

PD Modification Application: MM 24-0397
Zoning Hearing Master Date: October 28, 2024
BOCC Land Use Meeting Date: December 10, 2024

1.0 APPLICATION SUMMARY

Applicant: WPG-Double Branch LLC / WPG – Oldsmar Farm LLC
FLU Category: Office Commercial-20 (OC-20)
Service Area: Urban
Site Acreage: 11.44 MOL
Community Plan Area: Town ‘N Country & Northwest Area
Overlay: None



Introduction Summary:

PD 96-0340 was approved in 1996 to allow up to 90,000 square feet of Commercial – General (CG) uses. The applicant requests a modification to add a second option to include residential multi-family as an allowable use for the development of up to 220 dwelling units for parcel 2. Parcel 1 is proposed to remain as a 6,119 square foot convenience store with gas station.

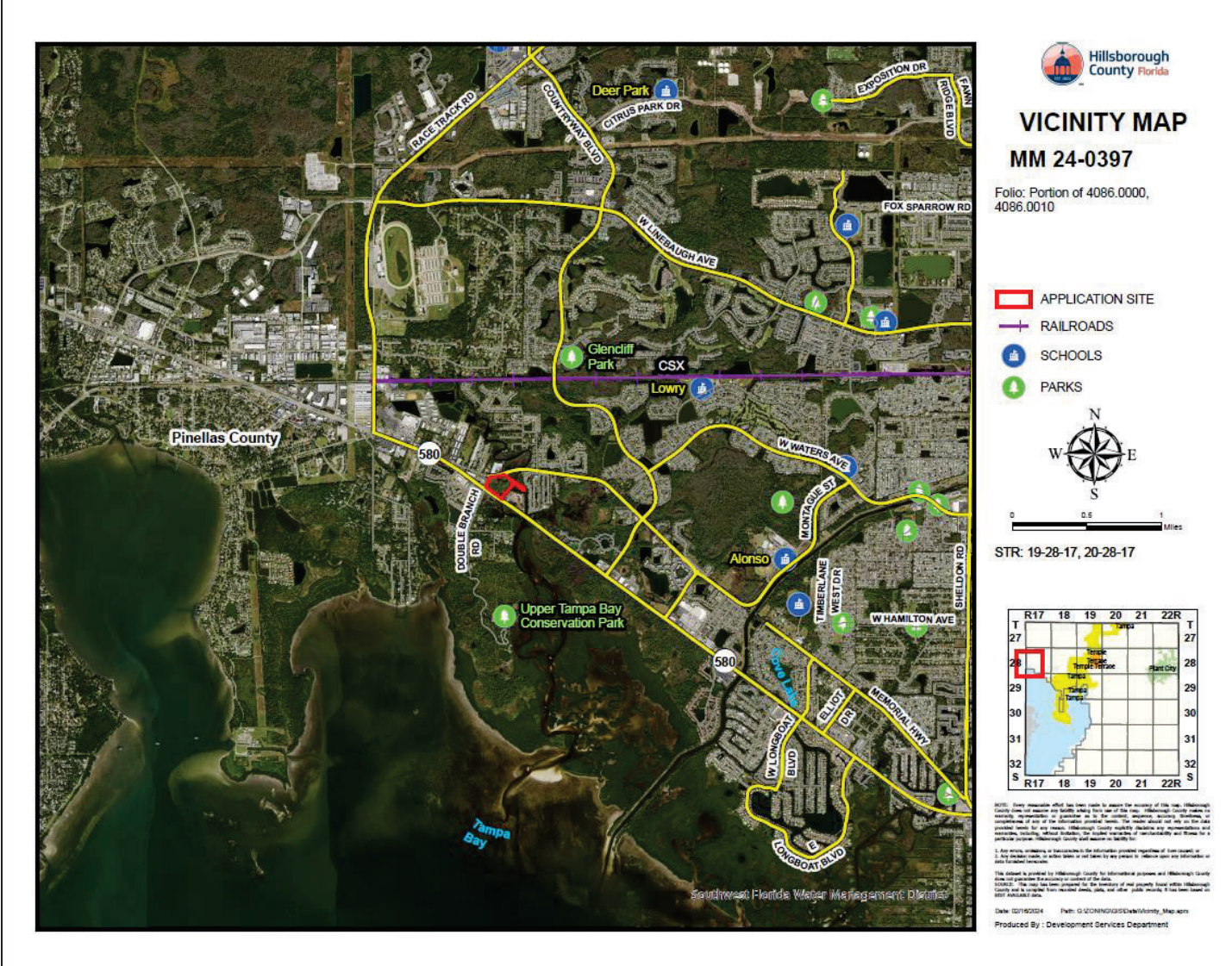
Existing Approval(s):	Proposed Modification(s):
90,000 square feet of Commercial- General (CG) uses	Add a second option to include residential multi-family as an allowable use for the development of up to 220 multi-family dwelling units for parcel 2. Parcel 1 is proposed to remain as a 6,119 square foot convenience store with gas station.

Additional Information:	
PD Variation(s):	None Requested as part of this application
Waiver(s) to the Land Development Code:	None Requested as part of this application

Planning Commission Recommendation: Consistent	Development Services Recommendation: Approvable, subject to proposed conditions
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2.0 LAND USE MAP SET AND SUMMARY DATA

2.1 Vicinity Map



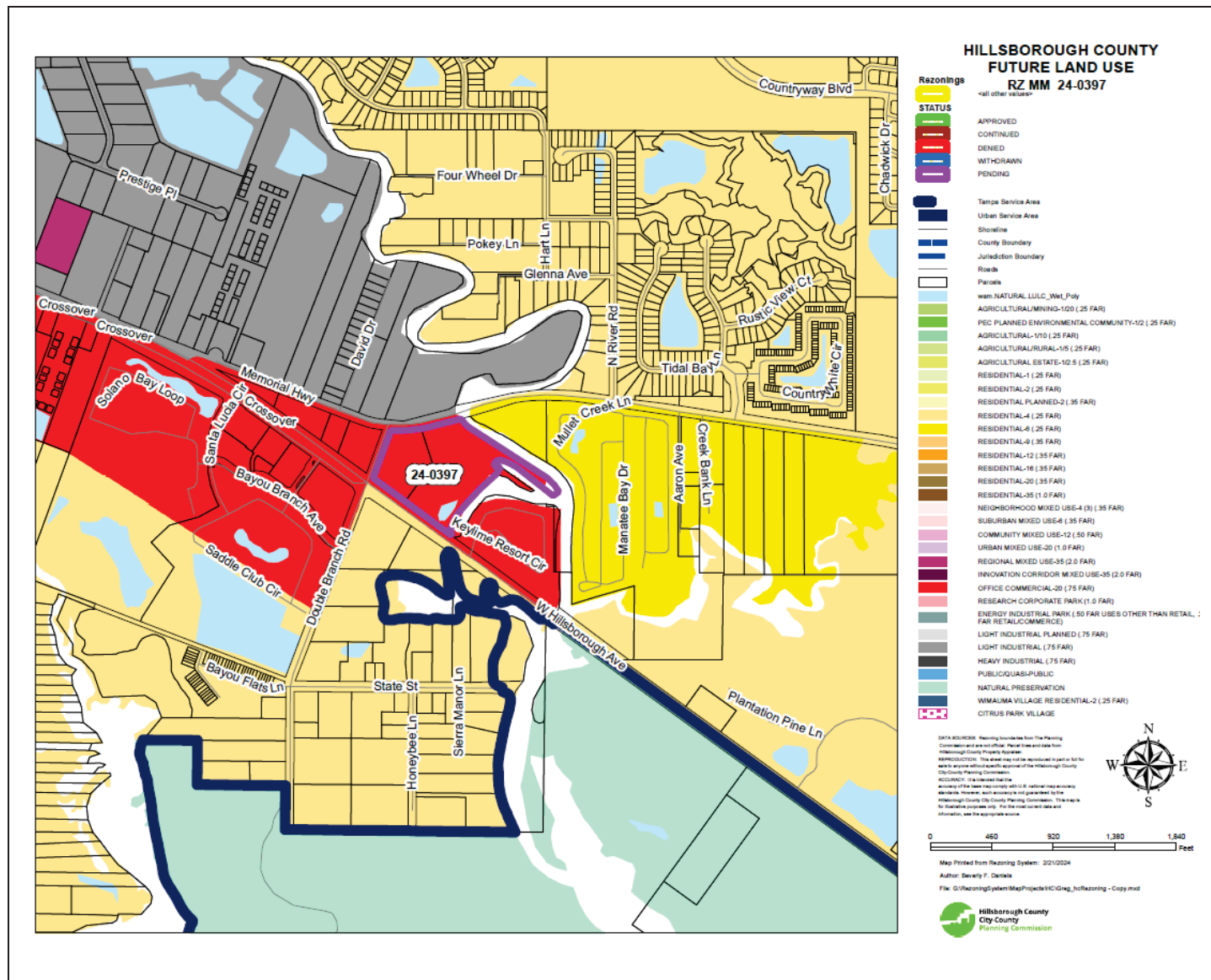
Context of Surrounding Area:

The 11.44-acre site contains two parcels and is located at the northeast corner of Hillsborough Avenue and Double Branch Road and is located in the Urban Service Area within the limits of the Town 'N Country & Northwest Area Community Plans. Parcel 1 with folio# 4086.0000 is developed commercial. Parcel 2 with folio# 4086.0010 is vacant.

The surrounding area is predominantly a mixture of light industrial, RV Park and institutional uses. There is a church immediately west of the site across Double Branch Road, and multiple RV Parks to the north and east across Double Branch Creek. In the general proximity of the subject site is PD zoning to the north, east and west, and Commercial General (CG) zoning to the south and west.

2.0 LAND USE MAP SET AND SUMMARY DATA

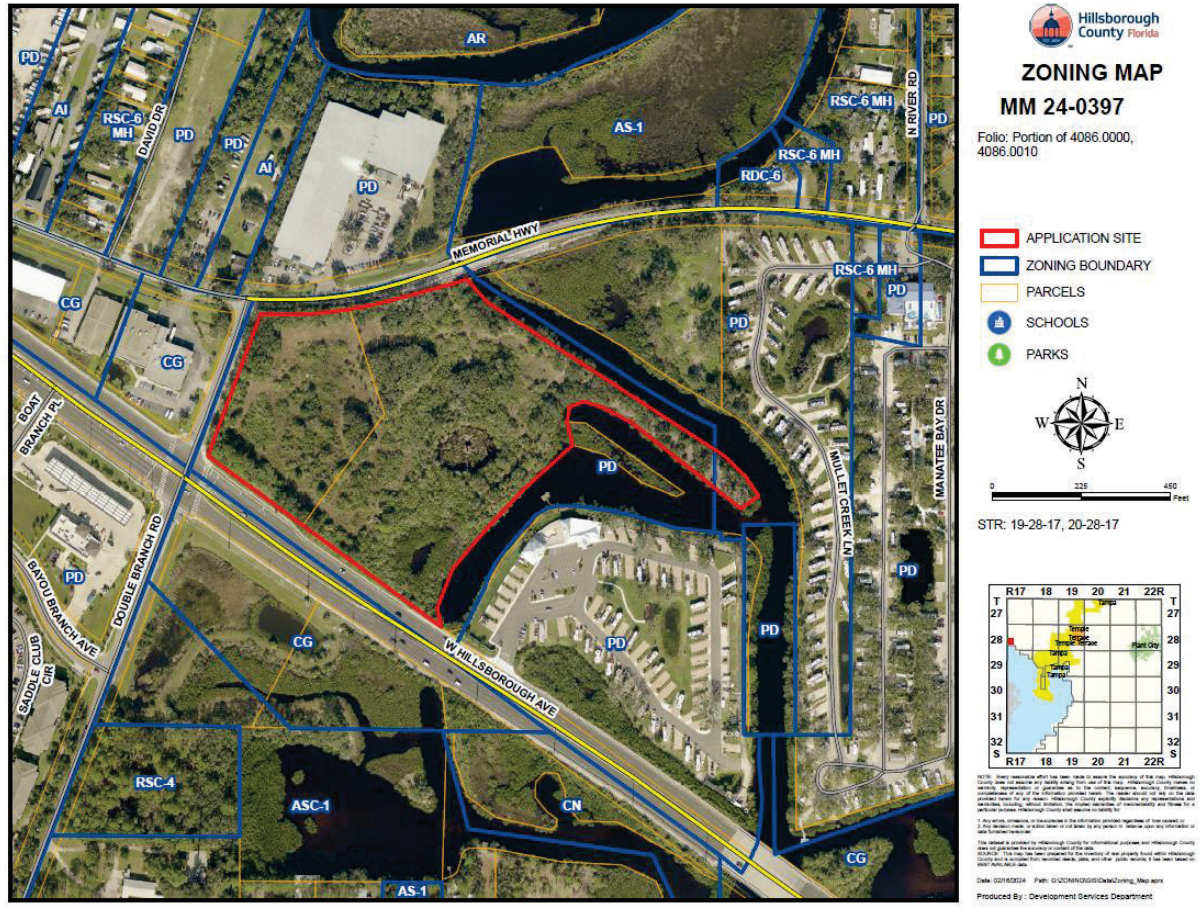
2.2 Future Land Use Map



Subject Site Future Land Use Category:	Office Commercial-20 (OC-20)
Maximum Density/F.A.R.:	20.0 dwelling units/0.75 F.A.R.
Typical Uses:	Community commercial type uses, office uses, mixed use developments, and compatible residential uses.

2.0 LAND USE MAP SET AND SUMMARY DATA

2.3 Immediate Area Map

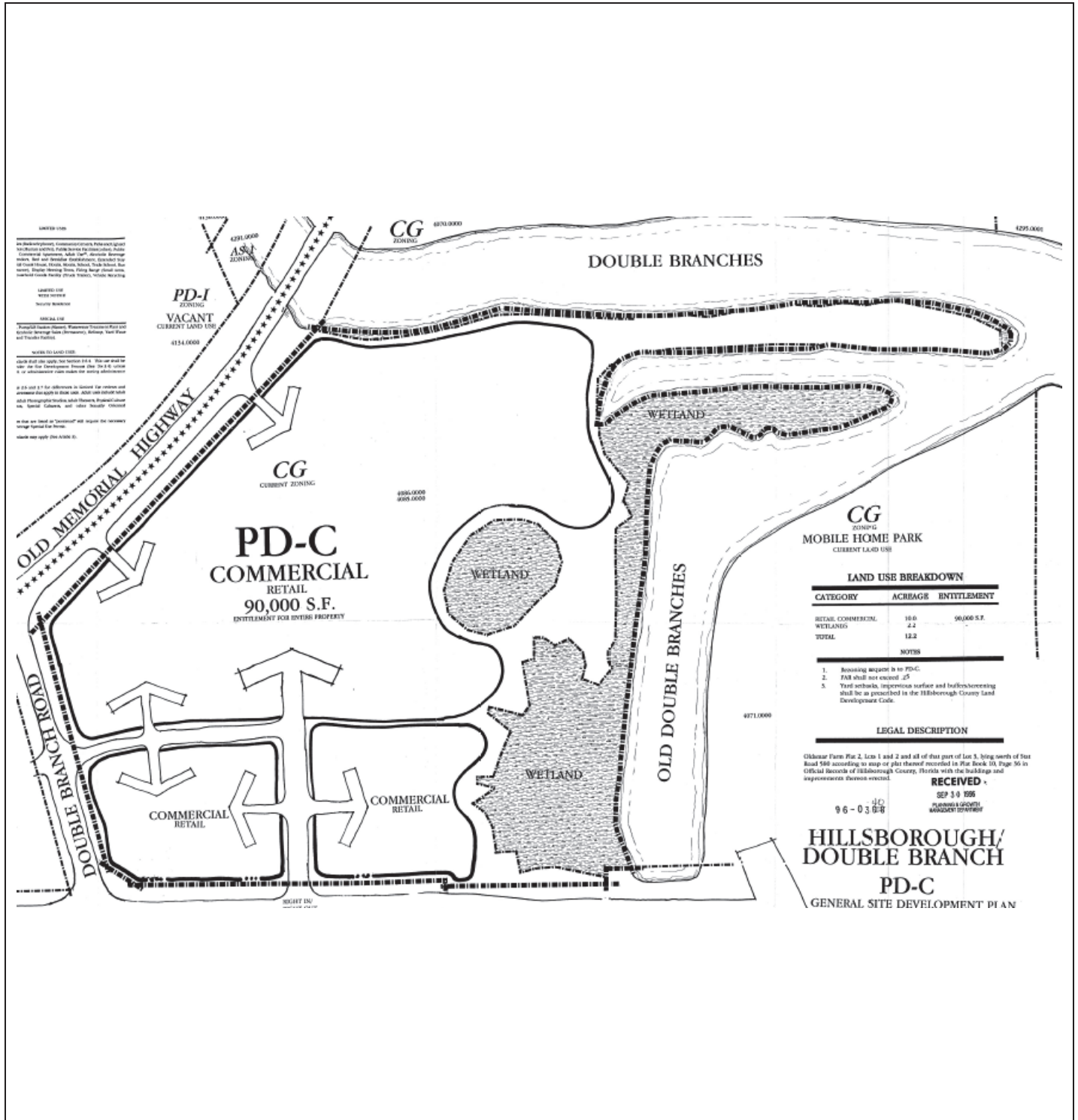


Adjacent Zonings and Uses

Location:	Zoning:	Maximum Density/F.A.R. Permitted by Zoning District:	Allowable Use:	Existing Use:
North	PD 84-0382, PD 20-0475, PD 05-1111	Per PD	Light Industrial, Wetland Conservation, RV Park	Light Industrial, Wetland Conservation, RV Park
South	CG	0.27 F.A.R.	General Commercial	Vacant / FDOT Property
East	PD 05-1252	Per PD	RV Park	RV Park
West	CG, PD 84-0382	0.27 F.A.R., Per PD	General Commercial, Light Industrial	Church, Light Industrial

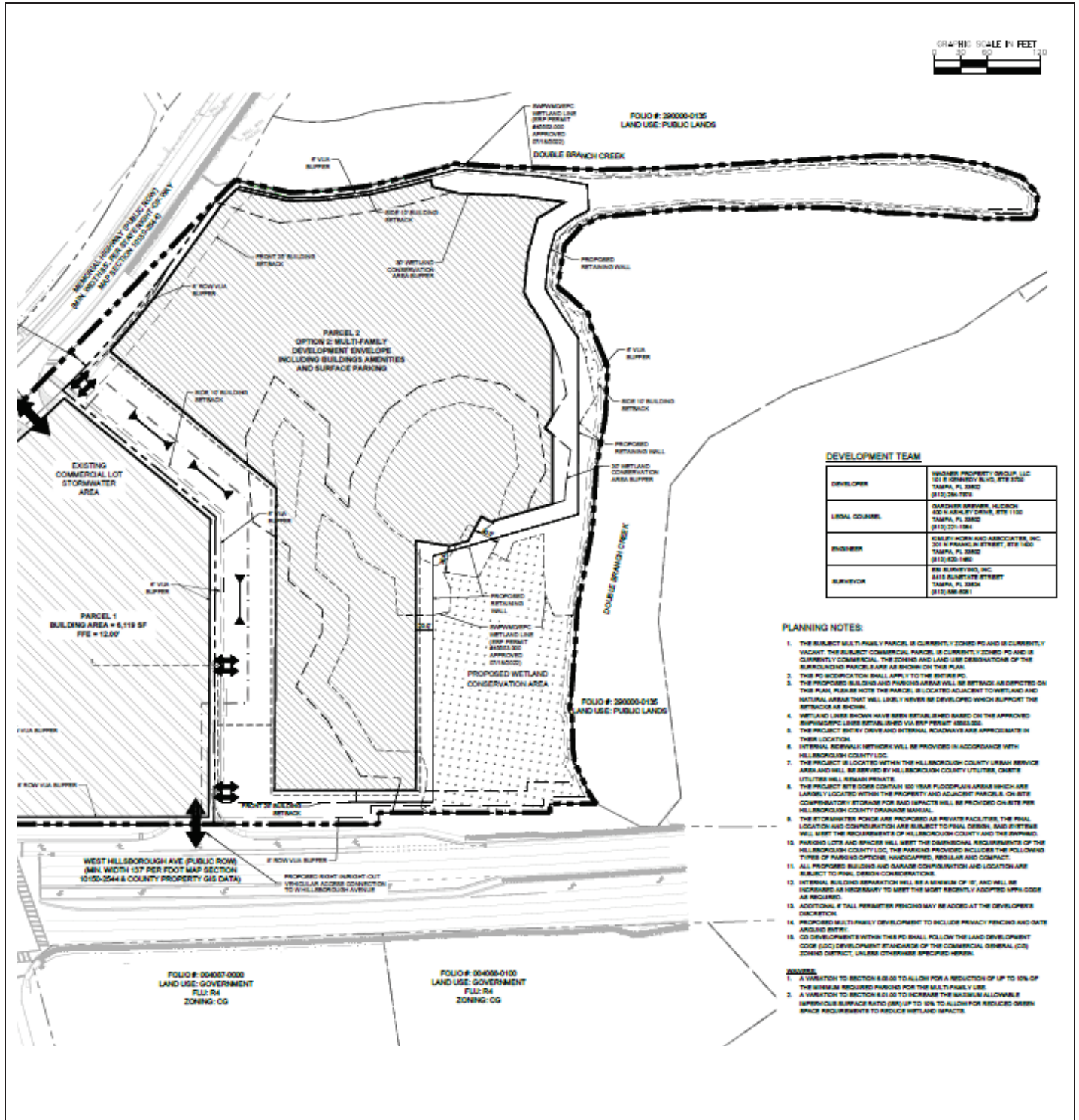
2.0 LAND USE MAP SET AND SUMMARY DATA

2.4 Approved Site Plan (partial provided below for size and orientation purposes. See Section 8.1 for full site plan)



2.0 LAND USE MAP SET AND SUMMARY DATA

2.5 Proposed Site Plan (partial development envelope below for size and orientation purposes. See Section 8.2 for full site plan)



DEVELOPMENT TEAM	
DEVELOPER	WILSON PROPERTY GROUP, LLC 221 S GIMNEY BLVD, STE 200 TAMPA, FL 33602 (813) 244-7878
LEGAL COUNSEL	DAVIDER BERNIERI, ESQ. 200 N FRANKLIN STREET, STE 1100 TAMPA, FL 33602 (813) 251-1884
ENGINEER	SCOTT HORN AND ASSOCIATES, INC. 301 N FRANKLIN STREET, STE 1100 TAMPA, FL 33602 (813) 422-1400
SURVEYOR	RM SURVEYS, INC. 816 BLUMHART STREET TAMPA, FL 33604 (813) 888-8111

- PLANNING NOTES:**
1. THE SUBJECT MULTI-FAMILY PARCEL IS CURRENTLY ZONED PD AND IS CURRENTLY VACANT. THE SUBJECT COMMERCIAL PARCEL IS CURRENTLY ZONED PD AND IS CURRENTLY VACANT. THE ZONING AND LAND USE DESIGNATIONS OF THE SURROUNDING PARCELS ARE AS SHOWN ON THIS PLAN.
 2. THIS PD OCCUPATION SHALL APPLY TO THE ENTIRE PD.
 3. THE PROPOSED BUILDING AND PARCEL AREAS WILL BE SETBACK AS DIRECTED ON THIS PLAN. PLEASE NOTE THE PARCEL IS LOCATED ADJACENT TO WETLANDS AND NATURAL AREAS THAT WILL LIKELY NEVER BE DEVELOPED WHICH SUPPORT THE SETBACKS AS SHOWN.
 4. WETLAND LINES SHOWN HAVE BEEN ESTABLISHED BASED ON THE APPROVED SWAMPWATERIC WETLAND LINE (SWP PERMIT 18853.000 APPROVED 01/18/2022).
 5. THE PROJECT ENTRY DRIVE AND INTERNAL ROADS/ALLEYS ARE APPROXIMATE IN THEIR LOCATION.
 6. INTERNAL SEWERAL NETWORK WILL BE PROVIDED IN ACCORDANCE WITH HILLSBOROUGH COUNTY LDC.
 7. THE PROJECT IS LOCATED WITHIN THE HILLSBOROUGH COUNTY URBAN SERVICE AREA AND WILL BE SERVED BY HILLSBOROUGH COUNTY UTILITIES. CHASE UTILITIES WILL REMAIN PRIVATE.
 8. THE PROJECT SITE DOES CONTAIN 100 YEAR FLOODPLAIN AREAS WHICH ARE LARGELY LOCATED WITHIN THE PROPERTY AND ADJACENT PARCELS. ON-SITE COMMUNITY/STORAGE FOR SMO IMPACTS WILL BE PROVIDED ON-SITE PER HILLSBOROUGH COUNTY DRAINAGE MANUAL.
 9. THE STORMWATER POND ARE PROPOSED AS PRIVATE FACILITIES. THE POND LOCATION AND CONSTRUCTION ARE SUBJECT TO FINAL DESIGN. SMO IMPACTS WILL MEET THE REQUIREMENTS OF HILLSBOROUGH COUNTY AND THE SWAMPWATERIC WETLAND LINE (SWP PERMIT 18853.000 APPROVED 01/18/2022).
 10. PARKING LOTS AND SPACES WILL MEET THE DIMENSIONAL REQUIREMENTS OF THE HILLSBOROUGH COUNTY LDC. THE PARKING PROVIDED INCLUDES THE FOLLOWING TYPES OF PARKING OPTIONS: HANDICAPPED, REGULAR AND COMPACT.
 11. ALL PROPOSED BUILDING AND GARAGE CONSTRUCTION AND LOCATION ARE SUBJECT TO FINAL DESIGN CONSIDERATIONS.
 12. INTERNAL BUILDING SEPARATION WILL BE A MINIMUM OF 10' AND WILL BE INCREASED AS NECESSARY TO MEET THE MOST RECENTLY ADOPTED APHA CODE AS REQUIRED.
 13. ADDITIONAL, IF TALL PERIMETER FENCING MAY BE ADDED AT THE DEVELOPER'S DISCRETION.
 14. PROPOSED MULTI-FAMILY DEVELOPMENT TO INCLUDE PRIVATE FENCING AND GATE AROUND ENTRY.
 15. CG DEVELOPMENT WITHIN THIS PD SHALL FOLLOW THE LAND DEVELOPMENT CODE (LDC) DEVELOPMENT STANDARDS OF THE COMMERCIAL (CG) ZONING DISTRICT, UNLESS OTHERWISE SPECIFIED HEREIN.
- NOTES:**
1. A VARIATION TO SECTION 8.08.05 TO ALLOW FOR A REDUCTION OF UP TO 10% OF THE MINIMUM REQUIRED PARKING FOR THE MULTI-FAMILY USE.
 2. A VARIATION TO SECTION 8.01.02 TO INCREASE THE ALLOWABLE ALLOWABLE IMPERVIOUS SURFACE RATIO (ISRU) UP TO 10% TO ALLOW FOR REDUCED OPEN SPACE REQUIREMENTS TO REDUCE WETLAND IMPACTS.

3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)

Adjoining Roadways (check if applicable)

Road Name	Classification	Current Conditions	Select Future Improvements
Hillsborough Ave.	FDOT Principal Arterial - Urban	6 Lanes <input type="checkbox"/> Substandard Road <input checked="" type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
Double Branch Rd.	County Collector - Urban	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input checked="" type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input checked="" type="checkbox"/> Site Access Improvements <input checked="" type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
Memorial Hwy.	County Collector - Rural	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input checked="" type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input checked="" type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
	Choose an item.	Choose an item. Lanes <input type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other

Project Trip Generation Not applicable for this request

	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	12,234	729	1,064
Proposed	12,234	729	1,064
Difference (+/-)	No Change	No Change	No Change

*Trips reported are based on gross external trips unless otherwise noted.

Connectivity and Cross Access Not applicable for this request

Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North	X	Vehicular & Pedestrian	None	Meets LDC
South	X	Vehicular & Pedestrian	None	Meets LDC
East		None	None	Meets LDC
West	X	Vehicular & Pedestrian	None	Meets LDC

Notes:

Design Exception/Administrative Variance Not applicable for this request

Road Name/Nature of Request	Type	Finding
Memorial Hwy./ Access Spacing	Administrative Variance Requested	Approvable
Double Branch Rd./ Access Spacing	Administrative Variance	Approvable

	Requested	
Memorial Hwy./ Substandard Road	Design Exception Requested	Approvable
Double Branch Rd./ Substandard Road	Design Exception Requested	Approvable
Notes: All Design Exceptions (DEs) and Administrative Variances (AVs) apply only to PD Option 2. PD Option 1 is proposed to remain as was previously approved (Staff notes that the existing PD, now labeled as Option 1, was approved in the 1990s, before the requirement to address AVs and DEs during the zoning process existed.)		

4.0 ADDITIONAL SITE INFORMATION & AGENCY COMMENTS SUMMARY

INFORMATION/REVIEWING AGENCY				
Environmental:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Environmental Protection Commission	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Wetlands present
Environmental Services	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Conservation & Environ. Lands Mgmt.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Natural Resources	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Check if Applicable: <input type="checkbox"/> Potable Water Wellfield Protection Area <input checked="" type="checkbox"/> Wetlands/Other Surface Waters <input checked="" type="checkbox"/> Coastal High Hazard Area <input type="checkbox"/> Wellhead Protection Area <input checked="" type="checkbox"/> Urban/Suburban/Rural Scenic Corridor <input type="checkbox"/> Surface Water Resource Protection Area <input type="checkbox"/> Adjacent to ELAPP property				
Public Facilities:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Transportation <input checked="" type="checkbox"/> Design Exc./Adm. Variance Requested <input checked="" type="checkbox"/> Off-site Improvements Provided	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Service Area/ Water & Wastewater <input checked="" type="checkbox"/> Urban <input type="checkbox"/> City of Tampa <input type="checkbox"/> Rural <input type="checkbox"/> City of Temple Terrace	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Hillsborough County School Board Adequate <input checked="" type="checkbox"/> K-5 <input checked="" type="checkbox"/> 6-8 <input checked="" type="checkbox"/> 9-12 <input type="checkbox"/> N/A Inadequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Impact/Mobility Fees Parks: \$1,555 * 220 = \$342,100 School: \$3,891 * 220 = \$856,020 Fire: \$249 * 220 = \$54,780 Total impact fee estimate \$2,718,320 Retail - Conv Mkt. w/Gas (Per fueling position for Mobility based on Conv Mkt size) (Per 1,000 s.f. for Fire) Mobility: \$18,422 x 16 = \$294,752.00				

Fire: \$313 x 6.119 = \$1,915.25

Comprehensive Plan:	Comments Received	Findings	Conditions Requested	Additional Information/Comments
Planning Commission <input type="checkbox"/> Meets Locational Criteria <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Locational Criteria Waiver Requested <input type="checkbox"/> Minimum Density Met <input checked="" type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Inconsistent <input checked="" type="checkbox"/> Consistent	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	See Planning Commission Report

5.0 IMPLEMENTATION RECOMMENDATIONS

5.1 Compatibility

The approximate 11.44-acre property is zoned PD 96-0340 (Planned Development). PD 96-0340 was approved in 1996 to allow up to 90,000 square feet of Commercial – General (CG) uses. The applicant requests a modification to add a second option to include residential multi-family as an allowable use for the development of up to 220 dwelling units for parcel 2. Parcel 1 is proposed to remain as a 6,119 square foot convenience store with gas station.

The site contains two parcels and is located at the northeast corner of Hillsborough Avenue and Double Branch Road and is located in the Urban Service Area within the limits of the Town ‘N Country & Northwest Area Community Plans. Parcel 1 with folio# 4086.0000 is developed commercial. Parcel 2 with folio# 4086.0010 is vacant.

The surrounding area is predominantly a mixture of light industrial, RV Park and institutional uses. There is a church immediately west of the site across Double Branch Road, and multiple RV Parks to the north and east across Double Branch Creek. In the general proximity of the subject site is PD zoning to the north, east and west, and Commercial General (CG) zoning to the south and west.

The subject property is designated Office Commercial-20 (OC-20) on the Future Land Use map. The Planning Commission finds the proposed use consistent with the Comprehensive Plan. The current PD 96-0340 is already approved for commercial general uses which provide residential support uses. The addition of a second option which includes 220 multi-family dwelling units would be consistent with the currently approved PD. Therefore, the modification of PD 96-0340 to allow for a second option to develop the site with up to 220 multi-family dwelling units and a 6,119 square foot convenience store with gas station would be consistent with the existing zoning pattern of the area.

Based upon the above, staff finds the proposed modification to be compatible with the surrounding properties and in keeping with the general development pattern of the area.

5.2 Recommendation

Approvable, subject to proposed conditions.

6.0 PROPOSED CONDITIONS

Requirements for Certification:

Prior to PD site plan certification, the developer shall revise the PD site plan to:

1. Remove all indication of the requested waivers from the site plan.
2. The max height will be revised from 60' ABOVE FFE to 68' ABOVE FFE for Multi-Family Max Building Height.

Approval – Approval of the request, subject to the conditions listed below, is based on the general site plan submitted October 4, 2024.

Conditions Applying to Option 1

1. Development of Option 1 of the project shall be limited to 90,000 square feet of C-G. Interim agricultural uses shall be permitted.
2. A Natural Resources application to conduct land alteration activities on the property must be submitted to the Natural Resources Team of the Planning and Growth Management Department for review and approval.
3. Barbed wire fencing shall be permitted for the interim agricultural use subject to the requirements of the building code.
4. Development of the project shall be subject to community design standards which may be incorporated into the Land Development Code.
5. The setbacks, height, bulk and other development standards shall be that of the Commercial – General (CG) zoning district.
6. A maximum of two outparcels shall be permitted with cross access provided between the outparcels and the main shopping center. Direct access from any outparcel onto Hillsborough Avenue or Double Branch Road shall be prohibited.
7. Buffering and screening shall be in accordance with Sections 2.5.14 and 3.6.4 of the Land Development Code unless modified by the design standards herein.
8. Required yards shall be in accordance with Section 2.5.9 (Table 2.5.1) of the Land Development Code unless modified by design standards through Section 2.5.20.3.2.
9. The General design, location and number of the access points(s) shall be regulated by the Section 3.10 of the Land Development Code and/or the Florida Department of Transportation (Chapter 14-97), if applicable.

10. Public water and wastewater service shall be utilized for C-G uses. The developer shall pay all costs for service delivery.
11. The developer shall provide fire hydrant locations and minimum fire flow as required by the Hillsborough County Fire Department.
12. Development of the project shall comply with all applicable regulations of the Hillsborough County Environmental Protection Commission.

Conditions Applying to Option 2

13. Development of Option 2 of the project shall be limited to:
 - a. Parcel 1: 6,119 square feet of C-G uses to include convenience store with gas pumps.
 - b. Parcel 2: 220 multi-family dwelling units.
14. Building, parking, and stormwater areas shall be developed where generally depicted on the site plan.
15. Notwithstanding anything herein these conditions or on the PD site plan to the contrary, bicycle and pedestrian access may be permitted anywhere along the project's PD boundaries.
16. Option 2 development shall be served by (and limited to) the following project access connections:
 - a. One (1) right-in/right-out connection to Hillsborough Ave.;
 - b. One (1) right-in only connection to Double Branch Rd.; and,
 - c. One (1) full access connection to Memorial Hwy.

Access to Memorial Hwy. may be restricted to right-in/right-out only access in the future, at such time as a 4-lane divided roadway is constructed consistent with the Hillsborough County Corridor Preservation Plan, or as otherwise determined by the County to be required to due safety or operational considerations.
17. Construction access shall be limited to those locations shown on the PD site plan which are also proposed vehicular access connections (excluding any limited purpose or emergency only connections). The developer shall include a note in each site/construction plan submittal which indicates same.
18. Notwithstanding anything shown on the PD site plan or herein these conditions to the contrary, the developer shall provide any easements necessary due to construction of required sidewalks within the subject property. No sidewalks shall be permitted to run laterally within required buffers, and the site plan may be adjusted at the time of plat/site/construction plan review to the minimum extent necessary to effectuate this condition.
19. If MM 24-0397 is approved, the County Engineer will approve (with conditions) a Sec. 6.04.02.B. Administrative Variance (dated May 14, 2024) from the LDC Sec. 6.04.07 access spacing requirements for the project's Memorial Hwy. access, which has been found approvable by the County Engineer (on August 7, 2024). Approval of this Administrative Variance will permit a +/- 88-foot reduction of the minimum access spacing between the project's Memorial Hwy. access and the next closest roadway to the west, resulting in an access spacing of +/- 157 feet. The County Engineer will

approve this variance on the condition that it shall only apply to development occurring under Option 2.

20. If MM 24-0397 is approved, the County Engineer will approve (with conditions) a Sec. 6.04.02.B. Administrative Variance (dated May 14, 2024) from the LDC Sec. 6.04.07 access spacing requirements for the project's Double Branch Rd. access, which has been found approvable by the County Engineer (on August 7, 2024). Approval of this Administrative Variance will permit a reduction of the minimum access spacing between the project's Double Branch Rd. access and the next closest roadways as follows:

- a. A variance of +/- 7-feet from the closest roadway to the south, resulting in an access spacing of +/- 238 feet.; and,
- b. A variance of +/- 87-feet from the closest roadway to the north, resulting in an access spacing of +/- 158 feet.

The County Engineer will approve this variance on the condition that it shall only apply to development occurring under Option 2.

21. If MM 24-0397 is approved, the County Engineer will approve (with conditions) a Design Exception request (dated May 14, 2024) which was found approvable by the County Engineer (on August 7, 2024) for the Memorial Hwy. substandard road improvements. As Memorial Hwy. is a substandard collector roadway, the developer will be required to make certain improvements to Memorial Hwy. consistent with the Design Exception. Specifically, prior to or concurrent with the initial increment of development, the developer shall widen memorial highway to include a consistent eastbound travel lane 11-foot wide, with a 4-foot-wide bicycle lane to match the Memorial Highway cross section east of the proposed project, and installation of a Type F curb and gutter along the south side of the improved area. The County Engineer will approve this variance on the condition that it shall only apply to development occurring under Option 2.

22. If MM 24-0397 is approved, the County Engineer will approve a Design Exception request (dated May 14, 2024) which was found approvable (with conditions and clarifications) by the County Engineer (on August 7, 2024) for the Double Branch Rd. substandard road improvements. As Double Branch Rd. is a substandard collector roadway, the developer will be required to make certain improvements to Double Branch Rd. consistent with the Design Exception. Specifically, prior to or concurrent with the initial increment of development, the developer shall modify the roadway section consistent with the Design Exception, to include installation of a 3-foot-wide raised concrete medial within a portion of the roadway as shown within the construction plans approved via PI 6213. The County Engineer will approve this variance on the condition that it shall only apply to development occurring under Option 2.

23. Natural Resources staff identified a number of significant trees on the site including potential Grand Oaks. Every effort must be made to avoid the removal of and design the site around these trees. The site plan may be modified from the Certified Site Plan to avoid tree removal.

24. Wetlands or other surface waters are considered Environmentally Sensitive Areas and are subject to Conservation Area and Preservation Area setbacks. A minimum setback must be maintained around these areas which shall be designated on all future plan submittals. Only items explicitly stated in the

condition of approval or items allowed per the LDC may be placed within the wetland setback. Proposed land alterations are restricted within the wetland setback areas.

25. Approval of this petition by Hillsborough County does not constitute a guarantee that Natural Resources approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impacts to trees, natural plant communities or wildlife habitat, and does not grant any implied or vested right to environmental approvals.
26. The construction and location of any proposed environmental impacts are not approved by this correspondence, but shall be reviewed by Natural Resources staff through the site and subdivision development plan process pursuant to the Land Development Code.
27. If the notes and/or graphic on the site plan are in conflict with specific zoning conditions and/or the Land Development Code (LDC) regulations, the more restrictive regulation shall apply, unless specifically conditioned otherwise. References to development standards of the LDC in the above stated conditions shall be interpreted as the regulations in effect at the time of preliminary site plan/plat approval.
28. Public water and wastewater service shall be utilized for all approved uses. The developer shall pay all costs for service delivery.

Conditions Applying to Both Options

29. Approval of this zoning petition by Hillsborough County does not constitute a guarantee that the Environmental Protection Commission of Hillsborough County (EPC) approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impact to wetlands, and does not grant any implied or vested right to environmental approvals.
30. The construction and location of any proposed wetland impacts are not approved by this correspondence but shall be reviewed by EPC staff under separate application pursuant to the EPC Wetlands rule detailed in Chapter 1-11, Rules of the EPC, (Chapter 1-11) to determine whether such impacts are necessary to accomplish reasonable use of the subject property.
31. Prior to the issuance of any building or land alteration permits or other development, the approved wetland / other surface water (OSW) line must be incorporated into the site plan. The wetland/ OSW line must appear on all site plans, labeled as "EPC Wetland Line", and the wetland must be labeled as "Wetland Conservation Area" pursuant to the Hillsborough County Land Development Code (LDC).
32. Final design of buildings, stormwater retention areas, and ingress/egresses are subject to change pending formal agency jurisdictional determinations of wetland and other surface water boundaries and approval by the appropriate regulatory agencies.
33. In accordance with LDC Section 5.03.07.C, the certified PD general site plan shall expire for the internal transportation network and external access points, as well as for any conditions related to the internal transportation network and external access points, if site construction plans, or equivalent thereof, have not been approved for all or part of the subject Planned Development within 5 years of the effective date of the PD unless an extension is granted as provided in the LDC. Upon expiration, re-certification of the PD General Site Plan shall be required in accordance with provisions set forth in

LDC Section 5.03.07.C.

34. Parking shall be provided in accordance with LDC, including allowance for alternative parking analysis in accordance with 6.05.02.G.

Zoning Administrator Sign Off:



SITE, SUBDIVISION AND BUILDING CONSTRUCTION IN ACCORDANCE WITH HILLSBOROUGH COUNTY SITE DEVELOPMENT PLAN & BUILDING REVIEW AND APPROVAL.

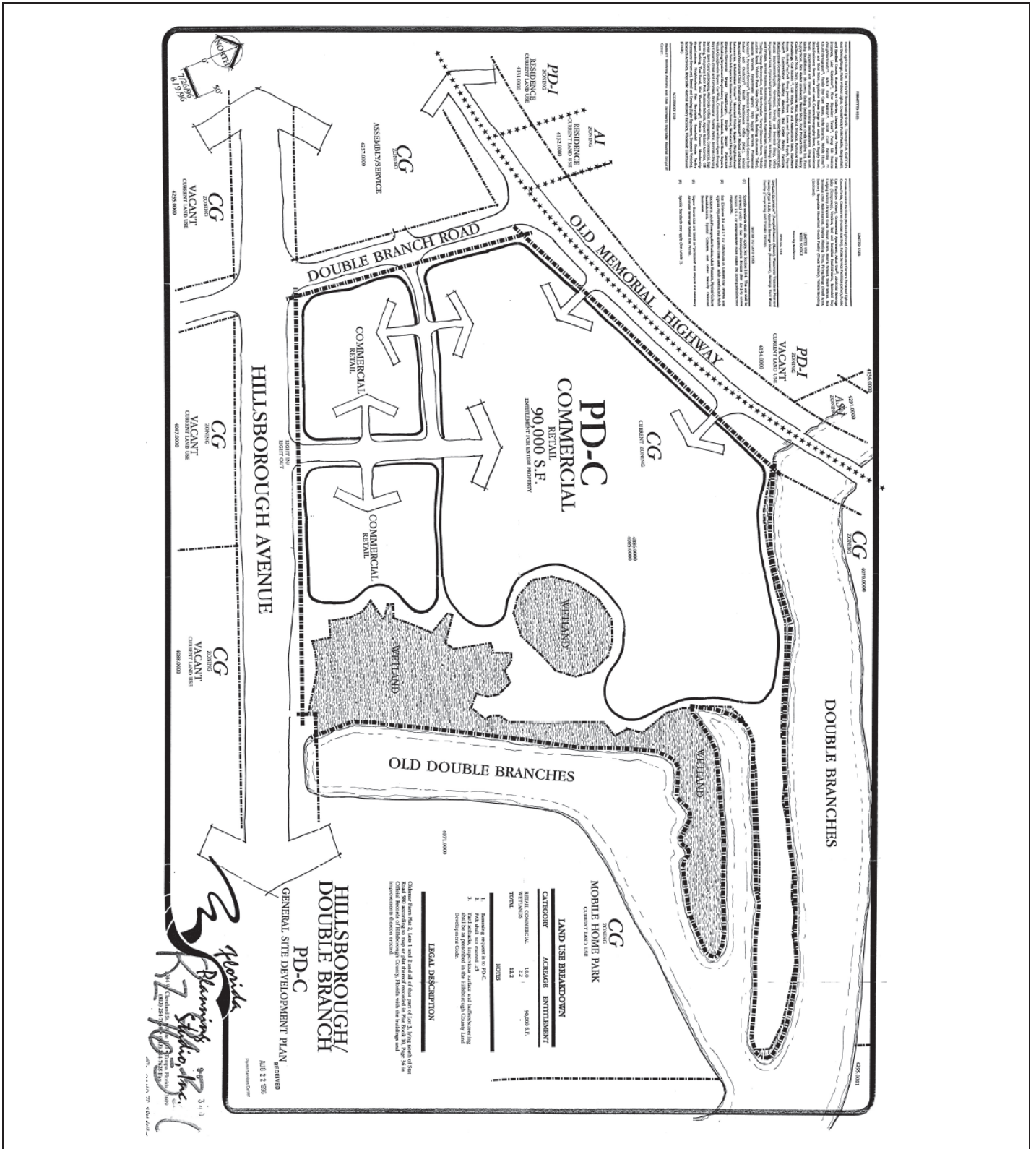
Approval of this re-zoning petition by Hillsborough County does not constitute a guarantee that the project will receive approvals/permits necessary for site development as proposed will be issued, nor does it imply that other required permits needed for site development or building construction are being waived or otherwise approved. The project will be required to comply with the Site Development Plan Review approval process in addition to obtain all necessary building permits for on-site structures.

7.0 ADDITIONAL INFORMATION AND/OR GRAPHICS

None.

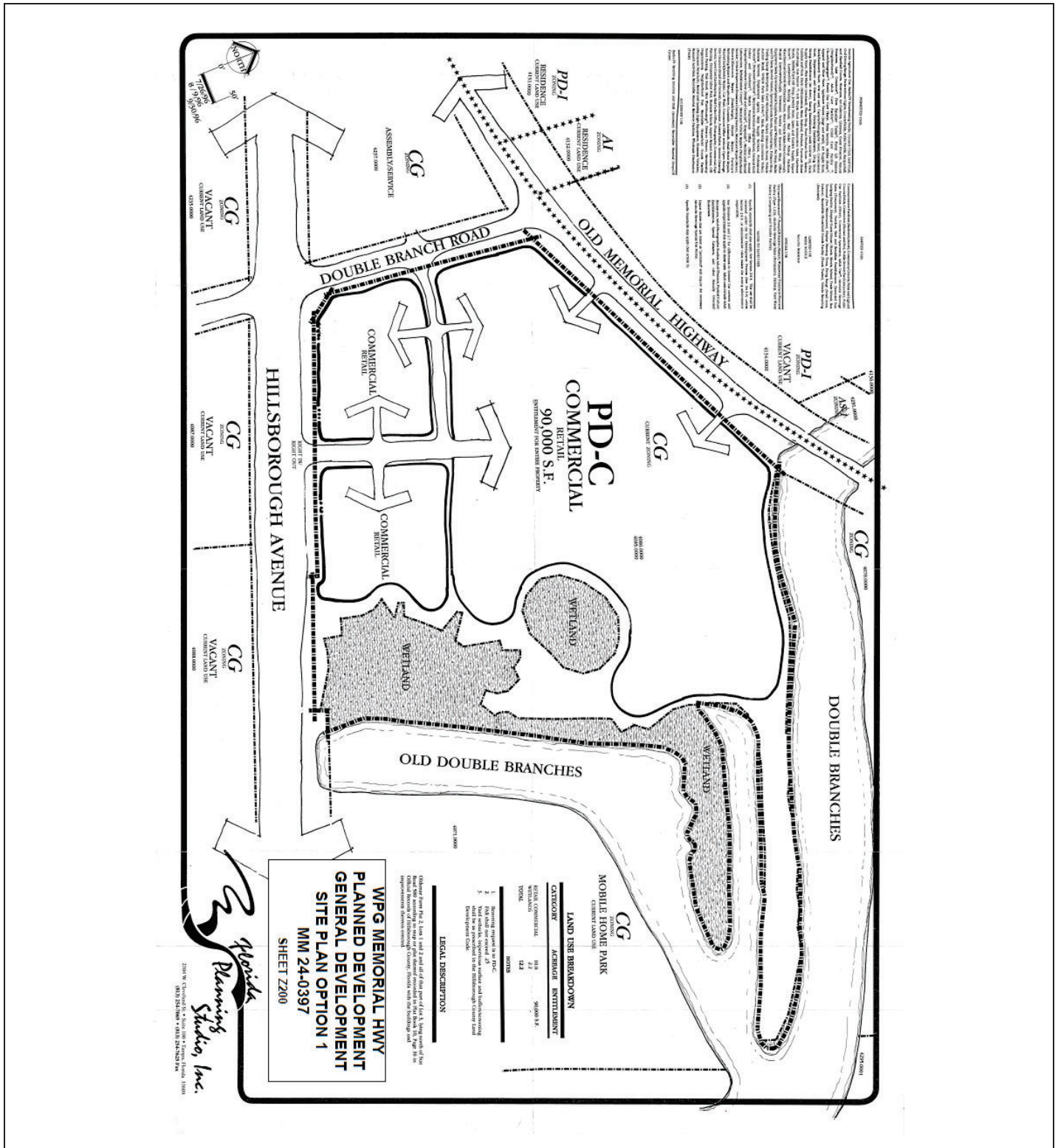
8.0 SITE PLANS (FULL)

8.1 Approved Site Plans (Full)



8.0 SITE PLANS (FULL)

8.2.1 Proposed Site Plan (Full)



8.0 SITE PLANS (FULL)

8.2.2 Proposed Site Plan (Full)

**WPG MEMORIAL HIGHWAY PLANNED DEVELOPMENT GENERAL DEVELOPMENT SITE PLAN
OPTION 2**

GENERAL NOTES:
 1. ALL PROPOSED DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE AND THE PLANNED DEVELOPMENT GENERAL DEVELOPMENT ACT.
 2. THE SITE PLAN SHALL BE REVIEWED AND APPROVED BY THE BOARD OF COUNTY COMMISSIONERS.
 3. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 4. THE DEVELOPER SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES.
 5. THE DEVELOPER SHALL PROVIDE SUFFICIENT PAVED ACCESS TO ALL ADJACENT ROADS.
 6. THE DEVELOPER SHALL PROVIDE SUFFICIENT LIGHTING AND SIGNAGE.
 7. THE DEVELOPER SHALL PROVIDE SUFFICIENT UTILITIES AND SERVICES.
 8. THE DEVELOPER SHALL PROVIDE SUFFICIENT LANDSCAPING AND AESTHETIC IMPROVEMENTS.
 9. THE DEVELOPER SHALL PROVIDE SUFFICIENT SECURITY AND SAFETY MEASURES.
 10. THE DEVELOPER SHALL PROVIDE SUFFICIENT ACCESSIBILITY AND COMMODITY.
 11. THE DEVELOPER SHALL PROVIDE SUFFICIENT ENVIRONMENTAL PROTECTION.
 12. THE DEVELOPER SHALL PROVIDE SUFFICIENT HISTORIC PRESERVATION.
 13. THE DEVELOPER SHALL PROVIDE SUFFICIENT CULTURAL HERITAGE PRESERVATION.
 14. THE DEVELOPER SHALL PROVIDE SUFFICIENT ARCHITECTURAL INTEGRATION.
 15. THE DEVELOPER SHALL PROVIDE SUFFICIENT ART AND CULTURAL EXPRESSION.
 16. THE DEVELOPER SHALL PROVIDE SUFFICIENT OPEN SPACE AND RECREATION.
 17. THE DEVELOPER SHALL PROVIDE SUFFICIENT INFRASTRUCTURE IMPROVEMENTS.
 18. THE DEVELOPER SHALL PROVIDE SUFFICIENT ENERGY EFFICIENCY AND SUSTAINABILITY.
 19. THE DEVELOPER SHALL PROVIDE SUFFICIENT WATER RESOURCES PROTECTION.
 20. THE DEVELOPER SHALL PROVIDE SUFFICIENT AIR QUALITY IMPROVEMENTS.
 21. THE DEVELOPER SHALL PROVIDE SUFFICIENT CLIMATE RESILIENCE.
 22. THE DEVELOPER SHALL PROVIDE SUFFICIENT COMMUNITY ENGAGEMENT.
 23. THE DEVELOPER SHALL PROVIDE SUFFICIENT TRANSPORTATION IMPROVEMENTS.
 24. THE DEVELOPER SHALL PROVIDE SUFFICIENT PUBLIC UTILITIES IMPROVEMENTS.
 25. THE DEVELOPER SHALL PROVIDE SUFFICIENT TELECOMMUNICATIONS IMPROVEMENTS.

