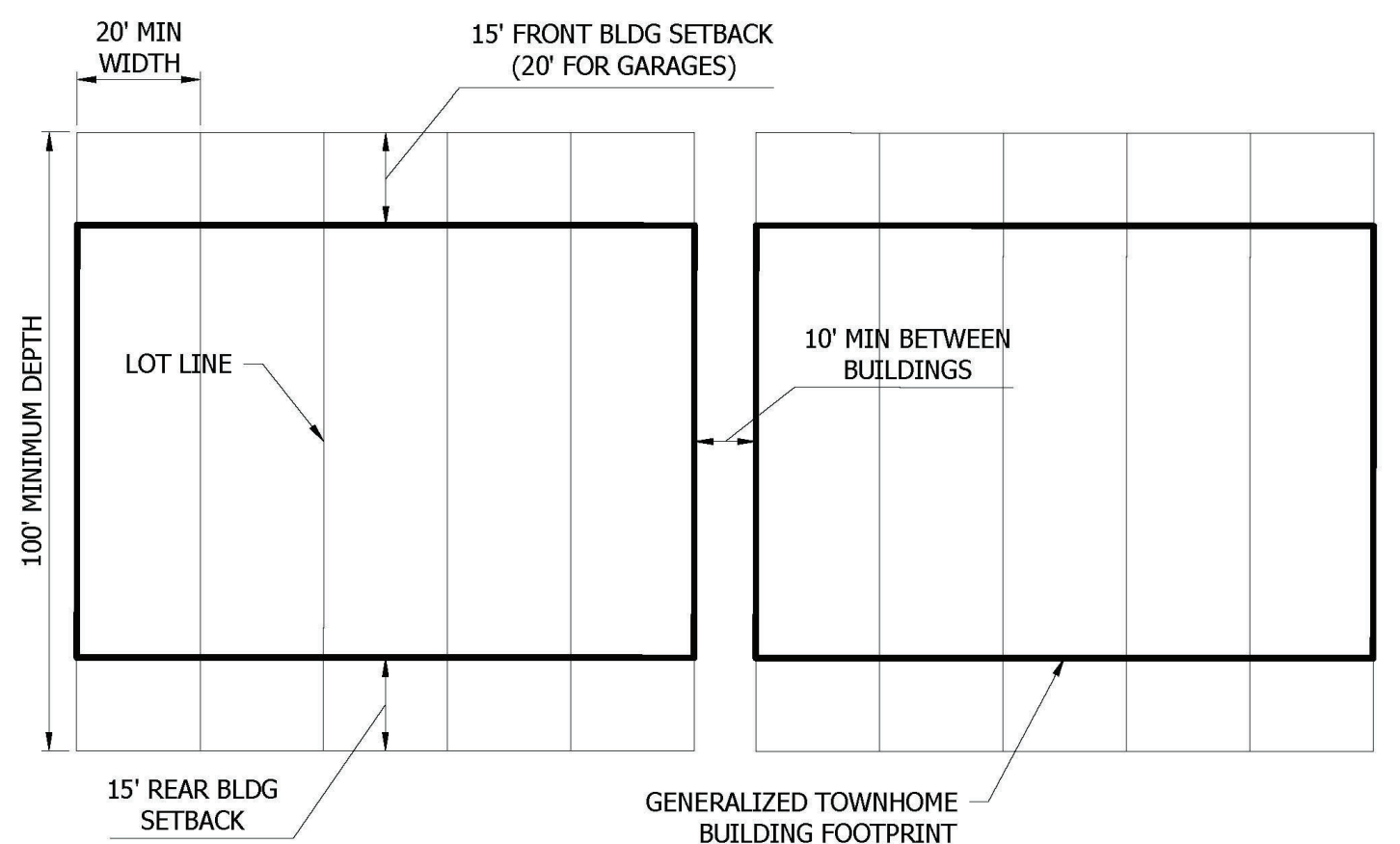
Beginning at the Northwest corner of said Lot 15; thence run South 89°55'36" East along the northerly line of said Lot 15, a distance of 810.79 feet to the Northeast corner of said Lot 15; thence run South 00°06'26" West along the easterly line of said Lots 13, 14 and 15, a distance of 462.54 feet to the Southeast corner of said Lot 13; thence run North 89°55'38" West along the southerly line of said Lot 13, a distance of 477.92 feet to a point lying 133 feet East of the Southwest corner of said Lot 13; thence run North 00°11'27" West along a line 133 feet East of and parallel to the Southerly line of said Lot 13, a distance of 79.00 feet; thence run South 89°57'49" West, a distance of 133.00 feet to a point on the Westerly line of said Lot 13 being 79 feet of the Southwest corner of said Lot 13; thence run North 00°11'16" East along the Westerly line of said Lots 13, 14 and 15, a distance of 383.80 feet to the Point of Beginning. Containing 272,030 square feet (6.25 acres) more or less.