DEVELOPMENT TABLE

ITEM	DESCRIPTION	AMOUNT	REMARKS
1	TOTAL AREA	100.00 AC	
2	TOTAL DEVELOPED AREA	80.00 AC	
3	TOTAL OPEN SPACE	20.00 AC	
4	TOTAL PARKING	1000 SPACES	
5	TOTAL TRAFFIC SIGNALS	0	
6	TOTAL STREET LIGHTS	0	
7	TOTAL UTILITIES	0	
8	TOTAL LANDSCAPING	0	
9	TOTAL SECURITY	0	
10	TOTAL ACCESSIBILITY	0	
11	TOTAL ENVIRONMENTAL	0	
12	TOTAL HISTORIC	0	
13	TOTAL CULTURAL	0	
14	TOTAL ARCHITECTURAL	0	
15	TOTAL ART	0	
16	TOTAL OPEN SPACE	0	
17	TOTAL INFRASTRUCTURE	0	
18	TOTAL ENERGY	0	
19	TOTAL WATER	0	
20	TOTAL AIR	0	
21	TOTAL CLIMATE	0	
22	TOTAL COMMUNITY	0	
23	TOTAL TRANSPORTATION	0	
24	TOTAL UTILITIES	0	
25	TOTAL TELECOMMUNICATIONS	0	

PLANNED DEVELOPMENT GENERAL DEVELOPMENT ACT REGULATIONS

SECTION 162.01, CHAPTER 221, FLORIDA STATUTES

SECTION 162.02, CHAPTER 221, FLORIDA STATUTES

SECTION 162.03, CHAPTER 221, FLORIDA STATUTES

SECTION 162.04, CHAPTER 221, FLORIDA STATUTES

SECTION 162.05, CHAPTER 221, FLORIDA STATUTES

SECTION 162.06, CHAPTER 221, FLORIDA STATUTES

SECTION 162.07, CHAPTER 221, FLORIDA STATUTES

SECTION 162.08, CHAPTER 221, FLORIDA STATUTES

SECTION 162.09, CHAPTER 221, FLORIDA STATUTES

SECTION 162.10, CHAPTER 221, FLORIDA STATUTES

SECTION 162.11, CHAPTER 221, FLORIDA STATUTES

SECTION 162.12, CHAPTER 221, FLORIDA STATUTES

SECTION 162.13, CHAPTER 221, FLORIDA STATUTES

SECTION 162.14, CHAPTER 221, FLORIDA STATUTES

SECTION 162.15, CHAPTER 221, FLORIDA STATUTES

SECTION 162.16, CHAPTER 221, FLORIDA STATUTES

SECTION 162.17, CHAPTER 221, FLORIDA STATUTES

SECTION 162.18, CHAPTER 221, FLORIDA STATUTES

SECTION 162.19, CHAPTER 221, FLORIDA STATUTES

SECTION 162.20, CHAPTER 221, FLORIDA STATUTES

SECTION 162.21, CHAPTER 221, FLORIDA STATUTES

SECTION 162.22, CHAPTER 221, FLORIDA STATUTES

SECTION 162.23, CHAPTER 221, FLORIDA STATUTES

SECTION 162.24, CHAPTER 221, FLORIDA STATUTES

SECTION 162.25, CHAPTER 221, FLORIDA STATUTES

0010

STANDARD PLAN

WPG MEMORIAL HWY

PLANNED DEVELOPMENT GENERAL DEVELOPMENT SITE PLAN OPTION 2

Kimley Horn

15001 W. STATE ROAD 70, SUITE 200, WEST PALM BEACH, FL 33411
 (561) 841-4000 | FAX (561) 841-4001
 WWW.KIMLEYHORN.COM | CITY: WEST PALM BEACH

DATE: 11/14/24	APPROVED:
SCALE:	BY: [Signature]
PROJECT:	DATE: 11/14/24
REVISION:	CHECKED:

9.0 FULL TRANSPORTATION REPORT (see following pages)

AGENCY REVIEW COMMENT SHEET

TO: Zoning Technician, Development Services Department DATE: 10/05/2024
REVIEWER: James Ratliff, AICP, Principal Planner AGENCY/DEPT: Transportation
PLANNING AREA/SECTOR: NWH/ Northwest PETITION NO: MM 24-0397

- This agency has no comments.
- This agency has no objection.
- This agency has no objection, subject to listed or attached conditions.
- This agency objects, based on the listed or attached conditions.

NEW CONDITIONS OF APPROVAL

All existing conditions shall carry forward and apply only to PD Option 1. Conditions for PD Option 2 are presented below.

Option 2 Conditions

1. Notwithstanding anything herein these conditions or on the PD site plan to the contrary, bicycle and pedestrian access may be permitted anywhere along the project's PD boundaries.
2. Option 2 development shall be served by (and limited to) the following project access connections:
 - a. One (1) right-in/right-out connection to Hillsborough Ave.;
 - b. One (1) right-in only connection to Double Branch Rd.; and,
 - c. One (1) full access connection to Memorial Hwy.

Access to Memorial Hwy. may be restricted to right-in/right-out only access in the future, at such time as a 4-lane divided roadway is constructed consistent with the Hillsborough County Corridor Preservation Plan, or as otherwise determined by the County to be required to due safety or operational considerations.

3. Construction access shall be limited to those locations shown on the PD site plan which are also proposed vehicular access connections (excluding any limited purpose or emergency only connections). The developer shall include a note in each site/construction plan submittal which indicates same.
4. Notwithstanding anything shown on the PD site plan or herein these conditions to the contrary, the developer shall provide any easements necessary due to construction of required sidewalks within the subject property. No sidewalks shall be permitted to run laterally within required buffers, and the site plan may be adjusted at the time of plat/site/construction plan review to the minimum extent necessary to effectuate this condition.
5. If MM 24-0397 is approved, the County Engineer will approve (with conditions) a Sec.

6.04.02.B. Administrative Variance (dated May 14, 2024) from the LDC Sec. 6.04.07 access spacing requirements for the project's Memorial Hwy. access, which has been found approvable by the County Engineer (on August 7, 2024). Approval of this Administrative Variance will permit a +/- 88-foot reduction of the minimum access spacing between the project's Memorial Hwy. access and the next closest roadway to the west, resulting in an access spacing of +/- 157 feet. The County Engineer will approve this variance on the condition that it shall only apply to development occurring under Option 2.

6. If MM 24-0397 is approved, the County Engineer will approve (with conditions) a Sec. 6.04.02.B. Administrative Variance (dated May 14, 2024) from the LDC Sec. 6.04.07 access spacing requirements for the project's Double Branch Rd. access, which has been found approvable by the County Engineer (on August 7, 2024). Approval of this Administrative Variance will permit a reduction of the minimum access spacing between the project's Double Branch Rd. access and the next closest roadways as follows:
 - a. A variance of +/- 7-feet from the closest roadway to the south, resulting in an access spacing of +/- 238 feet.; and,
 - b. A variance of +/- 87-feet from the closest roadway to the north, resulting in an access spacing of +/- 158 feet.

The County Engineer will approve this variance on the condition that it shall only apply to development occurring under Option 2.

7. If MM 24-0397 is approved, the County Engineer will approve (with conditions) a Design Exception request (dated May 14, 2024) which was found approvable by the County Engineer (on August 7, 2024) for the Memorial Hwy. substandard road improvements. As Memorial Hwy. is a substandard collector roadway, the developer will be required to make certain improvements to Memorial Hwy. consistent with the Design Exception. Specifically, prior to or concurrent with the initial increment of development, the developer shall widen memorial highway to include a consistent eastbound travel lane 11-feet wide, with a 4-foot-wide bicycle lane to match the Memorial Highway cross section east of the proposed project, and installation of a Type F curb and gutter along the south side of the improved area. The County Engineer will approve this variance on the condition that it shall only apply to development occurring under Option 2.
8. If MM 24-0397 is approved, the County Engineer will approve a Design Exception request (dated May 14, 2024) which was found approvable (with conditions and clarifications) by the County Engineer (on August 7, 2024) for the Double Branch Rd. substandard road improvements. As Double Branch Rd. is a substandard collector roadway, the developer will be required to make certain improvements to Double Branch Rd. consistent with the Design Exception. Specifically, prior to or concurrent with the initial increment of development, the developer shall modify the roadway section consistent with the Design Exception, to include installation of a 3-foot-wide raised concrete medial within a portion of the roadway as shown within the construction plans approved via PI 6213. The County Engineer will approve this variance on the condition that it shall only apply to development occurring under Option 2.

PROJECT SUMMARY AND TRIP GENERATION

The applicant is proposing a Major Modification (MM) to a previously approved Planned Development (PD) #96-340. The project consists of two parcels totaling +/- 11.44 ac. The zoning is presently approved for 90,000 s.f. of Commercial General (CG) uses and interim agricultural uses. The applicant is seeking to retain the existing entitlements as Development Option 1, and is proposing a new development option (Option 2), which will permit up to 6,119 s.f. of Convenience Store with Gas Pumps uses on an area designated Parcel 1 (with a maximum of 8 pumps and 16 vehicle fueling positions), and 220 multi-family dwelling units on Parcel 2.

Consistent with the Development Review Procedures Manual (DRPM), the applicant submitted a trip generation and site access analysis for the proposed development. Staff notes that the Option 2 proposal generates fewer trips than the existing approved Option 1 entitlements. As such, the project will have no affect on the maximum trip generation potential of the subject project. Staff has prepared a comparison of the number of trips generated by existing Option 1 and proposed Option 2 below, utilizing a generalized worst-case scenario. Data presented below is based on the 11th Edition of the Institute of Transportation Engineer’s Trip Generation Manual.

Existing Zoning (Option 1):

Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
80,000 s.f. Shopping Plaza (40-150k with Supermarket) (ITE Code 821)	7,560	282	733
10,000 s.f. Fast-food with Drive-Through (ITE Code 934)	4,674	447	331
Subtotal:	12,234	729	1,064

Proposed Zoning (Option 2):

Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
Parcel 1: +/- 6,119 s.f. Convenience Store with 16 VFPs (ITE Code 945)	7,854	560	484
Parcel 2: +/- 220 multi-family dwelling units (ITE Code 220)	1,486	91	116
Subtotal:	9,340	651	600

Trip Generation Difference (Between Options):

Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
Difference	(-) 2,894	(-) 78	(-) 464

Trip Generation Difference (Maximum Potential):

Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
Difference	No Change	No Change	No Change

TRANSPORTATION INFRASTRUCTURE SERVING THE SITE

Memorial Hwy. is a 2-lane, undivided, substandard, collector roadway characterized by +/- 10- to 12-foot-wide travel lanes in average condition. There are +/- 4-foot-wide bicycle facilities on Memorial Hwy. east of the project access, and reduced or no bicycle facilities along other portions of the project frontage. There are +/- 5-foot-wide sidewalks along portions both of Memorial Hwy. west of the proposed project.

Memorial Hwy. is shown on the Hillsborough County Corridor Preservation Plan as a future 4-lane roadway along the project's frontage. The amount of right-of-way to be preserved is based upon the right-of-way needed to accommodate a Typical Section - 6 (TS-6) roadway as shown in the Hillsborough County Transportation Technical Manual (TTM), or 110 feet. As shown on the PD site plan, the developer will be required to preserve up to 55 feet of right-of-way from the right-of-way centerline.

Double Branch Rd. is a 2-lane, undivided, substandard, collector roadway characterized by +/- 12-foot-wide travel lanes in average condition. The roadway lies within a +/- 65-foot-wide right-of-way. There are no bicycle facilities along Double Branch Rd. There are +/- 5-foot-wide sidewalks along portions both of the west side of Double Branch Rd. south of Hillsborough Ave.

W. Hillsborough Ave. is a 6-lane, divided, principal arterial roadway owned and maintained by the Florida Department of Transportation (FDOT). The roadway is characterized by +/- 11-foot-wide travel lanes in above average condition. There are +/- 4-foot-wide bicycle facilities along both sides of the roadway. There are +/- 5- to 6-foot-wide sidewalks along both sides of the roadway in the vicinity of the proposed project.

SITE ACCESS CONSIDERATIONS

No changes are proposed to Option 1. The applicant is proposing three access connections to serve Option 2, consisting of one (1) full access connection to Memorial Hwy., one (1) right-in only connection to Double Branch Rd., and one (1) right-in/right-out connection to Hillsborough Ave. Certain aspects of the proposed site design on Double Branch Rd. (e.g. inbound only configuration with raised separator) have already been determined through the site construction plan review process, and staff notes that gas station on Parcel 1 was approved via PI 6213. Staff is uncertain whether construction activities have yet commenced on the proposed site.

The applicant's transportation analysis indicates that a northbound right-turn lane into the proposed Double Branch Rd. access was warranted. There is an existing right-turn lane along a portion of the project's frontage on W. Hillsborough Ave. FDOT reviewed but did not object to the request. No other site access improvements are anticipated to be warranted for Option 2 development.

Given that Option 1 was approved without specific required site access improvements (in accordance with policies and procedures in effect at the time), the need for site access and other improvements for any future development occurring under that option would be determined at the time of plat/site/construction plan, review with each increment of development.

DESIGN EXCEPTION #1 – MEMORIAL HWY. SUBSTANDARD ROAD (OPTION 2 ONLY)

As Memorial Hwy. is a substandard collector roadway, the applicant's Engineer of Record (EOR) submitted a Design Exception request (dated May 14, 2024) to determine the specific improvements which would be required by the County Engineer. Based on factors presented in the Design Exception request, the County Engineer found the request approvable with conditions (on August 7, 2024). The deviations from the Hillsborough County Transportation Technical Manual (TTM) TS-4 Typical Section (for 2-Lane, Urban Collector Roadways) include:

1. The developer shall be permitted to leave the northern half of the section in its existing configuration (i.e. variable 10 to 11-foot-wide travel lanes), unimproved shoulders, and non-conforming slopes), in lieu of the 11-foot-wide travel lanes, 7-foot-wide buffered bicycle lanes, and Type-F curb required pursuant to TS-4; and
2. The developer shall be permitted to utilize 4-foot-wide bicycle lanes and modify ditch slopes along the southern half of the section, in lieu of the 7-foot-wide buffered bicycle lane and 1:4 slopes required pursuant to TS-4.

As a part of the request, the developer is proposing to construct a consistent 11-foot-wide eastbound travel, 4-foot-wide bicycle lane, Type F curb and gutter along the south side of the roadway along the improvement area.

If MM 24-0397 is approved by the Board of County Commissioners, the County Engineer will approve (subject to conditions) the above referenced Design Exception request. The County Engineer's condition is that this Design Exception only applies to development occurring under PD Option 2.

DESIGN EXCEPTION #2 – DOUBLE BRANCH RD. SUBSTANDARD ROAD (OPTION 2 ONLY)/ RAISED CONCRETE SEPERATOR

As Double Branch Rd. is a substandard collector roadway, the applicant's Engineer of Record (EOR) submitted a Design Exception request (dated May 14, 2024) to determine the specific improvements which would be required by the County Engineer. Based on factors presented in the Design Exception request, the County Engineer found the request approvable with conditions (on August 7, 2024). The deviations from the Hillsborough County Transportation Technical Manual (TTM) TS-4 Typical Section (for 2-Lane, Urban Collector Roadways) include:

1. The developer shall be allowed to place a 6-foot-wide sidewalk along the back of the F-curb in lieu of the 5-foot-wide sidewalk separated from the travel lane by 14-feet as required per TS-4; and,
2. The developer shall be permitted not to construct sidewalks, in lieu of the 7-foot-wide buffered bicycle lanes required by TS-4.

As a part of the request, the developer is proposing to construct a 3-foot-wide raised concrete median along a portion of the roadway, as shown within the Design Exception and approved construction plans for PI 6213. This raised concrete median was previously required and approved as a part of the Design Exception granted during the site/construction plan review process for PI 6213 (i.e. the gas station within the PD, which is permitted under the existing zoning approval, and is currently under construction). Both the gas station and that access were permitted by the approved conditions and site plan for PD 96-340, and the raised separate was one of the specific geometric improvements necessary to ensure the safety of that access.

Staff has been in contact with nearby property owners who has an access which is being affected by installation of the raised concrete median. Specifically, the raised median has the affect of modifying the

access serving the property on the west side of Double Branch from a full access connection to a right-in/right-out connection. Staff discussed their concerns regarding emergency access, and explained the fact that that construction of median is already approved, and that should this project be withdrawn or denied, the raised median would remain. Staff explained that the raised median was required by the County Engineer due to safety considerations related to the spacing of access points on Double Branch Rd., traffic volumes on the roadway, and proximity/alignment issues with the non-conforming access across the street.

If MM 24-0397 is approved by the Board of County Commissioners, the County Engineer will approve (subject to conditions) the above referenced Design Exception request. The County Engineer's condition is that this Design Exception only applies to development occurring under PD Option 2.

ADMINISTRATIVE VARIANCE #1 – ACCESS SPACING – MEMORIAL HWY. (OPTION 2 ONLY)

The applicant's Engineer of Record (EOR) submitted a Section 6.04.02.B. Administrative Variance Request (dated May 14, 2024) from the Section 6.04.07 LDC requirement, governing access spacing. The Hillsborough County LDC requires a minimum connection spacing of 245 feet for a Class 5 roadway with a posted speed of 45 miles per hour or less. The applicant is seeking a variance of +/- 88 feet from the closest roadway to the west of the proposed full access connection (i.e. Double Branch Rd.). If approved, this would result in an access spacing of +/- 157 ft.

Based on factors presented in the Administrative Variance Request, the County Engineer found the request approvable subject to conditions (on August 7, 2024). If MM 24-0397 is approved by the Board of County Commissioners, the County Engineer will approve (subject to conditions) the above referenced Administrative Variance request. The County Engineer's condition is that this Administrative Variance only applies to development occurring under PD Option 2.

ADMINISTRATIVE VARIANCE #2 – ACCESS SPACING – DOUBLE BRANCH (OPTION 2 ONLY)

The applicant's Engineer of Record (EOR) submitted a Section 6.04.02.B. Administrative Variance Request (dated May 14, 2024) from the Section 6.04.07 LDC requirement, governing access spacing. The Hillsborough County LDC requires a minimum connection spacing of 245 feet for a Class 5 roadway with a posted speed of 45 miles per hour or less. The applicant is seeking the following variances relative to its proposed project access on Double Branch Rd.:

1. A variance of +/- 7 feet from the closest roadway to the south of the proposed right-in only access (i.e. Hillsborough Ave.). If approved, this would result in an access spacing of +/- 238 ft.; and,
2. A variance of +/- 87 feet from the closest roadway to the north of the proposed right-in only access (i.e. Memorial Hwy.). If approved, this would result in an access spacing of +/- 158 ft.

Based on factors presented in the Administrative Variance Request, the County Engineer found the request approvable subject to conditions (on August 7, 2024). If MM 24-0397 is approved by the Board of County Commissioners, the County Engineer will approve (subject to conditions) the above referenced Administrative Variance request. The County Engineer's condition is that this Administrative Variance only applies to development occurring under PD Option 2.

ROADWAY LEVEL OF SERVICE (LOS) INFORMATION

Level of Service (LOS) information for adjacent roadway sections is reported below.

Roadway	From	To	LOS Standard	Peak Hour Directional LOS
Memorial Hwy.	Hillsborough Ave.	Kelly Rd.	D	C
Hillsborough Ave.	Pinellas County	Double Branch Rd.	D	C
Hillsborough Ave.	Double Branch Rd.	Longboat Blvd.	D	C

Source: Hillsborough County 2020 Level of Service Report.

Ratliff, James

From: Williams, Michael
Sent: Wednesday, August 7, 2024 6:19 PM
To: Femal, Matt
Cc: Addie Clark; Sarah Liakos; Grandlienard, Christopher; Ratliff, James; Tirado, Sheida; De Leon, Eleonor; PW-CEIntake
Subject: FW: MM 24-0397 - Administrative Variances & Design Exceptions Review
Attachments: 24-0397 AVAd 06-18-24_1.pdf; 24-0397 AVAd 06-18-24_2.pdf; 24-0397 DEAd 06-18-24_1.pdf; 24-0397 DEAd 06-18-24_2.pdf

Matt – The attached Design Exceptions and Administrative Variances have been revised to Approved with Conditions to reflect that the approvability is only for Option 2 of the proposed zoning modification.

If you have any question, please let me know.

Mike

Michael J. Williams, P.E.
Director, Development Review
County Engineer
Development Services Department

P: (813) 307-1851
M: (813) 614-2190
E: Williamsm@HCFL.gov
W: HCFLGov.net

Hillsborough County
601 E. Kennedy Blvd., Tampa, FL 33602

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From: Williams, Michael
Sent: Thursday, July 25, 2024 9:41 AM
To: Femal, Matt <Matt.Femal@kimley-horn.com>
Cc: Addie Clark <aclark@gardnerbrewer.com>; Sarah Liakos <sliakos@wagspg.com>; Grandlienard, Christopher <GrandlienardC@hcfl.gov>; Ratliff, James <RatliffJa@hcfl.gov>; Tirado, Sheida <TiradoS@hcfl.gov>; PW-CEIntake <PW-CEIntake@hcfl.gov>; De Leon, Eleonor <DeLeonE@hcfl.gov>
Subject: FW: MM 24-0397 - Administrative Variances & Design Exceptions Review

Matt,

I have found the attached two Section 6.04.02.B. Administrative Variances (AV) and two Design Exceptions (DE) for PD 24-0397 APPROVABLE.

Please note that it is you (or your client's) responsibility to follow-up with my administrative assistant, Eleonor De Leon (DeLeonE@hcfl.gov or 813-307-1707) after the BOCC approves the PD zoning or PD zoning modification related to below request. This is to obtain a signed copy of the DE/AV.

If the BOCC denies the PD zoning or PD zoning modification request, staff will request that you withdraw the AV/DE. In such instance, notwithstanding the above finding of approvability, if you fail to withdraw the request, I will deny the AV/DE (since the finding was predicated on a specific development program and site configuration which was not approved).

Once I have signed the document, it is your responsibility to submit the signed AV/DE(s) together with your initial plat/site/construction plan submittal. If the project is already in preliminary review, then you must submit the signed document before the review will be allowed to progress. Staff will require resubmittal of all plat/site/construction plan submittals that do not include the appropriate signed AV/DE documentation.

Lastly, please note that it is critical to ensure you copy all related correspondence to PW-CEIntake@hcfl.gov

Mike

Michael J. Williams, P.E.

Director, Development Review

County Engineer

Development Services Department

P: (813) 307-1851

M: (813) 614-2190

E: Williamsm@HCFL.gov

W: HCFLGov.net

Hillsborough County

601 E. Kennedy Blvd., Tampa, FL 33602

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From: Tirado, Sheida <TiradoS@hcfl.gov>

Sent: Wednesday, July 24, 2024 1:18 PM

To: Williams, Michael <WilliamsM@hcfl.gov>

Cc: Ratliff, James <RatliffJa@hcfl.gov>; De Leon, Eleonor <DeLeonE@hcfl.gov>

Subject: MM 24-0397 - Administrative Variances & Design Exceptions Review

Hello Mike,

The Attached AV and DE are approvable to me, please include the following people in your response email:

aclark@gardnerbrewer.com

matt.femal@kimley-horn.com

sliakos@wagspg.com

grandlienardc@hcfl.gov

ratliffja@hcfl.gov

Best Regards,

Sheida L. Tirado, PE

Transportation Review Manager

Development Services Department

P: (813) 276-8364

E: tirados@hcfl.gov

W: HCFLGov.net

Hillsborough County

601 E. Kennedy Blvd., Tampa, FL 33602

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**Hillsborough
County Florida**
Development Services

Supplemental Information for Transportation Related Administrative Reviews

Instructions:

- This form must be provided separately for each request submitted (including different requests of the same type).
- This form must accompany all requests for applications types shown below. Staff will not log in or assign cases that are not accompanied by this form, or where the form is partially incomplete.
- A response is required in every field. Blank fields or non-responsive answers will result in your application being returned.
- All responses must be typed.
- Please contact Ingrid Padron at padroni@hcpaf.fl.gov or via telephone at (813) 307-1709 if you have questions about how to complete this form.

Request Type (check one)	<input checked="" type="checkbox"/> Section 6.04.02.B. Administrative Variance <input type="checkbox"/> Technical Manual Design Exception Request <input type="checkbox"/> Alternative Parking Plan Request (Reference LDC Sec. 6.05.02.G3.) <input type="checkbox"/> Request for Determination of Required Parking for Unlisted Uses (Reference LDC Sec. 6.05.02.G.1. and G.2.)
Submittal Type (check one)	<input type="checkbox"/> New Request <input type="checkbox"/> Revised Request <input checked="" type="checkbox"/> Additional Information
Submittal Number and Description/Running History (check one and complete text box using instructions provided below)	<input checked="" type="checkbox"/> 1. AV - Memorial Hwy Access Spacing <input type="checkbox"/> 4. <input type="checkbox"/> 2. <input type="checkbox"/> 5. <input type="checkbox"/> 3. <input type="checkbox"/> 6.
<p>Important: To help staff differentiate multiple requests (whether of the same or different type), please use the above fields to assign a unique submittal number/name to each separate request. Previous submittals relating to the same project/phase shall be listed using the name and number previously identified. It is critical that the applicant reference this unique name in the request letter and subsequent filings/correspondence. If the applicant is revising or submitting additional information related to a previously submitted request, then the applicant would check the number of the previous submittal.</p>	
Project Name/ Phase	MM 24-0397
<p>Important: The name selected must be used on all future communications and submittals of additional/revised information relating to this variance. If request is specific to a discrete phase, please also list that phase.</p>	
Folio Number(s)	Portion of 004086-0000; 004086-0010
<input type="checkbox"/> Check This Box If There Are More Than Five Folio Numbers	
<p>Important: List all folios related to the project, up to a maximum of five. If there are additional folios, check the box to indicate such. Folio numbers must be provided in the format provided by the Hillsborough County Property Appraiser's website (i.e. 6 numbers, followed by a hyphen, followed by 4 additional numbers, e.g. "012345-6789"). Multiple records should be separated by a semicolon and a space e.g. "012345-6789; 054321-9876").</p>	
Name of Person Submitting Request	Matthew R. Femal, P.E. (FL PE License 68397)
<p>Important: For Design Exception (DE) Requests, the person submitting must be a Professional Engineer (PE) licensed within the state of Florida. The DE request letter must be signed and sealed.</p>	
Current Property Zoning Designation	PD (RZ-PD-96-0340)
<p>Important: For Example, type "Residential Multi-Family Conventional – 9" or "RMC-9". This is not the same as the property's Future Land Use (FLU) Designation. Typing "N/A" or "Unknown" will result in your application being returned. This information may be obtained via the Official Hillsborough County Zoning Atlas, which is available at https://maps.hillsboroughcounty.org/maphillsborough/maphillsborough.html. For additional assistance, please contact the Zoning Counselors at the Center for Development Services at (813) 272-5600 Option 3.</p>	
Pending Zoning Application Number	MM 24-0397
<p>Important: If a rezoning application is pending, enter the application number preceded by the case type prefix, otherwise type "N/A" or "Not Applicable". Use PD for PD rezoning applications, MM for major modifications, PRS for minor modifications/personal appearances.</p>	
Related Project Identification Number (Site/Subdivision Application Number)	N/A
<p>Important: This 4-digit code is assigned by the Center for Development Services Intake Team for all Certified Parcel, Site Construction, Subdivision Construction, and Preliminary/Final Plat applications. If no project number exists, please type "N/A" or "Not Applicable".</p>	



May 14, 2024

Mr. Michael J. Williams, P.E.
Development Review Director / County Engineer
Hillsborough County Development Services Department
601 E Kennedy Boulevard, 20th Floor
Tampa, FL 33602

RE: *WPG Memorial Highway Planned Development*
App No: MM 24-0397
Folios: 004086-0010, 004086-0000
Administrative Variance Request
Memorial Hwy (Class 5 Roadway Access Spacing)

Mr. Williams:

The purpose of this letter is to request an Administrative Variance per LDC Section 6.04.02.B to meet the requirements of LDC Sec. 6.04.07 - Minimum Access Spacing for a Class 5 Roadway according to the Hillsborough County Land Development Code, which requires 245 feet of spacing between access connections along Memorial Hwy.

The Major Modification request is to include residential multi-family as an allowable use for the development of up to 220 dwelling units. Currently, 6,119 S.F. Convenience Store with Gas Pumps is being constructed on the NE corner of the intersection of W Hillsborough Ave & Double Branch Road (PI 6213). Therefore, the Major Modification request is to include Option 2 as an additional potential development option:

~~Option 1~~

~~Parcel 1 and Parcel 2: Retain entitlements permitted via PD 06-0340: up to 90,000 square feet of Commercial General (CG)~~

Option 2

Parcel 1: 6,119 square feet of convenience store with gas pumps (8 gas pumps, 16 vehicle fueling positions)

Parcel 2: 220 multi-family dwelling units

Access is proposed to be provided a right-in, right-out access to W. Hillsborough Avenue, right-in on Double Branch Road, and full access on Memorial Highway.

The following request was previously approved as part of the Site and Subdivision application for the gas station (PI 6213). The request has been updated to reference the proposed residential addition as part of development Option 2, however, it is important to note that the request as part of PI 6213 was made in consideration of the cumulative gas station and future development traffic generation. The Access Management Analysis dated August 25, 2022 for PI 6213 evaluated the 6,119 SF convenience store with 16 vehicle fueling positions in addition to fast-food restaurant with drive-through use, resulting in a total of 894 total AM peak-hour trips and 731 total PM peak-hour trips.

As shown in Exhibit A, Option 2 has been evaluated in the updated Transportation Analysis dated March 28, 2024 and is proposed to generate fewer daily, AM peak-hour, and PM peak-hour trips compared to the development scenario previously analyzed for the design considerations of PI 6213. Therefore, Option 2 is

not anticipated to require any capacity-related improvements or turn lane modifications beyond what is already required and planned, as shown on the General Development Plan.

The request is to allow a full-access driveway at a distance of 157.5' from Double Branch Road. The existing road network along with physical impediment of Double Branch Creek to the east limits the frontage available for site access.

LDC Section 6.04.02.B.3-Criteria:

LDC Section 6.04.07 – Minimum Access Spacing

The Applicant requests a variance from LDC Sec. 6.04.07 - Minimum Access Spacing. The usable roadway frontage of Memorial Hwy is measured at 376', creating a hardship as the required 245' in either direction cannot be met. A full access driveway at a distance of 157.5' from Double Branch Rd is proposed to align opposite the existing driveway to the north, which is the ideal location. Please note the access spacing request justification per LDC Sec. 6.04.02.B.3 as follows:

a) There is an unreasonable burden on the applicant.

Justification: The ideal driveway location, along with the physical geometrical constraints of the site, do not allow for County spacing standards to be met along Memorial Hwy.

b) The variance would not be detrimental to public health, safety, and welfare.

Justification: As proposed, the spacing reduction to facilitate ingress on Memorial Hwy from the northeast and west, as well as egress to all directions will allow for controlled and organized traffic flow. There will be substantial decreased detriment to the public health, safety and welfare if approved.

c) Without the variance, reasonable access cannot be provided.

Justification: The access driveway design presented under this variance is the most reasonable location based on safety, the surrounding developments, site conditions and physical limitations. Without the variance for the full access driveway, reasonable and safe access to the site cannot be provided.

Please refer to the attached Exhibit B access spacing exhibit detailing the proposed spacing measurements to the adjacent intersection and bridge crossing.



Should you have any questions regarding any of the comments addressed above, please do not hesitate to contact me at 813-635-5526 or Matt.Femal@kimley-horn.com.

Sincerely,

Matt Femal, P.E.
Project Manager

**Matthew R
Femal**

Digitally signed by Matthew R Femal
DN: cn=Matthew R Femal, c=US, o=Florida, email=matt.femal@kimley-horn.com
Date: 2024.06.17 11:57:49 -04'00'

Matthew R. Femal, State of Florida, Professional Engineer, License No. 68397; This item has been digitally signed and sealed by Matthew R. Femal on the date indicated here. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Based on the information provided by the applicant, this request is:

- Approved with Conditions
- Approved
- Disapproved

Michael J. Williams
Hillsborough County Engineer on _____

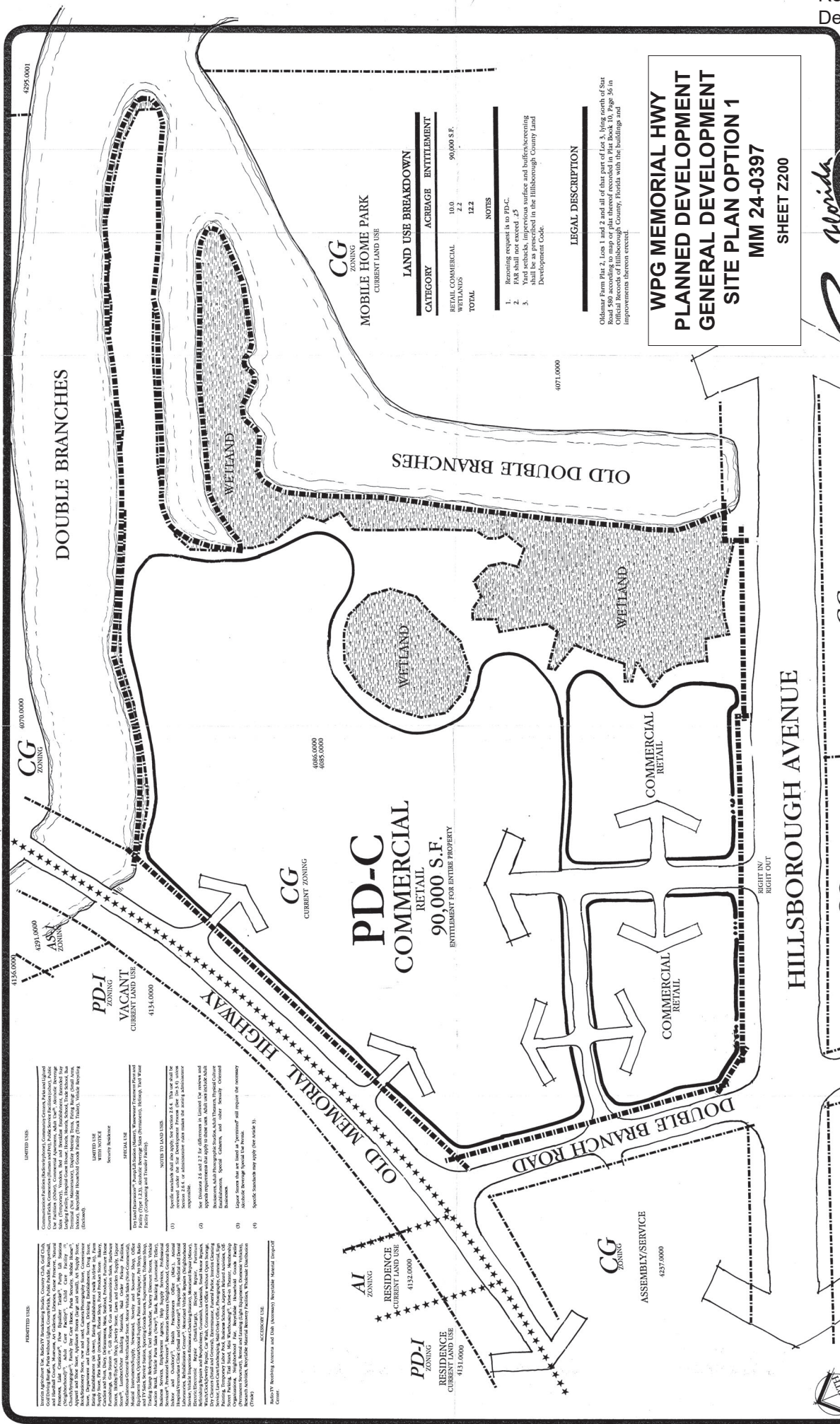
Notice: Consistent with Section 6.04.02B.8 of the LDC, the result of this variance application may be appealed, as further described in Section 10.05.01 of the LDC, to the Land Use Hearing Officer within 30 calendar days of the date above action.

Conditions:

The County Engineer notes that this Design Exception applies only to Option 2 development. Any development under Option 1 shall require additional analysis, review and approval (including a new Design Exception).

Notice: Consistent with Sec. 6.04.02.B.8. of the Hillsborough County LDC, the result of this variance application may be appealed, as further described in Sec. 10.05.01 of the LDC, to the Land Use Hearing Officer within 30 calendar days of the date of the above action.

Florida
Planning
Studio, Inc.
2304 W. Colonial
Suite 104
Tampa, Florida, 33609
(813) 884-7469 • (813) 254-7625 Fax



LAND USE BREAKDOWN

CATEGORY	ACRAGE	ENTIREMENT
RETAIL COMMERCIAL	10.0	90,000 S.F.
WETLANDS	2.2	
TOTAL	12.2	

NOTES

1. Rezonning request is to PD-C.
2. 70% shall not exceed 2.5' surface and bulk/screening shall be as prescribed in the Hillsborough County Land Development Code.
3. Oldemar Farm Plat 2, Lots 1 and 2 and all of that part of Lot 4, lying north of Star Road 589 according to map or plat thereof recorded in Plat Book 10, Page 36 in Official Records of Hillsborough County, Florida with the buildings and improvements thereon erected.

LEGAL DESCRIPTION

**WPG MEMORIAL HWY
PLANNED DEVELOPMENT
GENERAL DEVELOPMENT
SITE PLAN OPTION 1**
MM 24-0397
SHEET Z200

PERMITTED USES:
The following uses are permitted in the PD-C zoning district under the following conditions:
1. Maximum height of any structure shall not exceed 35 feet.
2. The use shall conform with all applicable codes, ordinances, and regulations of the City of Tampa.
3. The use shall conform with all applicable codes, ordinances, and regulations of the State of Florida.
4. The use shall conform with all applicable codes, ordinances, and regulations of the United States.
5. The use shall conform with all applicable codes, ordinances, and regulations of any other applicable jurisdiction.

REstricted Uses:
The following uses are restricted in the PD-C zoning district under the following conditions:
1. The use shall conform with all applicable codes, ordinances, and regulations of the City of Tampa.
2. The use shall conform with all applicable codes, ordinances, and regulations of the State of Florida.
3. The use shall conform with all applicable codes, ordinances, and regulations of the United States.
4. The use shall conform with all applicable codes, ordinances, and regulations of any other applicable jurisdiction.

Prohibited Uses:
The following uses are prohibited in the PD-C zoning district:
1. The use shall conform with all applicable codes, ordinances, and regulations of the City of Tampa.
2. The use shall conform with all applicable codes, ordinances, and regulations of the State of Florida.
3. The use shall conform with all applicable codes, ordinances, and regulations of the United States.
4. The use shall conform with all applicable codes, ordinances, and regulations of any other applicable jurisdiction.

EXHIBIT A
Trip Generation Comparison

3. PROJECT TRIP CHARACTERISTICS **SITE ACCESS EVALUATION REPORT**
August 25, 2022

Trip Generation

The AM, PM and daily trip generation estimates were based on the trip rates contained in the 11th Edition of the Institute of Transportation of Engineers (ITE) Trip Generation Manual. Tables 1, 2, and 3 below contain the detailed trip generation calculations for the AM, PM and daily, time periods.

TABLE 1 - DAILY TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	1-Way	2-Way	1-Way	
PHASE 1										
Convenience Store/ Gas Station	945	SQUARE FEET	1,283.38	6,119	7,853	5,104	2,552	2,749	1,374	
PHASE 2										
Fast Food Restaurant w/ DT	934	SQUARE FEET	467.48	3,500	1,636	736	368	900	450	
Fast Food Restaurant w/ DT	934	SQUARE FEET	467.48	4,000	1,870	841	421	1,028	514	
Phase 2 Sub Total:					7,500	1,578	789	1,928	964	
Total:					13,619	11,389	6,682	3,341	4,677	2,338

(1) - SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 2 - AM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips			
						2-Way	1-Way	2-Way	1-Way		
PHASE 1											
Convenience Store/ Gas Station	945	SQUARE FEET	91.35	6,119	559	363	182	196	98		
PHASE 2											
Fast Food Restaurant w/ DT	934	SQUARE FEET	44.61	3,500	156	70	36	86	42		
Fast Food Restaurant w/ DT	934	SQUARE FEET	44.61	4,000	178	80	41	98	48		
Phase 2 Sub Total:					7,500	335	151	77	184	90	
Total:					13,619	894	514	258	380	192	188

(1) - SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 3 - PM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips			
						2-Way	1-Way	2-Way	1-Way		
PHASE 1											
Convenience Store/ Gas Station	945	SQUARE FEET	78.95	6,119	483	314	157	169	85		
PHASE 2											
Fast Food Restaurant w/ DT	934	SQUARE FEET	33.03	3,500	116	52	27	64	31		
Fast Food Restaurant w/ DT	934	SQUARE FEET	33.03	4,000	132	59	31	73	35		
Phase 2 Sub Total:					7,500	248	111	58	136	71	65
Total:					13,619	731	425	211	305	155	150

(1) - SOURCE: ITE Trip Generation Manual 11th Edition.

PD REZONE TRANSPORTATION ANALYSIS
dated 3-28-24

4. TRIP GENERATION SUMMARY

The trip generation estimates for this PD development were based on the trip rates contained in the 11th Edition of the Institute of Transportation of Engineers (ITE) Trip Generation Manual. Tables 1, 2 and 3 below contain the trip generation calculations associated with the PD Development.

TABLE 1 - DAILY TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	1-Way	2-Way	1-Way	
PARCEL 1										
Convenience Store/ Gas Station	945	SQUARE FEET	1,283.38	6,119	7,853	5,104	2,552	2,749	1,374	
PARCEL 2										
Multifamily Housing (Low-Rise)	220	UNITS	T=6.41(X)+75.31	220	1,466	0	0	1,466	743	
Total:					n/a	9,339	5,104	2,552	4,235	2,117

(1) - SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 2 - AM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips			
						2-Way	1-Way	2-Way	1-Way		
PARCEL 1											
Convenience Store/ Gas Station	945	SQUARE FEET	91.35	6,119	559	363	182	196	98		
PARCEL 2											
Multifamily Housing (Low-Rise)	220	UNITS	T=0.31(X)+22.85	220	91	0	0	91	22		
Total:					n/a	650	363	182	287	120	167

(1) - SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 3 - PM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips			
						2-Way	1-Way	2-Way	1-Way		
PARCEL 1											
Convenience Store/ Gas Station	945	SQUARE FEET	78.95	6,119	483	314	157	169	85		
PARCEL 2											
Multifamily Housing (Low-Rise)	220	UNITS	T=0.43(X)+20.55	220	115	0	0	115	72		
Total:					n/a	598	314	157	284	157	127

(1) - SOURCE: ITE Trip Generation Manual 11th Edition.

EXHIBIT B

Access Spacing Exhibit



**Hillsborough
County Florida**
Development Services

Supplemental Information for Transportation Related Administrative Reviews

Instructions:

- This form must be provided separately for each request submitted (including different requests of the same type).
- This form must accompany all requests for applications types shown below. Staff will not log in or assign cases that are not accompanied by this form, or where the form is partially incomplete.
- A response is required in every field. Blank fields or non-responsive answers will result in your application being returned.
- All responses must be typed.
- Please contact Ingrid Padron at padroni@hcpaf.fl.gov or via telephone at (813) 307-1709 if you have questions about how to complete this form.

Request Type (check one)	<input checked="" type="checkbox"/> Section 6.04.02.B. Administrative Variance <input type="checkbox"/> Technical Manual Design Exception Request <input type="checkbox"/> Alternative Parking Plan Request (Reference LDC Sec. 6.05.02.G3.) <input type="checkbox"/> Request for Determination of Required Parking for Unlisted Uses (Reference LDC Sec. 6.05.02.G.1. and G.2.)
Submittal Type (check one)	<input type="checkbox"/> New Request <input type="checkbox"/> Revised Request <input checked="" type="checkbox"/> Additional Information
Submittal Number and Description/Running History (check one and complete text box using instructions provided below)	<input checked="" type="checkbox"/> 1. AV - Double Branch Rd Access Spacing <input type="checkbox"/> 4. <input type="checkbox"/> 2. <input type="checkbox"/> 5. <input type="checkbox"/> 3. <input type="checkbox"/> 6.
<p>Important: To help staff differentiate multiple requests (whether of the same or different type), please use the above fields to assign a unique submittal number/name to each separate request. Previous submittals relating to the same project/phase shall be listed using the name and number previously identified. It is critical that the applicant reference this unique name in the request letter and subsequent filings/correspondence. If the applicant is revising or submitting additional information related to a previously submitted request, then the applicant would check the number of the previous submittal.</p>	
Project Name/ Phase	MM 24-0397
<p>Important: The name selected must be used on all future communications and submittals of additional/revised information relating to this variance. If request is specific to a discrete phase, please also list that phase.</p>	
Folio Number(s)	Portion of 004086-0000; 004086-0010
<input type="checkbox"/> Check This Box If There Are More Than Five Folio Numbers	
<p>Important: List all folios related to the project, up to a maximum of five. If there are additional folios, check the box to indicate such. Folio numbers must be provided in the format provided by the Hillsborough County Property Appraiser's website (i.e. 6 numbers, followed by a hyphen, followed by 4 additional numbers, e.g. "012345-6789"). Multiple records should be separated by a semicolon and a space e.g. "012345-6789; 054321-9876").</p>	
Name of Person Submitting Request	Matthew R. Femal, P.E. (FL PE License 68397)
<p>Important: For Design Exception (DE) Requests, the person submitting must be a Professional Engineer (PE) licensed within the state of Florida. The DE request letter must be signed and sealed.</p>	
Current Property Zoning Designation	PD (RZ-PD-96-0340)
<p>Important: For Example, type "Residential Multi-Family Conventional – 9" or "RMC-9". This is not the same as the property's Future Land Use (FLU) Designation. Typing "N/A" or "Unknown" will result in your application being returned. This information may be obtained via the Official Hillsborough County Zoning Atlas, which is available at https://maps.hillsboroughcounty.org/maphillsborough/maphillsborough.html. For additional assistance, please contact the Zoning Counselors at the Center for Development Services at (813) 272-5600 Option 3.</p>	
Pending Zoning Application Number	MM 24-0397
<p>Important: If a rezoning application is pending, enter the application number preceded by the case type prefix, otherwise type "N/A" or "Not Applicable". Use PD for PD rezoning applications, MM for major modifications, PRS for minor modifications/personal appearances.</p>	
Related Project Identification Number (Site/Subdivision Application Number)	N/A
<p>Important: This 4-digit code is assigned by the Center for Development Services Intake Team for all Certified Parcel, Site Construction, Subdivision Construction, and Preliminary/Final Plat applications. If no project number exists, please type "N/A" or "Not Applicable".</p>	



May 14, 2024

Mr. Michael J. Williams, P.E.
Development Review Director / County Engineer
Hillsborough County Development Services Department
601 E Kennedy Boulevard, 20th Floor
Tampa, FL 33602

RE: *WPG Memorial Highway Planned Development*
App No: MM 24-0397
Folios: 004086-0010, 004086-0000
Administrative Variance Request
Double Branch Road (Class 5 Roadway Access Spacing)

Mr. Williams:

The purpose of this letter is to request an Administrative Variance per LDC Section 6.04.02.B to meet the requirements of LDC Sec. 6.04.07 - Minimum Access Spacing for a Class 5 Roadway according to the Hillsborough County Land Development Code, which requires 245 feet of spacing between access connections along Double Branch Road.

The Major Modification request is to include residential multi-family as an allowable use for the development of up to 220 dwelling units. Currently, 6,119 S.F. Convenience Store with Gas Pumps is being constructed on the NE corner of the intersection of W Hillsborough Ave & Double Branch Road (PI 6213). Therefore, the Major Modification request is to include Option 2 as an additional potential development option:

~~Option 1~~

~~Parcel 1 and Parcel 2: Retain entitlements permitted via PD 06-0340: up to 90,000 square feet of Commercial General (CG)~~

Option 2

Parcel 1: 6,119 square feet of convenience store with gas pumps (8 gas pumps, 16 vehicle fueling positions)

Parcel 2: 220 multi-family dwelling units

Access is proposed to be provided a right-in, right-out access to W. Hillsborough Avenue, right-in on Double Branch Road, and full access on Memorial Highway.

The following request was previously approved as part of the Site and Subdivision application for the gas station (PI 6213). The request has been updated to reference the proposed residential addition as part of development Option 2, however, it is important to note that the request as part of PI 6213 was made in consideration of the cumulative gas station and future development traffic generation. The Access Management Analysis dated August 25, 2022 for PI 6213 evaluated the 6,119 SF convenience store with 16 vehicle fueling positions in addition to fast-food restaurant with drive-through use, resulting in a total of 894 total AM peak-hour trips and 731 total PM peak-hour trips.

As shown in Exhibit A, Option 2 has been evaluated in the updated Transportation Analysis dated March 28, 2024 and is proposed to generate fewer daily, AM peak-hour, and PM peak-hour trips compared to the development scenario previously analyzed for the design considerations of PI 6213. Therefore, Option 2 is

not anticipated to require any capacity-related improvements or turn lane modifications beyond what is already required and planned, as shown on the General Development Plan.

The request is to allow a right-in access at a distance of 238.5' from Hillsborough Avenue. The existing road network along with physical impediment of Double Branch Creek to the east limits the frontage available for site access.

LDC Section 6.04.02.B.3-Criteria:

LDC Section 6.04.07 – Minimum Access Spacing

The Applicant requests a variance from LDC Sec. 6.04.07 - Minimum Access Spacing. The existing property boundary/available frontage of Double Branch Rd is measured at 331', creating a hardship as the required 245' in either direction cannot be met. A restricted right-in-only driveway at a distance of 238.5' from Hillsborough Ave with a deceleration lane is proposed in the ideal location between the two intersections. Please note the access spacing request justification per LDC Sec. 6.04.02.B.3 as follows:

a) There is an unreasonable burden on the applicant.

Justification: Given the physical geometrical constraints of the site, the limited roadway frontage on Double Branch Rd does not allow County spacing standards to be met.

b) The variance would not be detrimental to public health, safety, and welfare.

Justification: As proposed, the spacing reduction to facilitate access on Double Branch Rd will enhance the safety of traffic movements entering the site from the west and south by providing a controlled and organized path of entry with minimum disruption to traffic flow. There will be decreased detriment to the public health, safety and welfare if approved.

c) Without the variance, reasonable access cannot be provided.

Justification: The access driveway design presented under this variance is the most reasonable location based on site conditions and physical limitations. Without the variance for the right-in-only driveway, reasonable and safe access to the site cannot be provided.

Please refer to the attached Exhibit B access spacing exhibit detailing the proposed spacing measurements to the adjacent intersection and bridge crossing.



Should you have any questions regarding any of the comments addressed above, please do not hesitate to contact me at 813-635-5526 or Matt.Femal@kimley-horn.com.

Sincerely,

Matt Femal, P.E.
Project Manager

**Matthew R
Femal**

Digitally signed by Matthew R Femal
DN: cn=Matthew R Femal, c=US, o=Florida, email=matt.femal@kimley-horn.com
Date: 2024.06.17 12:01:05 -04'00'

Matthew R. Femal, State of Florida, Professional Engineer, License No. 68397; This item has been digitally signed and sealed by Matthew R. Femal on the date indicated here. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Based on the information provided by the applicant, this request is:

- Approved with Conditions
- Approved
- Disapproved

Michael J. Williams
Hillsborough County Engineer on _____

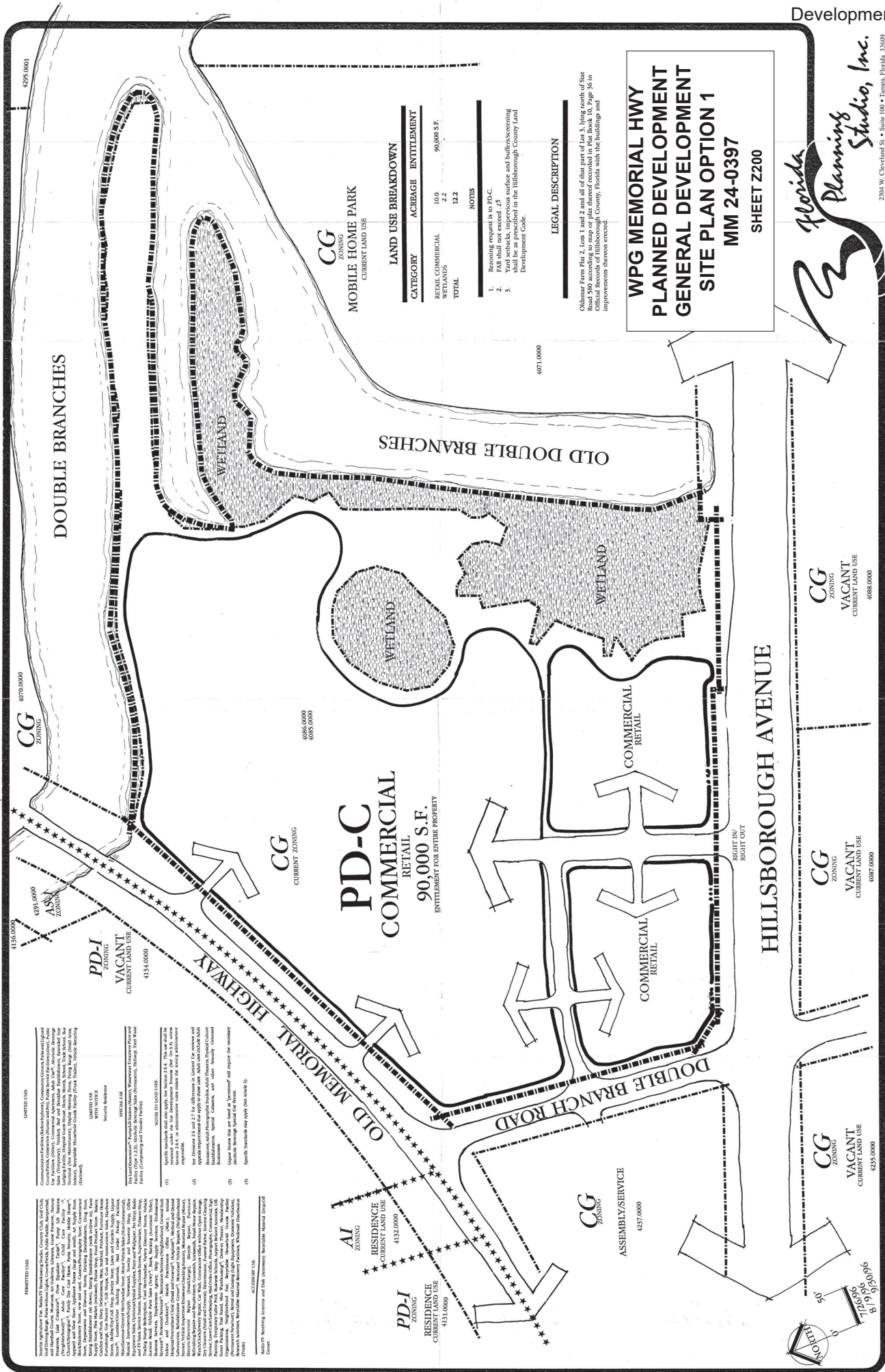
Notice: Consistent with Section 6.04.02B.8 of the LDC, the result of this variance application may be appealed, as further described in Section 10.05.01 of the LDC, to the Land Use Hearing Officer within 30 calendar days of the date above action.

Conditions:

The County Engineer notes that this Design Exception applies only to Option 2 development. Any development under Option 1 shall require additional analysis, review and approval (including a new Design Exception).

Notice: Consistent with Sec. 6.04.02.B.8. of the Hillsborough County LDC, the result of this variance application may be appealed, as further described in Sec. 10.05.01 of the LDC, to the Land Use Hearing Officer within 30 calendar days of the date of the above action.

Florida
Planning Studio, Inc.
2304 W. Colonial Blvd., Suite 109, Tampa, Florida, 33609
(813) 854-7400 • (813) 254-7625 FAX



**WPG MEMORIAL HWY
PLANNED DEVELOPMENT
GENERAL DEVELOPMENT
SITE PLAN OPTION 1
MM 24-0397
SHEET Z200**

CG
ZONING
MOBILE HOME PARK
CURRENT LAND USE

LAND USE BREAKDOWN

CATEGORY	ACRAGE	ENTIREMENT
RETAIL COMMERCIAL	10.0	90,000 S.F.
WETLANDS	2.2	
TOTAL	12.2	

NOTES

1. Rezoning request is to PD-C.
2. 90,000 S.F. shall not exceed 2.9 acres.
3. All wetland areas shown on this plan shall be as prescribed in the Hillsborough County Land Development Code.

LEGAL DESCRIPTION

Oldemar Farm Plat 2, Lots 1 and 2 and all of that part of Lot 4, lying north of Star Road 589 according to map or plat thereof recorded in Plat Book 10, Page 36 in Official Records of Hillsborough County, Florida with the buildings and improvements thereon erected.

PERMITTED USES
This zoning district is intended to encourage the development of mobile home parks in areas where the land is suitable for such use. The following uses are permitted in this district:

RESIDENCE
Single detached mobile home, including accessory structures and swimming pools.

RETAIL COMMERCIAL
Retail commercial uses, including but not limited to: convenience stores, food stores, and other small-scale retail establishments.

ASSEMBLY/SERVICE
Assembly and service uses, including but not limited to: community centers, churches, and other public buildings.

WETLANDS
Wetland areas are shown on this plan and shall be protected in accordance with the Florida Wetlands Act and the National Wetlands Act.

RIGHT OF WAY
Right of way lines are shown on this plan and shall be maintained in accordance with applicable laws and regulations.

UTILITY LINES
Utility lines are shown on this plan and shall be protected in accordance with applicable laws and regulations.

ADDITIONAL NOTES
1. Specific standards shall apply to all uses in this district.
2. All wetland areas shall be protected in accordance with applicable laws and regulations.
3. All utility lines shall be protected in accordance with applicable laws and regulations.
4. Specific standards may apply to other uses.

EXHIBIT A
Trip Generation Comparison

3. PROJECT TRIP CHARACTERISTICS **SITE ACCESS EVALUATION REPORT**
August 25, 2022

Trip Generation

The AM, PM and daily trip generation estimates were based on the trip rates contained in the 11th Edition of the Institute of Transportation of Engineers (ITE) Trip Generation Manual. Tables 1, 2, and 3 below contain the detailed trip generation calculations for the AM, PM and daily, time periods.

TABLE 1 - DAILY TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
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PHASE 1										
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Phase 2 Sub Total:					7,500	1,578	789	1,928	964	
Total:					13,619	11,389	6,682	3,341	4,677	2,338

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 2 - AM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips			
						2-Way	1-Way	2-Way	1-Way		
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Fast Food Restaurant w/ DT	934	SQUARE FEET	44.61	4,000	178	80	41	98	48		
Phase 2 Sub Total:					7,500	335	151	77	184	90	
Total:					13,619	894	514	258	380	192	188

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 3 - PM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips			
						2-Way	1-Way	2-Way	1-Way		
PHASE 1											
Convenience Store/ Gas Station	945	SQUARE FEET	78.95	6,119	483	314	157	169	85		
PHASE 2											
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Fast Food Restaurant w/ DT	934	SQUARE FEET	33.03	4,000	132	59	31	73	35		
Phase 2 Sub Total:					7,500	248	111	58	136	71	65
Total:					13,619	731	425	215	305	155	150

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

PD REZONE TRANSPORTATION ANALYSIS
dated 3-28-24

4. TRIP GENERATION SUMMARY

The trip generation estimates for this PD development were based on the trip rates contained in the 11th Edition of the Institute of Transportation of Engineers (ITE) Trip Generation Manual. Tables 1, 2 and 3 below contain the trip generation calculations associated with the PD Development.

TABLE 1 - DAILY TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	1-Way	2-Way	1-Way	
PARCEL 1										
Convenience Store/ Gas Station	945	SQUARE FEET	1,283.38	6,119	7,853	5,104	2,552	2,749	1,374	
PARCEL 2										
Multifamily Housing (Low-Rise)	220	UNITS	T=6.41(X)+75.31	220	1,466	0	0	1,466	743	
Total:					9,339	5,104	2,552	4,235	2,117	2,117

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 2 - AM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	1-Way	2-Way	1-Way	
PARCEL 1										
Convenience Store/ Gas Station	945	SQUARE FEET	91.35	6,119	559	363	182	196	98	
PARCEL 2										
Multifamily Housing (Low-Rise)	220	UNITS	T=0.31(X)+22.85	220	91	0	0	91	22	69
Total:					650	363	182	287	120	167

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 3 - PM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	1-Way	2-Way	1-Way	
PARCEL 1										
Convenience Store/ Gas Station	945	SQUARE FEET	78.95	6,119	483	314	157	169	85	
PARCEL 2										
Multifamily Housing (Low-Rise)	220	UNITS	T=0.43(X)+20.55	220	115	0	0	115	72	43
Total:					598	314	157	284	157	127

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

EXHIBIT B

Access Spacing Exhibit



**Hillsborough
County Florida**
Development Services

Supplemental Information for Transportation Related Administrative Reviews

Instructions:

- This form must be provided separately for each request submitted (including different requests of the same type).
- This form must accompany all requests for applications types shown below. Staff will not log in or assign cases that are not accompanied by this form, or where the form is partially incomplete.
- A response is required in every field. Blank fields or non-responsive answers will result in your application being returned.
- All responses must be typed.
- Please contact Ingrid Padron at padroni@hcpaf.fl.gov or via telephone at (813) 307-1709 if you have questions about how to complete this form.

Request Type (check one)	<input type="checkbox"/> Section 6.04.02.B. Administrative Variance <input checked="" type="checkbox"/> Technical Manual Design Exception Request <input type="checkbox"/> Alternative Parking Plan Request (Reference LDC Sec. 6.05.02.G3.) <input type="checkbox"/> Request for Determination of Required Parking for Unlisted Uses (Reference LDC Sec. 6.05.02.G.1. and G.2.)
Submittal Type (check one)	<input type="checkbox"/> New Request <input type="checkbox"/> Revised Request <input checked="" type="checkbox"/> Additional Information
Submittal Number and Description/Running History (check one and complete text box using instructions provided below)	<input checked="" type="checkbox"/> 1. DE - Memorial Hwy <input type="checkbox"/> 4. <input type="checkbox"/> 2. <input type="checkbox"/> 5. <input type="checkbox"/> 3. <input type="checkbox"/> 6.
<p>Important: To help staff differentiate multiple requests (whether of the same or different type), please use the above fields to assign a unique submittal number/name to each separate request. Previous submittals relating to the same project/phase shall be listed using the name and number previously identified. It is critical that the applicant reference this unique name in the request letter and subsequent filings/correspondence. If the applicant is revising or submitting additional information related to a previously submitted request, then the applicant would check the number of the previous submittal.</p>	
Project Name/ Phase	MM 24-0397
<p>Important: The name selected must be used on all future communications and submittals of additional/revised information relating to this variance. If request is specific to a discrete phase, please also list that phase.</p>	
Folio Number(s)	Portion of 004086-0000; 004086-0010
<input type="checkbox"/> Check This Box If There Are More Than Five Folio Numbers	
<p>Important: List all folios related to the project, up to a maximum of five. If there are additional folios, check the box to indicate such. Folio numbers must be provided in the format provided by the Hillsborough County Property Appraiser's website (i.e. 6 numbers, followed by a hyphen, followed by 4 additional numbers, e.g. "012345-6789"). Multiple records should be separated by a semicolon and a space e.g. "012345-6789; 054321-9876").</p>	
Name of Person Submitting Request	Matthew R. Femal, P.E. (FL PE License 68397)
<p>Important: For Design Exception (DE) Requests, the person submitting must be a Professional Engineer (PE) licensed within the state of Florida. The DE request letter must be signed and sealed.</p>	
Current Property Zoning Designation	PD (RZ-PD-96-0340)
<p>Important: For Example, type "Residential Multi-Family Conventional – 9" or "RMC-9". This is not the same as the property's Future Land Use (FLU) Designation. Typing "N/A" or "Unknown" will result in your application being returned. This information may be obtained via the Official Hillsborough County Zoning Atlas, which is available at https://maps.hillsboroughcounty.org/maphillsborough/maphillsborough.html. For additional assistance, please contact the Zoning Counselors at the Center for Development Services at (813) 272-5600 Option 3.</p>	
Pending Zoning Application Number	MM 24-0397
<p>Important: If a rezoning application is pending, enter the application number preceded by the case type prefix, otherwise type "N/A" or "Not Applicable". Use PD for PD rezoning applications, MM for major modifications, PRS for minor modifications/personal appearances.</p>	
Related Project Identification Number (Site/Subdivision Application Number)	N/A
<p>Important: This 4-digit code is assigned by the Center for Development Services Intake Team for all Certified Parcel, Site Construction, Subdivision Construction, and Preliminary/Final Plat applications. If no project number exists, please type "N/A" or "Not Applicable".</p>	



May 14, 2024

Mr. Michael J. Williams, P.E.
Development Review Director / County Engineer
Hillsborough County Development Services Department
601 E Kennedy Boulevard, 20th Floor
Tampa, FL 33602

RE: *WPG Memorial Highway Planned Development*
App No: MM 24-0397
Folios: 004086-0010, 004086-0000
Design Exception Request
Memorial Highway (TS-4 Typical Section)

Mr. Williams:

The purpose of this request is to seek a Design Exception to Typical Section Urban Collector for a 2-Lane Undivided Roadway (TS-4) as outlined in the Hillsborough County Transportation Technical Manual (see Exhibit A). The applicant is proposing the construction of a 6,119 square foot Convenience Store with Fuel Sales at the southeast corner of the intersection of Memorial Highway and Double Branch Road, which includes Right-In Right-Out access to W. Hillsborough Ave, Right-In on Double Branch Road, and Full Access on Memorial Highway.

The Major Modification request is to include residential multi-family as an allowable use for the development of up to 220 dwelling units. Currently, 6,119 S.F. Convenience Store with Gas Pumps is being constructed on the NE corner of the intersection of W Hillsborough Ave & Double Branch Road (PI 6213). Therefore, the Major Modification request is to include Option 2 as an additional potential development option:

~~Option 1~~

~~Parcel 1 and Parcel 2: Retain entitlements permitted via PD 06-0340: up to 90,000 square feet of Commercial General (CG)~~

Option 2

Parcel 1: 6,119 square feet of convenience store with gas pumps (8 gas pumps, 16 vehicle fueling positions)

Parcel 2: 220 multi-family dwelling units

Access is proposed to be provided a right-in, right-out access to W. Hillsborough Avenue, right-in on Double Branch Road, and full access on Memorial Highway.

The following request was previously approved as part of the Site and Subdivision application for the gas station (PI 6213). The request has been updated to reference the proposed residential addition as part of development Option 2, however, it is important to note that the request as part of PI 6213 was made in consideration of the cumulative gas station and future development traffic generation. The Access Management Analysis dated August 25, 2022 for PI 6213 evaluated the 6,119 SF convenience store with 16 vehicle fueling positions in addition to fast-food restaurant with drive-through use, resulting in a total of 894 total AM peak-hour trips and 731 total PM peak-hour trips.

As shown in Exhibit E, Option 2 has been evaluated in the updated Transportation Analysis dated March 28, 2024 and is proposed to generate fewer daily, AM peak-hour, and PM peak-hour trips compared to the development scenario previously analyzed for the design considerations of PI 6213. Therefore, Option 2 is

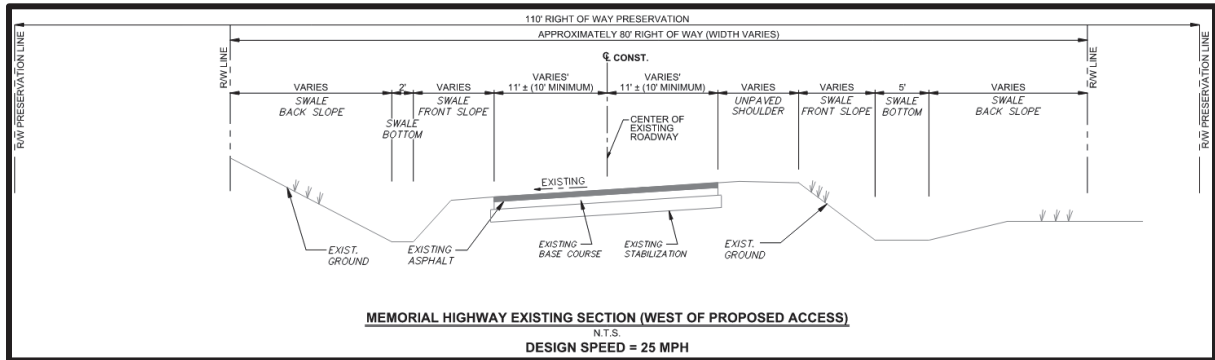
not anticipated to require any capacity-related improvements or turn lane modifications beyond what is already required and planned, as shown on the General Development Plan.

Request Description

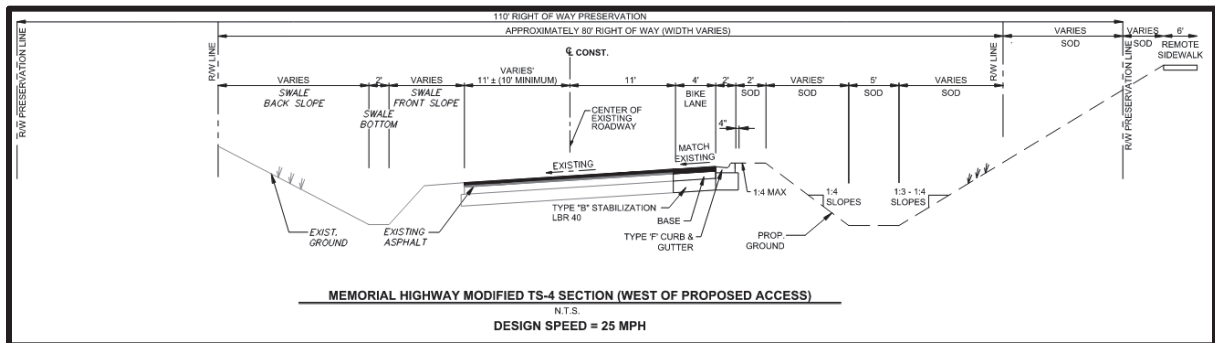
Memorial highway from the intersection of Double Branch Road through to the east side of our proposed access driveway is a substandard roadway configuration that includes variable lane widths that are not 11-feet wide, a lack of bike lanes and no pedestrian sidewalk facilities, with a functional open swale conveyance system on both sides of the roadway. We are proposing to widen memorial highway to include a consistent eastbound travel lane 11-feet wide, with a 4-foot wide buffered bike lane as supported by county staff to match the Memorial Highway cross section east of our project. Our client understands that per the Hillsborough County TTM, staff instructions to mill and overlay as well as replace pavement markings will be required for both directions of asphalt pavement to the limits of the project. It is our understanding based on conversations with county staff, the county has a practical preference for maintaining functional open swale drainage, and therefore the existing drainage is proposed to remain or be reconstructed to maintain current conveyance capacity in lieu of underground conveyance options. Also, a limited scope of enhanced pedestrian improvements is incorporated with the proposed 6' onsite sidewalk that will also be internally connected to Double Branch Road and Hillsborough Avenue as shown on Exhibit B. These modifications to the typical TS-4 section will improve existing roadway infrastructure and enhance public safety and welfare while also incorporating the discussed preferential drainage criteria. Therefore, the proposed Modified TS-4 Roadway section within the right-of-way from north to south will be as follows. A variable width sod swale and utility area that includes an unpaved shoulder, typical 11-feet westbound travel lane, an 11-feet eastbound travel lane, a 4-foot bike lane, 2-foot curb & gutter, a 2-foot sod utility area, and varying width of sodded drainage swale, with a 6-foot wide pedestrian sidewalk located onsite as depicted in the below cross section and further detailed in Exhibit C.

Considerations for the full implementation of the typical TS-4 section were made and our engineering opinion is that it is not practical as part of this project due to causing access slopes in excess of 10% for the existing commercial access driveway to the north and proposed pavement widening will directly conflict with the adjacent open swale drainage. Please refer to Exhibit D for the comparison of the existing access slope versus the TS-4 configuration that requires widening of the roadway to the north. Please note on Exhibit D Lane widths exceed the typical TS-4 11-feet wide at Memorial Highway station 206+37.11 and match existing conditions as they are shown transitioning to match the lane widths east of our project. Due to the excessive access slopes imposed on the north access driveway and the direct conflict with the existing functional open swale drainage system we are requesting that the scope of improvements north of the Memorial Highway centerline be limited to repaving and restriping the existing conditions.

Existing Roadway Section



Proposed Modified TS-4 Roadway Section





The proposed modified roadway section for Double Branch Road, as described above, will enhance the traffic safety and operation of Double Branch Road between Hillsborough Avenue and Memorial Highway.

Should you have any questions regarding any of the comments addressed above, please do not hesitate to contact me at 813-635-5526 or Matt.Femal@kimley-horn.com.

Sincerely,

Matt Femal, P.E.
Project Manager

**Matthew R
Femal**

Digitally signed by Matthew R Femal
DN: cn=Matthew R Femal, c=US, o=Florida, email=matt.femal@kimley-horn.com
Date: 2024.06.17 11:45:58 -04'00'

Matthew R. Femal, State of Florida, Professional Engineer, License No. 68397; This item has been digitally signed and sealed by Matthew R. Femal on the date indicated here. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Based on the information provided by the applicant, this request is:

_____ Approved

_____ Disapproved

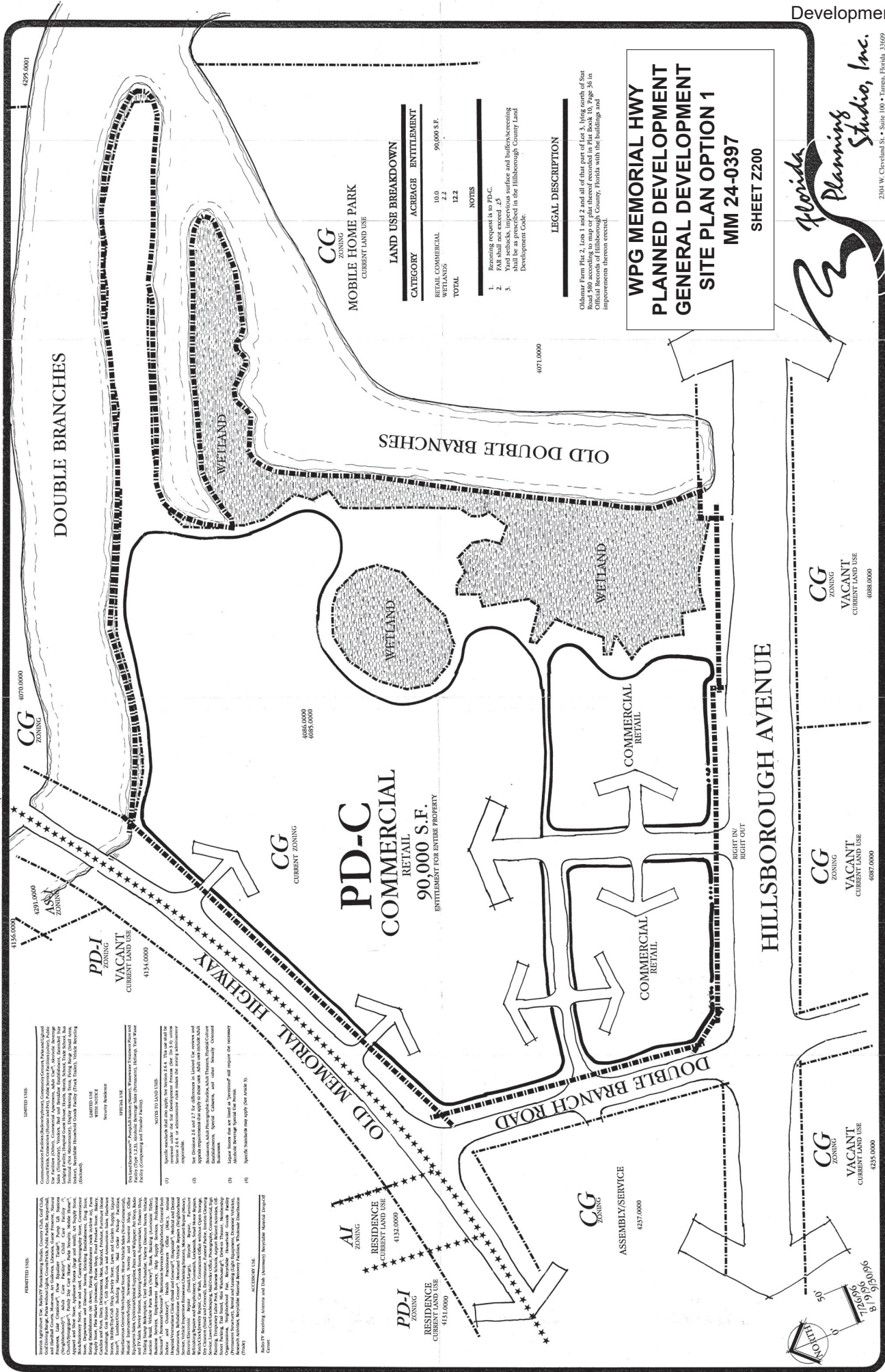
 X **Approved with
Conditions**

Conditions:

The County Engineer notes that this Design Exception applies only to Option 2 development. Any development under Option 1 shall require additional analysis, review and approval (including a new Design Exception).

Notice: Consistent with Hillsborough County Land Development Code Sec. 10.05.01 of the LDC, the above decision may be appealed to the Land Use Hearing Officer within 30 calendar days of the date of the above action.

Florida
Planning Studio, Inc.
2304 W. Colonial Blvd., Suite 101, Tampa, Florida, 33609
(813) 254-7400 • (813) 254-7425 Fax



PERMITTED USES
The following uses are permitted in this zoning district, subject to the provisions of the Comprehensive Zoning Ordinance, Chapter 191, Florida Statutes, and the rules and regulations of the local government, including but not limited to the following:
1. Office buildings, including but not limited to professional offices, law offices, and medical offices.
2. Retail stores, including but not limited to clothing stores, bookstores, and electronics stores.
3. Restaurants, including but not limited to fast-food restaurants and full-service restaurants.
4. Retail offices.
5. Professional offices.
6. Daycare centers.
7. Community centers.
8. Public buildings.
9. Public utilities.
10. Public parking structures.
11. Public transit facilities.
12. Public recreational facilities.
13. Public outdoor storage yards.
14. Public outdoor storage yards for construction materials.
15. Public outdoor storage yards for agricultural products.
16. Public outdoor storage yards for lumber.
17. Public outdoor storage yards for other materials.
18. Public outdoor storage yards for other goods.
19. Public outdoor storage yards for other items.
20. Public outdoor storage yards for other products.
21. Public outdoor storage yards for other commodities.
22. Public outdoor storage yards for other goods and services.
23. Public outdoor storage yards for other products and services.
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RESTRICTED USES
The following uses are restricted in this zoning district, subject to the provisions of the Comprehensive Zoning Ordinance, Chapter 191, Florida Statutes, and the rules and regulations of the local government, including but not limited to the following:
1. Residential uses.
2. Industrial uses.
3. Agricultural uses.
4. Large scale outdoor storage yards.
5. Large scale outdoor storage yards for construction materials.
6. Large scale outdoor storage yards for agricultural products.
7. Large scale outdoor storage yards for lumber.
8. Large scale outdoor storage yards for other materials.
9. Large scale outdoor storage yards for other goods.
10. Large scale outdoor storage yards for other items.
11. Large scale outdoor storage yards for other products.
12. Large scale outdoor storage yards for other commodities.
13. Large scale outdoor storage yards for other goods and services.
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25. Large scale outdoor storage yards for other commodities and services and products and services and products and services and products.

WETLANDS
Wetlands are identified on this site plan in accordance with the Florida Department of Environmental Protection (FDEP) Wetlands Inventory. Wetlands are shaded in light gray and are labeled as follows:
1. Wetland A
2. Wetland B
3. Wetland C
4. Wetland D
5. Wetland E
6. Wetland F
7. Wetland G
8. Wetland H
9. Wetland I
10. Wetland J
11. Wetland K
12. Wetland L
13. Wetland M
14. Wetland N
15. Wetland O
16. Wetland P
17. Wetland Q
18. Wetland R
19. Wetland S
20. Wetland T
21. Wetland U
22. Wetland V
23. Wetland W
24. Wetland X
25. Wetland Y
26. Wetland Z

LAND USE BREAKDOWN

CATEGORY	ACREAGE	ENTIREMENT
RETAIL COMMERCIAL	10.0	90,000 S.F.
WETLANDS	2.2	
TOTAL	12.2	

NOTES

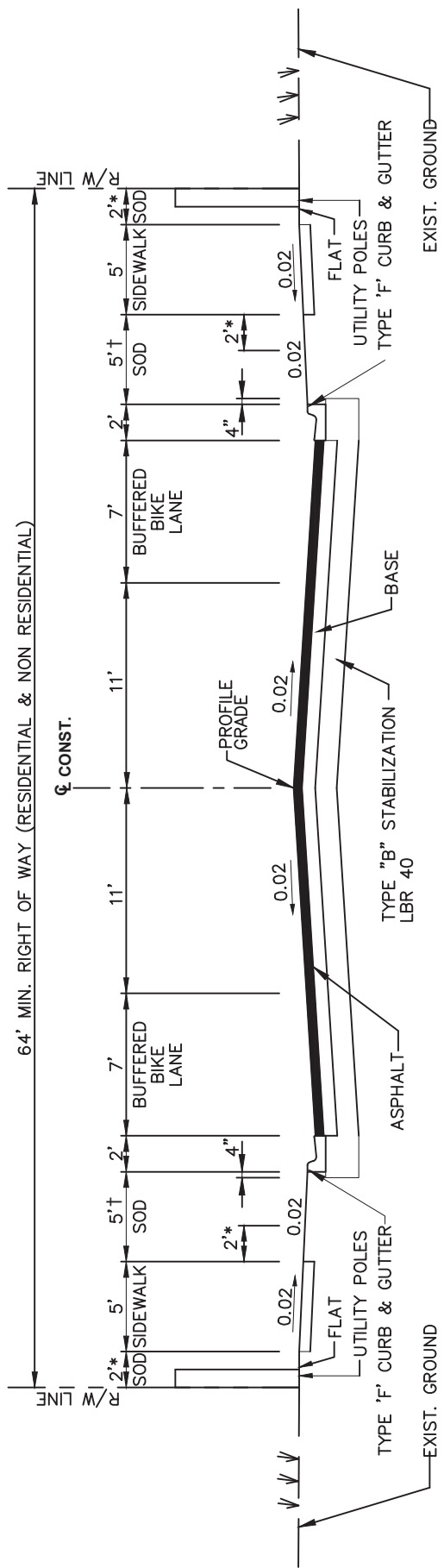
1. Reasoning request is in PDC.
2. 704 shall not exceed 2.9.
3. All wetland areas shall be preserved in accordance with the Florida Department of Environmental Protection (FDEP) Wetlands Inventory and the Florida Department of Agriculture and Consumer Services (FDACS) Agricultural Best Management Practices (BMP) Manual.

LEGAL DESCRIPTION
Oldemar Farm Plat 2, Lots 1 and 2 and all of that part of Lot 3, lying north of Star Road 580 according to map or plat thereof recorded in Plat Book 10, Page 36 in Official Records of Hillsborough County, Florida with the buildings and improvements thereon erected.

**WPG MEMORIAL HWY
PLANNED DEVELOPMENT
GENERAL DEVELOPMENT
SITE PLAN OPTION 1**
MM 24-0397
SHEET Z200

EXHIBIT A

Typical Section Local Urban Collector for a 2-Lane Undivided Roadway (TS-4)



TYPICAL SECTION

N.T.S.

5,000 TO 10,000 AADT

MAX. ALLOWABLE DESIGN SPEED – 40 MPH

1. ALL DIMENSIONS SHOWN ARE MINIMUM.
2. SEE APPROPRIATE SECTIONS OF TECHNICAL MANUAL FOR DESIGN PARAMETERS.
- * 3. PROVIDE 2' MINIMUM CLEARANCE FROM FENCES, WALLS, HEDGES, ABOVEGROUND UTILITIES OR IMPROVEMENTS, DROP OFFS, OR FROM THE TOPS OF BANKS WITH SLOPES STEEPER THAN 1 TO 4, THAT INTERFERE WITH THE SAFE, FUNCTIONAL USE OF THE SIDEWALK. INTERMITTENT ABOVEGROUND UTILITIES, OR MATURE TREES, 2' OR LESS IN DIAMETER MAY BE PLACED IN THIS 2' STRIP AS FAR FROM THE SIDEWALK AS POSSIBLE, IF NOT IN THE CLEAR ZONE.
- † 4. SEE SIDEWALK PROTECTION OPTIONS, DRAWING NO. TD-16 SHEET 7 OF 7 FOR USE WHEN TREES ARE PLANTED IN THE PARKWAY AREA (BETWEEN THE BACK OF CURB AND SIDEWALK).
5. SOD SHALL BE PLACED IN TWO ROWS STAGGERED. (BOTH TEMPORARY AND PERMANENT)

REVISION DATE:
10/17

**TRANSPORTATION
TECHNICAL
MANUAL**



**Hillsborough
County Florida**

**URBAN COLLECTORS
(2 LANE UNDIVIDED)
TYPICAL SECTION**

DRAWING NO. **TS-4**

SHEET NO. 1 OF 1

EXHIBIT B

Z100 – PD GENERAL DEVELOPMENT SITE PLAN

EXHIBIT C

C361 – Memorial Highway Roadway Sections

WAGNER PROPERTY GROUP
12750 W HILLSBOROUGH AVE
HILLSBOROUGH, FLORIDA

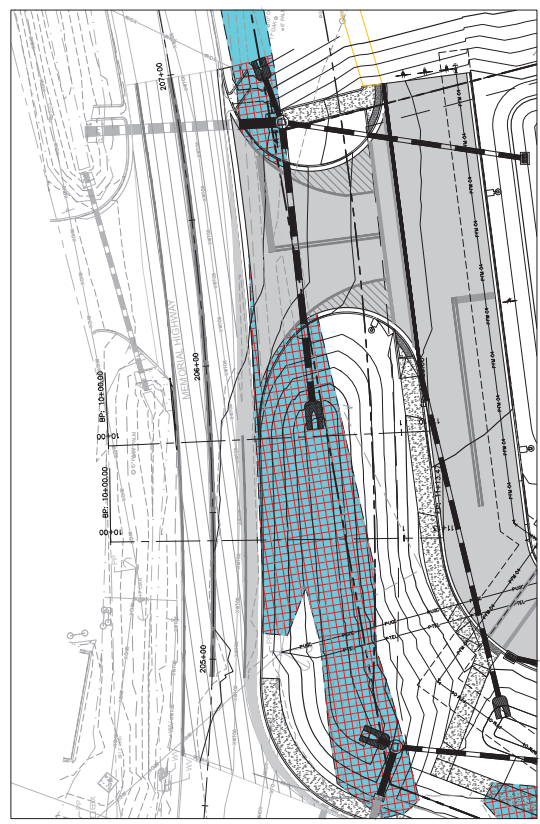
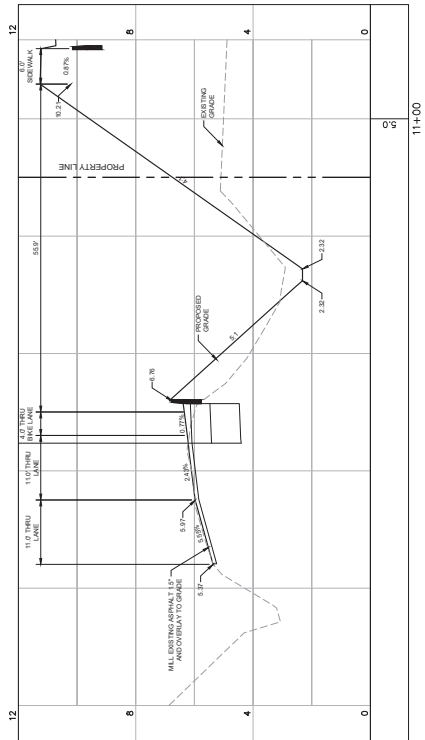
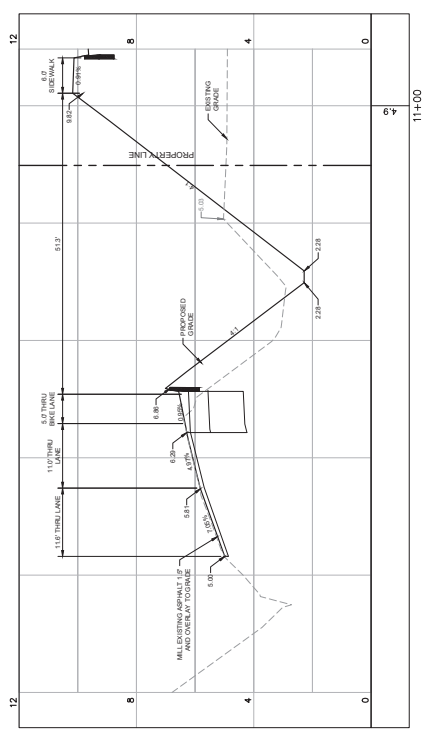
MEMORIAL HWY ROADWAY SECTIONS

DESIGN ENGINEERS
MATTHEW FEMAL, P.E.
FLORIDA REGISTRATION NUMBER 08397
DATE: 09/30/2023

Kimley-Horn
2024 KIMLEY-HORN AND ASSOCIATES, INC.
201 NORTH FRANKLIN STREET, SUITE 1400, TAMPA, FL 33602
PHONE: 813-450-1400
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

NO.	REVISIONS	DATE	BY
1	RESPONSE TO COMMENTS	09/30/23	MRF
2	ISSUED FOR CONSTRUCTION	07/02/24	MRF
3	BOH RESPONSE TO COMMENTS	07/17/24	MRF
4	SPWMD RESPONSE TO COMMENTS	03/19/24	MRF
5	STORM AND UTILITY REVISION	04/17/24	MRF

PROJECT: 24-0397
DRAWING: 24-0397-01
SHEET: 01 OF 01
REVISION: 00000001



Drawing name: K:\work\14779 - wagner property group\017 - work at hillsborough and double branch\CADD\Work\plan\sheet\C350 - ROADWAY SECTIONS.dwg C361 MEMORIAL HWY ROADWAY SECTIONS May 10, 2024 8:44am By: Jyden Fedor
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Review of these drawings and reports releases the engineer and designer from and disclaims any liability to Kimley-Horn and Associates, Inc. and its without liability to Kimley-Horn and Associates, Inc.

EXHIBIT D
TS-4 Impacts

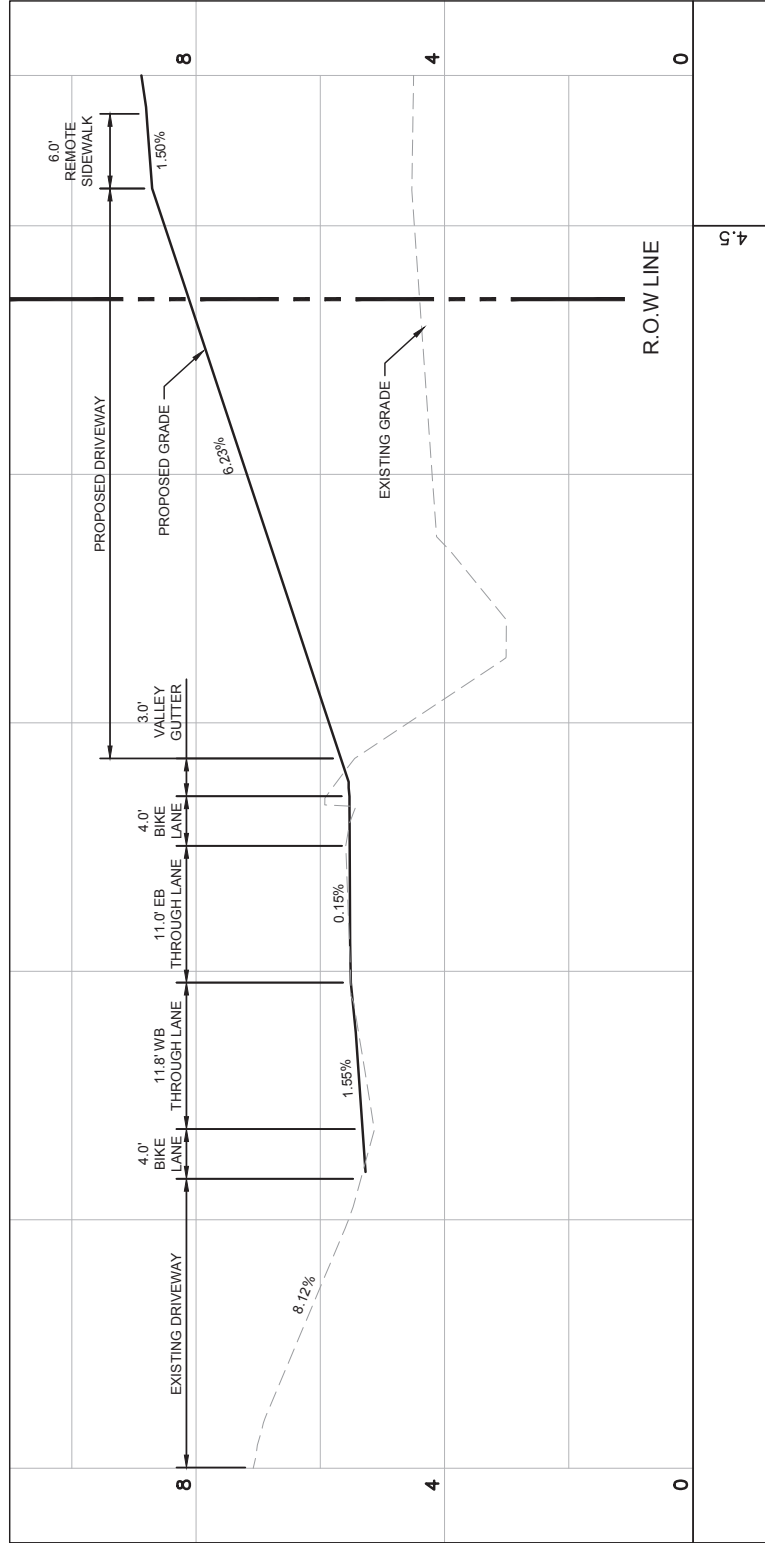
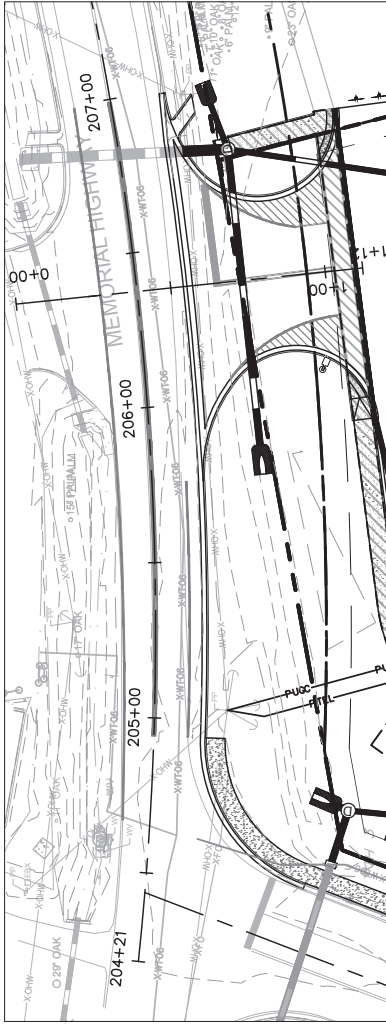


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201 NORTH FRANKLIN STREET, SUITE 1400, TAMPA, FL 33602
PHONE: 813-620-1460
WWW.KIMLEY-HORN.COM CA 0000696

SCALE: AS SHOWN
DESIGNED BY: JRT
DRAWN BY: JRT
CHECKED BY: DAL
DATE: 06/20/24

EXHIBIT D
TS-4 IMPACTS

DATE: 04/02/2024
PROJECT NO: 147779017
SHEET NUMBER: D



4.5
1+00

MEMORIAL 206+37.53 (TS-4 IMPACTS)
SCALE: 1"=10'
VERT. 1"=2'

EXHIBIT E
Trip Generation Comparison

3. PROJECT TRIP CHARACTERISTICS **SITE ACCESS EVALUATION REPORT**
August 25, 2022

Trip Generation

The AM, PM and daily trip generation estimates were based on the trip rates contained in the 11th Edition of the Institute of Transportation of Engineers (ITE) Trip Generation Manual. Tables 1, 2, and 3 below contain the detailed trip generation calculations for the AM, PM and daily, time periods.

TABLE 1 - DAILY TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	1-Way	2-Way	1-Way	
PHASE 1										
Convenience Store/ Gas Station	945	SQUARE FEET	1,283.38	6,119	7,853	5,104	2,552	2,749	1,374	
PHASE 2										
Fast Food Restaurant w/ DT	934	SQUARE FEET	467.48	3,500	1,636	736	368	900	450	
Fast Food Restaurant w/ DT	934	SQUARE FEET	467.48	4,000	1,870	841	421	1,028	514	
Phase 2 Sub Total:					7,500	1,578	789	1,928	964	
Total:					13,619	11,389	6,682	3,341	4,677	2,338

(1) - SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 2 - AM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips			
						2-Way	1-Way	2-Way	1-Way		
PHASE 1											
Convenience Store/ Gas Station	945	SQUARE FEET	91.35	6,119	559	363	182	196	98		
PHASE 2											
Fast Food Restaurant w/ DT	934	SQUARE FEET	44.61	3,500	156	70	36	86	42		
Fast Food Restaurant w/ DT	934	SQUARE FEET	44.61	4,000	178	80	41	98	48		
Phase 2 Sub Total:					7,500	335	151	77	184	90	
Total:					13,619	894	514	255	380	192	188

(1) - SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 3 - PM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips			
						2-Way	1-Way	2-Way	1-Way		
PHASE 1											
Convenience Store/ Gas Station	945	SQUARE FEET	78.95	6,119	483	314	157	169	85		
PHASE 2											
Fast Food Restaurant w/ DT	934	SQUARE FEET	33.03	3,500	116	52	27	64	31		
Fast Food Restaurant w/ DT	934	SQUARE FEET	33.03	4,000	132	59	31	73	35		
Phase 2 Sub Total:					7,500	248	111	58	136	71	65
Total:					13,619	731	425	211	305	155	150

(1) - SOURCE: ITE Trip Generation Manual 11th Edition.

PD REZONE TRANSPORTATION ANALYSIS
dated 3-28-24

4. TRIP GENERATION SUMMARY

The trip generation estimates for this PD development were based on the trip rates contained in the 11th Edition of the Institute of Transportation of Engineers (ITE) Trip Generation Manual. Tables 1, 2 and 3 below contain the trip generation calculations associated with the PD Development.

TABLE 1 - DAILY TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	1-Way	2-Way	1-Way	
PARCEL 1										
Convenience Store/ Gas Station	945	SQUARE FEET	1,283.38	6,119	7,853	5,104	2,552	2,749	1,374	
PARCEL 2										
Multifamily Housing (Low-Rise)	220	UNITS	T=6.41(X)+75.31	220	1,466	0	0	1,466	743	
Total:					9,339	5,104	2,552	4,235	2,117	2,117

(1) - SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 2 - AM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	1-Way	2-Way	1-Way	
PARCEL 1										
Convenience Store/ Gas Station	945	SQUARE FEET	91.35	6,119	559	363	182	196	98	
PARCEL 2										
Multifamily Housing (Low-Rise)	220	UNITS	T=0.31(X)+22.85	220	91	0	0	91	22	69
Total:					650	363	182	287	120	167

(1) - SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 3 - PM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	1-Way	2-Way	1-Way	
PARCEL 1										
Convenience Store/ Gas Station	945	SQUARE FEET	78.95	6,119	483	314	157	169	85	
PARCEL 2										
Multifamily Housing (Low-Rise)	220	UNITS	T=0.43(X)+20.55	220	115	0	0	115	72	43
Total:					598	314	157	284	157	127

(1) - SOURCE: ITE Trip Generation Manual 11th Edition.



**Hillsborough
County Florida**
Development Services

Supplemental Information for Transportation Related Administrative Reviews

Instructions:

- This form must be provided separately for each request submitted (including different requests of the same type).
- This form must accompany all requests for applications types shown below. Staff will not log in or assign cases that are not accompanied by this form, or where the form is partially incomplete.
- A response is required in every field. Blank fields or non-responsive answers will result in your application being returned.
- All responses must be typed.
- Please contact Ingrid Padron at padroni@hcpaf.fl.gov or via telephone at (813) 307-1709 if you have questions about how to complete this form.

Request Type (check one)	<input type="checkbox"/> Section 6.04.02.B. Administrative Variance <input checked="" type="checkbox"/> Technical Manual Design Exception Request <input type="checkbox"/> Alternative Parking Plan Request (Reference LDC Sec. 6.05.02.G3.) <input type="checkbox"/> Request for Determination of Required Parking for Unlisted Uses (Reference LDC Sec. 6.05.02.G.1. and G.2.)
Submittal Type (check one)	<input type="checkbox"/> New Request <input type="checkbox"/> Revised Request <input checked="" type="checkbox"/> Additional Information
Submittal Number and Description/Running History (check one and complete text box using instructions provided below)	<input checked="" type="checkbox"/> 1. DE - Double Branch Rd <input type="checkbox"/> 4. <input type="checkbox"/> 2. <input type="checkbox"/> 5. <input type="checkbox"/> 3. <input type="checkbox"/> 6.
<p>Important: To help staff differentiate multiple requests (whether of the same or different type), please use the above fields to assign a unique submittal number/name to each separate request. Previous submittals relating to the same project/phase shall be listed using the name and number previously identified. It is critical that the applicant reference this unique name in the request letter and subsequent filings/correspondence. If the applicant is revising or submitting additional information related to a previously submitted request, then the applicant would check the number of the previous submittal.</p>	
Project Name/ Phase	MM 24-0397
<p>Important: The name selected must be used on all future communications and submittals of additional/revised information relating to this variance. If request is specific to a discrete phase, please also list that phase.</p>	
Folio Number(s)	Portion of 004086-0000; 004086-0010
<input type="checkbox"/> Check This Box If There Are More Than Five Folio Numbers	
<p>Important: List all folios related to the project, up to a maximum of five. If there are additional folios, check the box to indicate such. Folio numbers must be provided in the format provided by the Hillsborough County Property Appraiser's website (i.e. 6 numbers, followed by a hyphen, followed by 4 additional numbers, e.g. "012345-6789"). Multiple records should be separated by a semicolon and a space e.g. "012345-6789; 054321-9876").</p>	
Name of Person Submitting Request	Matthew R. Femal, P.E. (FL PE License 68397)
<p>Important: For Design Exception (DE) Requests, the person submitting must be a Professional Engineer (PE) licensed within the state of Florida. The DE request letter must be signed and sealed.</p>	
Current Property Zoning Designation	PD (RZ-PD-96-0340)
<p>Important: For Example, type "Residential Multi-Family Conventional – 9" or "RMC-9". This is not the same as the property's Future Land Use (FLU) Designation. Typing "N/A" or "Unknown" will result in your application being returned. This information may be obtained via the Official Hillsborough County Zoning Atlas, which is available at https://maps.hillsboroughcounty.org/maphillsborough/maphillsborough.html. For additional assistance, please contact the Zoning Counselors at the Center for Development Services at (813) 272-5600 Option 3.</p>	
Pending Zoning Application Number	MM 24-0397
<p>Important: If a rezoning application is pending, enter the application number preceded by the case type prefix, otherwise type "N/A" or "Not Applicable". Use PD for PD rezoning applications, MM for major modifications, PRS for minor modifications/personal appearances.</p>	
Related Project Identification Number (Site/Subdivision Application Number)	N/A
<p>Important: This 4-digit code is assigned by the Center for Development Services Intake Team for all Certified Parcel, Site Construction, Subdivision Construction, and Preliminary/Final Plat applications. If no project number exists, please type "N/A" or "Not Applicable".</p>	



May 14, 2024

Mr. Michael J. Williams, P.E.
Development Review Director / County Engineer
Hillsborough County Development Services Department
601 E Kennedy Boulevard, 20th Floor
Tampa, FL 33602

**RE: WPG Memorial Highway Planned Development
App No: MM 24-0397
Folios: 004086-0010, 004086-0000
Design Exception Request
Double Branch Road (TS-4 Typical Section)**

Mr. Williams:

The purpose of this request is to seek a Design Exception for the Typical Section Local Urban Collector for a 2-Lane Undivided Roadway (TS-4) as outlined in the Hillsborough County Transportation Technical Manual (see exhibit A). The applicant is proposing the construction of a 6,119 square foot Convenience Store with Fuel Sales at the northeast corner of the intersection of W Hillsborough Ave and Double Branch Road, which includes Right-In Right-Out access to W. Hillsborough Ave, Right-In on Double Branch Road, and Full Access on Memorial Highway.