**NOTES:**

- SITE IS NOT LOCATED IN AN OVERLAY DISTRICT.
- THE PROJECT IS NOT LOCATED IN A COASTAL HIGH HAZARD AREA, WELLHEAD RESOURCE PROTECTION AREA, SURFACE WATER PROTECTION AREA, OR POTABLE WATER WELLFIELD PROTECTION AREA.
- NO DESIGNATED SCENIC CORRIDORS EXIST WITHIN OR ADJACENT TO THE PROJECT.
- NO HISTORIC LANDMARKS ARE LOCATED ON-SITE OR WITHIN 150' OF THE PROJECT BOUNDARY (SOURCE: HILLSBOROUGH COUNTY HISTORIC LANDMARKS MAPS, 2014).
- ADJACENT PLATTED SUBDIVISIONS (IF ANY) ARE SHOWN ON THE PLAN.
- NO ADDITIONAL RIGHT-OF-WAY DEDICATION IS PROPOSED OR SHOWN.
- THE FUTURE LAND USE ANALYSIS IS SHOWN IN THE SITE DATA TABLE. NO DENSITY CREDIT OR LAND USE FLEX IS REQUESTED.
- DEVELOPMENT INFORMATION IS PROVIDED ABOVE AND IN THE SITE DATA TABLE.
- NO PUBLIC PARK LANDS OR PUBLIC SCHOOL SITES ARE PROPOSED OR SHOWN. INTERNAL COMMUNITY PARKS AND PASSIVE RECREATIONAL AREAS ARE PROPOSED AND CONCEPTUALLY SHOWN.
- NO SPECIFIC ARCHITECTURAL DESIGNS ARE PROPOSED, AND NONE ARE SHOWN.
- LANDSCAPE BUFFERS ALONG ROADWAY AND ALONG THE PERIMETER SHALL BE PROVIDED. ROADWAY LANDSCAPE BUFFERS SHALL BE A MINIMUM OF TWENTY (20) FEET IN WIDTH. PERIMETER BUFFERS SHALL BE A MINIMUM OF THIRTY (30) FEET IN WIDTH UNLESS OTHERWISE NOTED. NO ADDITIONAL SCREENING OR BUFFERING WILL BE PROVIDED, AND NO ADDITIONAL BUFFERING IS SHOWN.
- POINTS OF INGRESS AND EGRESS FOR PRIVATE AND COMMERCIAL VEHICLES IS SHOWN ON THE PLAN. THE PROJECT IS NOT ADJACENT TO ANY NAVIGABLE WATERWAY(S), AND ACCORDINGLY, NO ACCESS FOR WATERWAY TRAFFIC IS PROVIDED OR SHOWN.
- STREETS SHALL BE PRIVATELY OWNED AND MAINTAINED. THE ACCESS TO NORTH GLEN AVENUE AND WEST BROAD STREET SHALL NOT BE GATED.
- INTERNAL PEDESTRIAN CIRCULATION SHALL BE PROVIDED VIA SIDEWALKS BUILT TO COUNTY STANDARDS.
- WATER AND SEWER SERVICE SHALL BE PROVIDED BY CITY OF TAMPA.
- ALL EXISTING ON-SITE STRUCTURES SHALL BE REMOVED.
- ALL ADJACENT PROPERTIES WITHIN THE 150 FOOT STUDY AREA ARE SINGLE-FAMILY DETACHED USES.