The Major Modification request is to include residential multi-family as an allowable use for the development of up to 220 dwelling units. Currently, 6,119 S.F. Convenience Store with Gas Pumps is being constructed on the NE corner of the intersection of W Hillsborough Ave & Double Branch Road (PI 6213). Therefore, the Major Modification request is to include Option 2 as an additional potential development option:

~~Option 1~~

~~Parcel 1 and Parcel 2: Retain entitlements permitted via PD 06-0340: up to 90,000 square feet of Commercial General (CG)~~

Option 2

Parcel 1: 6,119 square feet of convenience store with gas pumps (8 gas pumps, 16 vehicle fueling positions)

Parcel 2: 220 multi-family dwelling units

Access is proposed to be provided a right-in, right-out access to W. Hillsborough Avenue, right-in on Double Branch Road, and full access on Memorial Highway.

The following request was previously approved as part of the Site and Subdivision application for the gas station (PI 6213). The request has been updated to reference the proposed residential addition as part of development Option 2, however, it is important to note that the request as part of PI 6213 was made in consideration of the cumulative gas station and future development traffic generation. The Access Management Analysis dated August 25, 2022 for PI 6213 evaluated the 6,119 SF convenience store with 16 vehicle fueling positions in addition to fast-food restaurant with drive-through use, resulting in a total of 894 total AM peak-hour trips and 731 total PM peak-hour trips.

As shown in Exhibit C, Option 2 has been evaluated in the updated Transportation Analysis dated March 28, 2024 and is proposed to generate fewer daily, AM peak-hour, and PM peak-hour trips compared to the

development scenario previously analyzed for the design considerations of PI 6213. Therefore, Option 2 is not anticipated to require any capacity-related improvements or turn lane modifications beyond what is already required and planned, as shown on the General Development Plan.

Request Description

The applicant is seeking approval of a modified typical section detailed below for Double Branch Road. Improvements to Double Branch Road to the full TS-4 typical section are not feasible by this applicant due to geometric design constraints as depicted in exhibit B and limited available right-of-way.

The TS-4 typical section requires 64 feet. This typical section comprises a 2-foot sod utility area, a 5-foot pedestrian sidewalk, a 5-foot sod separation from the roadway, a 2-foot curb & gutter, a 7-foot buffered bike lane, and 11-foot travel lane to the centerline of right-of-way and mirrored on the other side as depicted in exhibit A. It is reasonable to assume that truck traffic will utilize Double Branch Road, so discussions with county staff have supported the incorporating of the existing 12-foot wide through lane widths and decreasing the existing 12-foot centered left turn lane to 11-foot into the TS-4 section. As part of the traffic analysis and coordination with county review staff, a 3-foot concrete separator shall be provided from the intersection of Hillsborough Avenue and Double Branch Road through to the north extent of the proposed access point to limit unsafe traffic movements. Therefore, the total required right-of-way width required is 80 feet.

The described 80 feet right-of-way will cause an undesirable and unsafe geometric design configuration at the intersection of Hillsborough Avenue and Double Branch Road. Per the FDOT design manual Table 2.12.7.1 as referenced in the Hillsborough County TTM 2.7.3, deflection of intersection through lanes should not cause a lane shift of more than 6 feet from stop bar to stop bar. As shown in exhibit B, the proposed 80 feet roadway improvement will cause the northbound lane shift to exceed the 6-foot preferred maximum. The northbound and southbound lane shifts are 8.0-feet and 5.1-feet respectively through the intersection and therefore an alternative to the TS-4 typical section should be considered.

It should be noted that apart from this request for a design exception an 11.5-foot right auxiliary lane into the site is required in accordance with the LDC access requirements and will necessitate ROW dedication totaling a ROW width of 91.5 feet under the full TS-4 typical section as modified above.

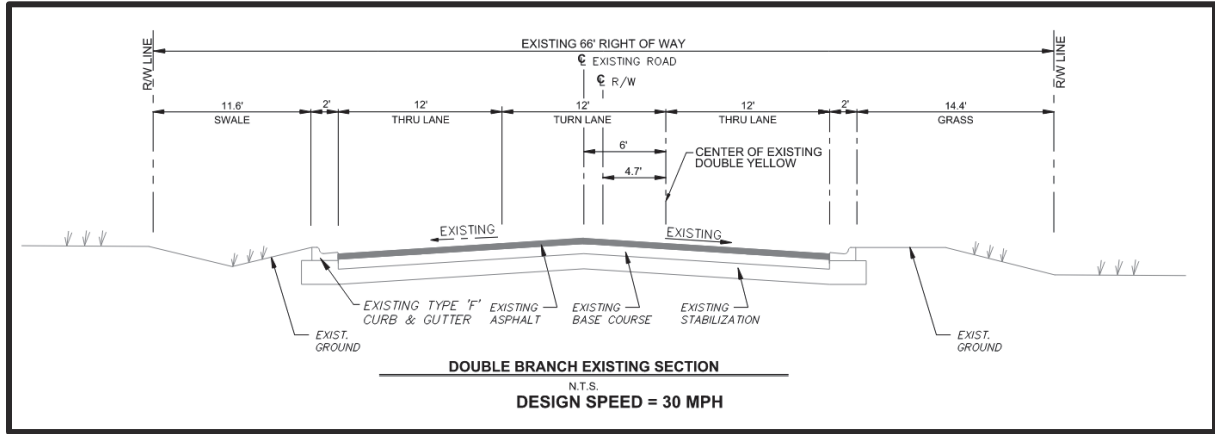
The proposed modified TS-4 section aims to improve the existing roadway infrastructure while considering several design considerations. Firstly, regarding the TS-4 typical section sidewalk improvements west of the existing southbound back of curb, it has been determined that this would be in direct conflict with existing drainage swales and stormwater conveyance infrastructure. Additionally, the presence of a mature 29" Oak located at the southwest corner of Double Branch Road and Memorial Highway means that the construction of the 5 feet sidewalk would impact the critical root zone. Therefore, the modified typical section requests the omission of sidewalk improvements west of the existing southbound back of curb.

Furthermore, the requested modified section includes the maintaining of existing 12 feet lane widths in accordance with pre-development meeting discussions with county staff and reasonable roadway use expectations. Additionally, the omission of the 7-foot buffered bike lanes is requested to mitigate unsafe intersection lane shift as detailed in exhibit B.

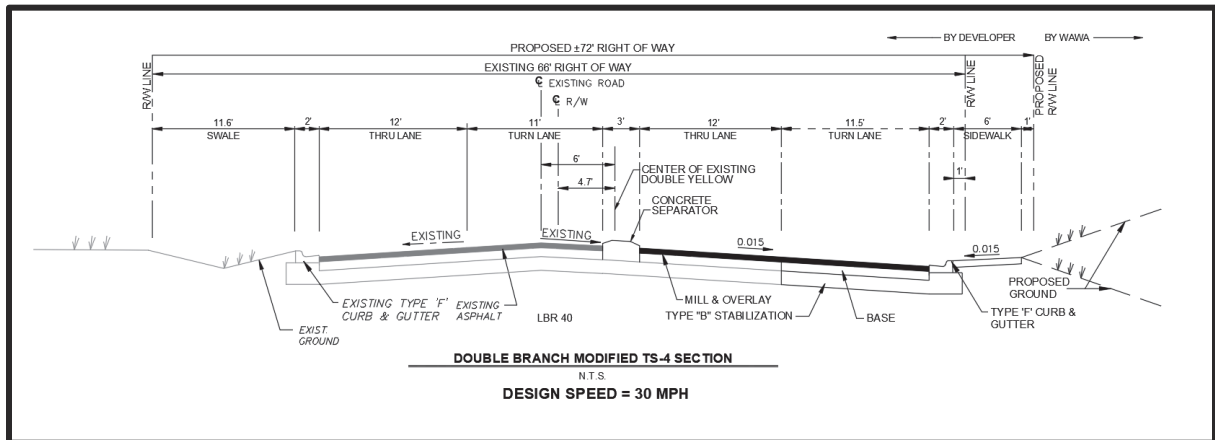
Lastly, due to the limited 66 feet of available right-of-way, we request a 6-foot sidewalk adjacent to the back of curb on the eastern side of the ROW which shall limit the dedication area required. This will provide sufficient existing ROW width to fit the proposed modified TS-4 section except where the 11.5 feet auxiliary right turn lane is required. To which right-of-way dedication is proposed accordingly.

These modifications will significantly enhance the roadway infrastructure, while also ensuring public safety and welfare. Therefore, the proposed Modified TS-4 Roadway section consists of an 11.6-foot sod swale and utility area, a 2-foot curb & gutter, a 12-foot travel lane, a 11-foot left turn lane, a center 3-foot concrete separator, another 12-foot travel lane, an 11.5-foot right turn lane, 2-foot curb & gutter, a 6-foot pedestrian sidewalk, and a 1-foot sod utility area as depicted in the below cross section. The right-of-way therefore shall be widened to 72 feet ± to accommodate the 11.5 foot right turn lane, tapered widening, and lane drop reduction areas via right-of-way dedication accordingly.

Existing Roadway Section



Proposed Modified TS-4 Roadway Section





The proposed modified roadway section for Double Branch Road, as described above, will enhance the traffic safety and operation of Double Branch Road between Hillsborough Avenue and Memorial Highway.

Should you have any questions regarding any of the comments addressed above, please do not hesitate to contact me at 813-635-5526 or Matt.Femal@kimley-horn.com.

Sincerely,

Matt Femal, P.E.
Project Manager

**Matthew R
Femal**

Digitally signed by Matthew R Femal
DN: cn=Matthew R Femal, c=US,
o=Florida,
email=matt.femal@kimley-horn.com
Date: 2024.06.17 11:47:16 -04'00'

Matthew R. Femal, State of Florida, Professional Engineer, License No. 68397; This item has been digitally signed and sealed by Matthew R. Femal on the date indicated here. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Based on the information provided by the applicant, this request is:

_____ Approved

_____ Disapproved

 X **Approved with
Conditions**

Conditions:

The County Engineer notes that this Design Exception applies only to Option 2 development. Any development under Option 1 shall require additional analysis, review and approval (including a new Design Exception).

Notice: Consistent with Hillsborough County Land Development Code Sec. 10.05.01 of the LDC, the above decision may be appealed to the Land Use Hearing Officer within 30 calendar days of the date of the above action.

EXHIBIT A

Typical Section Local Urban Collector for a 2-Lane Undivided Roadway (TS-4)

3. PROJECT TRIP CHARACTERISTICS **SITE ACCESS EVALUATION REPORT**
August 25, 2022

Trip Generation

The AM, PM and daily trip generation estimates were based on the trip rates contained in the 11th Edition of the Institute of Transportation of Engineers (ITE) Trip Generation Manual. Tables 1, 2, and 3 below contain the detailed trip generation calculations for the AM, PM and daily, time periods.

TABLE 1 - DAILY TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	1-Way	2-Way	1-Way	
PHASE 1										
Convenience Store/ Gas Station	945	SQUARE FEET	1,283.38	6,119	7,853	5,104	2,552	2,749	1,374	
PHASE 2										
Fast Food Restaurant w/ DT	934	SQUARE FEET	467.48	3,500	1,636	736	368	900	450	
Fast Food Restaurant w/ DT	934	SQUARE FEET	467.48	4,000	1,870	841	421	1,028	514	
Phase 2 Sub Total:					7,500	1,578	789	1,928	964	
Total:					13,619	11,389	6,682	3,341	4,677	2,338

(1) - SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 2 - AM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	1-Way	2-Way	1-Way	
PHASE 1										
Convenience Store/ Gas Station	945	SQUARE FEET	91.35	6,119	559	363	182	196	98	
PHASE 2										
Fast Food Restaurant w/ DT	934	SQUARE FEET	44.61	3,500	156	70	36	86	42	
Fast Food Restaurant w/ DT	934	SQUARE FEET	44.61	4,000	178	80	41	98	48	
Phase 2 Sub Total:					7,500	335	151	77	184	90
Total:					13,619	894	514	258	380	192

(1) - SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 3 - PM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	1-Way	2-Way	1-Way	
PHASE 1										
Convenience Store/ Gas Station	945	SQUARE FEET	78.95	6,119	483	314	157	169	85	
PHASE 2										
Fast Food Restaurant w/ DT	934	SQUARE FEET	33.03	3,500	116	52	27	64	31	
Fast Food Restaurant w/ DT	934	SQUARE FEET	33.03	4,000	132	59	31	73	35	
Phase 2 Sub Total:					7,500	248	111	58	136	65
Total:					13,619	731	425	211	305	150

(1) - SOURCE: ITE Trip Generation Manual 11th Edition.

PD REZONE TRANSPORTATION ANALYSIS
dated 3-28-24

4. TRIP GENERATION SUMMARY

The trip generation estimates for this PD development were based on the trip rates contained in the 11th Edition of the Institute of Transportation of Engineers (ITE) Trip Generation Manual. Tables 1, 2 and 3 below contain the trip generation calculations associated with the PD Development.

TABLE 1 - DAILY TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips	
						2-Way	1-Way	2-Way	1-Way
PARCEL 1									
Convenience Store/ Gas Station	945	SQUARE FEET	1,283.38	6,119	7,853	5,104	2,552	2,749	1,374
PARCEL 2									
Multifamily Housing (Low-Rise)	220	UNITS	T=6.41(X)+75.31	220	1,466	0	0	1,466	743
Total:					9,339	5,104	2,552	4,235	2,117

(1) - SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 2 - AM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips	
						2-Way	1-Way	2-Way	1-Way
PARCEL 1									
Convenience Store/ Gas Station	945	SQUARE FEET	91.35	6,119	559	363	182	196	98
PARCEL 2									
Multifamily Housing (Low-Rise)	220	UNITS	T=0.31(X)+22.85	220	91	0	0	91	22
Total:					650	363	182	287	120

(1) - SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 3 - PM PEAK HOUR TRIP GENERATION ESTIMATES

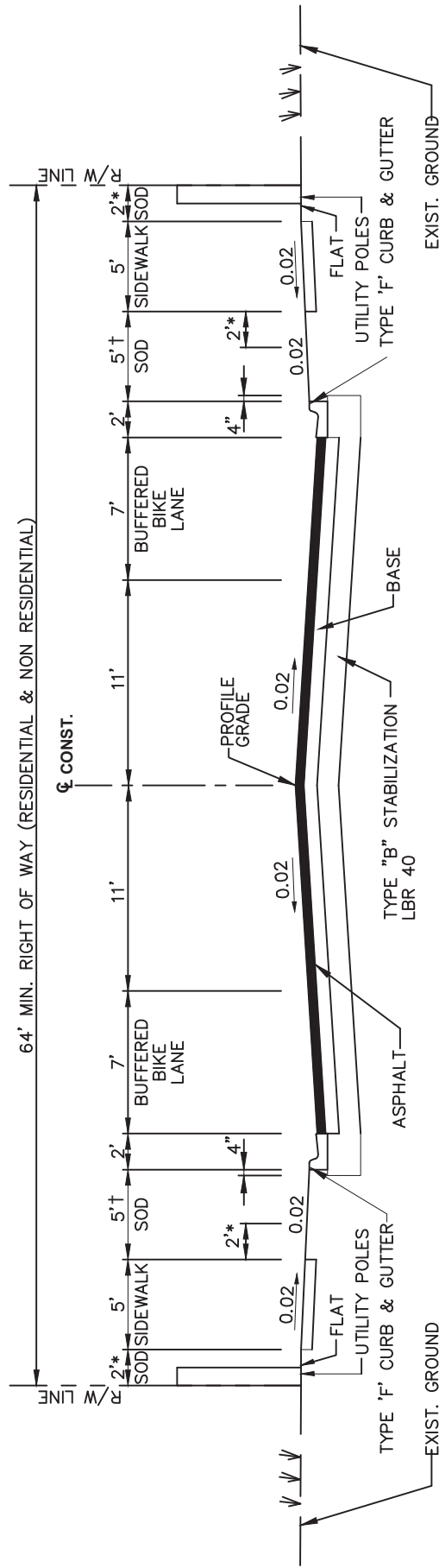
ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips	
						2-Way	1-Way	2-Way	1-Way
PARCEL 1									
Convenience Store/ Gas Station	945	SQUARE FEET	78.95	6,119	483	314	157	169	85
PARCEL 2									
Multifamily Housing (Low-Rise)	220	UNITS	T=0.43(X)+20.55	220	115	0	0	115	43
Total:					598	314	157	284	127

(1) - SOURCE: ITE Trip Generation Manual 11th Edition.



EXHIBIT B

Hillsborough Avenue & Double Branch Road – TS-4 Deflection Exhibit



TYPICAL SECTION
N.T.S.
5,000 TO 10,000 AADT

MAX. ALLOWABLE DESIGN SPEED – 40 MPH

1. ALL DIMENSIONS SHOWN ARE MINIMUM.
2. SEE APPROPRIATE SECTIONS OF TECHNICAL MANUAL FOR DESIGN PARAMETERS.
- * 3. PROVIDE 2' MINIMUM CLEARANCE FROM FENCES, WALLS, HEDGES, ABOVEGROUND UTILITIES OR IMPROVEMENTS, DROP OFFS, OR FROM THE TOPS OF BANKS WITH SLOPES STEEPER THAN 1 TO 4, THAT INTERFERE WITH THE SAFE, FUNCTIONAL USE OF THE SIDEWALK. INTERMITTENT ABOVEGROUND UTILITIES, OR MATURE TREES, 2' OR LESS IN DIAMETER MAY BE PLACED IN THIS 2' STRIP AS FAR FROM THE SIDEWALK AS POSSIBLE, IF NOT IN THE CLEAR ZONE.
- † 4. SEE SIDEWALK PROTECTION OPTIONS, DRAWING NO. TD-16 SHEET 7 OF 7 FOR USE WHEN TREES ARE PLANTED IN THE PARKWAY AREA (BETWEEN THE BACK OF CURB AND SIDEWALK).
5. SOD SHALL BE PLACED IN TWO ROWS STAGGERED. (BOTH TEMPORARY AND PERMANENT)

REVISION DATE:
10/17

**TRANSPORTATION
TECHNICAL
MANUAL**



**Hillsborough
County Florida**

**URBAN COLLECTORS
(2 LANE UNDIVIDED)
TYPICAL SECTION**

DRAWING NO. **TS-4**
SHEET NO. 1 OF 1

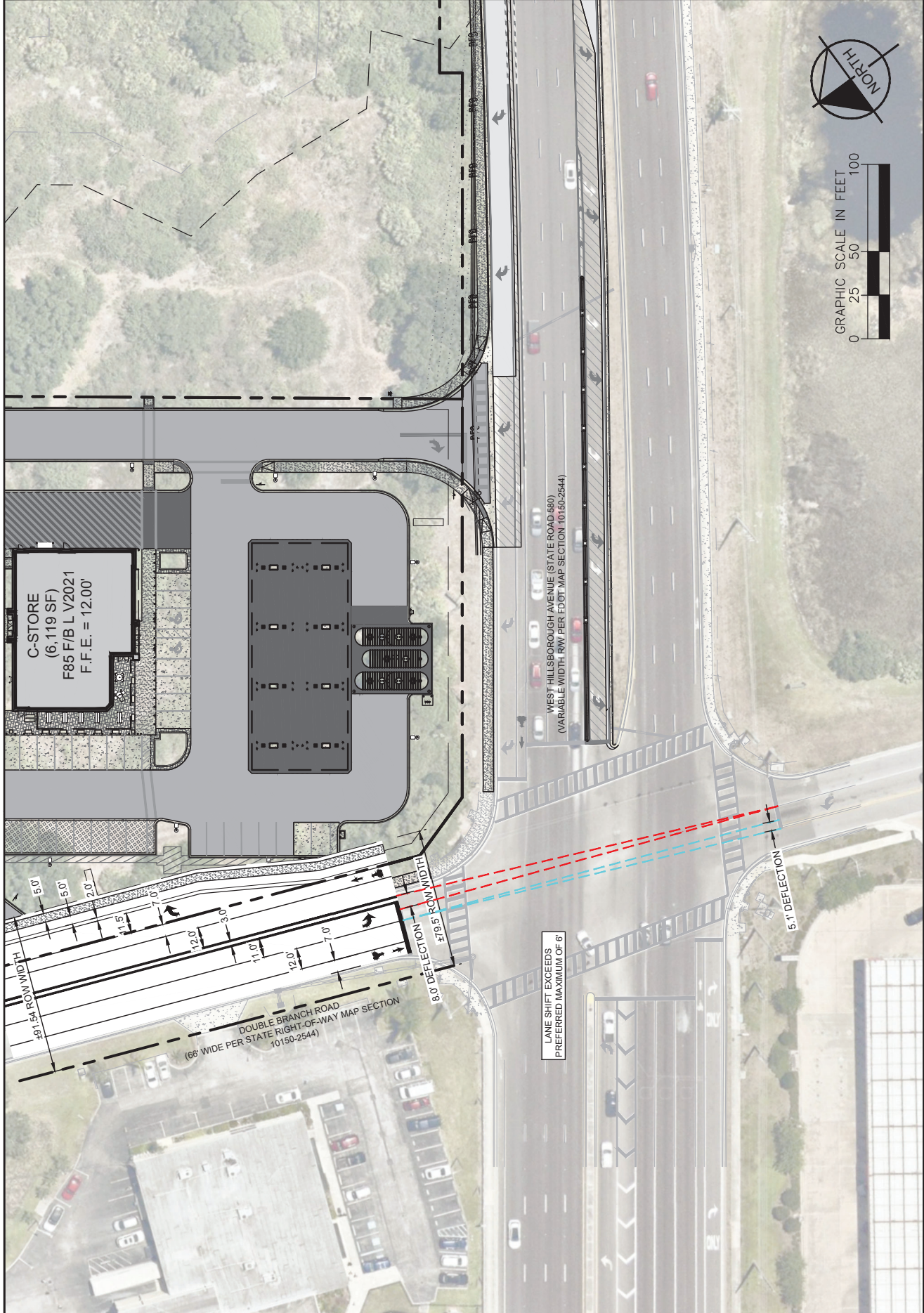
EXHIBIT C

Trip Generation Comparison

DATE: 05/09/2024
PROJECT NO: 147779017
SHEET NUMBER: B

EXHIBIT B INTERSECTION DEFLECTIONS

SCALE: AS SHOWN
 ASSIGNED BY: JLF
 DESIGNED BY: JLF
 FLORIDA P.E. LICENSE NUMBER: 68397
 DATE: 05/09/2024
 CHECKED BY: DAL
 WWW.KIMLEY-HORN.COM CA 00000696
 201 NORTH FRANKLIN STREET, SUITE 1400, TAMPA, FL 33602
 © 2024 KIMLEY-HORN AND ASSOCIATES, INC.
Kimley-Horn



**COUNTY OF HILLSBOROUGH
ZONING HEARING MASTER'S RECOMMENDATION**

Application number:	MM 24-0397
Hearing date:	October 28, 2024
Applicant:	WPG-Double Branch LLC WPG Oldsmar Farm LLC
Request:	Major Modification to a Planned Development
Location:	East side of Double Branch Road, north side of West Hillsborough Avenue, south side of Memorial Highway
Parcel size:	11.44 acres +/-
Existing zoning:	PD 96-0340
Future land use designation:	OC-20 (20 du/ac, 0.75 FAR)
Service area:	Urban Services Area
Community planning area:	Town 'N Country Community Plan and Northwest Area Community Plan

A. APPLICATION REVIEW

**DEVELOPMENT SERVICES STAFF REPORT
APPLICATION REVIEW SUMMARY AND RECOMMENDATION**

PD Modification Application: MM 24-0397
Zoning Hearing Master Date: October 28, 2024
BOCC Land Use Meeting Date: December 10, 2024

1.0 APPLICATION SUMMARY

Applicant: WPG-Double Branch LLC / WPG – Oldsmar Farm LLC
FLU Category: Office Commercial-20 (OC-20)
Service Area: Urban
Site Acreage: 11.44 MOL
Community Plan Area: Town ‘N Country & Northwest Area
Overlay: None



Introduction Summary:

PD 96-0340 was approved in 1996 to allow up to 90,000 square feet of Commercial – General (CG) uses. The applicant requests a modification to add a second option to include residential multi-family as an allowable use for the development of up to 220 dwelling units for parcel 2. Parcel 1 is proposed to remain as a 6,119 square foot convenience store with gas station.

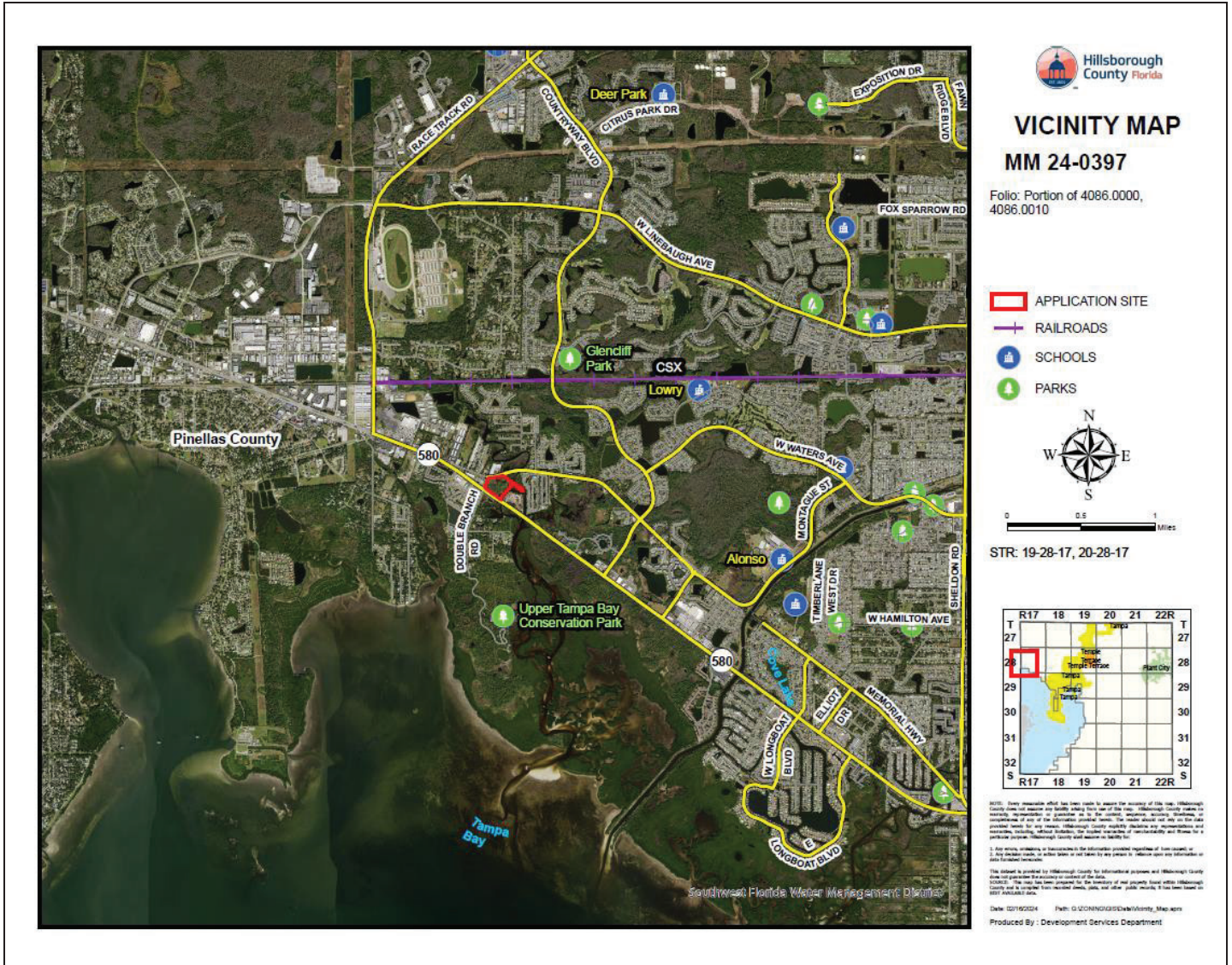
Existing Approval(s):	Proposed Modification(s):
90,000 square feet of Commercial- General (CG) uses	Add a second option to include residential multi-family as an allowable use for the development of up to 220 multi-family dwelling units for parcel 2. Parcel 1 is proposed to remain as a 6,119 square foot convenience store with gas station.

Additional Information:	
PD Variation(s):	None Requested as part of this application
Waiver(s) to the Land Development Code:	None Requested as part of this application

Planning Commission Recommendation: Consistent	Development Services Recommendation: Approvable, subject to proposed conditions
----------------------------------------------------------	-------------------------------------------------------------------------------------------

2.0 LAND USE MAP SET AND SUMMARY DATA

2.1 Vicinity Map



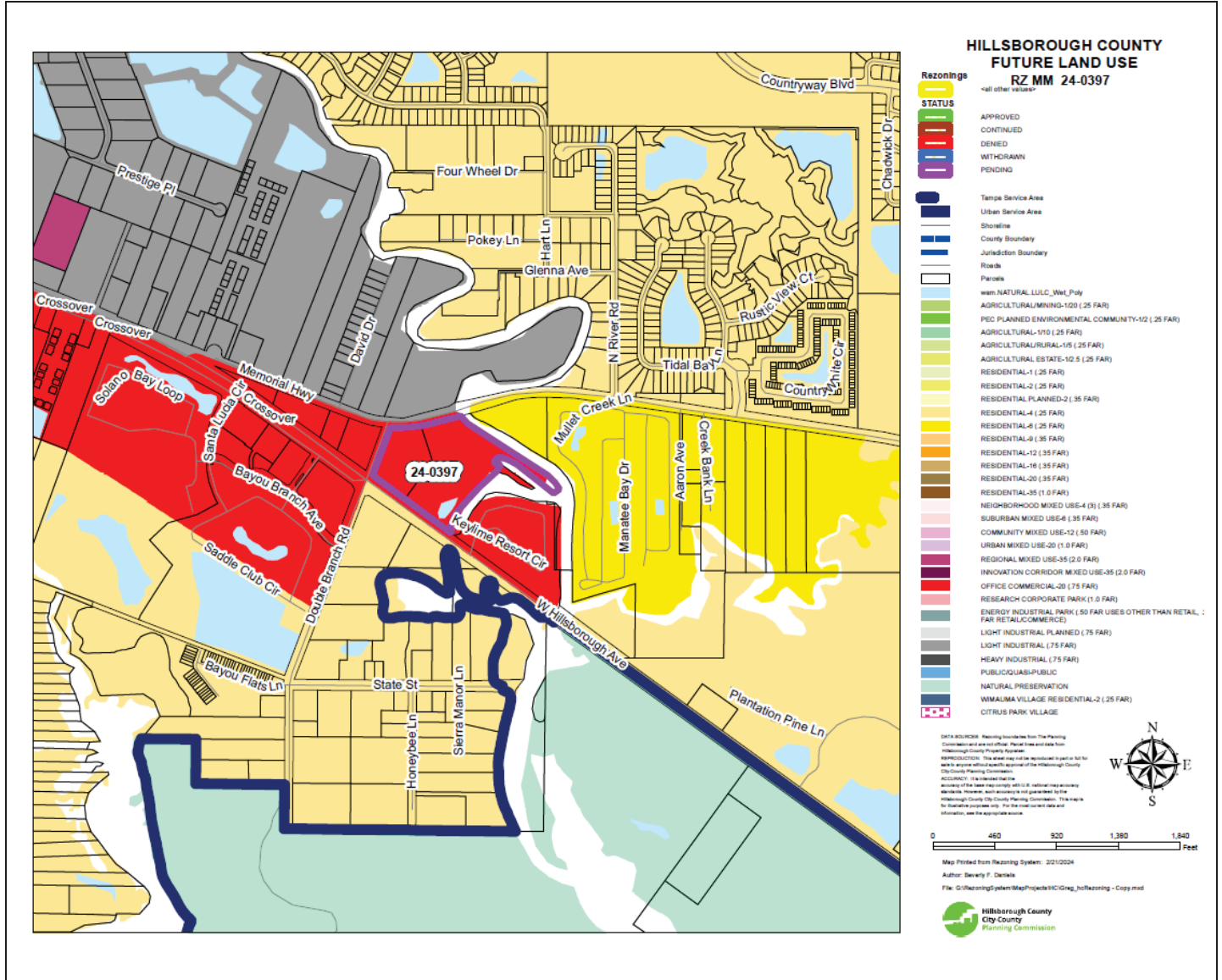
Context of Surrounding Area:

The 11.44-acre site contains two parcels and is located at the northeast corner of Hillsborough Avenue and Double Branch Road and is located in the Urban Service Area within the limits of the Town 'N Country & Northwest Area Community Plans. Parcel 1 with folio# 4086.0000 is developed commercial. Parcel 2 with folio# 4086.0010 is vacant.

The surrounding area is predominantly a mixture of light industrial, RV Park and institutional uses. There is a church immediately west of the site across Double Branch Road, and multiple RV Parks to the north and east across Double Branch Creek. In the general proximity of the subject site is PD zoning to the north, east and west, and Commercial General (CG) zoning to the south and west.

2.0 LAND USE MAP SET AND SUMMARY DATA

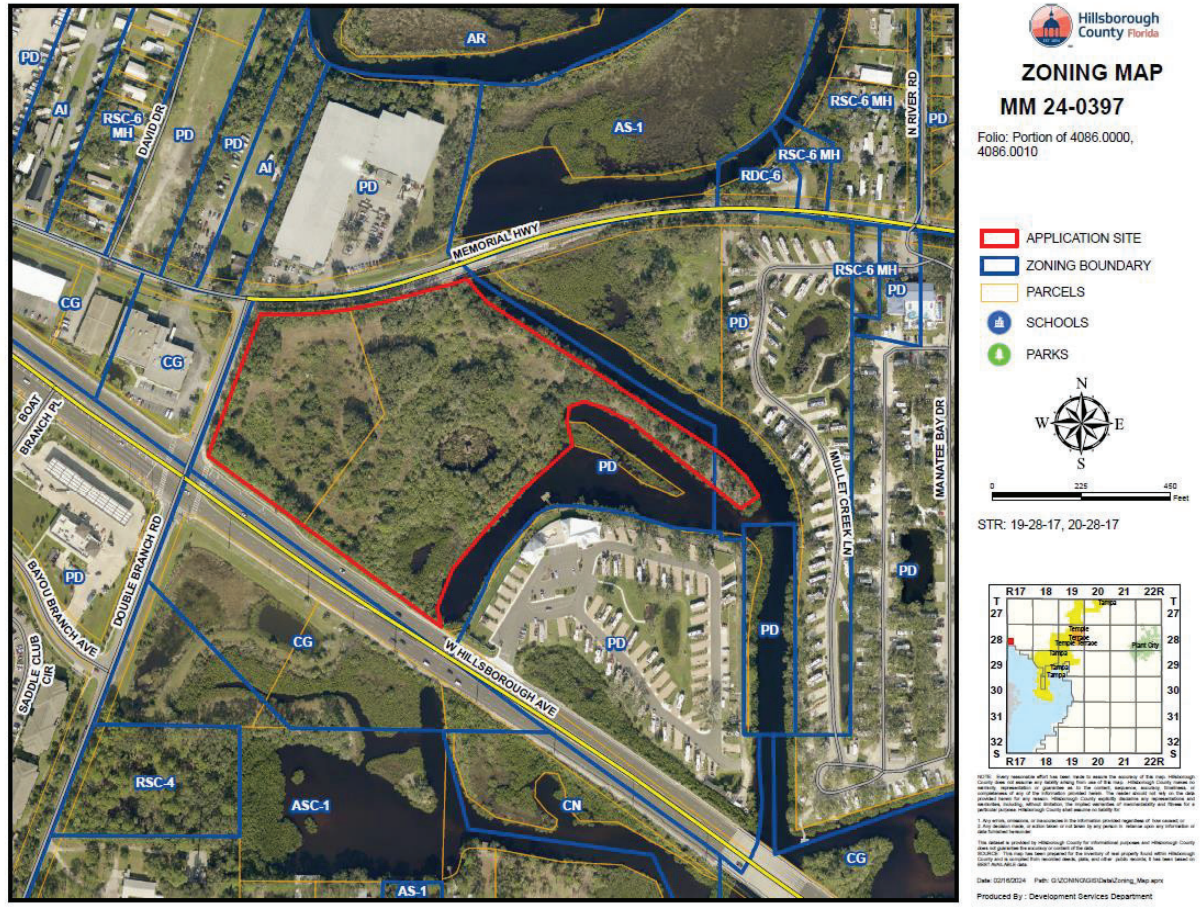
2.2 Future Land Use Map



Subject Site Future Land Use Category:	Office Commercial-20 (OC-20)
Maximum Density/F.A.R.:	20.0 dwelling units/0.75 F.A.R.
Typical Uses:	Community commercial type uses, office uses, mixed use developments, and compatible residential uses.

2.0 LAND USE MAP SET AND SUMMARY DATA

2.3 Immediate Area Map

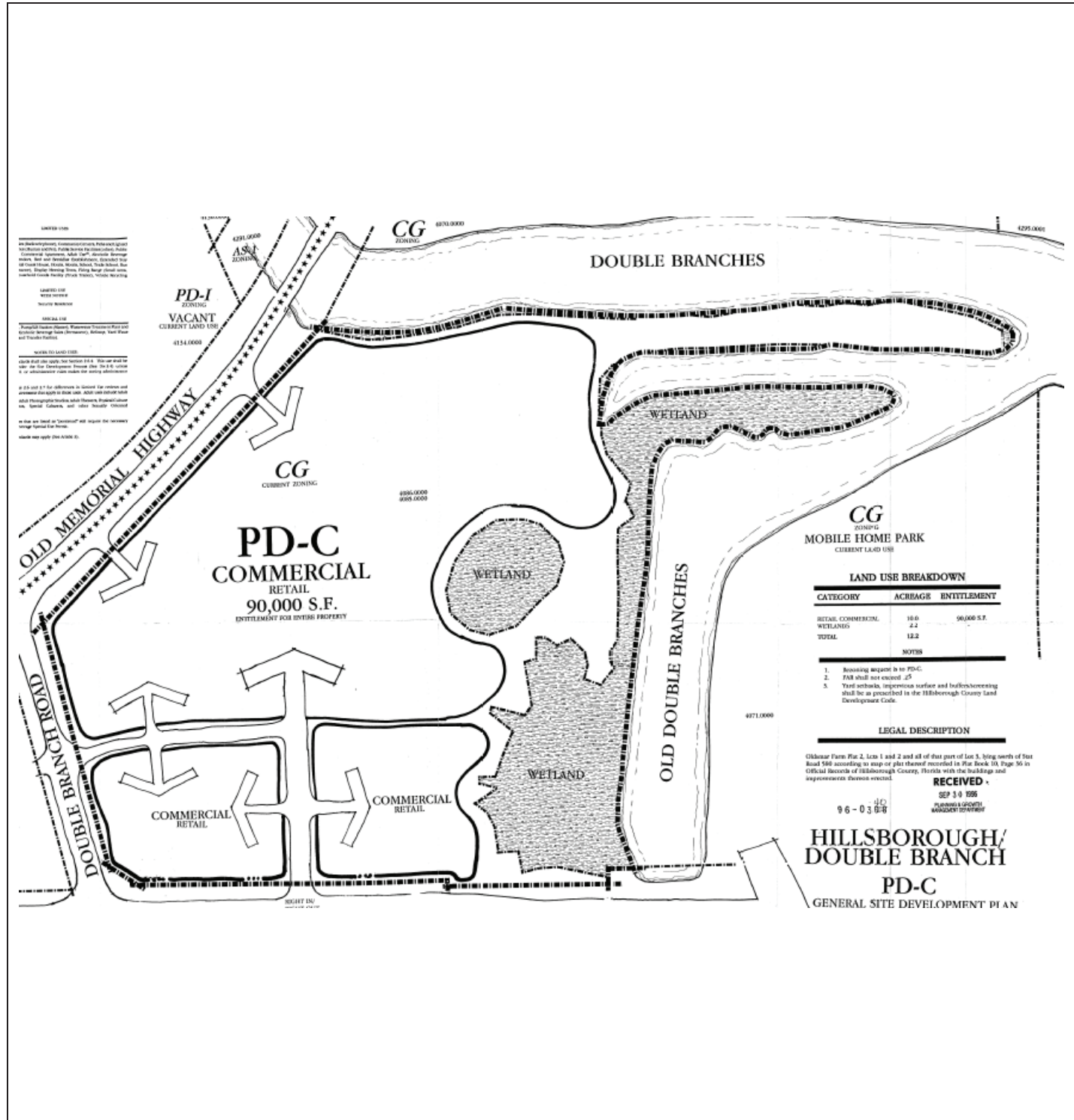


Adjacent Zonings and Uses

Location:	Zoning:	Maximum Density/F.A.R. Permitted by Zoning District:	Allowable Use:	Existing Use:
North	PD 84-0382, PD 20-0475, PD 05-1111	Per PD	Light Industrial, Wetland Conservation, RV Park	Light Industrial, Wetland Conservation, RV Park
South	CG	0.27 F.A.R.	General Commercial	Vacant / FDOT Property
East	PD 05-1252	Per PD	RV Park	RV Park
West	CG, PD 84-0382	0.27 F.A.R., Per PD	General Commercial, Light Industrial	Church, Light Industrial

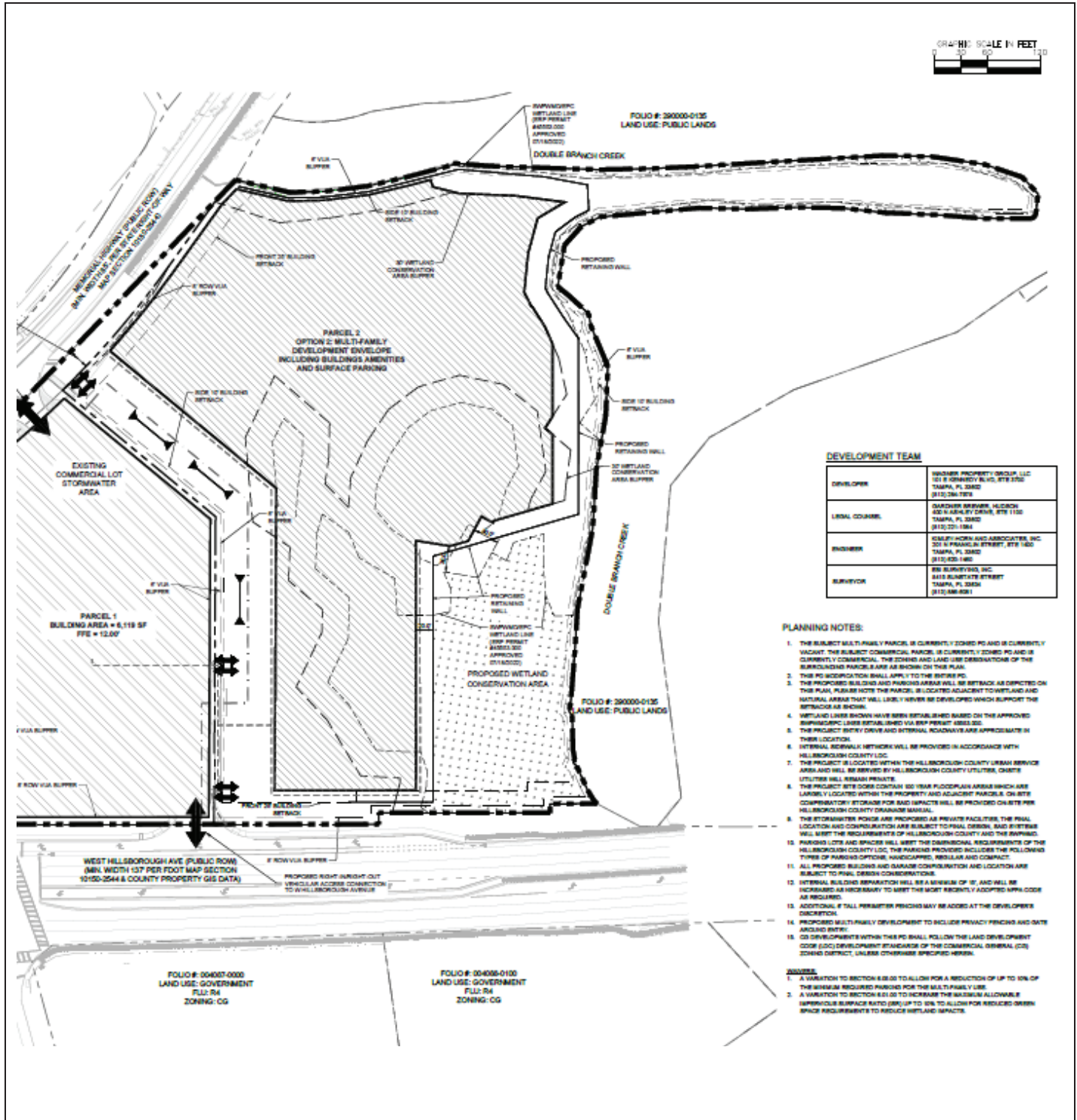
2.0 LAND USE MAP SET AND SUMMARY DATA

2.4 Approved Site Plan (partial provided below for size and orientation purposes. See Section 8.1 for full site plan)



2.0 LAND USE MAP SET AND SUMMARY DATA

2.5 Proposed Site Plan (partial development envelope below for size and orientation purposes. See Section 8.2 for full site plan)



DEVELOPMENT TEAM	
DEVELOPER	WILSON PROPERTY GROUP, LLC 221 S GIMNEY BLVD, STE 200 TAMPA, FL 33602 (813) 244-7878
LEGAL COUNSEL	DAVIDER BERMAN, HICKOK 602 N GALEY DRIVE, STE 1102 TAMPA, FL 33602 (813) 275-1884
ENGINEER	SCOTT HORN AND ASSOCIATES, INC. 301 N FRANKLIN STREET, STE 1402 TAMPA, FL 33602 (813) 422-1400
SURVEYOR	BE SURVEYS, INC. 415 BLUMHART STREET TAMPA, FL 33604 (813) 888-8111

- PLANNING NOTES:**
1. THE SUBJECT MULTI-FAMILY PARCEL IS CURRENTLY ZONED PD AND IS CURRENTLY VACANT. THE SUBJECT COMMERCIAL PARCEL IS CURRENTLY ZONED PD AND IS CURRENTLY VACANT. THE ZONING AND LAND USE DESIGNATIONS OF THE SURROUNDING PARCELS ARE AS SHOWN ON THIS PLAN.
 2. THIS PD OCCUPATION SHALL APPLY TO THE ENTIRE PD.
 3. THE PROPOSED BUILDING AND PARKING AREAS WILL BE SETBACK AS SHOWN ON THIS PLAN. PLEASE NOTE THE PARCEL IS LOCATED ADJACENT TO WETLANDS AND NATURAL AREAS THAT WILL LIKELY NEVER BE DEVELOPED WHICH SUPPORT THE SETBACKS AS SHOWN.
 4. WETLAND LINES SHOWN HAVE BEEN ESTABLISHED BASED ON THE APPROVED SWAMPWATER WETLAND LINE (SWP PERMIT 18033.00).
 5. THE PROJECT ENTRY DRIVE AND INTERNAL ROADS/ALLEYS ARE APPROXIMATE IN THEIR LOCATION.
 6. INTERNAL SEWERAGE NETWORK WILL BE PROVIDED IN ACCORDANCE WITH HILLSBOROUGH COUNTY USE.
 7. THE PROJECT IS LOCATED WITHIN THE HILLSBOROUGH COUNTY URBAN SERVICE AREA AND WILL BE SERVED BY HILLSBOROUGH COUNTY UTILITIES. CHASE UTILITIES WILL REMAIN PRIVATE.
 8. THE PROJECT SITE DOES CONTAIN 100 YEAR FLOODPLAIN AREAS WHICH ARE LARGELY LOCATED WITHIN THE PROPERTY AND ADJACENT PARCELS. ON-SITE COMMUNITY STORAGE FOR SMO IMPACTS WILL BE PROVIDED ON-SITE PER HILLSBOROUGH COUNTY DRAINAGE MANUAL.
 9. THE STORMWATER POND IS PROPOSED AS PRIVATE FACILITIES. THE POND LOCATION AND CONSTRUCTION ARE SUBJECT TO FINAL DESIGN. SMO IMPACTS WILL MEET THE REQUIREMENTS OF HILLSBOROUGH COUNTY AND THE SPREADING.
 10. PARKING LOTS AND SPACES WILL MEET THE DIMENSIONAL REQUIREMENTS OF THE HILLSBOROUGH COUNTY USE. THE PARKING PROVIDED INCLUDES THE FOLLOWING TYPES OF PARKING OPTIONS: HANDICAPPED, REGULAR AND COMPACT.
 11. ALL PROPOSED BUILDING AND GARAGE CONSTRUCTION AND LOCATION ARE SUBJECT TO FINAL DESIGN CONSIDERATIONS.
 12. INTERNAL BUILDING SEPARATION WILL BE A MINIMUM OF 10' AND WILL BE INCREASED AS NECESSARY TO MEET THE MOST RECENTLY ADOPTED APHA CODE AS REQUIRED.
 13. ADDITIONAL, IF TALL PERIMETER FENCES MAY BE ADDED AT THE DEVELOPER'S DISCRETION.
 14. PROPOSED MULTI-FAMILY DEVELOPMENT TO INCLUDE PRIVATE FENCES AND GATE AROUND ENTRY.
 15. CG DEVELOPMENT WITHIN THIS PD SHALL FOLLOW THE LAND DEVELOPMENT CODE (LDC) DEVELOPMENT STANDARDS OF THE COMMERCIAL (CG) ZONING DISTRICT, UNLESS OTHERWISE SPECIFIED HEREIN.
- NOTES:**
1. A VARIATION TO SECTION 8.08.05 TO ALLOW FOR A REDUCTION OF UP TO 10% OF THE MINIMUM REQUIRED PARKING FOR THE MULTI-FAMILY USE.
 2. A VARIATION TO SECTION 8.01.02 TO INCREASE THE ALLOWABLE ALLOWABLE IMPERVIOUS SURFACE RATIO (ISR) UP TO 10% TO ALLOW FOR REDUCED OPEN SPACE REQUIREMENTS TO REDUCE WETLAND IMPACTS.