PERIMETER LANDSCAPE BUFFERS	
NORTH	20' TYPE B W/ OPAQUE FENCE
EAST	8' PERIMETER BUFFER
SOUTH	8' PERIMETER BUFFER
SOUTHWEST	5' TYPE A BUFFER
WEST	8' PERIMETER BUFFER



**TYPICAL LOT DETAIL**  
SCALE: 1" = 30'

PROJECT DATA TABLE	
FOLIO:	025906-0000, 025905-0000, 025903-0000, 025903-0200, 025903-0300, & 025903-0100
EXISTING ZONING:	PD (18-0943)/MM (20-0368)
EXISTING USE:	SINGLE FAMILY
PROPOSED ZONING:	PD
FUTURE LAND USE:	RES-6 (4.32 AC) & RES-20 (1.93 AC)
EXISTING FLOOD ZONE:	X FLOOD ZONE
COMMUNITY PLANNING AREA:	EYPT LAKE
OVERLAY DISTRICT:	NONE
SPECIAL ZONE:	NONE
SCENIC ROADWAY CORRIDOR:	NONE
HISTORIC LANDMARKS/OTHER:	NONE KNOWN ON PROPERTY OR WITHIN
PLATS:	PLAT BOOK 26, PAGE 54
EASEMENTS:	NO KNOWN EASEMENTS ON PROPERTY
COMP PLAN FLEX:	NONE PROPOSED
PHASES:	PROJECT TO BE DEVELOPED IN A SINGLE PHASE
NATURAL WATER BODIES:	NONE
WETLAND SIZE:	0.69 ACRES
PROPOSED OPEN SPACE/PARK:	1.67 ACRES
PROPOSED RESIDENTIAL TYPE:	TOWNHOMES
TOTAL PARCEL SIZE:	6.245 ACRES
TOTAL NO. OF DWELLING UNITS:	61 UNITS
GROSS DENSITY:	9.77 D.U./ACRE
MAXIMUM HEIGHT:	35'
MAXIMUM BUILDING COVERAGE:	70%
MAXIMUM IMPERVIOUS SURFACE:	NONE
MINIMUM LOT SIZE:	2000 SF
MINIMUM LOT WIDTH:	20'
LOT YARDS:	FRONT: 15'/20**
	SIDE: 0'/10**
	REAR: 15'
**20' FOR GARAGES; **10' BETWEEN BUILDINGS	

**PROJECT TEAM:**  
**ENGINEER/PLANNER:**  
 LANDIS EVANS AND PARTNERS  
 3810 NORTHALE BLVD. - SUITE 100  
 TAMPA, FLORIDA 33624  
 PHONE: (813) 949-7449  
 CONTACT: JOHN MUELLER, P.E.  
 EMAIL: JMUELLER@LANDISEVANS.COM

**TRAFFIC:**  
 LANDIS EVANS AND PARTNERS  
 3810 NORTHALE BLVD. - SUITE 100  
 TAMPA, FLORIDA 33624  
 PHONE: (813) 527-9486  
 CONTACT: THEO PETRITSCH, P.E., PTOE.  
 EMAIL: TAP@LANDISEVANS.COM

**DEVELOPER:**  
 BSRR GLEN AVE, LLC  
 6911 PISTOL RANGE ROAD, SUITE 1018  
 TAMPA, FLORIDA 33635  
 PHONE: (917) 202-3910  
 CONTACT: PEGGY TSEUNG  
 EMAIL: PEGGY@BROOMECAPITAL.COM

**WATER:**  
 CITY OF TAMPA WATER DEPARTMENT  
 CHUCK WEBER, P.E.  
 306 E. JACKSON ST. 5E  
 TAMPA, FLORIDA 33602  
 OFFICE: (813) 274-8121

**SANITARY SEWER:**  
 CITY OF TAMPA WASTEWATER DEPARTMENT  
 JEFF HILTON, P.E.  
 2545 GUY N. VERGER BLVD.  
 TAMPA, FLORIDA 33605  
 OFFICE: (813) 274-3282

**ENVIRONMENTAL:**  
 NAVLOR ENVIRONMENTAL SOLUTIONS  
 14706 TUDOR CHASE DR.  
 TAMPA, FLORIDA 33626  
 PHONE: (727) 207-0525  
 CONTACT: ABBEY NAVLOR  
 EMAIL: ANAVLOR@NAVLOREVM.COM

**UTILITY PROVIDERS:**

**WATER:**  
 CITY OF TAMPA WATER DEPARTMENT  
 CHUCK WEBER, P.E.  
 306 E. JACKSON ST. 5E  
 TAMPA, FLORIDA 33602  
 OFFICE: (813) 274-8121

**SANITARY SEWER:**  
 CITY OF TAMPA WASTEWATER DEPARTMENT  
 JEFF HILTON, P.E.  
 2545 GUY N. VERGER BLVD.  
 TAMPA, FLORIDA 33605  
 OFFICE: (813) 274-3282

**LEGEND:**

- PROJECT BOUNDARY/MAJOR MODIFICATION AREA
- LANDSCAPE BUFFER LINE
- BUILDING SETBACK LINE
- 150 FT STUDY AREA
- EPC WETLAND LINE
- VEHICULAR ACCESS POINTS

**PLANNED DEVELOPMENT PLAN  
MINOR MODIFICATION**  
 BROOME TOWNHOMES  
 7507 N GLEN AVE, TAMPA, FL 33614, USA

FLOOD ZONE: X  
 PANEL MAP NO: 02133  
 DATED 10/07/2021  
 SEC TWP PRG: 27/28S/18E  
 JOB NO: 1827-23  
 DATE: 2023-06-23  
 SHEET NUMBER:  
**PDP**

T:\1000 PROJECTS\1827-23 BROOME TOWNHOMES\DWG\60 ZONING\PD MINOR MOD.DWG PLOT DATE:2023-06-23

Transportation Comment Sheet

**3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)**

Adjoining Roadways (check if applicable)			
Road Name	Classification	Current Conditions	Select Future Improvements
N. Glen Ave	County Local - Rural	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input checked="" type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input checked="" type="checkbox"/> Other (TBD)
W. Broad St.	County Local - Rural	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input checked="" type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input checked="" type="checkbox"/> Other (TBD)

Project Trip Generation <input type="checkbox"/> Not applicable for this request			
	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	414	27	32
Proposed	200	12	16
Difference (+/-)	-214	-15	-16

\*Trips reported are based on net new external trips unless otherwise noted.

Connectivity and Cross Access <input checked="" type="checkbox"/> Not applicable for this request				
Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North		Choose an item.	Choose an item.	Choose an item.
South		Choose an item.	Choose an item.	Choose an item.
East		Choose an item.	Choose an item.	Choose an item.
West		Choose an item.	Choose an item.	Choose an item.
Notes:				

Design Exception/Administrative Variance <input checked="" type="checkbox"/> Not applicable for this request		
Road Name/Nature of Request	Type	Finding
	Choose an item.	Choose an item.
	Choose an item.	Choose an item.
Notes:		

4.0 Additional Site Information & Agency Comments Summary

Transportation	Objections	Conditions Requested	Additional Information/Comments
<input type="checkbox"/> Design Exception/Adm. Variance Requested <input type="checkbox"/> Off-Site Improvements Provided <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	

**COMMISSION**

Gwendolyn “Gwen” W. Myers CHAIR  
 Harry Cohen VICE-CHAIR  
 Donna Cameron Cepeda  
 Ken Hagan  
 Pat Kemp  
 Christine Miller  
 Joshua Wostal



**DIRECTORS**

Janet D. Lorton EXECUTIVE DIRECTOR  
 Elaine S. DeLeeuw ADMIN DIVISION  
 Sam Elrabi, P.E. WATER DIVISION  
 Diana M. Lee, P.E. AIR DIVISION  
 Michael Lynch WETLANDS DIVISION  
 Rick Muratti, Esq. LEGAL DEPT  
 Steffanie L. Wickham WASTE DIVISION