3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)

Adjoining Roadways (check if applicable)			
Road Name	Classification	Current Conditions	Select Future Improvements
Hillsborough Ave.	FDOT Principal Arterial - Urban	6 Lanes <input type="checkbox"/> Substandard Road <input checked="" type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
Double Branch Rd.	County Collector - Urban	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input checked="" type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input checked="" type="checkbox"/> Site Access Improvements <input checked="" type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
Memorial Hwy.	County Collector - Rural	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input checked="" type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input checked="" type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
	Choose an item.	Choose an item. Lanes <input type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other

Project Trip Generation <input type="checkbox"/> Not applicable for this request			
	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	12,234	729	1,064
Proposed	12,234	729	1,064
Difference (+/-)	No Change	No Change	No Change

*Trips reported are based on gross external trips unless otherwise noted.

Connectivity and Cross Access <input type="checkbox"/> Not applicable for this request				
Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North	X	Vehicular & Pedestrian	None	Meets LDC
South	X	Vehicular & Pedestrian	None	Meets LDC
East		None	None	Meets LDC
West	X	Vehicular & Pedestrian	None	Meets LDC
Notes:				

Design Exception/Administrative Variance <input type="checkbox"/> Not applicable for this request		
Road Name/Nature of Request	Type	Finding
Memorial Hwy./ Access Spacing	Administrative Variance Requested	Approvable
Double Branch Rd./ Access Spacing	Administrative Variance	Approvable

	Requested	
Memorial Hwy./ Substandard Road	Design Exception Requested	Approvable
Double Branch Rd./ Substandard Road	Design Exception Requested	Approvable
Notes: All Design Exceptions (DEs) and Administrative Variances (AVs) apply only to PD Option 2. PD Option 1 is proposed to remain as was previously approved (Staff notes that the existing PD, now labeled as Option 1, was approved in the 1990s, before the requirement to address AVs and DEs during the zoning process existed.)		

4.0 ADDITIONAL SITE INFORMATION & AGENCY COMMENTS SUMMARY

INFORMATION/REVIEWING AGENCY				
Environmental:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Environmental Protection Commission	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Wetlands present
Environmental Services	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Conservation & Environ. Lands Mgmt.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Natural Resources	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Check if Applicable: <input type="checkbox"/> Potable Water Wellfield Protection Area <input checked="" type="checkbox"/> Wetlands/Other Surface Waters <input checked="" type="checkbox"/> Coastal High Hazard Area <input type="checkbox"/> Wellhead Protection Area <input checked="" type="checkbox"/> Urban/Suburban/Rural Scenic Corridor <input type="checkbox"/> Surface Water Resource Protection Area <input type="checkbox"/> Adjacent to ELAPP property				
Public Facilities:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Transportation <input checked="" type="checkbox"/> Design Exc./Adm. Variance Requested <input checked="" type="checkbox"/> Off-site Improvements Provided	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Service Area/ Water & Wastewater <input checked="" type="checkbox"/> Urban <input type="checkbox"/> City of Tampa <input type="checkbox"/> Rural <input type="checkbox"/> City of Temple Terrace	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Hillsborough County School Board Adequate <input checked="" type="checkbox"/> K-5 <input checked="" type="checkbox"/> 6-8 <input checked="" type="checkbox"/> 9-12 <input type="checkbox"/> N/A Inadequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Impact/Mobility Fees Parks: \$1,555 * 220 = \$342,100 School: \$3,891 * 220 = \$856,020 Fire: \$249 * 220 = \$54,780 Total impact fee estimate \$2,718,320 Retail - Conv Mkt. w/Gas (Per fueling position for Mobility based on Conv Mkt size) (Per 1,000 s.f. for Fire) Mobility: \$18,422 x 16 = \$294,752.00				

Fire: \$313 x 6.119 = \$1,915.25

Comprehensive Plan:	Comments Received	Findings	Conditions Requested	Additional Information/Comments
Planning Commission <input type="checkbox"/> Meets Locational Criteria <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Locational Criteria Waiver Requested <input type="checkbox"/> Minimum Density Met <input checked="" type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Inconsistent <input checked="" type="checkbox"/> Consistent	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	See Planning Commission Report

5.0 IMPLEMENTATION RECOMMENDATIONS

5.1 Compatibility

The approximate 11.44-acre property is zoned PD 96-0340 (Planned Development). PD 96-0340 was approved in 1996 to allow up to 90,000 square feet of Commercial – General (CG) uses. The applicant requests a modification to add a second option to include residential multi-family as an allowable use for the development of up to 220 dwelling units for parcel 2. Parcel 1 is proposed to remain as a 6,119 square foot convenience store with gas station.

The site contains two parcels and is located at the northeast corner of Hillsborough Avenue and Double Branch Road and is located in the Urban Service Area within the limits of the Town ‘N Country & Northwest Area Community Plans. Parcel 1 with folio# 4086.0000 is developed commercial. Parcel 2 with folio# 4086.0010 is vacant.

The surrounding area is predominantly a mixture of light industrial, RV Park and institutional uses. There is a church immediately west of the site across Double Branch Road, and multiple RV Parks to the north and east across Double Branch Creek. In the general proximity of the subject site is PD zoning to the north, east and west, and Commercial General (CG) zoning to the south and west.

The subject property is designated Office Commercial-20 (OC-20) on the Future Land Use map. The Planning Commission finds the proposed use consistent with the Comprehensive Plan. The current PD 96-0340 is already approved for commercial general uses which provide residential support uses. The addition of a second option which includes 220 multi-family dwelling units would be consistent with the currently approved PD. Therefore, the modification of PD 96-0340 to allow for a second option to develop the site with up to 220 multi-family dwelling units and a 6,119 square foot convenience store with gas station would be consistent with the existing zoning pattern of the area.

Based upon the above, staff finds the proposed modification to be compatible with the surrounding properties and in keeping with the general development pattern of the area.

5.2 Recommendation

Approvable, subject to proposed conditions.

6.0 PROPOSED CONDITIONS

Requirements for Certification:

Prior to PD site plan certification, the developer shall revise the PD site plan to:

1. Remove all indication of the requested waivers from the site plan.
2. The max height will be revised from 60' ABOVE FFE to 68' ABOVE FFE for Multi-Family Max Building Height.

Approval – Approval of the request, subject to the conditions listed below, is based on the general site plan submitted October 4, 2024.

Conditions Applying to Option 1

1. Development of Option 1 of the project shall be limited to 90,000 square feet of C-G. Interim agricultural uses shall be permitted.
2. A Natural Resources application to conduct land alteration activities on the property must be submitted to the Natural Resources Team of the Planning and Growth Management Department for review and approval.
3. Barbed wire fencing shall be permitted for the interim agricultural use subject to the requirements of the building code.
4. Development of the project shall be subject to community design standards which may be incorporated into the Land Development Code.
5. The setbacks, height, bulk and other development standards shall be that of the Commercial – General (CG) zoning district.
6. A maximum of two outparcels shall be permitted with cross access provided between the outparcels and the main shopping center. Direct access from any outparcel onto Hillsborough Avenue or Double Branch Road shall be prohibited.
7. Buffering and screening shall be in accordance with Sections 2.5.14 and 3.6.4 of the Land Development Code unless modified by the design standards herein.
8. Required yards shall be in accordance with Section 2.5.9 (Table 2.5.1) of the Land Development Code unless modified by design standards through Section 2.5.20.3.2.
9. The General design, location and number of the access points(s) shall be regulated by the Section 3.10 of the Land Development Code and/or the Florida Department of Transportation (Chapter 14-97), if applicable.

10. Public water and wastewater service shall be utilized for C-G uses. The developer shall pay all costs for service delivery.
11. The developer shall provide fire hydrant locations and minimum fire flow as required by the Hillsborough County Fire Department.
12. Development of the project shall comply with all applicable regulations of the Hillsborough County Environmental Protection Commission.

Conditions Applying to Option 2

13. Development of Option 2 of the project shall be limited to:
 - a. Parcel 1: 6,119 square feet of C-G uses to include convenience store with gas pumps.
 - b. Parcel 2: 220 multi-family dwelling units.
14. Building, parking, and stormwater areas shall be developed where generally depicted on the site plan.
15. Notwithstanding anything herein these conditions or on the PD site plan to the contrary, bicycle and pedestrian access may be permitted anywhere along the project's PD boundaries.
16. Option 2 development shall be served by (and limited to) the following project access connections:
 - a. One (1) right-in/right-out connection to Hillsborough Ave.;
 - b. One (1) right-in only connection to Double Branch Rd.; and,
 - c. One (1) full access connection to Memorial Hwy.

Access to Memorial Hwy. may be restricted to right-in/right-out only access in the future, at such time as a 4-lane divided roadway is constructed consistent with the Hillsborough County Corridor Preservation Plan, or as otherwise determined by the County to be required to due safety or operational considerations.
17. Construction access shall be limited to those locations shown on the PD site plan which are also proposed vehicular access connections (excluding any limited purpose or emergency only connections). The developer shall include a note in each site/construction plan submittal which indicates same.
18. Notwithstanding anything shown on the PD site plan or herein these conditions to the contrary, the developer shall provide any easements necessary due to construction of required sidewalks within the subject property. No sidewalks shall be permitted to run laterally within required buffers, and the site plan may be adjusted at the time of plat/site/construction plan review to the minimum extent necessary to effectuate this condition.
19. If MM 24-0397 is approved, the County Engineer will approve (with conditions) a Sec. 6.04.02.B. Administrative Variance (dated May 14, 2024) from the LDC Sec. 6.04.07 access spacing requirements for the project's Memorial Hwy. access, which has been found approvable by the County Engineer (on August 7, 2024). Approval of this Administrative Variance will permit a +/- 88-foot reduction of the minimum access spacing between the project's Memorial Hwy. access and the next closest roadway to the west, resulting in an access spacing of +/- 157 feet. The County Engineer will

approve this variance on the condition that it shall only apply to development occurring under Option 2.

20. If MM 24-0397 is approved, the County Engineer will approve (with conditions) a Sec. 6.04.02.B. Administrative Variance (dated May 14, 2024) from the LDC Sec. 6.04.07 access spacing requirements for the project's Double Branch Rd. access, which has been found approvable by the County Engineer (on August 7, 2024). Approval of this Administrative Variance will permit a reduction of the minimum access spacing between the project's Double Branch Rd. access and the next closest roadways as follows:

- a. A variance of +/- 7-feet from the closest roadway to the south, resulting in an access spacing of +/- 238 feet.; and,
- b. A variance of +/- 87-feet from the closest roadway to the north, resulting in an access spacing of +/- 158 feet.

The County Engineer will approve this variance on the condition that it shall only apply to development occurring under Option 2.

21. If MM 24-0397 is approved, the County Engineer will approve (with conditions) a Design Exception request (dated May 14, 2024) which was found approvable by the County Engineer (on August 7, 2024) for the Memorial Hwy. substandard road improvements. As Memorial Hwy. is a substandard collector roadway, the developer will be required to make certain improvements to Memorial Hwy. consistent with the Design Exception. Specifically, prior to or concurrent with the initial increment of development, the developer shall widen memorial highway to include a consistent eastbound travel lane 11-feet wide, with a 4-foot-wide bicycle lane to match the Memorial Highway cross section east of the proposed project, and installation of a Type F curb and gutter along the south side of the improved area. The County Engineer will approve this variance on the condition that it shall only apply to development occurring under Option 2.

22. If MM 24-0397 is approved, the County Engineer will approve a Design Exception request (dated May 14, 2024) which was found approvable (with conditions and clarifications) by the County Engineer (on August 7, 2024) for the Double Branch Rd. substandard road improvements. As Double Branch Rd. is a substandard collector roadway, the developer will be required to make certain improvements to Double Branch Rd. consistent with the Design Exception. Specifically, prior to or concurrent with the initial increment of development, the developer shall modify the roadway section consistent with the Design Exception, to include installation of a 3-foot-wide raised concrete medial within a portion of the roadway as shown within the construction plans approved via PI 6213. The County Engineer will approve this variance on the condition that it shall only apply to development occurring under Option 2.

23. Natural Resources staff identified a number of significant trees on the site including potential Grand Oaks. Every effort must be made to avoid the removal of and design the site around these trees. The site plan may be modified from the Certified Site Plan to avoid tree removal.

24. Wetlands or other surface waters are considered Environmentally Sensitive Areas and are subject to Conservation Area and Preservation Area setbacks. A minimum setback must be maintained around these areas which shall be designated on all future plan submittals. Only items explicitly stated in the

condition of approval or items allowed per the LDC may be placed within the wetland setback. Proposed land alterations are restricted within the wetland setback areas.

25. Approval of this petition by Hillsborough County does not constitute a guarantee that Natural Resources approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impacts to trees, natural plant communities or wildlife habitat, and does not grant any implied or vested right to environmental approvals.
26. The construction and location of any proposed environmental impacts are not approved by this correspondence, but shall be reviewed by Natural Resources staff through the site and subdivision development plan process pursuant to the Land Development Code.
27. If the notes and/or graphic on the site plan are in conflict with specific zoning conditions and/or the Land Development Code (LDC) regulations, the more restrictive regulation shall apply, unless specifically conditioned otherwise. References to development standards of the LDC in the above stated conditions shall be interpreted as the regulations in effect at the time of preliminary site plan/plat approval.
28. Public water and wastewater service shall be utilized for all approved uses. The developer shall pay all costs for service delivery.

Conditions Applying to Both Options

29. Approval of this zoning petition by Hillsborough County does not constitute a guarantee that the Environmental Protection Commission of Hillsborough County (EPC) approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impact to wetlands, and does not grant any implied or vested right to environmental approvals.
30. The construction and location of any proposed wetland impacts are not approved by this correspondence but shall be reviewed by EPC staff under separate application pursuant to the EPC Wetlands rule detailed in Chapter 1-11, Rules of the EPC, (Chapter 1-11) to determine whether such impacts are necessary to accomplish reasonable use of the subject property.
31. Prior to the issuance of any building or land alteration permits or other development, the approved wetland / other surface water (OSW) line must be incorporated into the site plan. The wetland/ OSW line must appear on all site plans, labeled as "EPC Wetland Line", and the wetland must be labeled as "Wetland Conservation Area" pursuant to the Hillsborough County Land Development Code (LDC).
32. Final design of buildings, stormwater retention areas, and ingress/egresses are subject to change pending formal agency jurisdictional determinations of wetland and other surface water boundaries and approval by the appropriate regulatory agencies.
33. In accordance with LDC Section 5.03.07.C, the certified PD general site plan shall expire for the internal transportation network and external access points, as well as for any conditions related to the internal transportation network and external access points, if site construction plans, or equivalent thereof, have not been approved for all or part of the subject Planned Development within 5 years of the effective date of the PD unless an extension is granted as provided in the LDC. Upon expiration, re-certification of the PD General Site Plan shall be required in accordance with provisions set forth in

LDC Section 5.03.07.C.

34. Parking shall be provided in accordance with LDC, including allowance for alternative parking analysis in accordance with 6.05.02.G.

Zoning Administrator Sign Off:



SITE, SUBDIVISION AND BUILDING CONSTRUCTION IN ACCORDANCE WITH HILLSBOROUGH COUNTY SITE DEVELOPMENT PLAN & BUILDING REVIEW AND APPROVAL.

Approval of this re-zoning petition by Hillsborough County does not constitute a guarantee that the project will receive approvals/permits necessary for site development as proposed will be issued, nor does it imply that other required permits needed for site development or building construction are being waived or otherwise approved. The project will be required to comply with the Site Development Plan Review approval process in addition to obtain all necessary building permits for on-site structures.

B. HEARING SUMMARY

This case was heard by the Hillsborough County Zoning Hearing Master on October 28, 2024. Ms. Michelle Heinrich of the Hillsborough County Development Services Department introduced the petition.

Applicant

Mr. Truett Gardner spoke on behalf of the applicant. Mr. Gardner introduced the major modification request and provided testimony as reflected in the hearing transcript.

Ms. Addie Clark presented the applicant's major modification request and provided testimony as reflected in the hearing transcript.

Development Services Department

Mr. Chris Grandlienard, Hillsborough County Development Services Department, presented a summary of the findings and analysis as detailed in the revised staff report previously submitted to the record.

Planning Commission

Ms. Alexis Myers, Hillsborough County City-County Planning Commission, presented a summary of the findings and analysis as detailed in the Planning Commission report previously submitted into the record.

Proponents

The Zoning Hearing Master asked whether there was anyone at the hearing in person or online to speak in support of the application. There were none.

Opponents

The Zoning Hearing Master asked whether there was anyone at the hearing in person or online to speak in opposition to the application.

Mr. George Denyko spoke in opposition to the Major Modification request and provided testimony as reflected in the hearing transcript. Mr. Denyko stated he is the president of the River Chase of Tampa Homeowners' Association. Mr. Denyko raised concerns related to flooding, impacts on the wetlands on the Subject Property, traffic congestion, access points, density, and community character.

Mr. Pedro Toledo spoke in opposition to the Major Modification request and provided testimony as reflected in the hearing transcript. Mr. Toledo stated he is a River Chase resident. Mr. Toledo raised concerns related to traffic, sidewalks, and flooding.

Mr. Daniel Rojas spoke in opposition to the Major Modification request and provided testimony as reflected in the hearing transcript. Mr. Rojas raised concerns related to flooding, tree removal, and traffic. Mr. Rojas noted the surrounding community was

developed after the county granted approval of the Subject Property's 1996 planned development zoning.

Ms. Shawnae Barlow spoke in opposition to the Major Modification request and provided testimony as reflected in the hearing transcript. Ms. Barlow stated she is a River Chase resident. Ms. Barlow raised concerns related to community character, traffic congestion, natural areas and green spaces, and quality of life.

Mr. Jonathan Brewer spoke in opposition to the Major Modification request and provided testimony as reflected in the hearing transcript. Mr. Brewer stated he was speaking on behalf of the Grace and Faith Church, located across Double Branch Road to the west of the Subject Property. Mr. Brewer raised concerns about a median strip that was recently constructed on Double Branch Road. Mr. Brewer stated the median strip adversely impacts access to the church property.

Mr. Robert Scarallo spoke in opposition to the Major Modification request and provided testimony as reflected in the hearing transcript. Mr. Scarallo stated he is the senior pastor of the Grace and Faith Church. Mr. Scarallo stated the main concern of the church is the median strip that was recently constructed on Double Branch Road. Mr. Scarallo raised concerns related to the median strip's impact on traffic and access to the church property. Mr. Scarallo also raised a concern about potential alcoholic beverage sales at the convenience store that is under construction on the Subject Property.

Ms. Barbara Macelli spoke in opposition to the Major Modification request and provided testimony as reflected in the hearing transcript. Ms. Macelli raised concerns related to traffic congestion, roadway conditions, storm water runoff, and flooding.

Development Services Department

Ms. Heinrich stated the Development Services Department had nothing further.

Applicant Rebuttal

Mr. Gardner addressed the wetland and traffic issues raised by the opposition speakers and provided rebuttal testimony as reflected in the hearing transcript.

Ms. Clark addressed the sidewalk, traffic, setbacks, and Double Branch Road median issues raised by the opposition speakers and provided rebuttal testimony as reflected in the hearing transcript.

Mr. Timothy Neldner, Heidt Design, addressed wetland issues raised by the opposition speakers, responded to the zoning master's questions, and provided rebuttal testimony as reflected in the hearing transcript.

Mr. David Lerom P.E., Kinley Horn, addressed the storm water management facilities planned for the proposed development, responded to the zoning master's questions, and provided rebuttal testimony as reflected in the hearing transcript.

Mr. Gardner responded to the zoning master's question related to the median divider strip on Double Branch Road and stated the county transportation staff could better address the issue.

The zoning master asked a member of the public who displayed two photographs at the hearing to submit those photographs to the clerk for the record.

Development Services Department

Ms. Heinrich stated that a transportation review staff member was online and wished to make some comments for the record.

Mr. James Ratliff, Development Services Department Transportation Review staff, addressed issues raised by the opposition speakers related to transportation, roadway improvements, and the median divider strip on Double Branch Road, and provided testimony as reflected in the hearing transcript.

Ms. Heinrich stated Development Services Department had nothing further.

The hearing officer closed the hearing on MM 24-0397.

C. EVIDENCE SUBMITTED

Ms. Rosa Timoteo, Hillsborough County Development Services Department, submitted to the record at the hearing a copy of a revised staff report.

Mr. Jonathan Brewer submitted to the record at the hearing a copy of a letter to the applicant's agent requesting a meeting and an email communication from Mr. Grandlienard, Development Services Department, regarding a prior continuance of the case.

Mr. Daniel Rojas submitted to the record at the hearing a copy of two photographs depicting flooded street conditions adjacent to the Subject Property.

D. FINDINGS OF FACT

1. The Subject Property consists of two folio parcels with approximately 11.44 acres located on the north side of West Hillsborough Avenue, east side of Double Branch Road, and south side of Memorial Highway.
2. The Subject Property is designated OC-20 on the Future Land Use map and is zoned PD 96-0340.
3. The Subject Property is in the Urban Services Area and is located within the boundaries of the Town 'N Country Community Plan and the Northwest Area Community Plan.

4. The general area surrounding the Subject Property consists of a mixture of light industrial, RV Park, place of worship, and institutional uses. Adjacent properties include an RV park to the north and a parcel zoned PD that is developed and operating as a door manufacturing facility to the north across Memorial Highway; two RV resorts to the east across Double Branch Creek; undeveloped parcels zoned CG owned by the Florida Department of Transportation to the south across West Hillsborough Avenue; and a place of worship to the west across Double Branch Road.
5. The Subject Property's PD zoning allows up to 90,000 square feet of Commercial General uses on the two folio parcels, referred to as "Parcel 1" and "Parcel 2." A 6,119-square-foot convenience store with gasoline pumps is currently under construction on Parcel 1. Parcel 2 is undeveloped.
6. The applicant is requesting a Major Modification to allow a second development option on Parcel 2 consisting of up to 220 residential multi-family dwelling units. The Commercial General entitlements approved under the existing PD zoning would also remain as a development option for Parcel 2.
7. The applicant requested an Administrative Variance applicable to Option 2 for access spacing on Memorial Highway to allow an approximately 88-foot reduction of the minimum access spacing between the Subject Property's Memorial Highway access and the next closest roadway to the west, resulting in an access spacing of approximately 157 feet. The County Engineer found the Administrative Variance approvable.
8. The applicant requested an Administrative Variance applicable to Option 2 for access spacing on Double Branch Road to allow an approximately 7-foot reduction from the closest roadway to the south and approximately 87-foot reduction from the closest roadway to the north, resulting in an access spacing of approximately 238 feet and 158 feet respectively. The County Engineer found the Administrative Variance approvable.
9. The applicant requested a Design Exception applicable to Option 2 for substandard roadway improvements on Memorial Highway. The County Engineer found the Design Exception approvable. If the Major Modification is approved, the developer will be required to make certain improvements to Memorial Highway consistent with the Design Exception.
10. The applicant requested a Design Exception applicable to Option 2 for substandard roadway improvements on Double Branch Road. The County Engineer found the Design Exception approvable. If the Major Modification is

approved, the developer will be required to make certain improvements to Double Branch Road consistent with the Design Exception.

11. Seven citizens spoke in opposition to the Major Modification and raised concerns related to wetland impacts, flooding, traffic, community character, the need for roadway improvements, and a median divider that was recently constructed on Double Branch Road.
12. Five of the opposition speakers were residents of the River Chase subdivision located north of the Subject Property, a straight-line distance of approximately 2,200 feet. Several of the River Chase residents raised concerns with traffic and stated there is only one roadway into and out of their community. The River Chase residents also raised concerns related to flooding and stated they fear the proposed development will worsen their existing flooding problems.
13. Two of the opposition speakers were affiliated with the Grace and Faith Church located west of the Subject Property across Double Branch Road. They raised issues related to traffic and roadway conditions and were very concerned about a median dividing structure that was recently constructed on Double Branch Road, which prevents a left turn-in to the church parcel for vehicles traveling north on Double Branch Road from West Hillsborough Avenue.
14. The applicant's ecology expert, Mr. Neldner, provided testimony addressing wetland impacts, retaining wall, and mitigation. The Environmental Protection Commission agency comment sheet states the EPC Wetlands Division has reviewed the proposed Major Modification and the applicant's site plan, and a resubmittal is not necessary.
15. The applicant's engineering expert, Mr. Larem, provided testimony related to the proposed stormwater management system. He stated the applicant will build underground stormwater chambers and a retaining wall, and the improvements are designed to account for storm surge in the coastal flood plain. He stated the development would be subject to FDOT storm event modeling. He stated the development would maintain existing water flow patterns and would not add runoff into the roadway.
16. Development Services Department staff found the Major Modification to allow a second option on Parcel 2 with up to 220 multi-family units would be consistent with the existing zoning pattern in the area, compatible with surrounding properties, and in keeping with the general development pattern in the area.
17. Hillsborough County Transportation staff stated no objections subject to the conditions set out in the Transportation Review Comment Sheet and the Development Services Department staff report.

18. The Planning Commission staff found the proposed Major Modification is compatible with the existing development pattern in the surrounding area and supports the vision of the Northwest Area Community Plan. Staff found the proposed Major Modification consistent with the Goals, Objectives, and Policies of the *Unincorporated Hillsborough County Comprehensive Plan*.

E. FINDINGS OF COMPLIANCE OR NON-COMPLIANCE WITH COMPREHENSIVE PLAN

The record evidence demonstrates the proposed Major Modification request is in compliance with and furthers the intent of the Goals, Objectives, and Policies of *Unincorporated Hillsborough County Comprehensive Plan*.

F. CONCLUSIONS OF LAW

A development order is consistent with the comprehensive plan if “the land uses, densities or intensities, and other aspects of development permitted by such order...are compatible with and further the objectives, policies, land uses, and densities or intensities in the comprehensive plan and if it meets all other criteria enumerated by the local government.” § 163.3194(3)(a), Fla. Stat. (2022). Based on the evidence and testimony submitted in the record and at the hearing, including reports and testimony of Development Services staff, and Planning Commission staff, applicant’s testimony and evidence, there is substantial competent evidence demonstrating the requested Major Modification is consistent with the *Unincorporated Hillsborough County Comprehensive Plan* and does comply with the applicable requirements of the Hillsborough County Land Development Code.

G. SUMMARY

The applicant is requesting a Major Modification to allow a second development option on Parcel 2 consisting of up to 220 residential multi-family dwelling units. The Commercial General entitlements approved under the existing PD zoning would also remain as a development option for Parcel 2.

The applicant requested an Administrative Variance applicable to Option 2 for access spacing on Memorial Highway. The County Engineer found the Administrative Variance approvable. The applicant requested an Administrative Variance applicable to Option 2 for access spacing on Double Branch Road. The County Engineer found the Administrative Variance approvable.

The applicant requested a Design Exception applicable to Option 2 for substandard roadway improvements on Memorial Highway. The County Engineer found the Design Exception approvable. The applicant requested a Design Exception applicable to Option 2 for substandard roadway improvements on Double Branch Road. The County Engineer found the Design Exception approvable.

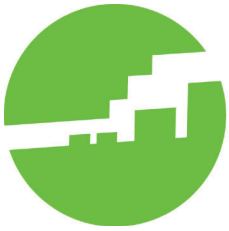
H. RECOMMENDATION

Based on the foregoing Findings of Fact and Conclusions of Law, this recommendation is for **APPROVAL** of the Major Modification to PD 96-0340 to allow up to 220 residential multi-family dwelling units on Parcel 2 as Option 2, with the Commercial General entitlements approved under the existing PD zoning remaining as Option 1, subject to the certification requirements and conditions set out in the Development Services Department staff report based on the applicant's general site plan submitted October 4, 2024.

Pamela Jo Hatley
Pamela Jo Hatley PhD, JD
Land Use Hearing Officer

November 19, 2024

Date:



**Hillsborough County
City-County
Planning Commission**

Plan Hillsborough
planhillsborough.org
planner@plancom.org
813 – 272 – 5940
601 E Kennedy Blvd
18th floor
Tampa, FL, 33602

Unincorporated Hillsborough County Rezoning Consistency Review	
Hearing Date: October 28, 2024 Report Prepared: October 3, 2024	Case Number: MM 24-0397 Folio(s): 4086.0000 & 4086.0010 General Location: North of West Hillsborough Avenue, south of Memorial Highway and east of Double Branch Road
Comprehensive Plan Finding	CONSISTENT
Adopted Future Land Use	Office Commercial-20 (20 du/ga; 0.75 FAR)
Service Area	Urban
Community Plan(s)	Town 'N Country & Northwest Area
Rezoning Request	Major Modification (MM) to utilize 11 acres of multi-family residential uses for up to 220 dwelling units and reduce Commercial General (CG) uses to 0.44 acres of the site at a 0.32 FAR for a total of 6,119 square feet
Parcel Size	11.44 ± acres
Street Functional Classification	West Hillsborough Avenue – State Principal Arterial Memorial Highway – County Collector Double Branch Road – Local
Commercial Locational Criteria	Not applicable

Evacuation Area	A

Table 1: COMPARISON OF SURROUNDING PROPERTIES			
Vicinity	Future Land Use Designation	Zoning	Existing Land Use
Subject Property	Office Commercial-20	PD	Vacant Land
North	Light Industrial + Residential-6 + Residential-4	PD + AS-1 + AI + AR + RSC-2 + RDC-6	Light Industrial + Single Family Residential + Vacant Land + HOA Property
South	Residential-4	CG + CN + RSC-4 + ASC-1 + AS-1 + RSC-3	Vacant Land + Single Family Residential + Public/Quasi-Public/Institutions + Agriculture
East	Office Commercial-20 + Residential-6	PD + AS-1 + CG	Mobile Home Park + Single Family Residential + Vacant Land + Multi-Family Residential
West	Office Commercial-20 + Light Industrial	CG + PD	Public/Quasi-Public/Institutions + Light Commercial + Public Utilities + Single Family Residential + Vacant Land + Multi-Family Residential

Staff Analysis of Goals, Objectives and Policies:

The 11.44 ± acre subject site is located north of West Hillsborough Avenue, south of Memorial Highway and east of Double Branch Road. The site is in the Urban Service Area and is within the limits of the Town 'N Country and Northwest Area Community Plans. The applicant is requesting a Major Modification (MM) to Planned Development (PD) 96-0340 to utilize 11 ± acres of multi-family residential uses for up to 220 dwelling units and reduce Commercial General (CG) uses to 0.44 ± acres of the site at a 0.32 Floor Area Ratio (FAR) for a total of 6,119 square feet.

The site is in the Urban Service Area where according to Objective 1 of the Future Land Use Element (FLUE), 80 percent of the County's growth is to be directed. Policy 1.4 requires all new development to be compatible with the surrounding area, noting that "compatibility does not mean "the same as" Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development." The site is currently vacant. There is also vacant land to the north, south, east and west along with single-family uses. Multi-family residential is to the east and west of the subject site. The proposal meets the intent of FLUE Objective 1 and FLUE Policy 1.4, as the proposed uses will complement the existing development pattern surrounding the subject site.

FLUE Objective 7, FLUE Objective 8 and each of their respective policies establish the Future Land Use Map (FLUM) as well as the allowable range of uses for each Future Land Use category. The character of each land use category is defined by building type, residential density, functional use and the physical composition of the land. The integration of these factors set the general atmosphere and character of each Future Land Use category. Each category has a range of potentially permissible uses which are not exhaustive but are intended to be illustrative of the character of uses within the land use designation. Appendix A contains a description of the character and intent permitted in each of the Future Land use categories. The site is located within the Office Commercial-20 (OC-20) Future Land Use category. The OC-20 Future Land Use category allows for the consideration of community commercial type uses, office uses, mixed use developments and compatible residential uses. The proposed Commercial General uses and multi-family residential may be considered in the OC-20 category and are therefore consistent with the development expected in this category.

The Comprehensive Plan requires that all development meet or exceed the land development regulations in Hillsborough County (FLUE Objective 9, FLUE Policy 9.1 and FLUE Policy 9.2). Transportation had no objections to the proposal; therefore, it meets the intent to FLUE Objective 9, FLUE Policy 9.1 and FLUE Policy 9.2.

The proposal meets the intent of FLUE Objective 16 and its accompanying policies 16.1 ,16.2, 16.3, 16.5 and 16.10 that require new development to be compatible to the surrounding neighborhood. Goal 12 and Objective 12-1 of the Community Design Component (CDC) of the FLUE require new developments to recognize the existing community and be designed to relate to and be compatible with the predominant character of the surrounding area. In this case, the surrounding land use pattern is mixed use but comprised mostly of residential uses, vacant land, light commercial and public/quasi-public/institutions uses.

The Environmental Protection Commission (EPC) Wetlands Division has reviewed the proposed Major Modification. The EPC has determined there are wetlands on site. According to Objective 13 of the FLUE, "new development and redevelopment shall not adversely impact environmentally sensitive areas and other significant natural systems as described and required within the Conservation and Aquifer Recharge Element and the Coastal Management Element of the Comprehensive Plan." Objective 9.3 of the Environmental & Sustainability (E&S) is to manage natural preserves to ensure a healthy, functioning environment, economy and quality of life. The EPC Wetlands Division noted that a resubmittal is not necessary and therefore, the request has been found consistent with the aforementioned policy direction.

The subject site is also in the Coastal High Hazard Area (CHHA). According to FLUE Policy 10.11, development proposals within the CHHA shall provide adequate data during the site plan review process to assess the impacts of the proposed development upon existing infrastructure within the Coastal High Hazard Area and level of service standards established for shelter capacity and clearance times.

The site is within the limits of the Town 'N Country and Northwest Area Community Plans. Section D of the Northwest Area Community Plan is to ensure social and economic vitality and sustainability by requiring a range of housing suitable for younger and older people in addition to housing for families in the neighborhood. The proposed multi-family residential development provides for a different housing option that would benefit the community. There are no policies in the Town 'N Country Community Plan that applies to this request.

Overall, staff finds that the proposed use is an allowable use in the OC-20 category, is compatible with the existing development pattern found within the surrounding area and does support the vision of the Northwest Area Community Plans. The Major Modification would allow for development that is consistent with the Goals, Objectives, and Policies of the *Unincorporated Hillsborough County Comprehensive Plan*.

Recommendation

Based upon the above considerations and the following Goals, Objectives and Policies, Planning Commission staff finds the proposed Major Modification **CONSISTENT** with the *Unincorporated Hillsborough County Comprehensive Plan*.

Staff Identified Goals, Objectives and Policies of the *Unincorporated Hillsborough County Comprehensive Plan* Related to the Request:

FUTURE LAND USE ELEMENT

Urban Service Area

Objective 1: Hillsborough County shall pro-actively direct new growth into the urban service area with the goal that at least 80% of all population growth will occur within the USA during the planning horizon of this Plan. Within the Urban Service Area, Hillsborough County will not impede agriculture. Building permit activity and other similar measures will be used to evaluate this objective.

Policy 1.4: Compatibility is defined as the characteristics of different uses or activities or design which allow them to be located near or adjacent to each other in harmony. Some elements affecting compatibility include the following: height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor and architecture. Compatibility does not mean "the same as." Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development.

Land Use Categories

Objective 8: The Future Land Use Map will include Land Use Categories which outline the maximum level of intensity or density and range of permitted land uses allowed and planned for an area. A table of the land use categories and description of each category can be found in Appendix A.

Policy 8.1: The character of each land use category is defined by building type, residential density, functional use, and the physical composition of the land. The integration of these factors sets the general atmosphere and character of each land use category. Each category has a range of potentially permissible uses which are not exhaustive, but are intended to be illustrative of the character of uses permitted within

the land use designation. Not all of those potential uses are routinely acceptable anywhere within that land use category.

Relationship to Land Development Regulations

Objective 9: All existing and future land development regulations shall be made consistent with the Comprehensive Plan, and all development approvals shall be consistent with those development regulations as per the timeframe provided for within Chapter 163, Florida Statutes. Whenever feasible and consistent with Comprehensive Plan policies, land development regulations shall be designed to provide flexible, alternative solutions to problems.

Policy 9.1: Each land use plan category shall have a set of zoning districts that may be permitted within that land use plan category, and development shall not be approved for zoning that is inconsistent with the plan.

Policy 9.2: Developments must meet or exceed the requirements of all land development regulations as established and adopted by Hillsborough County, the state of Florida and the federal government unless such requirements have been previously waived by those governmental bodies.

Neighborhood/Community Development

Objective 16: Neighborhood Protection – The neighborhood is the functional unit of community development. There is a need to protect existing, neighborhoods and communities and those that will emerge in the future. To preserve, protect, and enhance neighborhoods and communities, all new development must conform to the following policies.

Policy 16.2: Gradual transitions of intensities between different land uses shall be provided for as new development is proposed and approved, through the use of professional site planning, buffering, and screening techniques and control of specific land uses.

Policy 16.3: Development and redevelopment shall be integrated with the adjacent land uses through:

- a) the creation of like uses; or
- b) creation of complementary uses; or
- c) mitigation of adverse impacts; and
- d) transportation/pedestrian connections

Policy 16.5: Development of higher intensity non-residential land uses that are adjacent to established neighborhoods shall be restricted to collectors and arterials and to locations external to established and developing neighborhoods.

Policy 17.7: New development and redevelopment must mitigate the adverse noise, visual, odor and vibration impacts created by that development upon all adjacent land uses.

Community Design Component (CDC)

5.0 NEIGHBORHOOD LEVEL DESIGN

5.1 COMPATIBILITY

OBJECTIVE 12-1: *New developments should recognize the existing community and be designed in a way that is compatible with the established character of the surrounding neighborhood.*

Policy 12-1.4: *Compatibility may be achieved through the utilization of site design techniques including but not limited to transitions in uses, buffering, setbacks, open space and graduated height restrictions, to affect elements such as height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor and architecture.*

7.0 SITE DESIGN

7.1 DEVELOPMENT PATTERN

GOAL 17: *Develop commercial areas in a manner which enhances the County's character and ambiance.*

OBJECTIVE 17-1: *Facilitate patterns of site development that appear purposeful and organized.*

Policy 17-1.4: *Affect the design of new commercial structures to provide an organized and purposeful character for the whole commercial environment.*

LIVABLE COMMUNITIES ELEMENT: NORTHWEST AREA COMMUNITY PLAN

Strategies

To ensure the implementation of the Vision formulated by the residents of the Northwest community, the following strategies will guide future growth and development in the area. The proposed community plan boundary map will be amended to generally align with the Urban Service Area boundary.

Section D

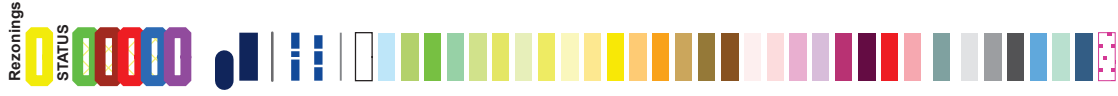
Social and economic vitality and sustainability has been ensured through:

- *Locating and designing civic infrastructure, buildings and services to support town centers and neighborhoods.*
- *Requiring a range of housing suitable for younger and older people in addition to housing for families in the neighborhood.*
- *Ensuring adequate infrastructure and balancing urban service systems through an equitable assignment of fiscal responsibility between private and public sectors.*
- *Encouraging economic development opportunities to balance employment opportunities with housing.*
- *Enable market forces to affect housing type and density without compromising the neighborhood structure*
- *Creating economic incentives for the construction of neighborhoods and town centers.*
- *Stabilizing property values by master planning at the neighborhood and community scale.*

HILLSBOROUGH COUNTY FUTURE LAND USE

RZ MM 24-0397

all other values

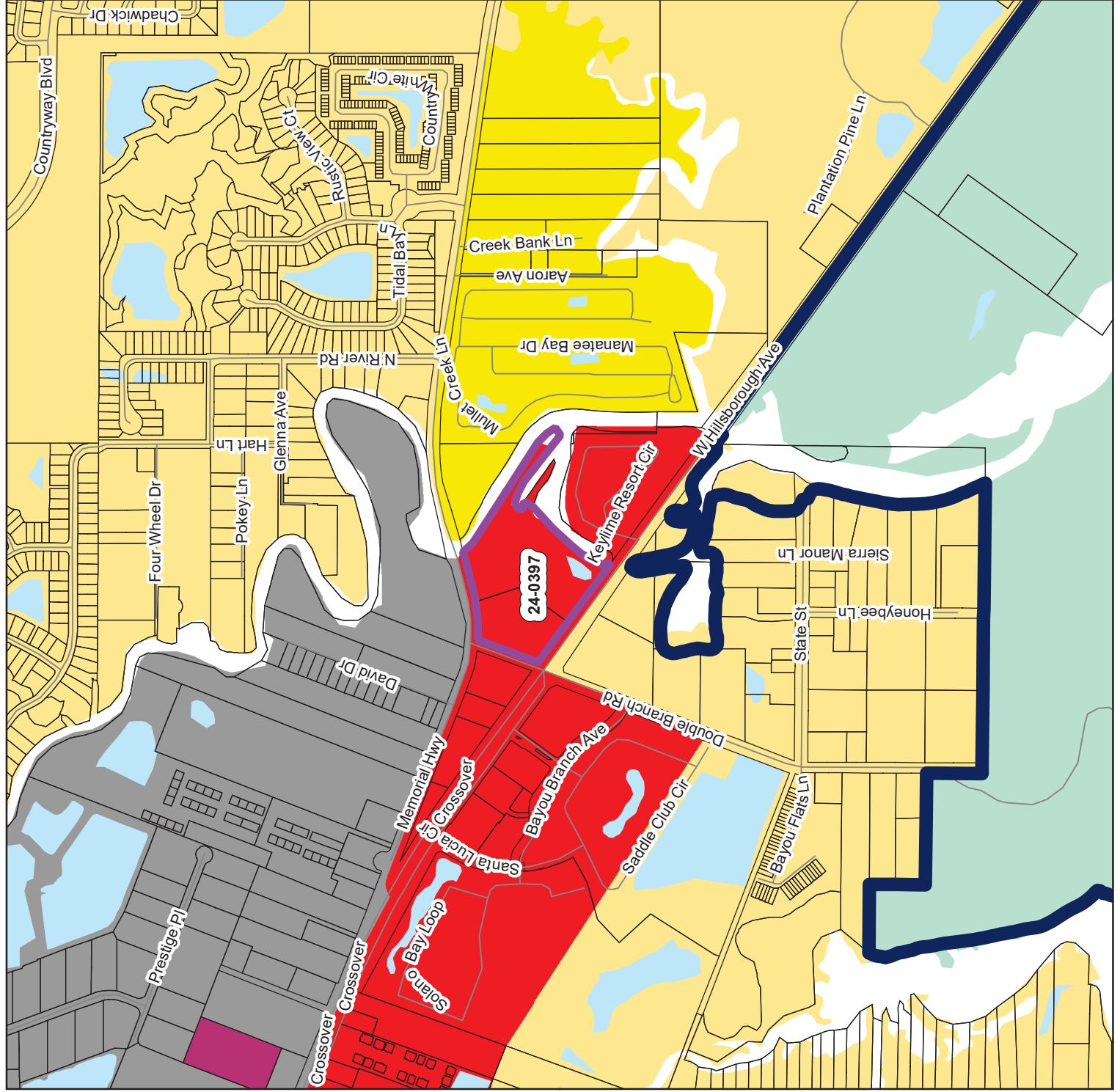


DATA SOURCES: Rezoning boundaries from the Planning Commission and are not official. Parcel lines and data from Hillsborough County Property Appraiser. The information on this map is for informational purposes only and is not intended to be used for any other purpose without specific approval of the Hillsborough County City/County Planning Commission.

ACCURACY: It is intended that the information on this map is accurate to the best of our knowledge and belief. However, such accuracy is not guaranteed by the Hillsborough County City/County Planning Commission. This map is for illustrative purposes only. For the most current data and information, visit the appropriate website.



Map Printed from Rezoning System: 2/21/2024
 Author: Beverly F. Daniels
 File: G:\Rezoning\System\MapProjects\HC\Gres_Ln\Rezoning - Copy.mxd





**GENERAL
SITE PLAN
FOR
CERTIFICATION**



DEVELOPMENT SERVICES

PO Box 1110, Tampa, FL 33601-1110
(813) 272-5600

**HILLSBOROUGH COUNTY
DEVELOPMENT SERVICES DEPARTMENT**

GENERAL SITE PLAN REVIEW/CERTIFICATION

**BOARD OF COUNTY
COMMISSIONERS**

Donna Cameron Cepeda
Harry Cohen
Ken Hagan
Pat Kemp
Christine Miller
Gwendolyn "Gwen" Myers
Joshua Wostal

COUNTY ADMINISTRATOR

Bonnie M. Wise

COUNTY ATTORNEY Christine
M. Beck

COUNTY INTERNAL AUDITOR

Peggy Caskey

DEPUTY COUNTY ADMINISTRATOR

Gregory S. Horwedel

Project Name: Double Branch Rd & Hillsborough Ave

Zoning File: RZ-PD (96-0340) Modification: MM (24-0397)

Atlas Page: None Submitted: 11/12/24

To Planner for Review: 11/12/24 Date Due: ASAP

Contact Person: T. Truett Gardner / Gardner Brewer Hudson Phone: 813-221-9600/landuse@gardnerbrewer.com

Right-Of-Way or Land Required for Dedication: Yes No

The Development Services Department HAS NO OBJECTION to this General Site Plan.

The Development Services Department RECOMMENDS DISAPPROVAL of this General Site Plan for the following reasons:

Reviewed by: Christopher Grandlienard Date: 11-12-24

Date Agent/Owner notified of Disapproval: _____

Development Site Plans

No.	REVISIONS	DATE

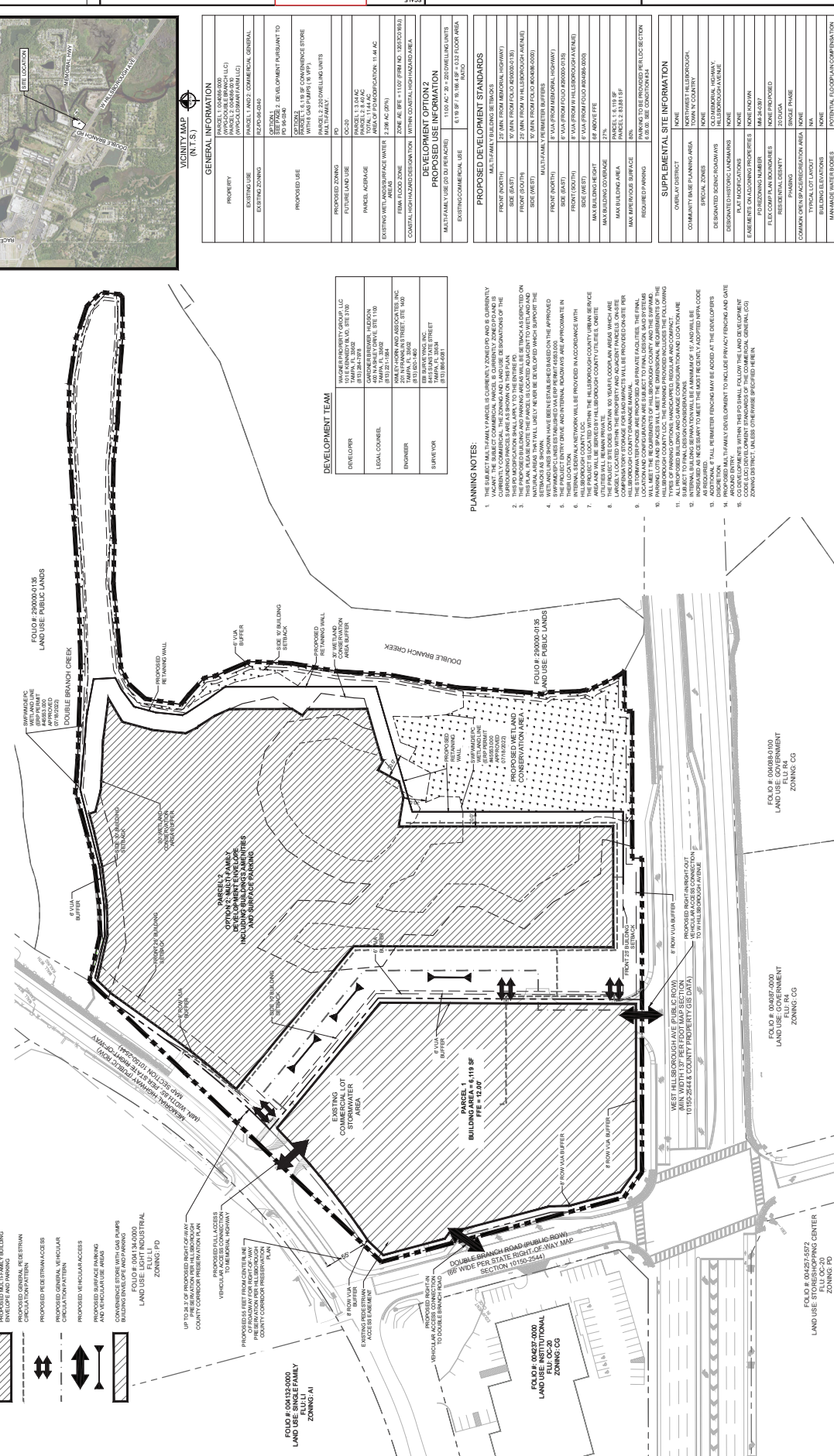
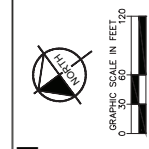
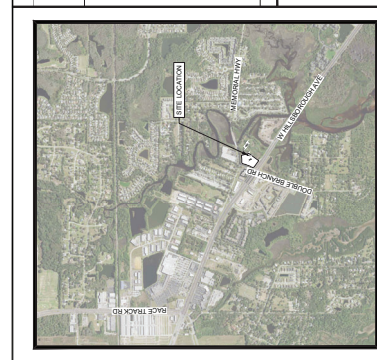
Kimley-Horn
 201 NORTH FRANKLIN AVENUE, SUITE 1000, TALLAHASSEE, FL 32302
 PHONE: 904-420-1440
 WWW.KIMLEY-HORN.COM REGISTRY NO. 35100

PLANNED DEVELOPMENT
 GENERAL DEVELOPMENT 2
 SITE PLAN OPTION 2

WPG MEMORIAL HWY
 HILLSBOROUGH COUNTY
 FLORIDA

PROJECT NO. 14775014
 SHEET NUMBER **Z100**

WPG MEMORIAL HIGHWAY PLANNED DEVELOPMENT GENERAL DEVELOPMENT SITE PLAN OPTION 2



DEVELOPMENT TEAM

DEVELOPER	WAGNER PROPERTY GROUP, LLC 1925 N. W. 10th St., Suite 1700 Fort Lauderdale, FL 33304
LEGAL COUNSEL	400 N. W. 10th St., Suite 1100 Fort Lauderdale, FL 33304
ENGINEER	3001 Parkwood Dr., Suite 200 Tallahassee, FL 32303
STATE VOT	500 S. W. 1st Street Tallahassee, FL 32303

GENERAL INFORMATION

PROPERTY	WAGNER PROPERTY GROUP, LLC (PHYSICAL AND SERVICE LLC) (PHYSICAL AND SERVICE LLC)
EXISTING ZONING	PANEL 1, AND 2: COMMERCIAL, GENERAL
PROPOSED ZONING	PDP-50-2
PROPOSED USE	DEVELOPMENT PERMIT TO CONSTRUCT 6, 8, 9P CONVENIENCE STORE WITH GAS PUMPS (9 VP)
PROPOSED ZONING	PD
FUTURE LAND USE	PD
PANEL AREA	11.42 AC
AREAS FOR FLOOD ZONING	AREA OF FLOOD PROTECTION: 11.44 AC
EXISTING SURFACE WATER	2.28 AC (20%)
EXISTING FLOOD ZONE	ZONE A: 8.11 AC (70%); ZONE X: 3.17 AC (28%)
GENERAL INFORMATION	WITHIN HILLSBOROUGH COUNTY

PROPOSED DEVELOPMENT STANDARDS

EXISTING COMMERCIAL USE	61,518 SF (6.78 AC) 252,000 SQUARING UNITS
MAXIMUM BUILDING HEIGHT	150 FT. (150 FT. 0 IN.)
MAXIMUM BUILDING AREA	3,500,000 SQUARING UNITS
MAXIMUM FLOOR AREA	1,500,000 SQUARING UNITS
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DEVELOPMENT OPTION 2

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SUPPLEMENTAL SITE INFORMATION

OVERLAPPING DISTRICT	NORTHWEST HILLSBOROUGH TOWN VILLAGE
COMMUNITY DEVELOPMENT PLAN	GENERAL DEVELOPMENT
SPECIAL ZONING	RESIDENTIAL
DESIGNATED DISTRICT	RESIDENTIAL
DESIGNATED DISTRICT	RESIDENTIAL
DESIGNATED DISTRICT	RESIDENTIAL
DESIGNATED DISTRICT	RESIDENTIAL
DESIGNATED DISTRICT	RESIDENTIAL
DESIGNATED DISTRICT	RESIDENTIAL
DESIGNATED DISTRICT	RESIDENTIAL
DESIGNATED DISTRICT	RESIDENTIAL
DESIGNATED DISTRICT	RESIDENTIAL

PLANNING NOTES:

- THE SUBJECT MULTI-FAMILY PARCELS CURRENTLY ZONED PD AND ARE CURRENTLY SUBJECT TO A DEVELOPMENT PERMIT TO CONSTRUCT 6, 8, 9P CONVENIENCE STORE WITH GAS PUMPS (9 VP) WITH A DEVELOPMENT PERMIT TO CONSTRUCT 6, 8, 9P CONVENIENCE STORE WITH GAS PUMPS (9 VP) WITH A DEVELOPMENT PERMIT TO CONSTRUCT 6, 8, 9P CONVENIENCE STORE WITH GAS PUMPS (9 VP).
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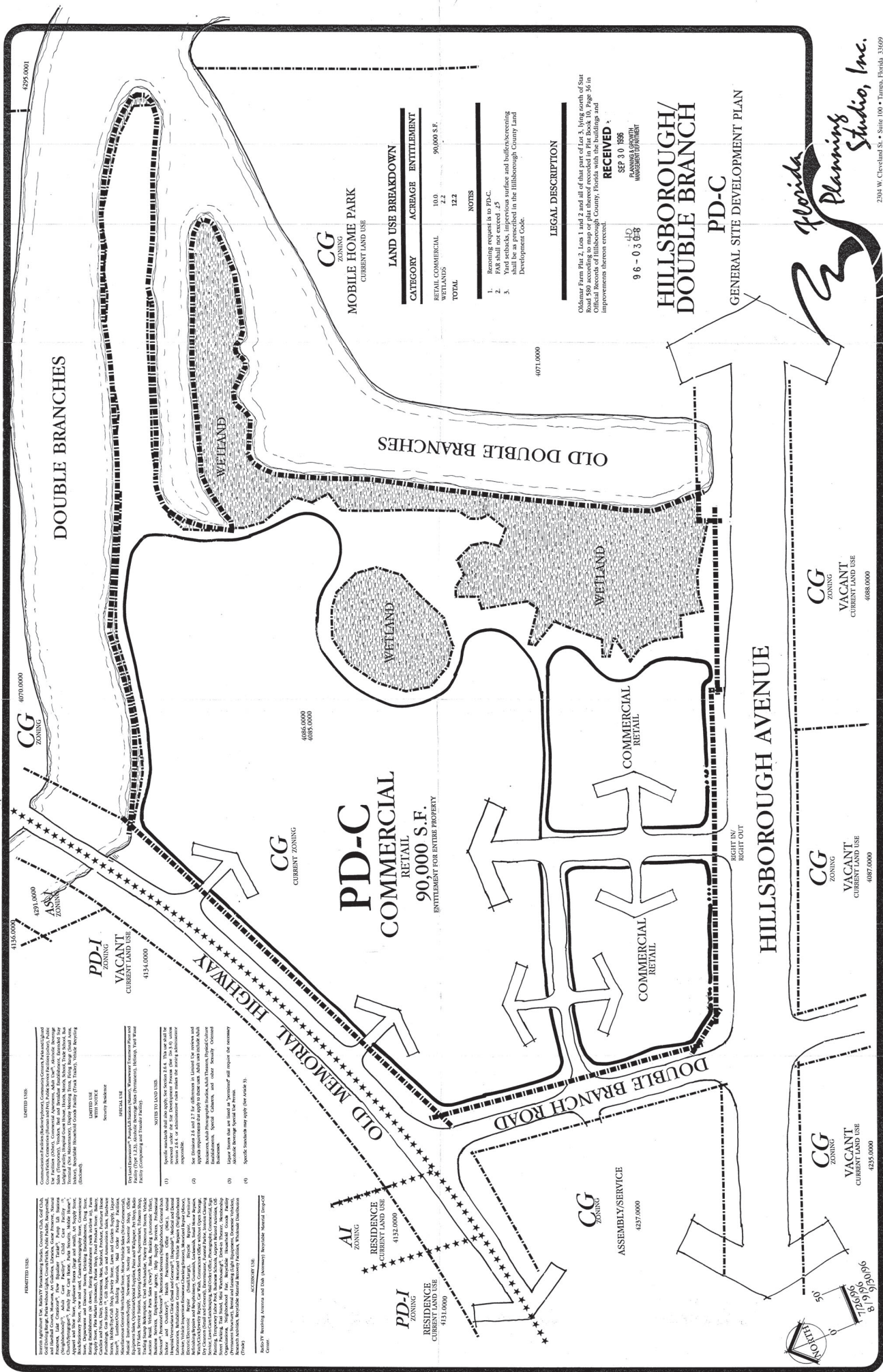
LEGAL DESCRIPTION

THE LEGAL DESCRIPTION OF THE SUBJECT PROPERTY IS AS SHOWN ON THE PLAT THE PROPERTY IS BEING SUBMITTED TO THE HILLSBOROUGH COUNTY BOARD OF COUNTY COMMISSIONERS FOR REVIEW AND APPROVAL TO BE USED AS PART OF A DEVELOPMENT PERMIT TO CONSTRUCT 6, 8, 9P CONVENIENCE STORE WITH GAS PUMPS (9 VP) WITH A DEVELOPMENT PERMIT TO CONSTRUCT 6, 8, 9P CONVENIENCE STORE WITH GAS PUMPS (9 VP) WITH A DEVELOPMENT PERMIT TO CONSTRUCT 6, 8, 9P CONVENIENCE STORE WITH GAS PUMPS (9 VP).

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LAND USE BREAKDOWN

CATEGORY	ACRAGE	ENTIREMENT
RETAIL COMMERCIAL	10.0	90,000 S.F.
WETLANDS	2.2	
TOTAL	12.2	

NOTES

1. Re-zoning request is to PD-C.
2. 70% shall not exceed 2.9 acres of surface and buffer screening shall be as prescribed in the Hillsborough County Land Development Code.
- 3.

LEGAL DESCRIPTION

Oldemar Farm Plat 2, Lots 1 and 2 and all of that part of Lot 4, lying north of Star Road 589 according to map or plat thereof recorded in Plat Book 10, Page 36 in Official Records of Hillsborough County, Florida with the buildings and improvements thereon erected.

RECEIVED

PLANNING DEPARTMENT
MANAGER'S OFFICE
SEP 30 1998
96-0387

**HILLSBOROUGH/
DOUBLE BRANCH
PD-C
GENERAL SITE DEVELOPMENT PLAN**

Florida
Planning
Studio, Inc.

2301 W. Clearwater Street, Suite 109, Clearwater, Florida, 34699
(813) 844-7400 • (813) 844-7402 FAX

96-0387-TC-SJM-142

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AGENCY COMMENTS

AGENCY REVIEW COMMENT SHEET

TO: Zoning Technician, Development Services Department

DATE: 10/05/2024

REVIEWER: James Ratliff, AICP, Principal Planner

AGENCY/DEPT: Transportation

PLANNING AREA/SECTOR: NWH/ Northwest

PETITION NO: MM 24-0397

- This agency has no comments.
- This agency has no objection.
- This agency has no objection, subject to listed or attached conditions.
- This agency objects, based on the listed or attached conditions.

NEW CONDITIONS OF APPROVAL

All existing conditions shall carry forward and apply only to PD Option 1. Conditions for PD Option 2 are presented below.

Option 2 Conditions

1. Notwithstanding anything herein these conditions or on the PD site plan to the contrary, bicycle and pedestrian access may be permitted anywhere along the project’s PD boundaries.
2. Option 2 development shall be served by (and limited to) the following project access connections:
 - a. One (1) right-in/right-out connection to Hillsborough Ave.;
 - b. One (1) right-in only connection to Double Branch Rd.; and,
 - c. One (1) full access connection to Memorial Hwy.

Access to Memorial Hwy. may be restricted to right-in/right-out only access in the future, at such time as a 4-lane divided roadway is constructed consistent with the Hillsborough County Corridor Preservation Plan, or as otherwise determined by the County to be required to due safety or operational considerations.

3. Construction access shall be limited to those locations shown on the PD site plan which are also proposed vehicular access connections (excluding any limited purpose or emergency only connections). The developer shall include a note in each site/construction plan submittal which indicates same.
4. Notwithstanding anything shown on the PD site plan or herein these conditions to the contrary, the developer shall provide any easements necessary due to construction of required sidewalks within the subject property. No sidewalks shall be permitted to run laterally within required buffers, and the site plan may be adjusted at the time of plat/site/construction plan review to the minimum extent necessary to effectuate this condition.
5. If MM 24-0397 is approved, the County Engineer will approve (with conditions) a Sec.

6.04.02.B. Administrative Variance (dated May 14, 2024) from the LDC Sec. 6.04.07 access spacing requirements for the project's Memorial Hwy. access, which has been found approvable by the County Engineer (on August 7, 2024). Approval of this Administrative Variance will permit a +/- 88-foot reduction of the minimum access spacing between the project's Memorial Hwy. access and the next closest roadway to the west, resulting in an access spacing of +/- 157 feet. The County Engineer will approve this variance on the condition that it shall only apply to development occurring under Option 2.

6. If MM 24-0397 is approved, the County Engineer will approve (with conditions) a Sec. 6.04.02.B. Administrative Variance (dated May 14, 2024) from the LDC Sec. 6.04.07 access spacing requirements for the project's Double Branch Rd. access, which has been found approvable by the County Engineer (on August 7, 2024). Approval of this Administrative Variance will permit a reduction of the minimum access spacing between the project's Double Branch Rd. access and the next closest roadways as follows:
 - a. A variance of +/- 7-feet from the closest roadway to the south, resulting in an access spacing of +/- 238 feet.; and,
 - b. A variance of +/- 87-feet from the closest roadway to the north, resulting in an access spacing of +/- 158 feet.

The County Engineer will approve this variance on the condition that it shall only apply to development occurring under Option 2.

7. If MM 24-0397 is approved, the County Engineer will approve (with conditions) a Design Exception request (dated May 14, 2024) which was found approvable by the County Engineer (on August 7, 2024) for the Memorial Hwy. substandard road improvements. As Memorial Hwy. is a substandard collector roadway, the developer will be required to make certain improvements to Memorial Hwy. consistent with the Design Exception. Specifically, prior to or concurrent with the initial increment of development, the developer shall widen memorial highway to include a consistent eastbound travel lane 11-feet wide, with a 4-foot-wide bicycle lane to match the Memorial Highway cross section east of the proposed project, and installation of a Type F curb and gutter along the south side of the improved area. The County Engineer will approve this variance on the condition that it shall only apply to development occurring under Option 2.
8. If MM 24-0397 is approved, the County Engineer will approve a Design Exception request (dated May 14, 2024) which was found approvable (with conditions and clarifications) by the County Engineer (on August 7, 2024) for the Double Branch Rd. substandard road improvements. As Double Branch Rd. is a substandard collector roadway, the developer will be required to make certain improvements to Double Branch Rd. consistent with the Design Exception. Specifically, prior to or concurrent with the initial increment of development, the developer shall modify the roadway section consistent with the Design Exception, to include installation of a 3-foot-wide raised concrete medial within a portion of the roadway as shown within the construction plans approved via PI 6213. The County Engineer will approve this variance on the condition that it shall only apply to development occurring under Option 2.

PROJECT SUMMARY AND TRIP GENERATION

The applicant is proposing a Major Modification (MM) to a previously approved Planned Development (PD) #96-340. The project consists of two parcels totaling +/- 11.44 ac. The zoning is presently approved for 90,000 s.f. of Commercial General (CG) uses and interim agricultural uses. The applicant is seeking to retain the existing entitlements as Development Option 1, and is proposing a new development option (Option 2), which will permit up to 6,119 s.f. of Convenience Store with Gas Pumps uses on an area designated Parcel 1 (with a maximum of 8 pumps and 16 vehicle fueling positions), and 220 multi-family dwelling units on Parcel 2.

Consistent with the Development Review Procedures Manual (DRPM), the applicant submitted a trip generation and site access analysis for the proposed development. Staff notes that the Option 2 proposal generates fewer trips than the existing approved Option 1 entitlements. As such, the project will have no affect on the maximum trip generation potential of the subject project. Staff has prepared a comparison of the number of trips generated by existing Option 1 and proposed Option 2 below, utilizing a generalized worst-case scenario. Data presented below is based on the 11th Edition of the Institute of Transportation Engineer’s Trip Generation Manual.

Existing Zoning (Option 1):

Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
80,000 s.f. Shopping Plaza (40-150k with Supermarket) (ITE Code 821)	7,560	282	733
10,000 s.f. Fast-food with Drive-Through (ITE Code 934)	4,674	447	331
Subtotal:	12,234	729	1,064

Proposed Zoning (Option 2):

Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
Parcel 1: +/- 6,119 s.f. Convenience Store with 16 VFPs (ITE Code 945)	7,854	560	484
Parcel 2: +/- 220 multi-family dwelling units (ITE Code 220)	1,486	91	116
Subtotal:	9,340	651	600

Trip Generation Difference (Between Options):

Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
Difference	(-) 2,894	(-) 78	(-) 464

Trip Generation Difference (Maximum Potential):

Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
Difference	No Change	No Change	No Change

TRANSPORTATION INFRASTRUCTURE SERVING THE SITE

Memorial Hwy. is a 2-lane, undivided, substandard, collector roadway characterized by +/- 10- to 12-foot-wide travel lanes in average condition. There are +/- 4-foot-wide bicycle facilities on Memorial Hwy. east of the project access, and reduced or no bicycle facilities along other portions of the project frontage. There are +/- 5-foot-wide sidewalks along portions both of Memorial Hwy. west of the proposed project.

Memorial Hwy. is shown on the Hillsborough County Corridor Preservation Plan as a future 4-lane roadway along the project’s frontage. The amount of right-of-way to be preserved is based upon the right-of-way needed to accommodate a Typical Section – 6 (TS-6) roadway as shown in the Hillsborough Conty Transportation Technical Manual (TTM), or 110 feet. As shown on the PD site plan, the developer will be required to preserve up to 55 feet of right-of-way from the right-of-way centerline.

Double Branch Rd. is a 2-lane, undivided, substandard, collector roadway characterized by +/- 12-foot-wide travel lanes in average condition. The roadway lies within a +/- 65-foot-wide right-of-way. There are no bicycle facilities along Double Branch Rd. There are +/- 5-foot-wide sidewalks along portions both of the west side of Double Branch Rd. south of Hillsborough Ave.

W. Hillsborough Ave. is a 6-lane, divided, principal arterial roadway owned and maintained by the Florida Department of Transportation (FDOT). The roadway is characterized by +/- 11-foot-wide travel lanes in above average condition. There are +/- 4-foot-wide bicycle facilities along both sides of the roadway. There are +/- 5- to 6-foot-wide sidewalks along both sides of the roadway in the vicinity of the proposed project.

SITE ACCESS CONSIDERATIONS

No changes are proposed to Option 1. The applicant is proposing three access connections to serve Option 2, consisting of one (1) full access connection to Memorial Hwy., one (1) right-in only connection to Double Branch Rd., and one (1) right-in/right-out connection to Hillsborough Ave. Certain aspects of the proposed site design on Double Branch Rd. (e.g. inbound only configuration with raised separator) have already been determined through the site construction plan review process, and staff notes that gas station on Parcel 1 was approved via PI 6213. Staff is uncertain whether construction activities have yet commenced on the proposed site.

The applicant’s transportation analysis indicates that a northbound right-turn lane into the proposed Double Branch Rd. access was warranted. There is an existing right-turn lane along a portion of the project’s frontage on W. Hillsborough Ave. FDOT reviewed but did not object to the request. No other site access improvements are anticipated to be warranted for Option 2 development.

Given that Option 1 was approved without specific required site access improvements (in accordance with policies and procedures in effect at the time), the need for site access and other improvements for any future development occurring under that option would be determined at the time of plat/site/construction plan, review with each increment of development.

DESIGN EXCEPTION #1 – MEMORIAL HWY. SUBSTANDARD ROAD (OPTION 2 ONLY)

As Memorial Hwy. is a substandard collector roadway, the applicant's Engineer of Record (EOR) submitted a Design Exception request (dated May 14, 2024) to determine the specific improvements which would be required by the County Engineer. Based on factors presented in the Design Exception request, the County Engineer found the request approvable with conditions (on August 7, 2024). The deviations from the Hillsborough County Transportation Technical Manual (TTM) TS-4 Typical Section (for 2-Lane, Urban Collector Roadways) include:

1. The developer shall be permitted to leave the northern half of the section in its existing configuration (i.e. variable 10 to 11-foot-wide travel lanes), unimproved shoulders, and non-conforming slopes), in lieu of the 11-foot-wide travel lanes, 7-foot-wide buffered bicycle lanes, and Type-F curb required pursuant to TS-4; and
2. The developer shall be permitted to utilize 4-foot-wide bicycle lanes and modify ditch slopes along the southern half of the section, in lieu of the 7-foot-wide buffered bicycle lane and 1:4 slopes required pursuant to TS-4.

As a part of the request, the developer is proposing to construct a consistent 11-foot-wide eastbound travel, 4-foot-wide bicycle lane, Type F curb and gutter along the south side of the roadway along the improvement area.

If MM 24-0397 is approved by the Board of County Commissioners, the County Engineer will approve (subject to conditions) the above referenced Design Exception request. The County Engineer's condition is that this Design Exception only applies to development occurring under PD Option 2.

DESIGN EXCEPTION #2 – DOUBLE BRANCH RD. SUBSTANDARD ROAD (OPTION 2 ONLY)/ RAISED CONCRETE SEPERATOR

As Double Branch Rd. is a substandard collector roadway, the applicant's Engineer of Record (EOR) submitted a Design Exception request (dated May 14, 2024) to determine the specific improvements which would be required by the County Engineer. Based on factors presented in the Design Exception request, the County Engineer found the request approvable with conditions (on August 7, 2024). The deviations from the Hillsborough County Transportation Technical Manual (TTM) TS-4 Typical Section (for 2-Lane, Urban Collector Roadways) include:

1. The developer shall be allowed to place a 6-foot-wide sidewalk along the back of the F-curb in lieu of the 5-foot-wide sidewalk separated from the travel lane by 14-feet as required per TS-4; and,
2. The developer shall be permitted not to construct sidewalks, in lieu of the 7-foot-wide buffered bicycle lanes required by TS-4.

As a part of the request, the developer is proposing to construct a 3-foot-wide raised concrete median along a portion of the roadway, as shown within the Design Exception and approved construction plans for PI 6213. This raised concrete median was previously required and approved as a part of the Design Exception granted during the site/construction plan review process for PI 6213 (i.e. the gas station within the PD, which is permitted under the existing zoning approval, and is currently under construction). Both the gas station and that access were permitted by the approved conditions and site plan for PD 96-340, and the raised separate was one of the specific geometric improvements necessary to ensure the safety of that access.

Staff has been in contact with nearby property owners who has an access which is being affected by installation of the raised concrete median. Specifically, the raised median has the affect of modifying the

access serving the property on the west side of Double Branch from a full access connection to a right-in/right-out connection. Staff discussed their concerns regarding emergency access, and explained the fact that that construction of median is already approved, and that should this project be withdrawn or denied, the raised median would remain. Staff explained that the raised median was required by the County Engineer due to safety considerations related to the spacing of access points on Double Branch Rd., traffic volumes on the roadway, and proximity/alignment issues with the non-conforming access across the street.

If MM 24-0397 is approved by the Board of County Commissioners, the County Engineer will approve (subject to conditions) the above referenced Design Exception request. The County Engineer's condition is that this Design Exception only applies to development occurring under PD Option 2.

ADMINISTRATIVE VARIANCE #1 – ACCESS SPACING – MEMORIAL HWY. (OPTION 2 ONLY)

The applicant's Engineer of Record (EOR) submitted a Section 6.04.02.B. Administrative Variance Request (dated May 14, 2024) from the Section 6.04.07 LDC requirement, governing access spacing. The Hillsborough County LDC requires a minimum connection spacing of 245 feet for a Class 5 roadway with a posted speed of 45 miles per hour or less. The applicant is seeking a variance of +/- 88 feet from the closest roadway to the west of the proposed full access connection (i.e. Double Branch Rd.). If approved, this would result in an access spacing of +/- 157 ft.

Based on factors presented in the Administrative Variance Request, the County Engineer found the request approvable subject to conditions (on August 7, 2024). If MM 24-0397 is approved by the Board of County Commissioners, the County Engineer will approve (subject to conditions) the above referenced Administrative Variance request. The County Engineer's condition is that this Administrative Variance only applies to development occurring under PD Option 2.

ADMINISTRATIVE VARIANCE #2 – ACCESS SPACING – DOUBLE BRANCH (OPTION 2 ONLY)

The applicant's Engineer of Record (EOR) submitted a Section 6.04.02.B. Administrative Variance Request (dated May 14, 2024) from the Section 6.04.07 LDC requirement, governing access spacing. The Hillsborough County LDC requires a minimum connection spacing of 245 feet for a Class 5 roadway with a posted speed of 45 miles per hour or less. The applicant is seeking the following variances relative to its proposed project access on Double Branch Rd.:

1. A variance of +/- 7 feet from the closest roadway to the south of the proposed right-in only access (i.e. Hillsborough Ave.). If approved, this would result in an access spacing of +/- 238 ft.; and,
2. A variance of +/- 87 feet from the closest roadway to the north of the proposed right-in only access (i.e. Memorial Hwy.). If approved, this would result in an access spacing of +/- 158 ft.

Based on factors presented in the Administrative Variance Request, the County Engineer found the request approvable subject to conditions (on August 7, 2024). If MM 24-0397 is approved by the Board of County Commissioners, the County Engineer will approve (subject to conditions) the above referenced Administrative Variance request. The County Engineer's condition is that this Administrative Variance only applies to development occurring under PD Option 2.

ROADWAY LEVEL OF SERVICE (LOS) INFORMATION

Level of Service (LOS) information for adjacent roadway sections is reported below.

Roadway	From	To	LOS Standard	Peak Hour Directional LOS
Memorial Hwy.	Hillsborough Ave.	Kelly Rd.	D	C
Hillsborough Ave.	Pinellas County	Double Branch Rd.	D	C
Hillsborough Ave.	Double Branch Rd.	Longboat Blvd.	D	C

Source: Hillsborough County 2020 Level of Service Report.

Ratliff, James

From: Williams, Michael
Sent: Wednesday, August 7, 2024 6:19 PM
To: Femal, Matt
Cc: Addie Clark; Sarah Liakos; Grandlienard, Christopher; Ratliff, James; Tirado, Sheida; De Leon, Eleonor; PW-CEIntake
Subject: FW: MM 24-0397 - Administrative Variances & Design Exceptions Review
Attachments: 24-0397 AVAd 06-18-24_1.pdf; 24-0397 AVAd 06-18-24_2.pdf; 24-0397 DEAd 06-18-24_1.pdf; 24-0397 DEAd 06-18-24_2.pdf

Matt – The attached Design Exceptions and Administrative Variances have been revised to Approved with Conditions to reflect that the approvability is only for Option 2 of the proposed zoning modification.

If you have any question, please let me know.

Mike

Michael J. Williams, P.E.
Director, Development Review
County Engineer
Development Services Department

P: (813) 307-1851
M: (813) 614-2190
E: Williamsm@HCFL.gov
W: HCFLGov.net

Hillsborough County
601 E. Kennedy Blvd., Tampa, FL 33602

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From: Williams, Michael
Sent: Thursday, July 25, 2024 9:41 AM
To: Femal, Matt <Matt.Femal@kimley-horn.com>
Cc: Addie Clark <aclark@gardnerbrewer.com>; Sarah Liakos <sliakos@wagspg.com>; Grandlienard, Christopher <GrandlienardC@hcfl.gov>; Ratliff, James <RatliffJa@hcfl.gov>; Tirado, Sheida <TiradoS@hcfl.gov>; PW-CEIntake <PW-CEIntake@hcfl.gov>; De Leon, Eleonor <DeLeonE@hcfl.gov>
Subject: FW: MM 24-0397 - Administrative Variances & Design Exceptions Review

Matt,
I have found the attached two Section 6.04.02.B. Administrative Variances (AV) and two Design Exceptions (DE) for PD 24-0397 APPROVABLE.

Please note that it is you (or your client's) responsibility to follow-up with my administrative assistant, Eleonor De Leon (DeLeonE@hcfl.gov or 813-307-1707) after the BOCC approves the PD zoning or PD zoning modification related to below request. This is to obtain a signed copy of the DE/AV.

If the BOCC denies the PD zoning or PD zoning modification request, staff will request that you withdraw the AV/DE. In such instance, notwithstanding the above finding of approvability, if you fail to withdraw the request, I will deny the AV/DE (since the finding was predicated on a specific development program and site configuration which was not approved).

Once I have signed the document, it is your responsibility to submit the signed AV/DE(s) together with your initial plat/site/construction plan submittal. If the project is already in preliminary review, then you must submit the signed document before the review will be allowed to progress. Staff will require resubmittal of all plat/site/construction plan submittals that do not include the appropriate signed AV/DE documentation.

Lastly, please note that it is critical to ensure you copy all related correspondence to PW-CEIntake@hcfl.gov

Mike

Michael J. Williams, P.E.

Director, Development Review

County Engineer

Development Services Department

P: (813) 307-1851

M: (813) 614-2190

E: Williamsm@HCFL.gov

W: HCFLGov.net

Hillsborough County

601 E. Kennedy Blvd., Tampa, FL 33602

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From: Tirado, Sheida <TiradoS@hcfl.gov>

Sent: Wednesday, July 24, 2024 1:18 PM

To: Williams, Michael <WilliamsM@hcfl.gov>

Cc: Ratliff, James <RatliffJa@hcfl.gov>; De Leon, Eleonor <DeLeonE@hcfl.gov>

Subject: MM 24-0397 - Administrative Variances & Design Exceptions Review

Hello Mike,

The Attached AV and DE are approvable to me, please include the following people in your response email:

aclark@gardnerbrewer.com

matt.femal@kimley-horn.com

sliakos@wagspg.com

grandlienardc@hcfl.gov

ratliffja@hcfl.gov

Best Regards,

Sheida L. Tirado, PE

Transportation Review Manager

Development Services Department

P: (813) 276-8364

E: tirados@hcfl.gov

W: HCFLGov.net

Hillsborough County

601 E. Kennedy Blvd., Tampa, FL 33602

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**Hillsborough
County Florida**
Development Services

Supplemental Information for Transportation Related Administrative Reviews

Instructions:

- This form must be provided separately for each request submitted (including different requests of the same type).
- This form must accompany all requests for applications types shown below. Staff will not log in or assign cases that are not accompanied by this form, or where the form is partially incomplete.
- A response is required in every field. Blank fields or non-responsive answers will result in your application being returned.
- All responses must be typed.
- Please contact Ingrid Padron at padroni@hcpaf.fl.gov or via telephone at (813) 307-1709 if you have questions about how to complete this form.

Request Type (check one)	<input checked="" type="checkbox"/> Section 6.04.02.B. Administrative Variance <input type="checkbox"/> Technical Manual Design Exception Request <input type="checkbox"/> Alternative Parking Plan Request (Reference LDC Sec. 6.05.02.G3.) <input type="checkbox"/> Request for Determination of Required Parking for Unlisted Uses (Reference LDC Sec. 6.05.02.G.1. and G.2.)
Submittal Type (check one)	<input type="checkbox"/> New Request <input type="checkbox"/> Revised Request <input checked="" type="checkbox"/> Additional Information
Submittal Number and Description/Running History (check one and complete text box using instructions provided below)	<input checked="" type="checkbox"/> 1. AV - Memorial Hwy Access Spacing <input type="checkbox"/> 4. <input type="checkbox"/> 2. <input type="checkbox"/> 5. <input type="checkbox"/> 3. <input type="checkbox"/> 6.
<p>Important: To help staff differentiate multiple requests (whether of the same or different type), please use the above fields to assign a unique submittal number/name to each separate request. Previous submittals relating to the same project/phase shall be listed using the name and number previously identified. It is critical that the applicant reference this unique name in the request letter and subsequent filings/correspondence. If the applicant is revising or submitting additional information related to a previously submitted request, then the applicant would check the number of the previous submittal.</p>	
Project Name/ Phase	MM 24-0397
<p>Important: The name selected must be used on all future communications and submittals of additional/revised information relating to this variance. If request is specific to a discrete phase, please also list that phase.</p>	
Folio Number(s)	Portion of 004086-0000; 004086-0010
<input type="checkbox"/> Check This Box If There Are More Than Five Folio Numbers	
<p>Important: List all folios related to the project, up to a maximum of five. If there are additional folios, check the box to indicate such. Folio numbers must be provided in the format provided by the Hillsborough County Property Appraiser's website (i.e. 6 numbers, followed by a hyphen, followed by 4 additional numbers, e.g. "012345-6789"). Multiple records should be separated by a semicolon and a space e.g. "012345-6789; 054321-9876").</p>	
Name of Person Submitting Request	Matthew R. Femal, P.E. (FL PE License 68397)
<p>Important: For Design Exception (DE) Requests, the person submitting must be a Professional Engineer (PE) licensed within the state of Florida. The DE request letter must be signed and sealed.</p>	
Current Property Zoning Designation	PD (RZ-PD-96-0340)
<p>Important: For Example, type "Residential Multi-Family Conventional – 9" or "RMC-9". This is not the same as the property's Future Land Use (FLU) Designation. Typing "N/A" or "Unknown" will result in your application being returned. This information may be obtained via the Official Hillsborough County Zoning Atlas, which is available at https://maps.hillsboroughcounty.org/maphillsborough/maphillsborough.html. For additional assistance, please contact the Zoning Counselors at the Center for Development Services at (813) 272-5600 Option 3.</p>	
Pending Zoning Application Number	MM 24-0397
<p>Important: If a rezoning application is pending, enter the application number preceded by the case type prefix, otherwise type "N/A" or "Not Applicable". Use PD for PD rezoning applications, MM for major modifications, PRS for minor modifications/personal appearances.</p>	
Related Project Identification Number (Site/Subdivision Application Number)	N/A
<p>Important: This 4-digit code is assigned by the Center for Development Services Intake Team for all Certified Parcel, Site Construction, Subdivision Construction, and Preliminary/Final Plat applications. If no project number exists, please type "N/A" or "Not Applicable".</p>	



May 14, 2024

Mr. Michael J. Williams, P.E.
Development Review Director / County Engineer
Hillsborough County Development Services Department
601 E Kennedy Boulevard, 20th Floor
Tampa, FL 33602

RE: *WPG Memorial Highway Planned Development*
App No: MM 24-0397
Folios: 004086-0010, 004086-0000
Administrative Variance Request
Memorial Hwy (Class 5 Roadway Access Spacing)

Mr. Williams:

The purpose of this letter is to request an Administrative Variance per LDC Section 6.04.02.B to meet the requirements of LDC Sec. 6.04.07 - Minimum Access Spacing for a Class 5 Roadway according to the Hillsborough County Land Development Code, which requires 245 feet of spacing between access connections along Memorial Hwy.

The Major Modification request is to include residential multi-family as an allowable use for the development of up to 220 dwelling units. Currently, 6,119 S.F. Convenience Store with Gas Pumps is being constructed on the NE corner of the intersection of W Hillsborough Ave & Double Branch Road (PI 6213). Therefore, the Major Modification request is to include Option 2 as an additional potential development option:

Option 1

Parcel 1 and Parcel 2: Retain entitlements permitted via PD 96-0340: up to 90,000 square feet of Commercial General (CG)

Option 2

Parcel 1: 6,119 square feet of convenience store with gas pumps (8 gas pumps, 16 vehicle fueling positions)
Parcel 2: 220 multi-family dwelling units

Access is proposed to be provided a right-in, right-out access to W. Hillsborough Avenue, right-in on Double Branch Road, and full access on Memorial Highway.

The following request was previously approved as part of the Site and Subdivision application for the gas station (PI 6213). The request has been updated to reference the proposed residential addition as part of development Option 2, however, it is important to note that the request as part of PI 6213 was made in consideration of the cumulative gas station and future development traffic generation. The Access Management Analysis dated August 25, 2022 for PI 6213 evaluated the 6,119 SF convenience store with 16 vehicle fueling positions in addition to fast-food restaurant with drive-through use, resulting in a total of 894 total AM peak-hour trips and 731 total PM peak-hour trips.

As shown in Exhibit A, Option 2 has been evaluated in the updated Transportation Analysis dated March 28, 2024 and is proposed to generate fewer daily, AM peak-hour, and PM peak-hour trips compared to the development scenario previously analyzed for the design considerations of PI 6213. Therefore, Option 2 is

not anticipated to require any capacity-related improvements or turn lane modifications beyond what is already required and planned, as shown on the General Development Plan.

The request is to allow a full-access driveway at a distance of 157.5' from Double Branch Road. The existing road network along with physical impediment of Double Branch Creek to the east limits the frontage available for site access.

LDC Section 6.04.02.B.3-Criteria:

LDC Section 6.04.07 – Minimum Access Spacing

The Applicant requests a variance from LDC Sec. 6.04.07 - Minimum Access Spacing. The usable roadway frontage of Memorial Hwy is measured at 376', creating a hardship as the required 245' in either direction cannot be met. A full access driveway at a distance of 157.5' from Double Branch Rd is proposed to align opposite the existing driveway to the north, which is the ideal location. Please note the access spacing request justification per LDC Sec. 6.04.02.B.3 as follows:

a) There is an unreasonable burden on the applicant.

Justification: The ideal driveway location, along with the physical geometrical constraints of the site, do not allow for County spacing standards to be met along Memorial Hwy.

b) The variance would not be detrimental to public health, safety, and welfare.

Justification: As proposed, the spacing reduction to facilitate ingress on Memorial Hwy from the northeast and west, as well as egress to all directions will allow for controlled and organized traffic flow. There will be substantial decreased detriment to the public health, safety and welfare if approved.

c) Without the variance, reasonable access cannot be provided.

Justification: The access driveway design presented under this variance is the most reasonable location based on safety, the surrounding developments, site conditions and physical limitations. Without the variance for the full access driveway, reasonable and safe access to the site cannot be provided.

Please refer to the attached Exhibit B access spacing exhibit detailing the proposed spacing measurements to the adjacent intersection and bridge crossing.



Should you have any questions regarding any of the comments addressed above, please do not hesitate to contact me at 813-635-5526 or Matt.Femal@kimley-horn.com.

Sincerely,

Matt Femal, P.E.
Project Manager

**Matthew R
Femal**

Digitally signed by Matthew R
Femal
DN: cn=Matthew R Femal, c=US,
o=Florida,
email=matt.femal@kimley-horn.com
Date: 2024.06.17 11:57:49 -04'00'

Matthew R. Femal, State of Florida, Professional Engineer, License No. 68397; This item has been digitally signed and sealed by Matthew R. Femal on the date indicated here. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Based on the information provided by the applicant, this request is:

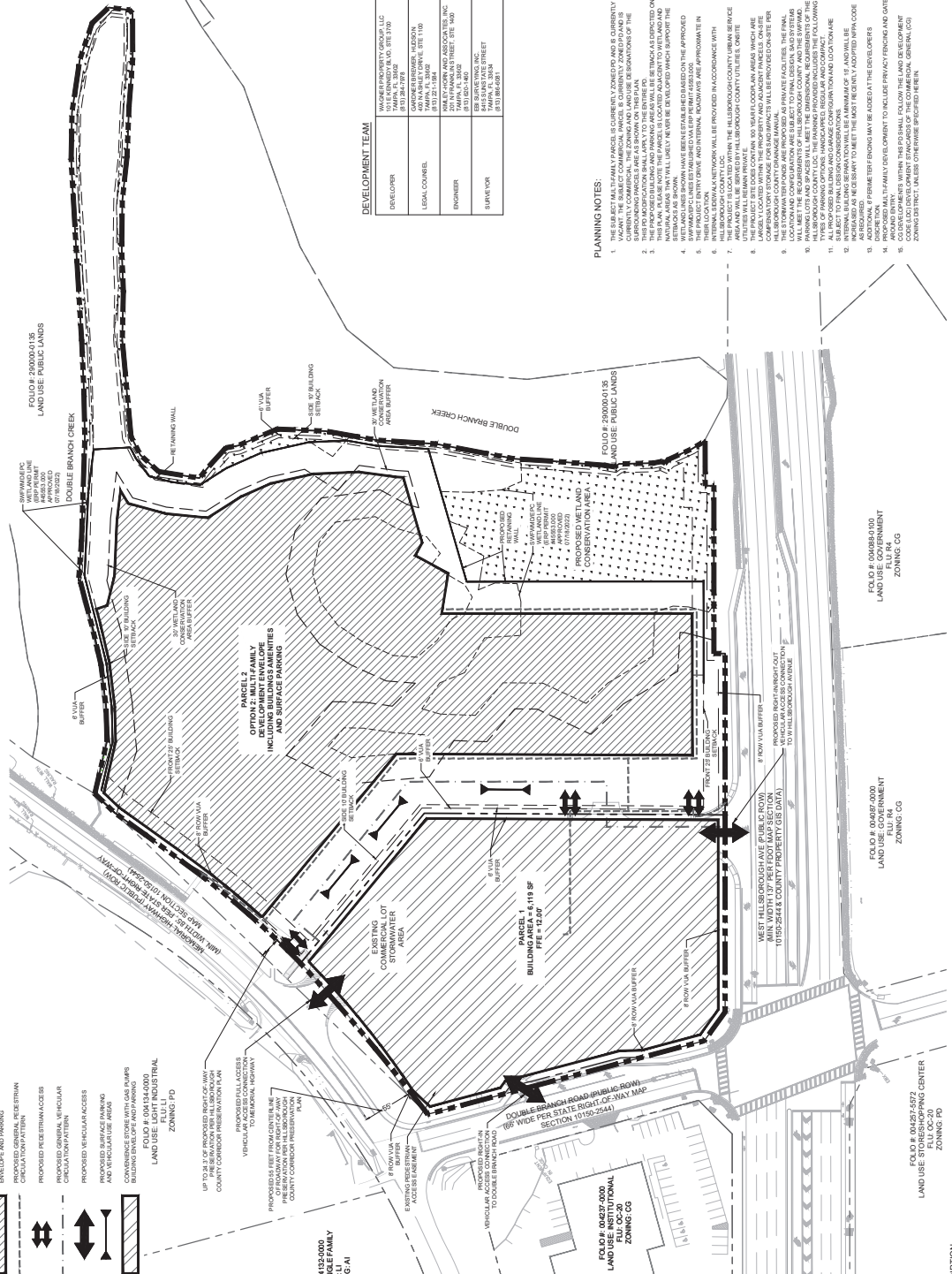
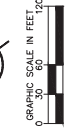
- Approved with Conditions
- Approved
- Disapproved

Michael J. Williams
Hillsborough County Engineer on _____

Notice: Consistent with Section 6.04.02B.8 of the LDC, the result of this variance application may be appealed, as further described in Section 10.05.01 of the LDC, to the Land Use Hearing Officer within 30 calendar days of the date above action.

WPG MEMORIAL HIGHWAY PLANNED DEVELOPMENT GENERAL DEVELOPMENT SITE PLAN OPTION 2

WPG MEMORIAL HWY PLANNED DEVELOPMENT GENERAL DEVELOPMENT SITE PLAN OPTION 2



- LEGEND: PROPERTY BOUNDARY, PO BOUNDARY, PROPOSED MULTIFAMILY BUILDING, PROPOSED GENERAL SIDEWALK, CIRCULATION PATTERN, etc.

GENERAL INFORMATION table with columns for PROPERTY, EXISTING ZONING, PROPOSED ZONING, etc.

PROPOSED DEVELOPMENT STANDARDS table with columns for FRONT (FOOT), SIDE (EAST), REAR (WEST), etc.

DEVELOPMENT TEAM table listing DEVELOPER, LEGAL COUNSEL, ENGINEER, and SURVEYOR.

DEVELOPMENT OPTION 2 table with columns for EXISTING COMMERCIAL USE, PROPOSED DEVELOPMENT, etc.

SUPPLEMENTAL SITE INFORMATION table with columns for COMMUNITY DISTRICT, COUNTY, SPECIAL ZONING, etc.

PLANNING NOTES: 1. THE SUBJECT COMMERCIAL PARCEL IS CURRENTLY ZONED AND IN COMPLIANCE WITH THE SUBJECT COMMERCIAL ZONING AND LAND USE REGULATIONS OF THE COUNTY...

LEGAL DESCRIPTION: FOLIO # 004152-0000 LAND USE: MULTIFAMILY ZONING: AI...

LEGAL DESCRIPTION: FOLIO # 004157-0000 LAND USE: COMMERCIAL ZONING: CG...

LEGAL DESCRIPTION: FOLIO # 004297-5072 LAND USE: COMMERCIAL ZONING: PD...

LEGAL DESCRIPTION: FOLIO # 004297-5072 LAND USE: COMMERCIAL ZONING: PD...

LEGAL DESCRIPTION: FOLIO # 004297-5072 LAND USE: COMMERCIAL ZONING: PD...

LEGAL DESCRIPTION: FOLIO # 004297-5072 LAND USE: COMMERCIAL ZONING: PD...

Project information including client name (Kimley-Horn), project title, sheet number (Z1), and date (June 18, 2024).

Legal description and notes section containing detailed parcel information and planning notes.

Florida
Planning
Studio, Inc.

2304 W. Colonial Blvd., Suite 109, Tampa, Florida, 33609
(813) 854-7400 • (813) 254-7625 FAX

**WPG MEMORIAL HWY
PLANNED DEVELOPMENT
GENERAL DEVELOPMENT
SITE PLAN OPTION 1**
MM 24-0397
SHEET Z200

**CG ZONING
MOBILE HOME PARK
CURRENT LAND USE**

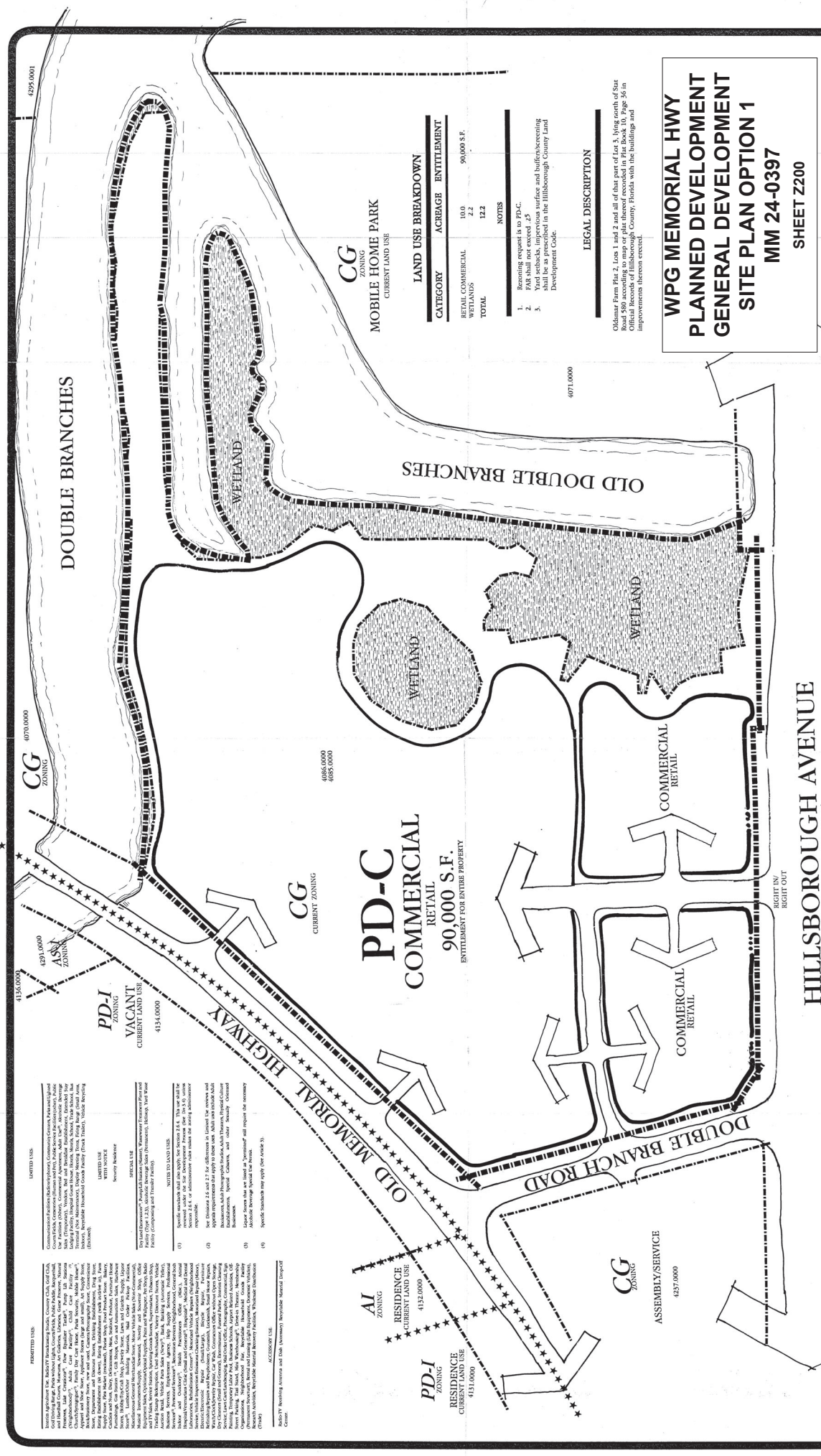
LAND USE BREAKDOWN		
CATEGORY	ACRAGE	ENTIREMENT
RETAIL COMMERCIAL	10.0	90,000 S.F.
WETLANDS	2.2	
TOTAL	12.2	

NOTES

1. Rezonning request is to PD-C.
2. 70% shall not exceed 2.5' surface and buffer screening shall be as prescribed in the Hillsborough County Land Development Code.
- 3.

LEGAL DESCRIPTION

Oldemar Farm Plat 2, Lots 1 and 2 and all of that part of Lot 4, lying north of Star Road 589 according to map or plat thereof recorded in Plat Book 10, Page 36 in Official Records of Hillsborough County, Florida with the buildings and improvements thereon erected.



PERMITTED USES

AI ZONING RESIDENCE CURRENT LAND USE 4132.0000

PD-I ZONING VACANT CURRENT LAND USE 4134.0000

CG ZONING VACANT CURRENT LAND USE 4087.0000

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EXHIBIT A
Trip Generation Comparison

3. PROJECT TRIP CHARACTERISTICS **SITE ACCESS EVALUATION REPORT**
August 25, 2022

Trip Generation

The AM, PM and daily trip generation estimates were based on the trip rates contained in the 11th Edition of the Institute of Transportation of Engineers (ITE) Trip Generation Manual. Tables 1, 2, and 3 below contain the detailed trip generation calculations for the AM, PM and daily, time periods.

TABLE 1 - DAILY TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	In	2-Way	In	Out
PHASE 1										
Convenience Store/ Gas Station	945	SQUARE FEET	1,283.38	6,119	7,853	5,104	2,552	2,749	1,374	1,374
PHASE 2										
Fast Food Restaurant w/ DT	934	SQUARE FEET	467.48	3,500	1,636	736	368	900	450	450
Fast Food Restaurant w/ DT	934	SQUARE FEET	467.48	4,000	1,870	841	421	1,028	514	514
Phase 2 Sub Total:					7,500	3,506	1,578	789	1,928	964
Total:					13,619	11,359	6,682	3,341	4,677	2,338

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 2 - AM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	In	2-Way	In	Out
PHASE 1										
Convenience Store/ Gas Station	945	SQUARE FEET	91.35	6,119	559	363	182	196	98	98
PHASE 2										
Fast Food Restaurant w/ DT	934	SQUARE FEET	44.61	3,500	156	70	36	86	44	42
Fast Food Restaurant w/ DT	934	SQUARE FEET	44.61	4,000	178	80	41	98	50	48
Phase 2 Sub Total:					7,500	335	151	77	184	94
Total:					13,619	894	514	258	380	192

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 3 - PM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	In	2-Way	In	Out
PHASE 1										
Convenience Store/ Gas Station	945	SQUARE FEET	78.95	6,119	483	314	157	169	85	85
PHASE 2										
Fast Food Restaurant w/ DT	934	SQUARE FEET	33.03	3,500	116	52	27	64	33	31
Fast Food Restaurant w/ DT	934	SQUARE FEET	33.03	4,000	132	59	31	73	38	35
Phase 2 Sub Total:					7,500	248	111	58	136	71
Total:					13,619	731	425	215	305	155

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

PD REZONE TRANSPORTATION ANALYSIS
dated 3-28-24

4. TRIP GENERATION SUMMARY

The trip generation estimates for this PD development were based on the trip rates contained in the 11th Edition of the Institute of Transportation of Engineers (ITE) Trip Generation Manual. Tables 1, 2 and 3 below contain the trip generation calculations associated with the PD Development.

TABLE 1 - DAILY TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	In	2-Way	In	Out
PARCEL 1										
Convenience Store/ Gas Station	945	SQUARE FEET	1,283.38	6,119	7,853	5,104	2,552	2,749	1,374	1,374
PARCEL 2										
Multifamily Housing (Low-Rise)	220	UNITS	T=6.41(X)+75.31	220	1,466	0	0	1,466	743	743
Total:					n/a	9,339	5,104	2,552	4,235	2,117

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 2 - AM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	In	2-Way	In	Out
PARCEL 1										
Convenience Store/ Gas Station	945	SQUARE FEET	91.35	6,119	559	363	182	196	98	98
PARCEL 2										
Multifamily Housing (Low-Rise)	220	UNITS	T=0.31(X)+22.85	220	91	0	0	91	22	69
Total:					n/a	650	363	182	287	167

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 3 - PM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	In	2-Way	In	Out
PARCEL 1										
Convenience Store/ Gas Station	945	SQUARE FEET	78.95	6,119	483	314	157	169	85	85
PARCEL 2										
Multifamily Housing (Low-Rise)	220	UNITS	T=0.43(X)+20.55	220	115	0	0	115	72	43
Total:					n/a	598	314	157	284	127

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

EXHIBIT B

Access Spacing Exhibit



**Hillsborough
County Florida**
Development Services

Supplemental Information for Transportation Related Administrative Reviews

Instructions:

- This form must be provided separately for each request submitted (including different requests of the same type).
- This form must accompany all requests for applications types shown below. Staff will not log in or assign cases that are not accompanied by this form, or where the form is partially incomplete.
- A response is required in every field. Blank fields or non-responsive answers will result in your application being returned.
- All responses must be typed.
- Please contact Ingrid Padron at padroni@hcpaf.fl.gov or via telephone at (813) 307-1709 if you have questions about how to complete this form.