**AGENCY COMMENT SHEET**

REZONING	
<p><b>HEARING DATE:</b> October 8, 2024</p> <p><b>PETITION NO.:</b> PRS 24-1124</p> <p><b>EPC REVIEWER:</b> Kelly M. Holland</p> <p><b>CONTACT INFORMATION:</b> (813) 627-2600 X 1222</p> <p><b>EMAIL:</b> <a href="mailto:hollandk@epchc.org">hollandk@epchc.org</a></p>	<p><b>COMMENT DATE:</b> September 4, 2024</p> <p><b>PROPERTY ADDRESSES:</b> 3309 and 3319 West Broad Street and 7507 and 7509 North Glen Avenue, Tampa</p> <p><b>FOLIO #s:</b> 0259030000, 0259030100, 0259030200, 0259030300, 0259050000 and 0259060000</p> <p><b>STR:</b> 27-28S-18E</p>
<p><b>REQUESTED ZONING:</b> Minor Modification to an existing PD</p>	
FINDINGS	
<b>WETLANDS PRESENT</b>	YES
<b>SITE INSPECTION DATE</b>	N/A
<b>WETLAND LINE VALIDITY</b>	September 14, 2025 (with impact approval)
<b>WETLANDS VERIFICATION (AERIAL PHOTO, SOILS SURVEY, EPC FILES)</b>	Southeast and Northeast property corners
<p>The EPC Wetlands Division has reviewed the proposed rezoning. In the site plan’s current configuration, a resubmittal is not necessary. If the zoning proposal changes and/or the site plans are altered, EPC staff will need to review the zoning again. This project as submitted is conceptually justified to move forward through the zoning review process as long as the following conditions are included:</p> <ul style="list-style-type: none"> <li>Approval of this zoning petition by Hillsborough County does not constitute a guarantee that the Environmental Protection Commission of Hillsborough County (EPC) approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impact to wetlands, and does not grant any implied or vested right to environmental approvals.</li> <li>The construction and location of any proposed wetland impacts are not approved by this correspondence but shall be reviewed by EPC staff under separate application pursuant to the EPC Wetlands rule detailed in Chapter 1-11, Rules of the EPC, (Chapter 1-11) to determine whether such impacts are necessary to accomplish reasonable use of the subject property.</li> </ul>	

*Environmental Excellence in a Changing World*

**Environmental Protection Commission - Roger P. Stewart Center**  
 3629 Queen Palm Drive, Tampa, FL 33619 - (813) 627-2600 - [www.epchc.org](http://www.epchc.org)

- Final design of buildings, stormwater retention areas, and ingress/egresses are subject to change pending formal agency jurisdictional determinations of wetland and other surface water boundaries and approval by the appropriate regulatory agencies.

**INFORMATIONAL COMMENTS:**

The following specific comments are made for informational purposes only and to provide guidance as to the EPC review process. However, future EPC staff review is not limited to the following, regardless of the obviousness of the concern as raised by the general site plan and EPC staff may identify other legitimate concerns at any time prior to final project approval.

- The subject property contains wetland/OSW areas, which have been delineated. Knowledge of the actual extent of the wetland and OSW are necessary in order to verify the avoidance of wetland impacts pursuant to Chapter 1-11.
- Chapter 1-11 prohibits wetland impacts unless they are necessary for reasonable use of the property. Staff of the EPC recommends that this requirement be taken into account during the earliest stages of site design so that wetland impacts are avoided or minimized to the greatest extent possible. The size, location, and configuration of the wetlands may result in requirements to reduce or reconfigure the improvements depicted on the plan.
- The Hillsborough County Land Development Code (LDC) defines wetlands and other surface waters as Environmentally Sensitive Areas. Pursuant to the LDC, wetlands and other surface waters are further defined as Conservation Areas or Preservation Areas and these areas must be designated as such on all development plans and plats. A minimum setback must be maintained around the Conservation/Preservation Area and the setback line must also be shown on all future plan submittals.
- Any activity interfering with the integrity of wetland(s) or other surface water(s), such as clearing, excavating, draining or filling, without written authorization from the Executive Director of the EPC or authorized agent, pursuant to Section 1-11.07, would be a violation of Section 17 of the Environmental Protection Act of Hillsborough County, Chapter 84-446, and of Chapter 1-11.

Kmh / app

ec:



**Adequate Facilities Analysis: Rezoning**

**Date:** August 27, 2024

**Acreage:** 6.25 (+/- acres)

**Jurisdiction:** Hillsborough County

**Proposed Zoning:** Planned Development

**Case Number:** 24-1124

**Future Land Use:** RES-6 & RES-20

**HCPS #:** RZ 638

**Maximum Residential Units:** 33

**Address:** 3309 & 3319 W Broad St and 7507 & 509 Glen Ave

**Residential Type:** Single Family Attached

**Parcel Folio Number(s):** 025903.0000  
025903.0100 025903.0200 025903.0300  
025905.0000 025906.0000

School Data	Egypt Lake Elementary	Memorial Middle	Hillsborough High
<b>FISH Capacity</b> Total school capacity as reported to the Florida Inventory of School Houses (FISH)	708	1044	2081
<b>2023-24 Enrollment</b> K-12 enrollment on 2023-24 40 <sup>th</sup> day of school. This count is used to evaluate school concurrency per Interlocal Agreements with area jurisdictions	450	656	1769
<b>Current Utilization</b> Percentage of school capacity utilized based on 40 <sup>th</sup> day enrollment and FISH capacity	64%	63%	85%
<b>Concurrency Reservations</b> Existing concurrency reservations due to previously approved development. Source: CSA Tracking Sheet as of 8/22/2024	0	44	49
<b>Students Generated</b> Estimated number of new students expected in development based on adopted generation rates. Source: Duncan Associates, School Impact Fee Study for Hillsborough County, Florida, Dec. 2019	4	2	3
<b>Proposed Utilization</b> School capacity utilization based on 40 <sup>th</sup> day enrollment, existing concurrency reservations, and estimated student generation for application	64%	67%	88%

**Notes:** At this time, adequate capacity exists at Egypt Lake Elementary, Memorial Middle, and Hillsborough High School for the proposed rezoning.

**This is an analysis for adequate facilities only and is NOT a determination of school concurrency. A school concurrency review will be issued PRIOR TO preliminary plat or site plan approval.**

*Andrea A. Stingone*

Andrea A. Stingone, M.Ed.  
Department Manager, Planning & Siting  
Growth Management Department  
Hillsborough County Public Schools  
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## Agency Review Comment Sheet

**NOTE:** Wellhead Resource Protection Areas (WRPA), Potable Water Wellfield Protection Areas (PWWPA), and Surface Water Resource Protection Areas (SWRPA) reviews are based on the most current available data on the Hillsborough County maps, as set forth in Part 3.05.00 of the Land Development Code.

**TO:** Zoning Review, Development Services      **REQUEST DATE:** 8/5/2024

**REVIEWER:** Kim Cruz, Environmental Supervisor      **REVIEW DATE:** 8/16/2024

**PROPERTY OWNER:** BSFR Glen Ave. LLC (Peggy Tseung)(Anna West)(Michael Bednarski)      **PID:** 24-1124

**APPLICANT:** BSFR Glen Ave. LLC (Peggy Tseung)

**LOCATION:** 3309 West Broad St. Tampa, FL 33614  
3319 West Broad St. Tampa, FL 33614  
7507 Glen Ave. Tampa, FL 33614  
7509 Glen Ave. Tampa, FL 33614

**FOLIO NO.:** 25903.0000, 25903.0100, 25903.0200, 25903.0300, 25905.0000,  
25906.0000

### AGENCY REVIEW COMMENTS:

At this time, according to the Hillsborough County BOCC approved maps adopted in the Comprehensive Plan, the site does not appear to be located within a Wellhead Resource Protection Area (WRPA), Potable Water Wellfield Protection Area (PWWPA) and/or Surface Water Resource Protection Area (SWRPA), as defined in Part 3.05.00 of the Hillsborough County Land Development Code (LDC).

Hillsborough County EVSD has no recommended conditions and no request for additional information.

**WATER RESOURCE SERVICES  
REZONING REVIEW COMMENT SHEET: WATER & WASTEWATER**

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PETITION NO.: PRS 24-1124      REVIEWED BY: Clay Walker, E.I.      DATE: 8/13/2024

FOLIO NO.: 25903.0000, 25903.0100, 25903.0200, 25903.0300, 25905.0000, 25906.0000

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**WATER**

- The property lies within the City of Tampa Water Service Area. The applicant should contact the provider to determine the availability of water service.
  
- A \_\_\_ inch water main exists  (adjacent to the site),  (approximately \_\_\_ feet from the site) \_\_\_\_\_. This will be the likely point-of-connection, however there could be additional and/or different points-of-connection determined at the time of the application for service. This is not a reservation of capacity.
  
- Water distribution system improvements will need to be completed prior to connection to the County's water system. The improvements include \_\_\_\_\_ and will need to be completed by the \_\_\_\_\_ prior to issuance of any building permits that will create additional demand on the system.

**WASTEWATER**

- The property lies within the City of Tampa Wastewater Service Area. The applicant should contact the provider to determine the availability of wastewater service.
  
- A \_\_\_ inch wastewater force main exists  (adjacent to the site),  (approximately \_\_\_ feet from the site) \_\_\_\_\_. This will be the likely point-of-connection, however there could be additional and/or different points-of-connection determined at the time of the application for service. This is not a reservation of capacity.
  
- Wastewater collection system improvements will need to be completed prior to connection to the County's wastewater system. The improvements include \_\_\_\_\_ and will need to be completed by the \_\_\_\_\_ prior to issuance of any building permits that will create additional demand on the system.

COMMENTS: \_\_\_\_\_.