Request Type (check one)	<input checked="" type="checkbox"/> Section 6.04.02.B. Administrative Variance <input type="checkbox"/> Technical Manual Design Exception Request <input type="checkbox"/> Alternative Parking Plan Request (Reference LDC Sec. 6.05.02.G3.) <input type="checkbox"/> Request for Determination of Required Parking for Unlisted Uses (Reference LDC Sec. 6.05.02.G.1. and G.2.)
Submittal Type (check one)	<input type="checkbox"/> New Request <input type="checkbox"/> Revised Request <input checked="" type="checkbox"/> Additional Information
Submittal Number and Description/Running History (check one and complete text box using instructions provided below)	<input checked="" type="checkbox"/> 1. AV - Double Branch Rd Access Spacing <input type="checkbox"/> 4. <input type="checkbox"/> 2. <input type="checkbox"/> 5. <input type="checkbox"/> 3. <input type="checkbox"/> 6.
<p>Important: To help staff differentiate multiple requests (whether of the same or different type), please use the above fields to assign a unique submittal number/name to each separate request. Previous submittals relating to the same project/phase shall be listed using the name and number previously identified. It is critical that the applicant reference this unique name in the request letter and subsequent filings/correspondence. If the applicant is revising or submitting additional information related to a previously submitted request, then the applicant would check the number of the previous submittal.</p>	
Project Name/ Phase	MM 24-0397
<p>Important: The name selected must be used on all future communications and submittals of additional/revised information relating to this variance. If request is specific to a discrete phase, please also list that phase.</p>	
Folio Number(s)	Portion of 004086-0000; 004086-0010
<input type="checkbox"/> Check This Box If There Are More Than Five Folio Numbers	
<p>Important: List all folios related to the project, up to a maximum of five. If there are additional folios, check the box to indicate such. Folio numbers must be provided in the format provided by the Hillsborough County Property Appraiser's website (i.e. 6 numbers, followed by a hyphen, followed by 4 additional numbers, e.g. "012345-6789"). Multiple records should be separated by a semicolon and a space e.g. "012345-6789; 054321-9876").</p>	
Name of Person Submitting Request	Matthew R. Femal, P.E. (FL PE License 68397)
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Current Property Zoning Designation	PD (RZ-PD-96-0340)
<p>Important: For Example, type "Residential Multi-Family Conventional – 9" or "RMC-9". This is not the same as the property's Future Land Use (FLU) Designation. Typing "N/A" or "Unknown" will result in your application being returned. This information may be obtained via the Official Hillsborough County Zoning Atlas, which is available at https://maps.hillsboroughcounty.org/maphillsborough/maphillsborough.html. For additional assistance, please contact the Zoning Counselors at the Center for Development Services at (813) 272-5600 Option 3.</p>	
Pending Zoning Application Number	MM 24-0397
<p>Important: If a rezoning application is pending, enter the application number preceded by the case type prefix, otherwise type "N/A" or "Not Applicable". Use PD for PD rezoning applications, MM for major modifications, PRS for minor modifications/personal appearances.</p>	
Related Project Identification Number (Site/Subdivision Application Number)	N/A
<p>Important: This 4-digit code is assigned by the Center for Development Services Intake Team for all Certified Parcel, Site Construction, Subdivision Construction, and Preliminary/Final Plat applications. If no project number exists, please type "N/A" or "Not Applicable".</p>	



May 14, 2024

Mr. Michael J. Williams, P.E.
Development Review Director / County Engineer
Hillsborough County Development Services Department
601 E Kennedy Boulevard, 20th Floor
Tampa, FL 33602

RE: *WPG Memorial Highway Planned Development*
App No: MM 24-0397
Folios: 004086-0010, 004086-0000
Administrative Variance Request
Double Branch Road (Class 5 Roadway Access Spacing)

Mr. Williams:

The purpose of this letter is to request an Administrative Variance per LDC Section 6.04.02.B to meet the requirements of LDC Sec. 6.04.07 - Minimum Access Spacing for a Class 5 Roadway according to the Hillsborough County Land Development Code, which requires 245 feet of spacing between access connections along Double Branch Road.

The Major Modification request is to include residential multi-family as an allowable use for the development of up to 220 dwelling units. Currently, 6,119 S.F. Convenience Store with Gas Pumps is being constructed on the NE corner of the intersection of W Hillsborough Ave & Double Branch Road (PI 6213). Therefore, the Major Modification request is to include Option 2 as an additional potential development option:

Option 1

Parcel 1 and Parcel 2: Retain entitlements permitted via PD 96-0340: up to 90,000 square feet of Commercial General (CG)

Option 2

Parcel 1: 6,119 square feet of convenience store with gas pumps (8 gas pumps, 16 vehicle fueling positions)

Parcel 2: 220 multi-family dwelling units

Access is proposed to be provided a right-in, right-out access to W. Hillsborough Avenue, right-in on Double Branch Road, and full access on Memorial Highway.

The following request was previously approved as part of the Site and Subdivision application for the gas station (PI 6213). The request has been updated to reference the proposed residential addition as part of development Option 2, however, it is important to note that the request as part of PI 6213 was made in consideration of the cumulative gas station and future development traffic generation. The Access Management Analysis dated August 25, 2022 for PI 6213 evaluated the 6,119 SF convenience store with 16 vehicle fueling positions in addition to fast-food restaurant with drive-through use, resulting in a total of 894 total AM peak-hour trips and 731 total PM peak-hour trips.

As shown in Exhibit A, Option 2 has been evaluated in the updated Transportation Analysis dated March 28, 2024 and is proposed to generate fewer daily, AM peak-hour, and PM peak-hour trips compared to the development scenario previously analyzed for the design considerations of PI 6213. Therefore, Option 2 is

not anticipated to require any capacity-related improvements or turn lane modifications beyond what is already required and planned, as shown on the General Development Plan.

The request is to allow a right-in access at a distance of 238.5' from Hillsborough Avenue. The existing road network along with physical impediment of Double Branch Creek to the east limits the frontage available for site access.

LDC Section 6.04.02.B.3-Criteria:

LDC Section 6.04.07 – Minimum Access Spacing

The Applicant requests a variance from LDC Sec. 6.04.07 - Minimum Access Spacing. The existing property boundary/available frontage of Double Branch Rd is measured at 331', creating a hardship as the required 245' in either direction cannot be met. A restricted right-in-only driveway at a distance of 238.5' from Hillsborough Ave with a deceleration lane is proposed in the ideal location between the two intersections. Please note the access spacing request justification per LDC Sec. 6.04.02.B.3 as follows:

a) There is an unreasonable burden on the applicant.

Justification: Given the physical geometrical constraints of the site, the limited roadway frontage on Double Branch Rd does not allow County spacing standards to be met.

b) The variance would not be detrimental to public health, safety, and welfare.

Justification: As proposed, the spacing reduction to facilitate access on Double Branch Rd will enhance the safety of traffic movements entering the site from the west and south by providing a controlled and organized path of entry with minimum disruption to traffic flow. There will be decreased detriment to the public health, safety and welfare if approved.

c) Without the variance, reasonable access cannot be provided.

Justification: The access driveway design presented under this variance is the most reasonable location based on site conditions and physical limitations. Without the variance for the right-in-only driveway, reasonable and safe access to the site cannot be provided.

Please refer to the attached Exhibit B access spacing exhibit detailing the proposed spacing measurements to the adjacent intersection and bridge crossing.



Should you have any questions regarding any of the comments addressed above, please do not hesitate to contact me at 813-635-5526 or Matt.Femal@kimley-horn.com.

Sincerely,

Matt Femal, P.E.
Project Manager

**Matthew R
Femal**

Digitally signed by Matthew R Femal
DN: cn=Matthew R Femal, c=US, o=Florida, email=matt.femal@kimley-horn.com
Date: 2024.06.17 12:01:05 -04'00'

Matthew R. Femal, State of Florida, Professional Engineer, License No. 68397; This item has been digitally signed and sealed by Matthew R. Femal on the date indicated here. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Based on the information provided by the applicant, this request is:

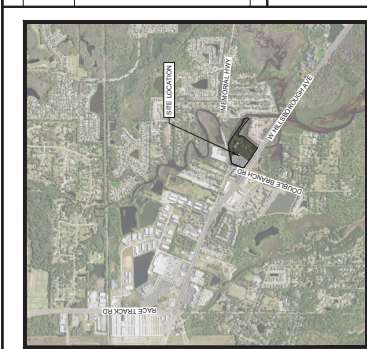
- Approved with Conditions
- Approved
- Disapproved

Michael J. Williams
Hillsborough County Engineer on _____

Notice: Consistent with Section 6.04.02B.8 of the LDC, the result of this variance application may be appealed, as further described in Section 10.05.01 of the LDC, to the Land Use Hearing Officer within 30 calendar days of the date above action.

WPG MEMORIAL HIGHWAY PLANNED DEVELOPMENT GENERAL DEVELOPMENT SITE PLAN OPTION 2

DATE: _____
 REVISIONS: _____
 No. _____

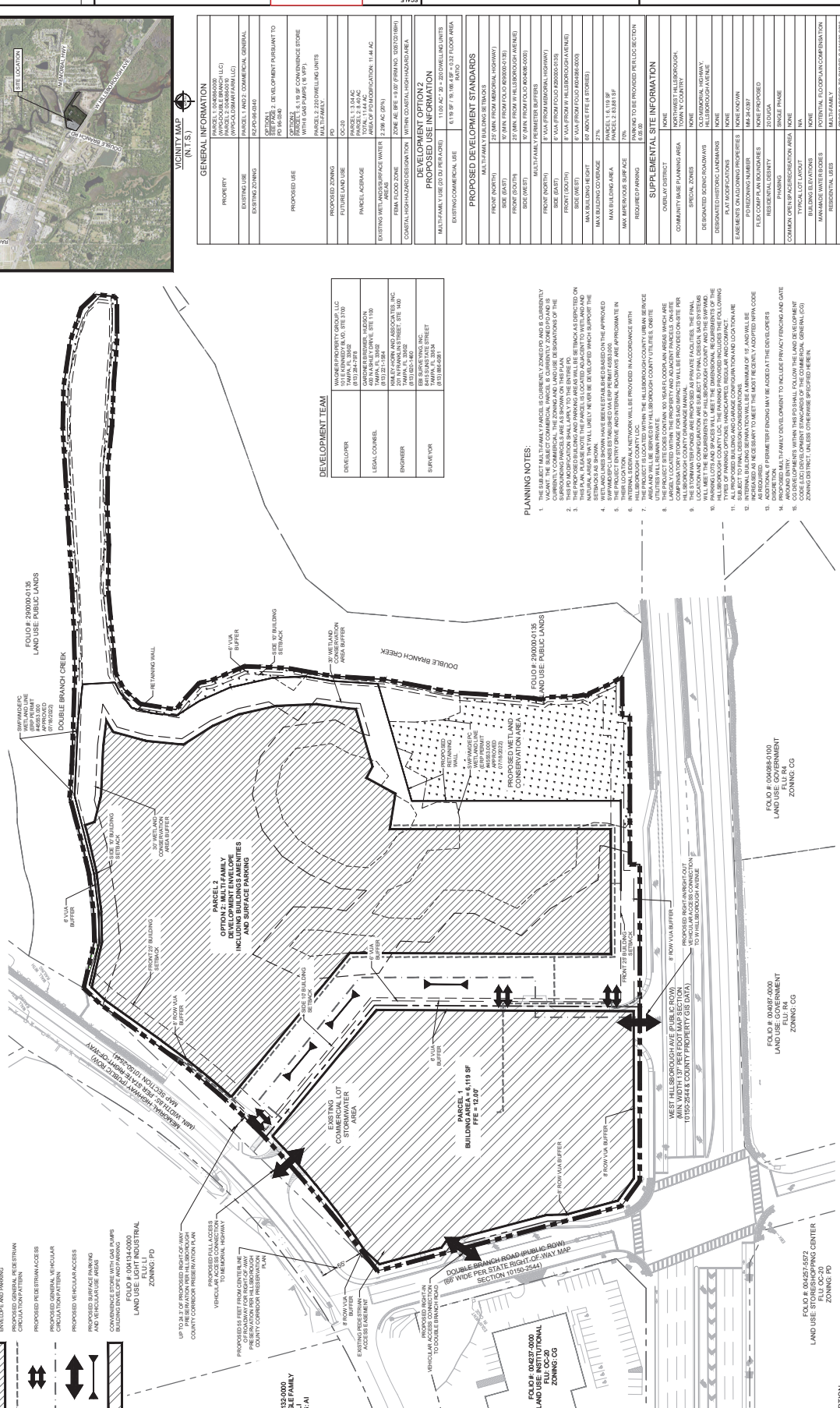


Kimley-Horn
 201 NORTH FRANKLIN STREET, SUITE 3000, TAMPA, FL 33602
 PHONE: 813-433-1400
 WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

SCALE AS NOTED
 DESIGNED BY: JRT
 DRAWN BY: JRT
 CHECKED BY: DML

PLANNED DEVELOPMENT
 GENERAL DEVELOPMENT
 SITE PLAN OPTION 2

FLORIDA
 PROFESSIONAL ENGINEERING
WPG MEMORIAL HWY
 DEVELOPMENT
 04/24/2024
 SHEET NUMBER
Z1
 PROJECT NUMBER
 14777



GENERAL INFORMATION		
PROPERTY:	WPG MEMORIAL HWY (PLANNED DEVELOPMENT)	
EXISTING ZONING:	PLANNED DEVELOPMENT	
PROPOSED ZONING:	PDR-100	
PROPOSED USE:	MULTIFAMILY DEVELOPMENT (WITH GAS PUMPS AND VENTILATION)	
PROPOSED ZONING:	PDR-100	
PURPOSE:	DEVELOPMENT OF MULTIFAMILY DEVELOPMENT WITH GAS PUMPS AND VENTILATION	
DESIGNED BY:	JRT	
CHECKED BY:	DML	

DEVELOPMENT TEAM		
DEVELOPER:	WPG MEMORIAL HWY LLC	
LEGAL COUNSEL:	BANKS & BARKER LLP	
ENGINEER:	WPG MEMORIAL HWY LLC	
STAFF:	WPG MEMORIAL HWY LLC	

- PLANNING NOTES:**
- THIS DEVELOPMENT IS SUBJECT TO THE REGULATIONS OF THE HILLSBOROUGH COUNTY PLANNING AND ZONING DEPARTMENT AND THE HILLSBOROUGH COUNTY COMMISSION.
 - THE DEVELOPMENT IS SUBJECT TO THE REGULATIONS OF THE HILLSBOROUGH COUNTY PLANNING AND ZONING DEPARTMENT AND THE HILLSBOROUGH COUNTY COMMISSION.
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DEVELOPMENT INFORMATION		
PROPOSED DEVELOPMENT STANDARDS:	AS SHOWN ON THE SITE PLAN	
PROPOSED DEVELOPMENT INFORMATION:	AS SHOWN ON THE SITE PLAN	

SUPPLEMENTAL SITE INFORMATION		
CONTRACT DISTRICT:	WPG MEMORIAL HWY	
COMMUNITY NAME:	WPG MEMORIAL HWY	
SPECIAL ZONING:	PLANNED DEVELOPMENT	
DESIGNATED SCENIC CORRIDOR:	NONE	
DESIGNATED HISTORIC LANDMARK:	NONE	
PLAT ADOPTIONS:	NONE	
PLANNING NUMBER:	14777	
ELEK COMPAN NUMBER:	NONE	
RESIDENTIAL DENSITY:	NONE	
COMMUNITY DEVELOPMENT AREA:	NONE	
BUILDING HEIGHTS:	NONE	
MAN-MADE WATER BODIES:	NONE	
RESIDENTIAL USE:	NONE	
ROW EASEMENT:	NONE	
ROW WIDTH:	NONE	
PUBLIC TRAFFIC FACILITIES:	NONE	

LEGAL DESCRIPTION

FOLIO # 0041250000 LAND USE: MULTIFAMILY ZONING: AI

FOLIO # 0043700000 LAND USE: ENVIRONMENT ZONING: CG

FOLIO # 0042975072 LAND USE: COMMERCIAL CENTER ZONING: PD

FOLIO # 0042975072 LAND USE: ENVIRONMENT ZONING: CG

FOLIO # 0042975072 LAND USE: ENVIRONMENT ZONING: CG

FOLIO # 290000135 LAND USE: PUBLIC LANDS

FOLIO # 0048581000 LAND USE: ENVIRONMENT ZONING: CG

Received June 18, 2024
 Development Services
 SunStim.com
 Having call 488-6626 for more information
 SunStim.com is a leading provider of planning and zoning services.

Florida
Planning
Studio, Inc.
2304 W. Colonial Blvd., Suite 101, Tampa, Florida, 33609
(813) 254-7400 • (813) 254-7625 FAX

**WPG MEMORIAL HWY
PLANNED DEVELOPMENT
GENERAL DEVELOPMENT
SITE PLAN OPTION 1**
MM 24-0397
SHEET Z200

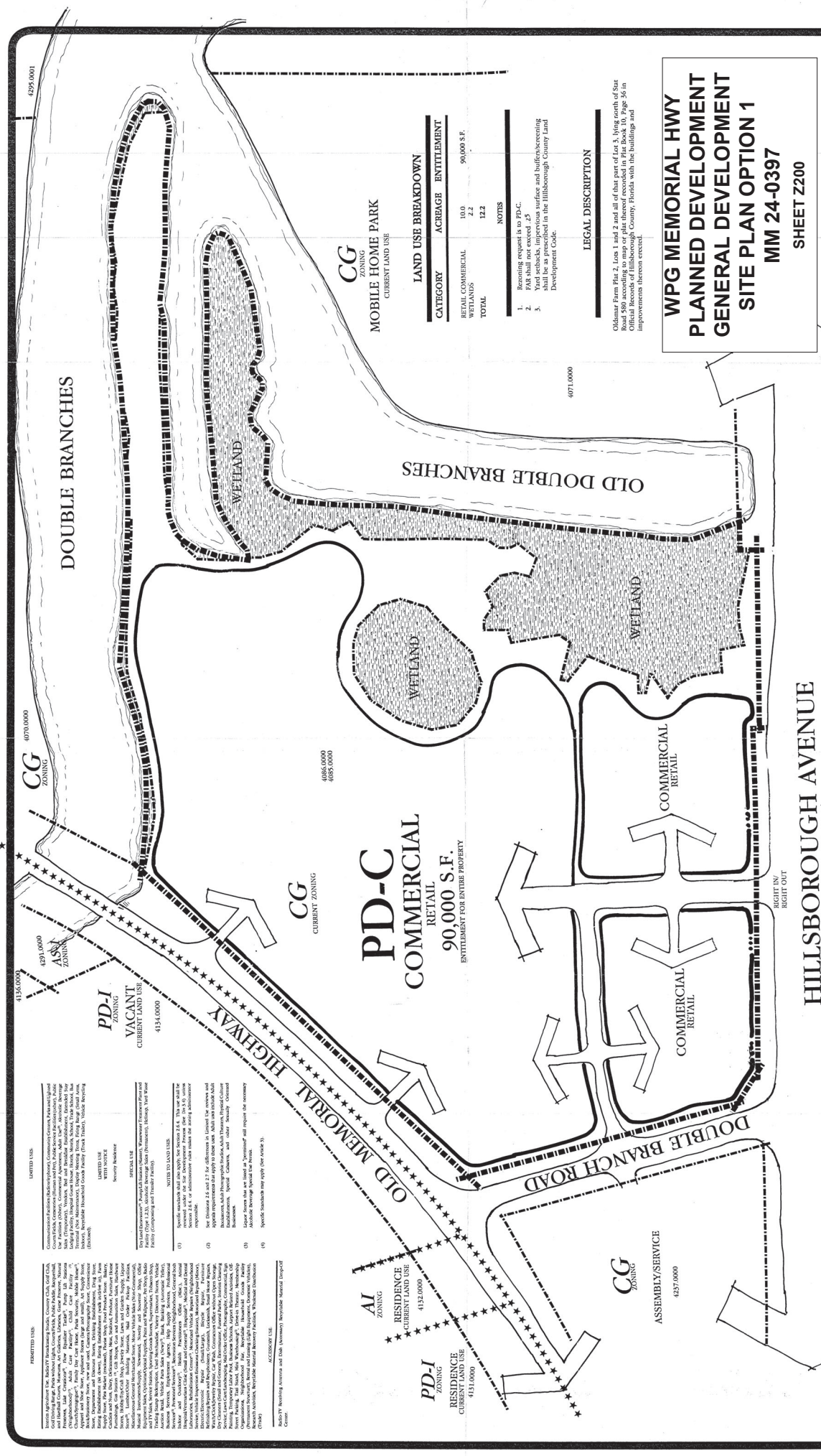
LAND USE BREAKDOWN

CATEGORY	ACRAGE	ENTITLEMENT
RETAIL COMMERCIAL	10.0	90,000 S.F.
WETLANDS	2.2	
TOTAL	12.2	

NOTES

1. Rezoning request is to PD-C.
2. 90,000 S.F. shall not exceed 2.5 acres.
3. All surface and building screening shall be as prescribed in the Hillsborough County Land Development Code.

LEGAL DESCRIPTION
Oldemar Farm Plat 2, Lots 1 and 2 and all of that part of Lot 4, lying north of Star Road 589 according to map or plat thereof recorded in Plat Book 10, Page 36 in Official Records of Hillsborough County, Florida with the buildings and improvements thereon erected.



DOUBLE BRANCHES

4275.0000
4275.0001

4271.0000
CG ZONING

4126.0000
CG ZONING

4134.0000
PD-I ZONING
VACANT
CURRENT LAND USE

4321.0000
ASB ZONING

4086.0000
CG ZONING
CURRENT LAND USE

4085.0000
CG ZONING
CURRENT LAND USE

4071.0000
CG ZONING
CURRENT LAND USE

4071.0000

4088.0000
CG ZONING
VACANT
CURRENT LAND USE

4087.0000
CG ZONING
VACANT
CURRENT LAND USE

4235.0000
CG ZONING
VACANT
CURRENT LAND USE

PD-C COMMERCIAL RETAIL
90,000 S.F.
ENTITLEMENT FOR ENTIRE PROPERTY

CG ZONING
CURRENT ZONING

PD-I ZONING
VACANT
CURRENT LAND USE

AI ZONING
RESIDENCE
CURRENT LAND USE

CG ZONING
ASSEMBLY/SERVICE
4237.0000

CG ZONING
VACANT
CURRENT LAND USE

CG ZONING
VACANT
CURRENT LAND USE

LEGISLATION
The Commission on Urban Development (CUD) was created by Chapter 218, Florida Statutes, in 1973. The Commission's mandate was to study and report on the urban development issues of the state. The Commission's report, "Urban Development in Florida," was published in 1975. The Commission's findings and recommendations were used by the Legislature to create the Florida Department of Community Affairs (FCA) in 1975. The FCA was then renamed the Florida Department of Urban and Community Development (FDUCD) in 1981. The FDUCD was then renamed the Florida Department of Community Affairs (FCA) in 1985. The FCA was then renamed the Florida Department of Urban and Community Development (FDUCD) in 1989. The FDUCD was then renamed the Florida Department of Community Affairs (FCA) in 1993. The FCA was then renamed the Florida Department of Urban and Community Development (FDUCD) in 1997. The FDUCD was then renamed the Florida Department of Community Affairs (FCA) in 2001. The FCA was then renamed the Florida Department of Urban and Community Development (FDUCD) in 2005. The FDUCD was then renamed the Florida Department of Community Affairs (FCA) in 2009. The FCA was then renamed the Florida Department of Urban and Community Development (FDUCD) in 2013. The FDUCD was then renamed the Florida Department of Community Affairs (FCA) in 2017. The FCA was then renamed the Florida Department of Urban and Community Development (FDUCD) in 2021. The FDUCD was then renamed the Florida Department of Community Affairs (FCA) in 2025.

GENERAL NOTES

1. Specific standards shall apply to all PD-C, PD-I, AI, and CG zones. The use shall be limited to those uses listed in the applicable zoning ordinance.
2. The maximum height of any structure shall not exceed the maximum height allowed in the applicable zoning ordinance.
3. All structures shall be set back from the street in accordance with the applicable zoning ordinance.
4. Specific standards may apply (see Article 5).

NECESSARY USE
Safety, Working, Access, and Data Memory? Reversible, Manual, Electrical

EXHIBIT A
Trip Generation Comparison

3. PROJECT TRIP CHARACTERISTICS **SITE ACCESS EVALUATION REPORT**
August 25, 2022

Trip Generation

The AM, PM and daily trip generation estimates were based on the trip rates contained in the 11th Edition of the Institute of Transportation of Engineers (ITE) Trip Generation Manual. Tables 1, 2, and 3 below contain the detailed trip generation calculations for the AM, PM and daily, time periods.

TABLE 1 - DAILY TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	1-Way	2-Way	1-Way	
PHASE 1										
Convenience Store/ Gas Station	945	SQUARE FEET	1,283.38	6,119	7,853	5,104	2,552	2,749	1,374	
PHASE 2										
Fast Food Restaurant w/ DT	934	SQUARE FEET	467.48	3,500	1,636	736	368	900	450	
Fast Food Restaurant w/ DT	934	SQUARE FEET	467.48	4,000	1,870	841	421	1,028	514	
Phase 2 Sub Total:					7,500	1,578	789	1,928	964	
Total:					13,619	11,389	6,682	3,341	4,677	2,338

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 2 - AM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	1-Way	2-Way	1-Way	
PHASE 1										
Convenience Store/ Gas Station	945	SQUARE FEET	91.35	6,119	559	363	182	196	98	
PHASE 2										
Fast Food Restaurant w/ DT	934	SQUARE FEET	44.61	3,500	156	70	36	86	42	
Fast Food Restaurant w/ DT	934	SQUARE FEET	44.61	4,000	178	80	41	98	48	
Phase 2 Sub Total:					7,500	335	151	184	94	
Total:					13,619	894	514	255	380	192

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 3 - PM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	1-Way	2-Way	1-Way	
PHASE 1										
Convenience Store/ Gas Station	945	SQUARE FEET	78.95	6,119	483	314	157	169	85	
PHASE 2										
Fast Food Restaurant w/ DT	934	SQUARE FEET	33.03	3,500	116	52	27	64	31	
Fast Food Restaurant w/ DT	934	SQUARE FEET	33.03	4,000	132	59	31	73	35	
Phase 2 Sub Total:					7,500	248	111	54	136	65
Total:					13,619	731	425	211	305	150

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

PD REZONE TRANSPORTATION ANALYSIS
dated 3-28-24

4. TRIP GENERATION SUMMARY

The trip generation estimates for this PD development were based on the trip rates contained in the 11th Edition of the Institute of Transportation of Engineers (ITE) Trip Generation Manual. Tables 1, 2 and 3 below contain the trip generation calculations associated with the PD Development.

TABLE 1 - DAILY TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips	
						2-Way	1-Way	2-Way	1-Way
PARCEL 1									
Convenience Store/ Gas Station	945	SQUARE FEET	1,283.38	6,119	7,853	5,104	2,552	2,749	1,374
PARCEL 2									
Multifamily Housing (Low-Rise)	220	UNITS	T=6.41(X)+75.31	220	1,466	0	0	1,466	743
Total:					9,339	5,104	2,552	4,235	2,117

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 2 - AM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips	
						2-Way	1-Way	2-Way	1-Way
PARCEL 1									
Convenience Store/ Gas Station	945	SQUARE FEET	91.35	6,119	559	363	182	196	98
PARCEL 2									
Multifamily Housing (Low-Rise)	220	UNITS	T=0.31(X)+22.85	220	91	0	0	91	22
Total:					650	363	182	287	120

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 3 - PM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips	
						2-Way	1-Way	2-Way	1-Way
PARCEL 1									
Convenience Store/ Gas Station	945	SQUARE FEET	78.95	6,119	483	314	157	169	85
PARCEL 2									
Multifamily Housing (Low-Rise)	220	UNITS	T=0.43(X)+20.55	220	115	0	0	115	43
Total:					598	314	157	284	127

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

EXHIBIT B

Access Spacing Exhibit



**Hillsborough
County Florida**
Development Services

Supplemental Information for Transportation Related Administrative Reviews

Instructions:

- This form must be provided separately for each request submitted (including different requests of the same type).
- This form must accompany all requests for applications types shown below. Staff will not log in or assign cases that are not accompanied by this form, or where the form is partially incomplete.
- A response is required in every field. Blank fields or non-responsive answers will result in your application being returned.
- All responses must be typed.
- Please contact Ingrid Padron at padroni@hcpafl.gov or via telephone at (813) 307-1709 if you have questions about how to complete this form.

Request Type (check one)	<input type="checkbox"/> Section 6.04.02.B. Administrative Variance <input checked="" type="checkbox"/> Technical Manual Design Exception Request <input type="checkbox"/> Alternative Parking Plan Request (Reference LDC Sec. 6.05.02.G3.) <input type="checkbox"/> Request for Determination of Required Parking for Unlisted Uses (Reference LDC Sec. 6.05.02.G.1. and G.2.)
Submittal Type (check one)	<input type="checkbox"/> New Request <input type="checkbox"/> Revised Request <input checked="" type="checkbox"/> Additional Information
Submittal Number and Description/Running History (check one and complete text box using instructions provided below)	<input checked="" type="checkbox"/> 1. DE - Memorial Hwy <input type="checkbox"/> 4. <input type="checkbox"/> 2. <input type="checkbox"/> 5. <input type="checkbox"/> 3. <input type="checkbox"/> 6.
<p>Important: To help staff differentiate multiple requests (whether of the same or different type), please use the above fields to assign a unique submittal number/name to each separate request. Previous submittals relating to the same project/phase shall be listed using the name and number previously identified. It is critical that the applicant reference this unique name in the request letter and subsequent filings/correspondence. If the applicant is revising or submitting additional information related to a previously submitted request, then the applicant would check the number of the previous submittal.</p>	
Project Name/ Phase	MM 24-0397
<p>Important: The name selected must be used on all future communications and submittals of additional/revised information relating to this variance. If request is specific to a discrete phase, please also list that phase.</p>	
Folio Number(s)	Portion of 004086-0000; 004086-0010 <input type="checkbox"/> Check This Box If There Are More Than Five Folio Numbers
<p>Important: List all folios related to the project, up to a maximum of five. If there are additional folios, check the box to indicate such. Folio numbers must be provided in the format provided by the Hillsborough County Property Appraiser's website (i.e. 6 numbers, followed by a hyphen, followed by 4 additional numbers, e.g. "012345-6789"). Multiple records should be separated by a semicolon and a space e.g. "012345-6789; 054321-9876").</p>	
Name of Person Submitting Request	Matthew R. Femal, P.E. (FL PE License 68397)
<p>Important: For Design Exception (DE) Requests, the person submitting must be a Professional Engineer (PE) licensed within the state of Florida. The DE request letter must be signed and sealed.</p>	
Current Property Zoning Designation	PD (RZ-PD-96-0340)
<p>Important: For Example, type "Residential Multi-Family Conventional – 9" or "RMC-9". This is not the same as the property's Future Land Use (FLU) Designation. Typing "N/A" or "Unknown" will result in your application being returned. This information may be obtained via the Official Hillsborough County Zoning Atlas, which is available at https://maps.hillsboroughcounty.org/maphillsborough/maphillsborough.html. For additional assistance, please contact the Zoning Counselors at the Center for Development Services at (813) 272-5600 Option 3.</p>	
Pending Zoning Application Number	MM 24-0397
<p>Important: If a rezoning application is pending, enter the application number preceded by the case type prefix, otherwise type "N/A" or "Not Applicable". Use PD for PD rezoning applications, MM for major modifications, PRS for minor modifications/personal appearances.</p>	
Related Project Identification Number (Site/Subdivision Application Number)	N/A
<p>Important: This 4-digit code is assigned by the Center for Development Services Intake Team for all Certified Parcel, Site Construction, Subdivision Construction, and Preliminary/Final Plat applications. If no project number exists, please type "N/A" or "Not Applicable".</p>	



May 14, 2024

Mr. Michael J. Williams, P.E.
Development Review Director / County Engineer
Hillsborough County Development Services Department
601 E Kennedy Boulevard, 20th Floor
Tampa, FL 33602

RE: *WPG Memorial Highway Planned Development*
App No: MM 24-0397
Folios: 004086-0010, 004086-0000
Design Exception Request
Memorial Highway (TS-4 Typical Section)

Mr. Williams:

The purpose of this request is to seek a Design Exception to Typical Section Urban Collector for a 2-Lane Undivided Roadway (TS-4) as outlined in the Hillsborough County Transportation Technical Manual (see Exhibit A). The applicant is proposing the construction of a 6,119 square foot Convenience Store with Fuel Sales at the southeast corner of the intersection of Memorial Highway and Double Branch Road, which includes Right-In Right-Out access to W. Hillsborough Ave, Right-In on Double Branch Road, and Full Access on Memorial Highway.

The Major Modification request is to include residential multi-family as an allowable use for the development of up to 220 dwelling units. Currently, 6,119 S.F. Convenience Store with Gas Pumps is being constructed on the NE corner of the intersection of W Hillsborough Ave & Double Branch Road (PI 6213). Therefore, the Major Modification request is to include Option 2 as an additional potential development option:

Option 1

Parcel 1 and Parcel 2: Retain entitlements permitted via PD 96-0340: up to 90,000 square feet of Commercial General (CG)

Option 2

Parcel 1: 6,119 square feet of convenience store with gas pumps (8 gas pumps, 16 vehicle fueling positions)

Parcel 2: 220 multi-family dwelling units

Access is proposed to be provided a right-in, right-out access to W. Hillsborough Avenue, right-in on Double Branch Road, and full access on Memorial Highway.

The following request was previously approved as part of the Site and Subdivision application for the gas station (PI 6213). The request has been updated to reference the proposed residential addition as part of development Option 2, however, it is important to note that the request as part of PI 6213 was made in consideration of the cumulative gas station and future development traffic generation. The Access Management Analysis dated August 25, 2022 for PI 6213 evaluated the 6,119 SF convenience store with 16 vehicle fueling positions in addition to fast-food restaurant with drive-through use, resulting in a total of 894 total AM peak-hour trips and 731 total PM peak-hour trips.

As shown in Exhibit E, Option 2 has been evaluated in the updated Transportation Analysis dated March 28, 2024 and is proposed to generate fewer daily, AM peak-hour, and PM peak-hour trips compared to the development scenario previously analyzed for the design considerations of PI 6213. Therefore, Option 2 is

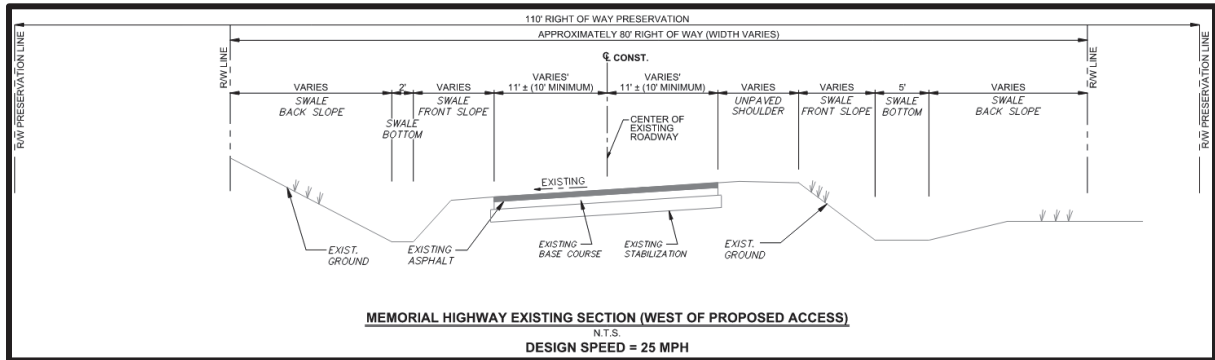
not anticipated to require any capacity-related improvements or turn lane modifications beyond what is already required and planned, as shown on the General Development Plan.

Request Description

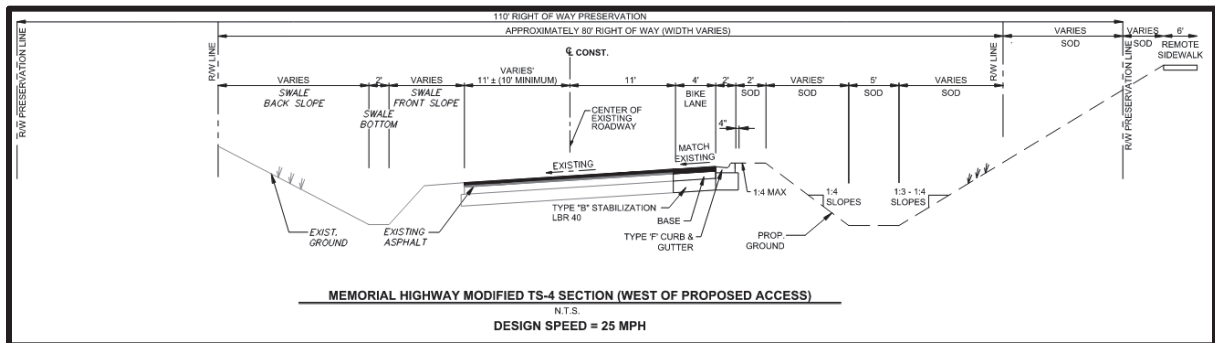
Memorial highway from the intersection of Double Branch Road through to the east side of our proposed access driveway is a substandard roadway configuration that includes variable lane widths that are not 11-feet wide, a lack of bike lanes and no pedestrian sidewalk facilities, with a functional open swale conveyance system on both sides of the roadway. We are proposing to widen memorial highway to include a consistent eastbound travel lane 11-feet wide, with a 4-foot wide buffered bike lane as supported by county staff to match the Memorial Highway cross section east of our project. Our client understands that per the Hillsborough County TTM, staff instructions to mill and overlay as well as replace pavement markings will be required for both directions of asphalt pavement to the limits of the project. It is our understanding based on conversations with county staff, the county has a practical preference for maintaining functional open swale drainage, and therefore the existing drainage is proposed to remain or be reconstructed to maintain current conveyance capacity in lieu of underground conveyance options. Also, a limited scope of enhanced pedestrian improvements is incorporated with the proposed 6' onsite sidewalk that will also be internally connected to Double Branch Road and Hillsborough Avenue as shown on Exhibit B. These modifications to the typical TS-4 section will improve existing roadway infrastructure and enhance public safety and welfare while also incorporating the discussed preferential drainage criteria. Therefore, the proposed Modified TS-4 Roadway section within the right-of-way from north to south will be as follows. A variable width sod swale and utility area that includes an unpaved shoulder, typical 11-feet westbound travel lane, an 11-feet eastbound travel lane, a 4-foot bike lane, 2-foot curb & gutter, a 2-foot sod utility area, and varying width of sodded drainage swale, with a 6-foot wide pedestrian sidewalk located onsite as depicted in the below cross section and further detailed in Exhibit C.

Considerations for the full implementation of the typical TS-4 section were made and our engineering opinion is that it is not practical as part of this project due to causing access slopes in excess of 10% for the existing commercial access driveway to the north and proposed pavement widening will directly conflict with the adjacent open swale drainage. Please refer to Exhibit D for the comparison of the existing access slope versus the TS-4 configuration that requires widening of the roadway to the north. Please note on Exhibit D Lane widths exceed the typical TS-4 11-feet wide at Memorial Highway station 206+37.11 and match existing conditions as they are shown transitioning to match the lane widths east of our project. Due to the excessive access slopes imposed on the north access driveway and the direct conflict with the existing functional open swale drainage system we are requesting that the scope of improvements north of the Memorial Highway centerline be limited to repaving and restriping the existing conditions.

Existing Roadway Section



Proposed Modified TS-4 Roadway Section





The proposed modified roadway section for Double Branch Road, as described above, will enhance the traffic safety and operation of Double Branch Road between Hillsborough Avenue and Memorial Highway.

Should you have any questions regarding any of the comments addressed above, please do not hesitate to contact me at 813-635-5526 or Matt.Femal@kimley-horn.com.

Sincerely,

Matt Femal, P.E.
Project Manager

**Matthew R
Femal**

Digitally signed by Matthew R Femal
DN: cn=Matthew R Femal, c=US, o=Florida, email=matt.femal@kimley-horn.com
Date: 2024.06.17 11:45:58 -04'00'

Matthew R. Femal, State of Florida, Professional Engineer, License No. 68397; This item has been digitally signed and sealed by Matthew R. Femal on the date indicated here. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Based on the information provided by the applicant, this request is:

_____ Approved

_____ Disapproved

X

Florida
Planning Studio, Inc.
2304 W. Colonial Blvd., Suite 105, Tampa, Florida, 33609
(813) 854-7400 • (813) 254-7625 FAX

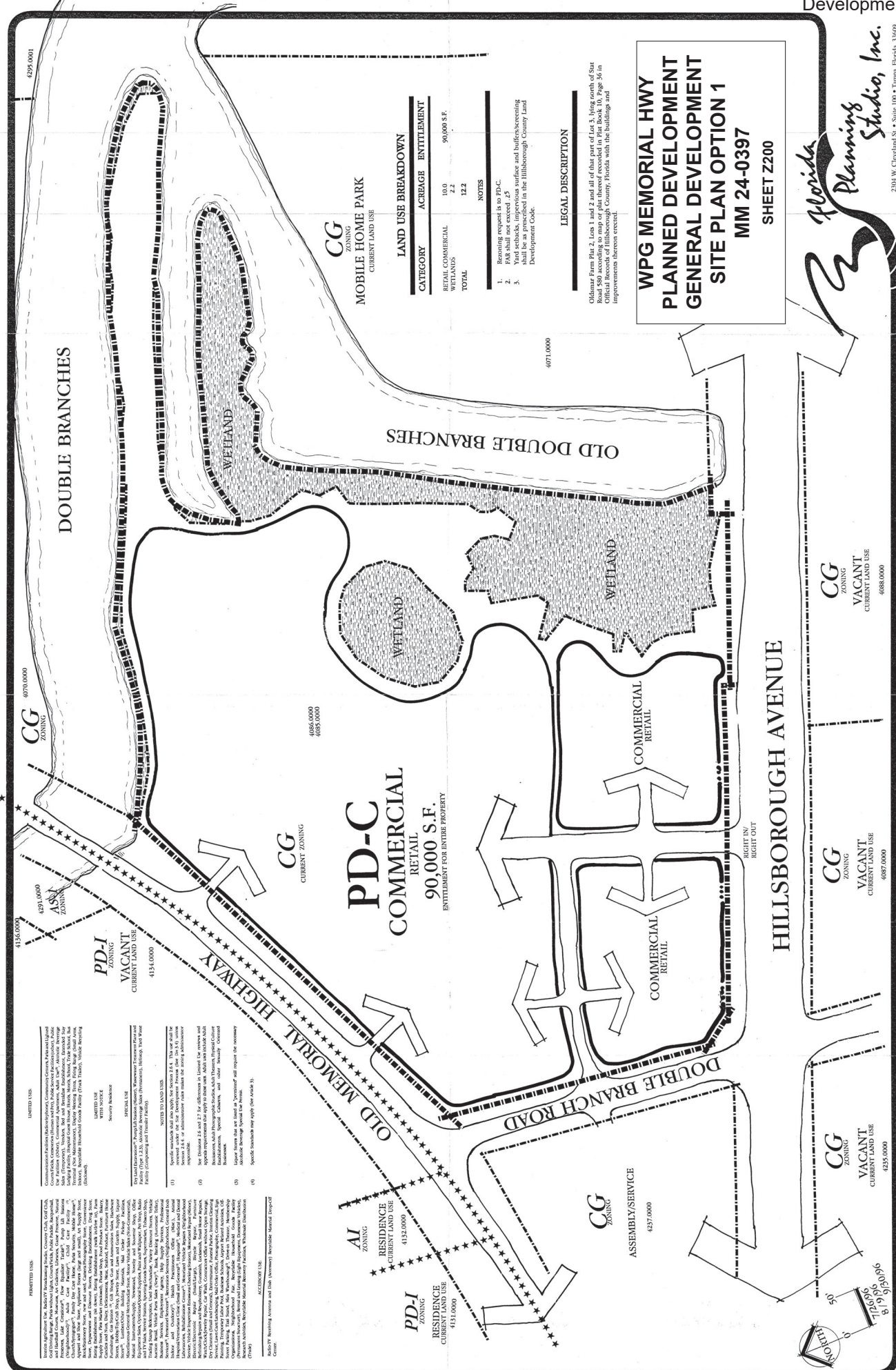
**WPG MEMORIAL HWY
PLANNED DEVELOPMENT
GENERAL DEVELOPMENT
SITE PLAN OPTION 1
MM 24-0397
SHEET Z200**

LAND USE BREAKDOWN

CATEGORY	ACRAGE	ENTIREMENT
RETAIL COMMERCIAL	10.0	90,000 S.F.
WETLANDS	2.2	
TOTAL	12.2	

- NOTES**
1. Rezoning request is to PD-C.
 2. 70% shall not exceed 2.5'.
 3. All surface and building screening shall be as prescribed in the Hillsborough County Land Development Code.

LEGAL DESCRIPTION
Oldemar Farm Plat 2, Lots 1 and 2 and all of that part of Lot 4, lying north of Star Road 589 according to map or plat thereof recorded in Plat Book 10, Page 36 in Official Records of Hillsborough County, Florida with the buildings and improvements thereon erected.



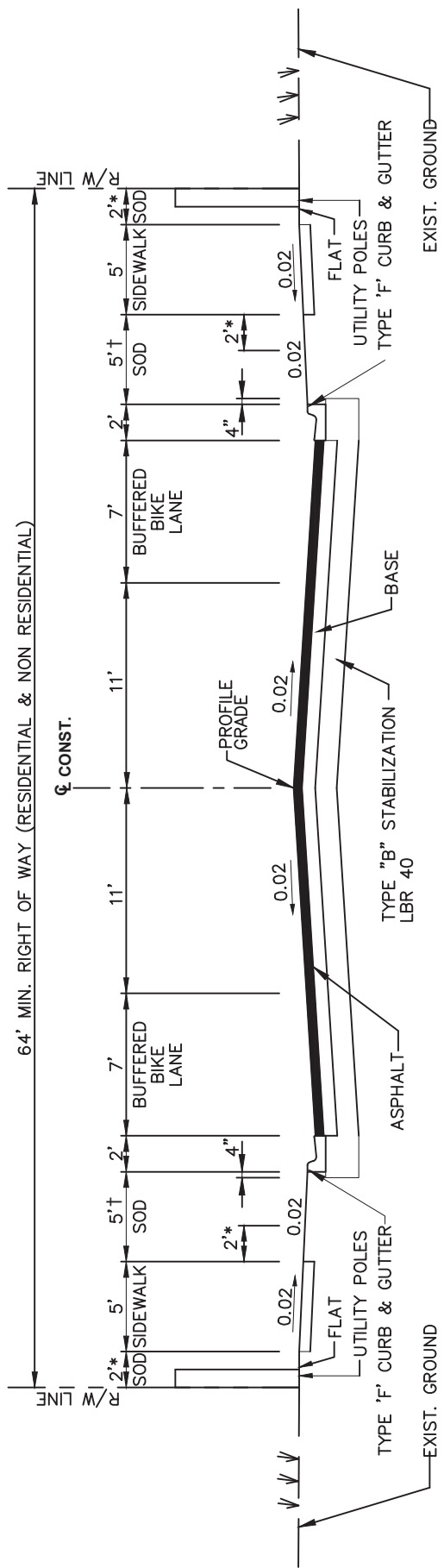
PERMITTED USES
This site plan is submitted for review and approval by the Hillsborough County Board of County Commissioners (BCC) for the purpose of rezoning the property from its current zoning to PD-C. The rezoning is subject to the approval of the BCC and the Hillsborough County Board of Planning and Zoning Administration (BPAZA). The rezoning is also subject to the approval of the Hillsborough County Board of Environmental Planning and Zoning Administration (BEPZA). The rezoning is also subject to the approval of the Hillsborough County Board of Health and Environmental Services (BHEAS). The rezoning is also subject to the approval of the Hillsborough County Board of Public Safety (BPS). The rezoning is also subject to the approval of the Hillsborough County Board of Parks and Recreation (BPR). The rezoning is also subject to the approval of the Hillsborough County Board of Transportation and Public Works (BTPW). The rezoning is also subject to the approval of the Hillsborough County Board of Utilities (BU). The rezoning is also subject to the approval of the Hillsborough County Board of Economic Development (BED). The rezoning is also subject to the approval of the Hillsborough County Board of Cultural Affairs (BCA). The rezoning is also subject to the approval of the Hillsborough County Board of Arts and Culture (BCAC). The rezoning is also subject to the approval of the Hillsborough County Board of Historic Preservation (BHP). The rezoning is also subject to the approval of the Hillsborough County Board of Landmarks and Historic Resources (BLHR). The rezoning is also subject to the approval of the Hillsborough County Board of Planning and Zoning Administration (BPAZA). The rezoning is also subject to the approval of the Hillsborough County Board of Environmental Planning and Zoning Administration (BEPZA). The rezoning is also subject to the approval of the Hillsborough County Board of Health and Environmental Services (BHEAS). The rezoning is also subject to the approval of the Hillsborough County Board of Public Safety (BPS). The rezoning is also subject to the approval of the Hillsborough County Board of Parks and Recreation (BPR). The rezoning is also subject to the approval of the Hillsborough County Board of Transportation and Public Works (BTPW). The rezoning is also subject to the approval of the Hillsborough County Board of Utilities (BU). The rezoning is also subject to the approval of the Hillsborough County Board of Economic Development (BED). The rezoning is also subject to the approval of the Hillsborough County Board of Cultural Affairs (BCA). The rezoning is also subject to the approval of the Hillsborough County Board of Arts and Culture (BCAC). The rezoning is also subject to the approval of the Hillsborough County Board of Historic Preservation (BHP). The rezoning is also subject to the approval of the Hillsborough County Board of Landmarks and Historic Resources (BLHR).

NECESSARY USES
The rezoning is subject to the approval of the Hillsborough County Board of County Commissioners (BCC) and the Hillsborough County Board of Planning and Zoning Administration (BPAZA). The rezoning is also subject to the approval of the Hillsborough County Board of Environmental Planning and Zoning Administration (BEPZA). The rezoning is also subject to the approval of the Hillsborough County Board of Health and Environmental Services (BHEAS). The rezoning is also subject to the approval of the Hillsborough County Board of Public Safety (BPS). The rezoning is also subject to the approval of the Hillsborough County Board of Parks and Recreation (BPR). The rezoning is also subject to the approval of the Hillsborough County Board of Transportation and Public Works (BTPW). The rezoning is also subject to the approval of the Hillsborough County Board of Utilities (BU). The rezoning is also subject to the approval of the Hillsborough County Board of Economic Development (BED). The rezoning is also subject to the approval of the Hillsborough County Board of Cultural Affairs (BCA). The rezoning is also subject to the approval of the Hillsborough County Board of Arts and Culture (BCAC). The rezoning is also subject to the approval of the Hillsborough County Board of Historic Preservation (BHP). The rezoning is also subject to the approval of the Hillsborough County Board of Landmarks and Historic Resources (BLHR).

GENERAL NOTES
1. The rezoning is subject to the approval of the Hillsborough County Board of County Commissioners (BCC) and the Hillsborough County Board of Planning and Zoning Administration (BPAZA). The rezoning is also subject to the approval of the Hillsborough County Board of Environmental Planning and Zoning Administration (BEPZA). The rezoning is also subject to the approval of the Hillsborough County Board of Health and Environmental Services (BHEAS). The rezoning is also subject to the approval of the Hillsborough County Board of Public Safety (BPS). The rezoning is also subject to the approval of the Hillsborough County Board of Parks and Recreation (BPR). The rezoning is also subject to the approval of the Hillsborough County Board of Transportation and Public Works (BTPW). The rezoning is also subject to the approval of the Hillsborough County Board of Utilities (BU). The rezoning is also subject to the approval of the Hillsborough County Board of Economic Development (BED). The rezoning is also subject to the approval of the Hillsborough County Board of Cultural Affairs (BCA). The rezoning is also subject to the approval of the Hillsborough County Board of Arts and Culture (BCAC). The rezoning is also subject to the approval of the Hillsborough County Board of Historic Preservation (BHP). The rezoning is also subject to the approval of the Hillsborough County Board of Landmarks and Historic Resources (BLHR).

EXHIBIT A

Typical Section Local Urban Collector for a 2-Lane Undivided Roadway (TS-4)



TYPICAL SECTION
N.T.S.

5,000 TO 10,000 AADT

MAX. ALLOWABLE DESIGN SPEED – 40 MPH

1. ALL DIMENSIONS SHOWN ARE MINIMUM.
2. SEE APPROPRIATE SECTIONS OF TECHNICAL MANUAL FOR DESIGN PARAMETERS.
- * 3. PROVIDE 2' MINIMUM CLEARANCE FROM FENCES, WALLS, HEDGES, ABOVEGROUND UTILITIES OR IMPROVEMENTS, DROP OFFS, OR FROM THE TOPS OF BANKS WITH SLOPES STEEPER THAN 1 TO 4, THAT INTERFERE WITH THE SAFE, FUNCTIONAL USE OF THE SIDEWALK. INTERMITTENT ABOVEGROUND UTILITIES, OR MATURE TREES, 2' OR LESS IN DIAMETER MAY BE PLACED IN THIS 2' STRIP AS FAR FROM THE SIDEWALK AS POSSIBLE, IF NOT IN THE CLEAR ZONE.
- † 4. SEE SIDEWALK PROTECTION OPTIONS, DRAWING NO. TD-16 SHEET 7 OF 7 FOR USE WHEN TREES ARE PLANTED IN THE PARKWAY AREA (BETWEEN THE BACK OF CURB AND SIDEWALK).
5. SOD SHALL BE PLACED IN TWO ROWS STAGGERED. (BOTH TEMPORARY AND PERMANENT)

DRAWING NO. **TS-4**
SHEET NO. 1 OF 1

**URBAN COLLECTORS
(2 LANE UNDIVIDED)
TYPICAL SECTION**



**TRANSPORTATION
TECHNICAL
MANUAL**

REVISION DATE:
10/17

EXHIBIT B

Z100 – PD GENERAL DEVELOPMENT SITE PLAN

EXHIBIT C

C361 – Memorial Highway Roadway Sections

WAGNER PROPERTY GROUP
12750 W HILLSBOROUGH AVE
HILLSBOROUGH, FLORIDA

MEMORIAL HWY ROADWAY SECTIONS

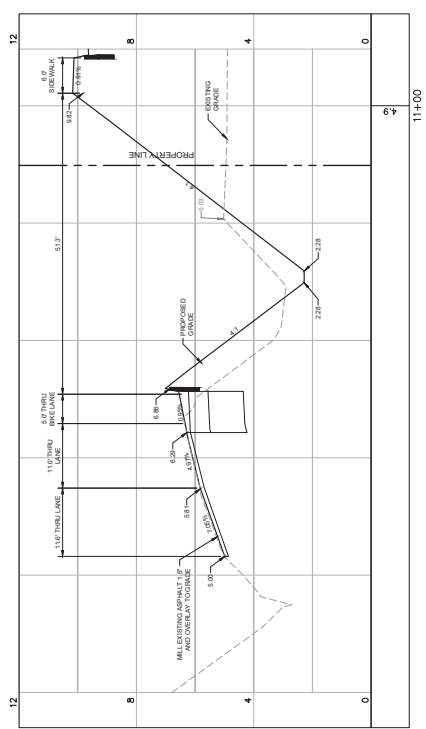
DESIGN ENGINEERS
MATTHEW FEMAL, P.E.
FLORIDA REGISTRATION NUMBER 08397



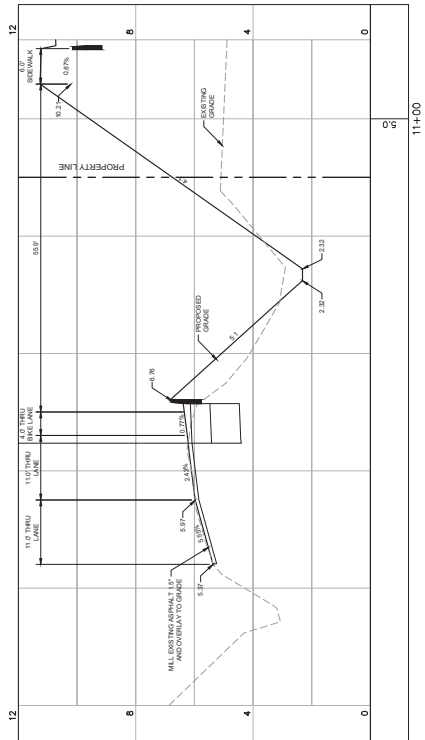
201 NORTH FRANKLIN STREET, SUITE 1400, TAMPA, FL 33602
WWW.KIMLEY-HORN.COM REGISTRY NO. 39108

NO.	REVISIONS	DATE	BY
1	RESPONSE TO COMMENTS	09/30/23	MRF
2	ISSUED FOR CONSTRUCTION	07/02/24	MRF
3	BOH RESPONSE TO COMMENTS	07/17/24	MRF
4	SPWMD RESPONSE TO COMMENTS	03/19/24	MRF
5	STORM AND UTILITY REVISION	04/17/24	MRF

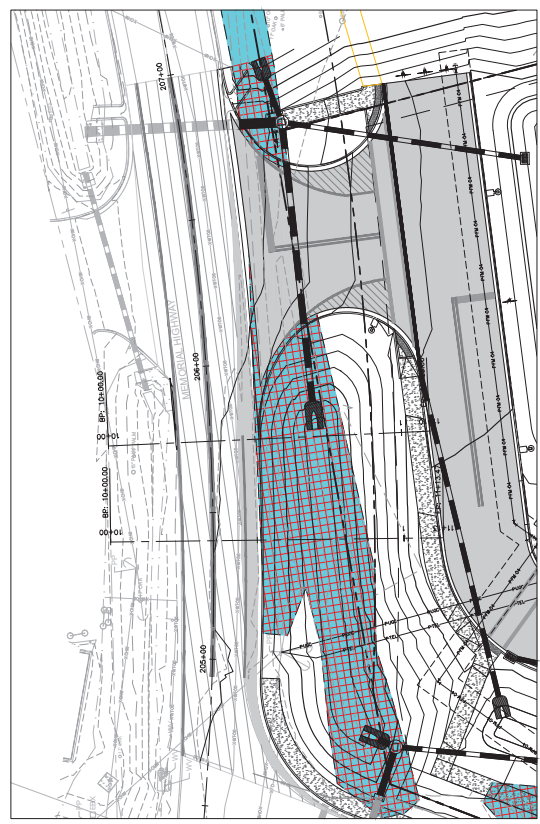
PROJECT: 24-0397
DRAWING: 24-0397-01
SHEET: 01 OF 01



STA. 204+74.32
SCALE: 1"=10'
VERT. 1"=2'



STA. 204+40.41
SCALE: 1"=10'
VERT. 1"=2'



Drawing name: K:\work\14779 - wagner property group\017 - work at hillsborough and double branch\CADD\Work\plan\sheet\C350 - ROADWAY SECTIONS.dwg C361 MEMORIAL HWY ROADWAY SECTIONS May 10, 2024 8:44am By: Jyden Fedor
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Plans or other portions of this document without written authorization and approval by Kimley-Horn and Associates, Inc. will be without liability to Kimley-Horn and Associates, Inc.

EXHIBIT D
TS-4 Impacts

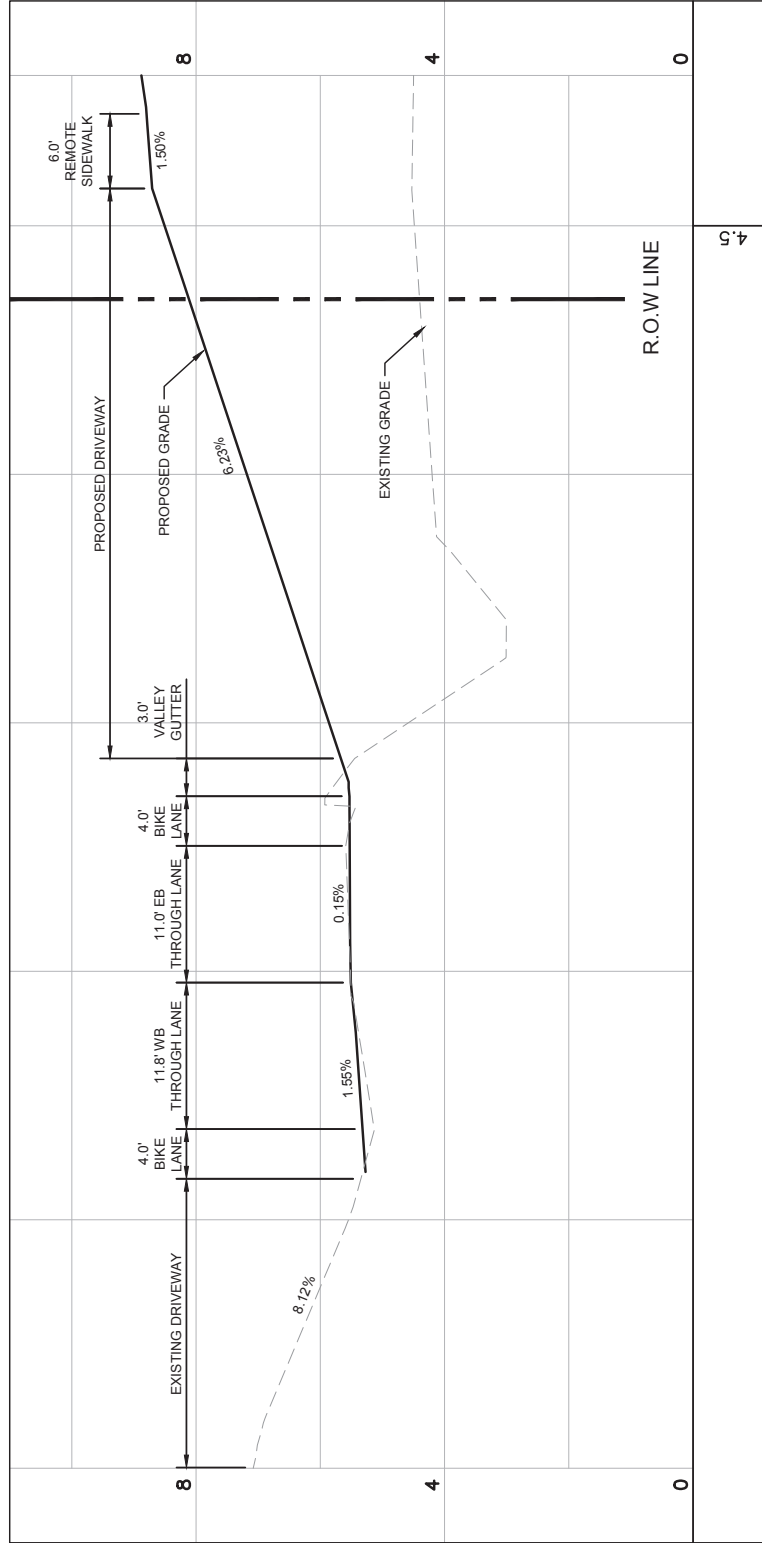
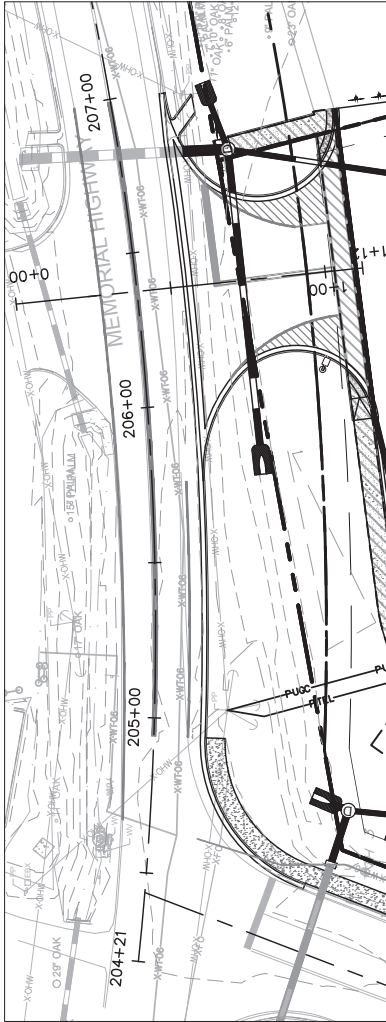


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201 NORTH FRANKLIN STREET, SUITE 1400, TAMPA, FL 33602
PHONE: 813-620-1460
WWW.KIMLEY-HORN.COM CA 0000696

SCALE: AS SHOWN
DESIGNED BY: JRT
DRAWN BY: JRT
CHECKED BY: DAL
DATE: 06/20/24

EXHIBIT D
TS-4 IMPACTS

DATE: 04/02/2024
PROJECT NO: 147779017
SHEET NUMBER: D



MEMORIAL 206+37.53 (TS-4 IMPACTS)
SCALE: 1"=10'
VERT. 1"=2'

EXHIBIT E
Trip Generation Comparison

3. PROJECT TRIP CHARACTERISTICS **SITE ACCESS EVALUATION REPORT**
August 25, 2022

Trip Generation

The AM, PM and daily trip generation estimates were based on the trip rates contained in the 11th Edition of the Institute of Transportation of Engineers (ITE) Trip Generation Manual. Tables 1, 2, and 3 below contain the detailed trip generation calculations for the AM, PM and daily, time periods.

TABLE 1 - DAILY TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	1-Way	2-Way	1-Way	
PHASE 1										
Convenience Store/ Gas Station	945	SQUARE FEET	1,283.38	6,119	7,853	5,104	2,552	2,749	1,374	
PHASE 2										
Fast Food Restaurant w/ DT	934	SQUARE FEET	467.48	3,500	1,636	736	368	900	450	
Fast Food Restaurant w/ DT	934	SQUARE FEET	467.48	4,000	1,870	841	421	1,028	514	
Phase 2 Sub Total:					7,500	1,578	789	1,928	964	
Total:					13,619	11,389	6,682	3,341	4,677	2,338

(1) - SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 2 - AM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips			
						2-Way	1-Way	2-Way	1-Way		
PHASE 1											
Convenience Store/ Gas Station	945	SQUARE FEET	91.35	6,119	559	363	182	196	98		
PHASE 2											
Fast Food Restaurant w/ DT	934	SQUARE FEET	44.61	3,500	156	70	36	86	42		
Fast Food Restaurant w/ DT	934	SQUARE FEET	44.61	4,000	178	80	41	98	48		
Phase 2 Sub Total:					7,500	335	151	74	184	90	
Total:					13,619	894	514	255	380	192	188

(1) - SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 3 - PM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips			
						2-Way	1-Way	2-Way	1-Way		
PHASE 1											
Convenience Store/ Gas Station	945	SQUARE FEET	78.95	6,119	483	314	157	169	85		
PHASE 2											
Fast Food Restaurant w/ DT	934	SQUARE FEET	33.03	3,500	116	52	27	64	33		
Fast Food Restaurant w/ DT	934	SQUARE FEET	33.03	4,000	132	59	31	73	38		
Phase 2 Sub Total:					7,500	248	111	58	136	71	
Total:					13,619	731	425	211	305	155	150

(1) - SOURCE: ITE Trip Generation Manual 11th Edition.

PD REZONE TRANSPORTATION ANALYSIS
dated 3-28-24

4. TRIP GENERATION SUMMARY

The trip generation estimates for this PD development were based on the trip rates contained in the 11th Edition of the Institute of Transportation of Engineers (ITE) Trip Generation Manual. Tables 1, 2 and 3 below contain the trip generation calculations associated with the PD Development.

TABLE 1 - DAILY TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips	
						2-Way	1-Way	2-Way	1-Way
PARCEL 1									
Convenience Store/ Gas Station	945	SQUARE FEET	1,283.38	6,119	7,853	5,104	2,552	2,749	1,374
PARCEL 2									
Multifamily Housing (Low-Rise)	220	UNITS	T=6.41(X)+75.31	220	1,466	0	0	1,466	743
Total:					9,339	5,104	2,552	4,235	2,117

(1) - SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 2 - AM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips	
						2-Way	1-Way	2-Way	1-Way
PARCEL 1									
Convenience Store/ Gas Station	945	SQUARE FEET	91.35	6,119	559	363	182	196	98
PARCEL 2									
Multifamily Housing (Low-Rise)	220	UNITS	T=0.31(X)+22.85	220	91	0	0	91	22
Total:					650	363	182	287	120

(1) - SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 3 - PM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips	
						2-Way	1-Way	2-Way	1-Way
PARCEL 1									
Convenience Store/ Gas Station	945	SQUARE FEET	78.95	6,119	483	314	157	169	85
PARCEL 2									
Multifamily Housing (Low-Rise)	220	UNITS	T=0.43(X)+20.55	220	115	0	0	115	43
Total:					598	314	157	284	127

(1) - SOURCE: ITE Trip Generation Manual 11th Edition.



**Hillsborough
County Florida**
Development Services

Supplemental Information for Transportation Related Administrative Reviews

Instructions:

- This form must be provided separately for each request submitted (including different requests of the same type).
- This form must accompany all requests for applications types shown below. Staff will not log in or assign cases that are not accompanied by this form, or where the form is partially incomplete.
- A response is required in every field. Blank fields or non-responsive answers will result in your application being returned.
- All responses must be typed.
- Please contact Ingrid Padron at padroni@hcpaf.fl.gov or via telephone at (813) 307-1709 if you have questions about how to complete this form.

Request Type (check one)	<input type="checkbox"/> Section 6.04.02.B. Administrative Variance <input checked="" type="checkbox"/> Technical Manual Design Exception Request <input type="checkbox"/> Alternative Parking Plan Request (Reference LDC Sec. 6.05.02.G3.) <input type="checkbox"/> Request for Determination of Required Parking for Unlisted Uses (Reference LDC Sec. 6.05.02.G.1. and G.2.)
Submittal Type (check one)	<input type="checkbox"/> New Request <input type="checkbox"/> Revised Request <input checked="" type="checkbox"/> Additional Information
Submittal Number and Description/Running History (check one and complete text box using instructions provided below)	<input checked="" type="checkbox"/> 1. DE - Double Branch Rd <input type="checkbox"/> 4. <input type="checkbox"/> 2. <input type="checkbox"/> 5. <input type="checkbox"/> 3. <input type="checkbox"/> 6.
<p>Important: To help staff differentiate multiple requests (whether of the same or different type), please use the above fields to assign a unique submittal number/name to each separate request. Previous submittals relating to the same project/phase shall be listed using the name and number previously identified. It is critical that the applicant reference this unique name in the request letter and subsequent filings/correspondence. If the applicant is revising or submitting additional information related to a previously submitted request, then the applicant would check the number of the previous submittal.</p>	
Project Name/ Phase	MM 24-0397
<p>Important: The name selected must be used on all future communications and submittals of additional/revised information relating to this variance. If request is specific to a discrete phase, please also list that phase.</p>	
Folio Number(s)	Portion of 004086-0000; 004086-0010
<input type="checkbox"/> Check This Box If There Are More Than Five Folio Numbers	
<p>Important: List all folios related to the project, up to a maximum of five. If there are additional folios, check the box to indicate such. Folio numbers must be provided in the format provided by the Hillsborough County Property Appraiser's website (i.e. 6 numbers, followed by a hyphen, followed by 4 additional numbers, e.g. "012345-6789"). Multiple records should be separated by a semicolon and a space e.g. "012345-6789; 054321-9876").</p>	
Name of Person Submitting Request	Matthew R. Femal, P.E. (FL PE License 68397)
<p>Important: For Design Exception (DE) Requests, the person submitting must be a Professional Engineer (PE) licensed within the state of Florida. The DE request letter must be signed and sealed.</p>	
Current Property Zoning Designation	PD (RZ-PD-96-0340)
<p>Important: For Example, type "Residential Multi-Family Conventional – 9" or "RMC-9". This is not the same as the property's Future Land Use (FLU) Designation. Typing "N/A" or "Unknown" will result in your application being returned. This information may be obtained via the Official Hillsborough County Zoning Atlas, which is available at https://maps.hillsboroughcounty.org/maphillsborough/maphillsborough.html. For additional assistance, please contact the Zoning Counselors at the Center for Development Services at (813) 272-5600 Option 3.</p>	
Pending Zoning Application Number	MM 24-0397
<p>Important: If a rezoning application is pending, enter the application number preceded by the case type prefix, otherwise type "N/A" or "Not Applicable". Use PD for PD rezoning applications, MM for major modifications, PRS for minor modifications/personal appearances.</p>	
Related Project Identification Number (Site/Subdivision Application Number)	N/A
<p>Important: This 4-digit code is assigned by the Center for Development Services Intake Team for all Certified Parcel, Site Construction, Subdivision Construction, and Preliminary/Final Plat applications. If no project number exists, please type "N/A" or "Not Applicable".</p>	



May 14, 2024

Mr. Michael J. Williams, P.E.
Development Review Director / County Engineer
Hillsborough County Development Services Department
601 E Kennedy Boulevard, 20th Floor
Tampa, FL 33602

RE: *WPG Memorial Highway Planned Development*
App No: MM 24-0397
Folios: 004086-0010, 004086-0000
Design Exception Request
Double Branch Road (TS-4 Typical Section)

Mr. Williams:

The purpose of this request is to seek a Design Exception for the Typical Section Local Urban Collector for a 2-Lane Undivided Roadway (TS-4) as outlined in the Hillsborough County Transportation Technical Manual (see exhibit A). The applicant is proposing the construction of a 6,119 square foot Convenience Store with Fuel Sales at the northeast corner of the intersection of W Hillsborough Ave and Double Branch Road, which includes Right-In Right-Out access to W. Hillsborough Ave, Right-In on Double Branch Road, and Full Access on Memorial Highway.

The Major Modification request is to include residential multi-family as an allowable use for the development of up to 220 dwelling units. Currently, 6,119 S.F. Convenience Store with Gas Pumps is being constructed on the NE corner of the intersection of W Hillsborough Ave & Double Branch Road (PI 6213). Therefore, the Major Modification request is to include Option 2 as an additional potential development option:

Option 1

Parcel 1 and Parcel 2: Retain entitlements permitted via PD 96-0340: up to 90,000 square feet of Commercial General (CG)

Option 2

Parcel 1: 6,119 square feet of convenience store with gas pumps (8 gas pumps, 16 vehicle fueling positions)
Parcel 2: 220 multi-family dwelling units

Access is proposed to be provided a right-in, right-out access to W. Hillsborough Avenue, right-in on Double Branch Road, and full access on Memorial Highway.

The following request was previously approved as part of the Site and Subdivision application for the gas station (PI 6213). The request has been updated to reference the proposed residential addition as part of development Option 2, however, it is important to note that the request as part of PI 6213 was made in consideration of the cumulative gas station and future development traffic generation. The Access Management Analysis dated August 25, 2022 for PI 6213 evaluated the 6,119 SF convenience store with 16 vehicle fueling positions in addition to fast-food restaurant with drive-through use, resulting in a total of 894 total AM peak-hour trips and 731 total PM peak-hour trips.

As shown in Exhibit C, Option 2 has been evaluated in the updated Transportation Analysis dated March 28, 2024 and is proposed to generate fewer daily, AM peak-hour, and PM peak-hour trips compared to the

development scenario previously analyzed for the design considerations of PI 6213. Therefore, Option 2 is not anticipated to require any capacity-related improvements or turn lane modifications beyond what is already required and planned, as shown on the General Development Plan.

Request Description

The applicant is seeking approval of a modified typical section detailed below for Double Branch Road. Improvements to Double Branch Road to the full TS-4 typical section are not feasible by this applicant due to geometric design constraints as depicted in exhibit B and limited available right-of-way.

The TS-4 typical section requires 64 feet. This typical section comprises a 2-foot sod utility area, a 5-foot pedestrian sidewalk, a 5-foot sod separation from the roadway, a 2-foot curb & gutter, a 7-foot buffered bike lane, and 11-foot travel lane to the centerline of right-of-way and mirrored on the other side as depicted in exhibit A. It is reasonable to assume that truck traffic will utilize Double Branch Road, so discussions with county staff have supported the incorporating of the existing 12-foot wide through lane widths and decreasing the existing 12-foot centered left turn lane to 11-foot into the TS-4 section. As part of the traffic analysis and coordination with county review staff, a 3-foot concrete separator shall be provided from the intersection of Hillsborough Avenue and Double Branch Road through to the north extent of the proposed access point to limit unsafe traffic movements. Therefore, the total required right-of-way width required is 80 feet.

The described 80 feet right-of-way will cause an undesirable and unsafe geometric design configuration at the intersection of Hillsborough Avenue and Double Branch Road. Per the FDOT design manual Table 2.12.7.1 as referenced in the Hillsborough County TTM 2.7.3, deflection of intersection through lanes should not cause a lane shift of more than 6 feet from stop bar to stop bar. As shown in exhibit B, the proposed 80 feet roadway improvement will cause the northbound lane shift to exceed the 6-foot preferred maximum. The northbound and southbound lane shifts are 8.0-feet and 5.1-feet respectively through the intersection and therefore an alternative to the TS-4 typical section should be considered.

It should be noted that apart from this request for a design exception an 11.5-foot right auxiliary lane into the site is required in accordance with the LDC access requirements and will necessitate ROW dedication totaling a ROW width of 91.5 feet under the full TS-4 typical section as modified above.

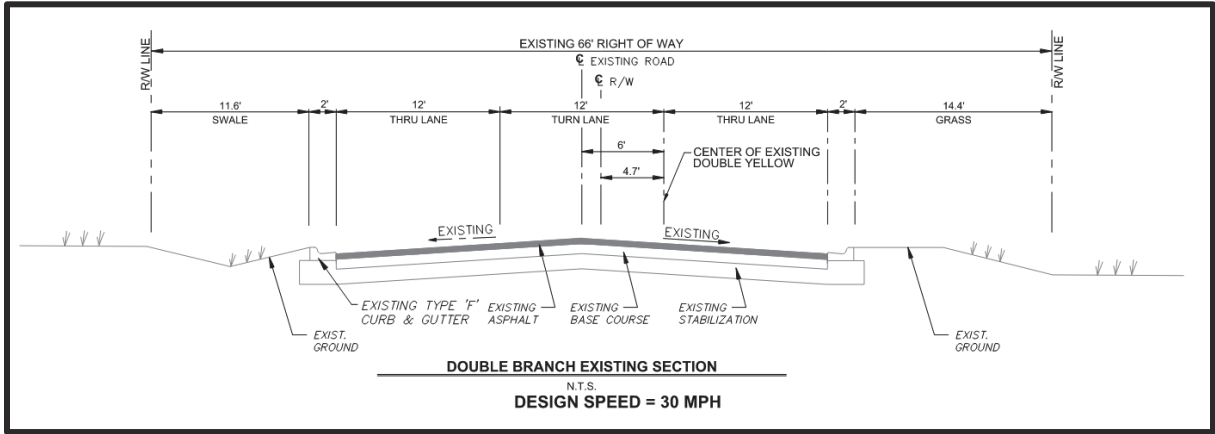
The proposed modified TS-4 section aims to improve the existing roadway infrastructure while considering several design considerations. Firstly, regarding the TS-4 typical section sidewalk improvements west of the existing southbound back of curb, it has been determined that this would be in direct conflict with existing drainage swales and stormwater conveyance infrastructure. Additionally, the presence of a mature 29" Oak located at the southwest corner of Double Branch Road and Memorial Highway means that the construction of the 5 feet sidewalk would impact the critical root zone. Therefore, the modified typical section requests the omission of sidewalk improvements west of the existing southbound back of curb.

Furthermore, the requested modified section includes the maintaining of existing 12 feet lane widths in accordance with pre-development meeting discussions with county staff and reasonable roadway use expectations. Additionally, the omission of the 7-foot buffered bike lanes is requested to mitigate unsafe intersection lane shift as detailed in exhibit B.

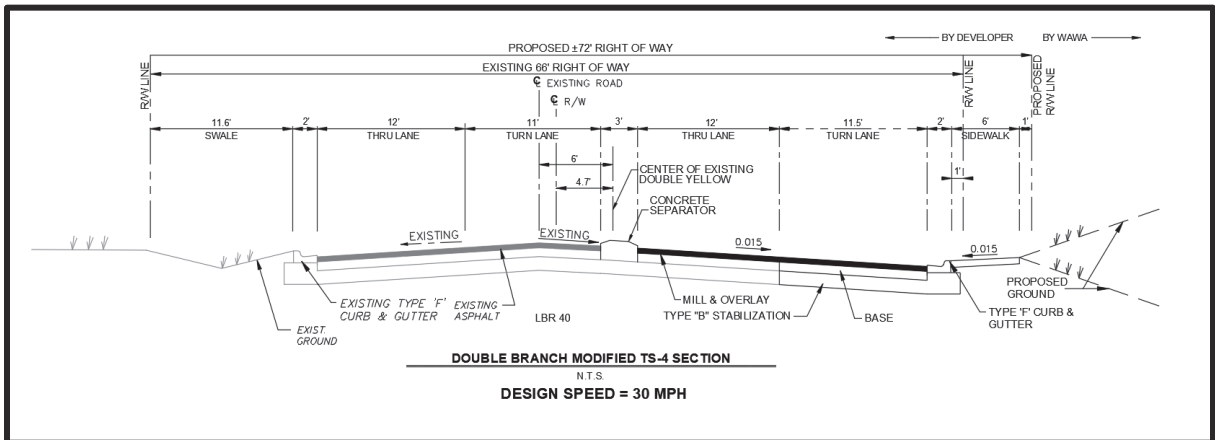
Lastly, due to the limited 66 feet of available right-of-way, we request a 6-foot sidewalk adjacent to the back of curb on the eastern side of the ROW which shall limit the dedication area required. This will provide sufficient existing ROW width to fit the proposed modified TS-4 section except where the 11.5 feet auxiliary right turn lane is required. To which right-of-way dedication is proposed accordingly.

These modifications will significantly enhance the roadway infrastructure, while also ensuring public safety and welfare. Therefore, the proposed Modified TS-4 Roadway section consists of an 11.6-foot sod swale and utility area, a 2-foot curb & gutter, a 12-foot travel lane, a 11-foot left turn lane, a center 3-foot concrete separator, another 12-foot travel lane, an 11.5-foot right turn lane, 2-foot curb & gutter, a 6-foot pedestrian sidewalk, and a 1-foot sod utility area as depicted in the below cross section. The right-of-way therefore shall be widened to 72 feet ± to accommodate the 11.5 foot right turn lane, tapered widening, and lane drop reduction areas via right-of-way dedication accordingly.

Existing Roadway Section



Proposed Modified TS-4 Roadway Section





The proposed modified roadway section for Double Branch Road, as described above, will enhance the traffic safety and operation of Double Branch Road between Hillsborough Avenue and Memorial Highway.

Should you have any questions regarding any of the comments addressed above, please do not hesitate to contact me at 813-635-5526 or Matt.Femal@kimley-horn.com.

Sincerely,

Matt Femal, P.E.
Project Manager

**Matthew R
Femal**

Digitally signed by Matthew R Femal
DN: cn=Matthew R Femal, c=US,
o=Florida,
email=matt.femal@kimley-horn.com
Date: 2024.06.17 11:47:16 -04'00'

Matthew R. Femal, State of Florida, Professional Engineer, License No. 68397; This item has been digitally signed and sealed by Matthew R. Femal on the date indicated here. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Based on the information provided by the applicant, this request is:

_____ Approved

_____ Disapproved

X

Florida
Planning
Studio, Inc.
2304 W. Colonial Blvd., Suite 101, Tampa, Florida, 33609
(813) 854-7400 • (813) 254-7625 FAX

**WPG MEMORIAL HWY
PLANNED DEVELOPMENT
GENERAL DEVELOPMENT
SITE PLAN OPTION 1
MM 24-0397
SHEET Z200**

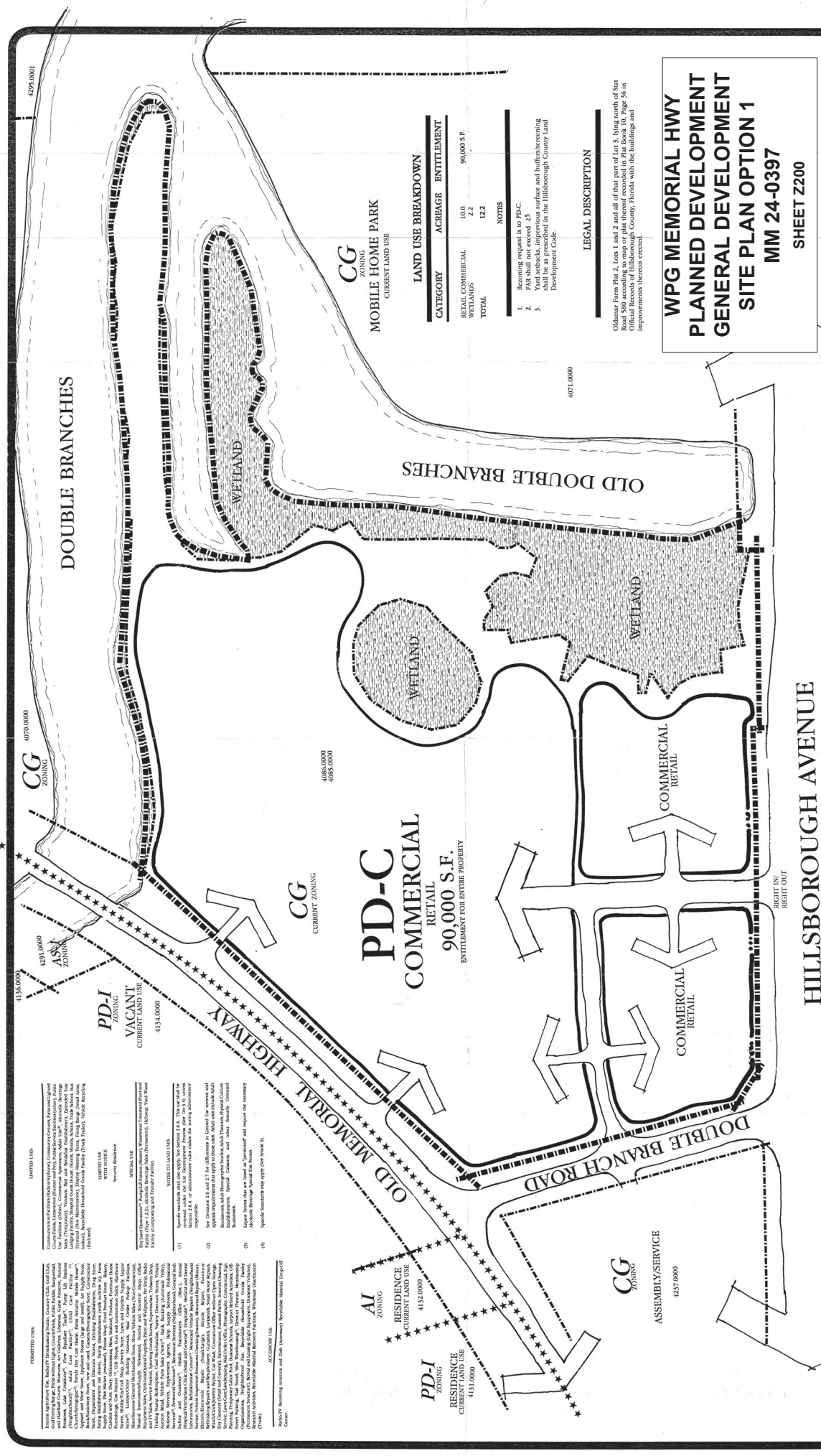
LAND USE BREAKDOWN

CATEGORY	ACRAGE	ENTIREMENT
RETAIL COMMERCIAL	10.0	90,000 S.F.
WETLANDS	2.2	
TOTAL	12.2	

NOTES

1. Reasoning request is to PD-C.
2. 70% shall not exceed 2.9' surface and building screening shall be as prescribed in the Hillsborough County Land Development Code.
- 3.
- 4.

LEGAL DESCRIPTION
Oldemar Farm Plat 2, Lots 1 and 2 and all of that part of Lot 4, lying north of Star Road 589 according to map or plat thereof recorded in Plat Book 10, Page 36 in Official Records of Hillsborough County, Florida with the buildings and improvements thereon erected.



PERMITTED USES
This zoning district is intended to allow uses that are compatible with the surrounding residential neighborhood and that do not require special treatment or a departure from the general character of the neighborhood. Permitted uses include single-family detached residential structures, accessory structures, and accessory uses.

RESTRICTED USES
The following uses are prohibited in this zoning district: multi-family residential structures, commercial uses, industrial uses, and other uses that are not compatible with the residential character of the neighborhood.

GENERAL NOTES
1. Specific setbacks shall apply to all structures. See Section 24.6. The use shall conform to the setbacks shown on the site plan and shall not be less than the minimum setbacks shown on the site plan.

ADDITIONAL NOTES
1. Specific setbacks shall apply to all structures. See Section 24.6. The use shall conform to the setbacks shown on the site plan and shall not be less than the minimum setbacks shown on the site plan.

GENERAL NOTES
1. Specific setbacks shall apply to all structures. See Section 24.6. The use shall conform to the setbacks shown on the site plan and shall not be less than the minimum setbacks shown on the site plan.

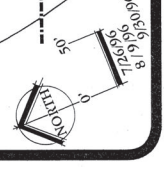


EXHIBIT A

Typical Section Local Urban Collector for a 2-Lane Undivided Roadway (TS-4)

3. PROJECT TRIP CHARACTERISTICS **SITE ACCESS EVALUATION REPORT**
August 25, 2022

Trip Generation

The AM, PM and daily trip generation estimates were based on the trip rates contained in the 11th Edition of the Institute of Transportation of Engineers (ITE) Trip Generation Manual. Tables 1, 2, and 3 below contain the detailed trip generation calculations for the AM, PM and daily, time periods.

TABLE 1 - DAILY TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	1-Way	2-Way	1-Way	
PHASE 1										
Convenience Store/ Gas Station	945	SQUARE FEET	1,283.38	6,119	7,853	5,104	2,552	2,749	1,374	
PHASE 2										
Fast Food Restaurant w/ DT	934	SQUARE FEET	467.48	3,500	1,636	736	368	900	450	
Fast Food Restaurant w/ DT	934	SQUARE FEET	467.48	4,000	1,870	841	421	1,028	514	
Phase 2 Sub Total:					7,500	1,578	789	1,928	964	
Total:					13,619	11,389	6,682	3,341	4,677	2,338

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 2 - AM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	1-Way	2-Way	1-Way	
PHASE 1										
Convenience Store/ Gas Station	945	SQUARE FEET	91.35	6,119	559	363	182	196	98	
PHASE 2										
Fast Food Restaurant w/ DT	934	SQUARE FEET	44.61	3,500	156	70	36	86	42	
Fast Food Restaurant w/ DT	934	SQUARE FEET	44.61	4,000	178	80	41	98	48	
Phase 2 Sub Total:					7,500	335	151	77	184	90
Total:					13,619	894	514	258	380	192

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 3 - PM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	1-Way	2-Way	1-Way	
PHASE 1										
Convenience Store/ Gas Station	945	SQUARE FEET	78.95	6,119	483	314	157	169	85	
PHASE 2										
Fast Food Restaurant w/ DT	934	SQUARE FEET	33.03	3,500	116	52	27	64	31	
Fast Food Restaurant w/ DT	934	SQUARE FEET	33.03	4,000	132	59	31	73	35	
Phase 2 Sub Total:					7,500	248	111	58	136	65
Total:					13,619	731	425	211	305	150

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

PD REZONE TRANSPORTATION ANALYSIS
dated 3-28-24

4. TRIP GENERATION SUMMARY

The trip generation estimates for this PD development were based on the trip rates contained in the 11th Edition of the Institute of Transportation of Engineers (ITE) Trip Generation Manual. Tables 1, 2 and 3 below contain the trip generation calculations associated with the PD Development.

TABLE 1 - DAILY TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips	
						2-Way	1-Way	2-Way	1-Way
PARCEL 1									
Convenience Store/ Gas Station	945	SQUARE FEET	1,283.38	6,119	7,853	5,104	2,552	2,749	1,374
PARCEL 2									
Multifamily Housing (Low-Rise)	220	UNITS	T=6.41(X)+75.31	220	1,466	0	0	1,466	743
Total:					9,339	5,104	2,552	4,235	2,117

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 2 - AM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips	
						2-Way	1-Way	2-Way	1-Way
PARCEL 1									
Convenience Store/ Gas Station	945	SQUARE FEET	91.35	6,119	559	363	182	196	98
PARCEL 2									
Multifamily Housing (Low-Rise)	220	UNITS	T=0.31(X)+22.85	220	91	0	0	91	22
Total:					650	363	182	287	120

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

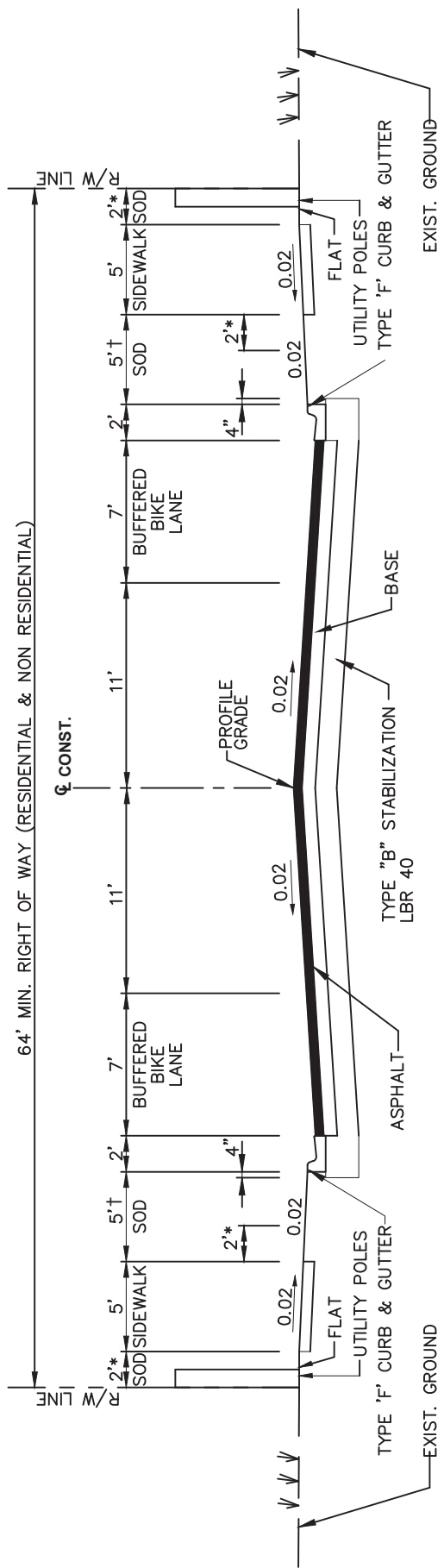
TABLE 3 - PM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips	
						2-Way	1-Way	2-Way	1-Way
PARCEL 1									
Convenience Store/ Gas Station	945	SQUARE FEET	78.95	6,119	483	314	157	169	85
PARCEL 2									
Multifamily Housing (Low-Rise)	220	UNITS	T=0.43(X)+20.55	220	115	0	0	115	43
Total:					598	314	157	284	127

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

EXHIBIT B

Hillsborough Avenue & Double Branch Road – TS-4 Deflection Exhibit



TYPICAL SECTION

N.T.S.

5,000 TO 10,000 AADT

MAX. ALLOWABLE DESIGN SPEED – 40 MPH

1. ALL DIMENSIONS SHOWN ARE MINIMUM.
2. SEE APPROPRIATE SECTIONS OF TECHNICAL MANUAL FOR DESIGN PARAMETERS.
- * 3. PROVIDE 2' MINIMUM CLEARANCE FROM FENCES, WALLS, HEDGES, ABOVEGROUND UTILITIES OR IMPROVEMENTS, DROP OFFS, OR FROM THE TOPS OF BANKS WITH SLOPES STEEPER THAN 1 TO 4, THAT INTERFERE WITH THE SAFE, FUNCTIONAL USE OF THE SIDEWALK. INTERMITTENT ABOVEGROUND UTILITIES, OR MATURE TREES, 2' OR LESS IN DIAMETER MAY BE PLACED IN THIS 2' STRIP AS FAR FROM THE SIDEWALK AS POSSIBLE, IF NOT IN THE CLEAR ZONE.
- † 4. SEE SIDEWALK PROTECTION OPTIONS, DRAWING NO. TD-16 SHEET 7 OF 7 FOR USE WHEN TREES ARE PLANTED IN THE PARKWAY AREA (BETWEEN THE BACK OF CURB AND SIDEWALK).
5. SOD SHALL BE PLACED IN TWO ROWS STAGGERED. (BOTH TEMPORARY AND PERMANENT)

REVISION DATE:
10/17

**TRANSPORTATION
TECHNICAL
MANUAL**



**Hillsborough
County Florida**

**URBAN COLLECTORS
(2 LANE UNDIVIDED)
TYPICAL SECTION**

DRAWING NO. **TS-4**
SHEET NO. 1 OF 1

EXHIBIT C

Trip Generation Comparison

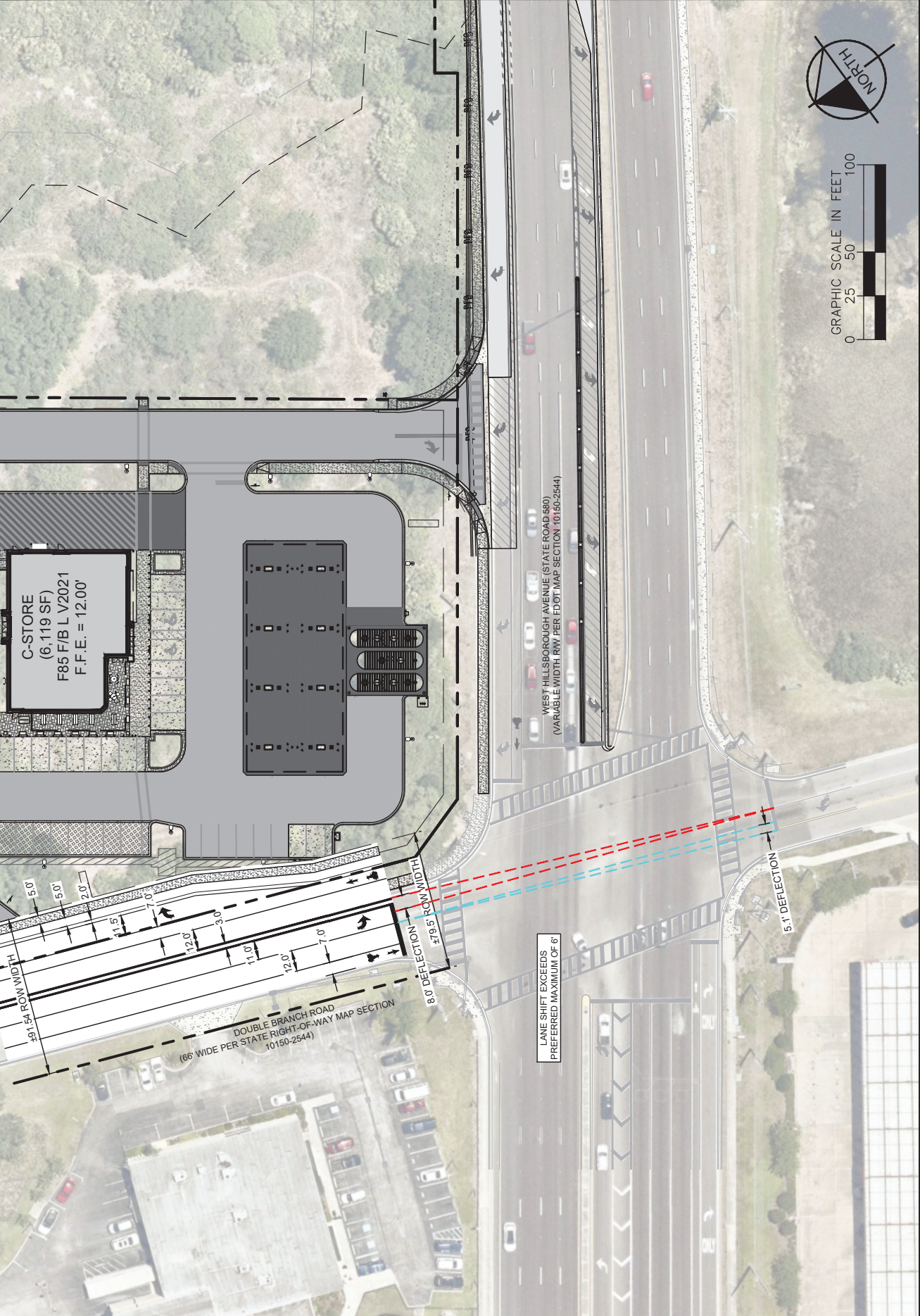
DATE: 05/09/2024
PROJECT NO: 147779017
SHEET NUMBER: B

EXHIBIT B INTERSECTION DEFLECTIONS

SCALE: AS SHOWN
 ASSIGNED BY: JLF
 DESIGNED BY: JLF
 DRAWN BY: JLF
 CHECKED BY: DAL
 DATE: 6/8/2024

DESIGN ENGINEER: MATTHEW FEMAL, P.E.
 FLORIDA P.E. LICENSE NUMBER: 68397

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 201 NORTH FRANKLIN STREET, SUITE 1400, TAMPA, FL 33602
 WWW.KIMLEY-HORN.COM CA 00000696



Transportation Comment Sheet

3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)

Adjoining Roadways (check if applicable)			
Road Name	Classification	Current Conditions	Select Future Improvements
Hillsborough Ave.	FDOT Principal Arterial - Urban	6 Lanes <input type="checkbox"/> Substandard Road <input checked="" type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
Double Branch Rd.	County Collector - Urban	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input checked="" type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input checked="" type="checkbox"/> Site Access Improvements <input checked="" type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
Memorial Hwy.	County Collector - Rural	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input checked="" type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input checked="" type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
	Choose an item.	Choose an item. Lanes <input type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other

Project Trip Generation <input type="checkbox"/> Not applicable for this request			
	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	12,234	729	1,064
Proposed	12,234	729	1,064
Difference (+/-)	No Change	No Change	No Change

*Trips reported are based on gross external trips unless otherwise noted.

Connectivity and Cross Access <input type="checkbox"/> Not applicable for this request				
Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North	X	Vehicular & Pedestrian	None	Meets LDC
South	X	Vehicular & Pedestrian	None	Meets LDC
East		None	None	Meets LDC
West	X	Vehicular & Pedestrian	None	Meets LDC
Notes:				

Design Exception/Administrative Variance <input type="checkbox"/> Not applicable for this request		
Road Name/Nature of Request	Type	Finding
Memorial Hwy./ Access Spacing	Administrative Variance Requested	Approvable
Double Branch Rd./ Access Spacing	Administrative Variance Requested	Approvable
Memorial Hwy./ Substandard Road	Design Exception Requested	Approvable
Double Branch Rd./ Substandard Road	Design Exception Requested	Approvable
Notes: All Design Exceptions (DEs) and Administrative Variances (AVs) apply only to PD Option 2. PD Option 1 is proposed to remain as was previously approved (Staff notes that the existing PD, now labeled as Option 1, was approved in the 1990s, before the requirement to address AVs and DEs during the zoning process existed.)		

Transportation Comment Sheet

4.0 Additional Site Information & Agency Comments Summary			
Transportation	Objections	Conditions Requested	Additional Information/Comments
<input checked="" type="checkbox"/> Design Exception/Adm. Variance Requested <input checked="" type="checkbox"/> Off-Site Improvements Provided	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	

Vazquez, Bianca

From: Croft, Todd
Sent: Thursday, July 11, 2024 3:57 PM
To: Mineer, Lindsey
Cc: Santos, Daniel; Sarah Liakos; Carroll, Allison; Schail, Leanna
Subject: RE: MM 24-0397 (2022-A-796-00029)

Follow Up Flag: Follow up
Flag Status: Completed

Hi Lindsey and Sarah,

Thanks for attending the quick meeting this afternoon.

After reviewing the concept plans and data provided concerning the PD rezoning with Hillsborough County, and its potential impact on approved permit 2022-A-796-00029, WAWA Double Branch, it is FDOT's recommendation for the applicant to...

- Submit a permit revision in OSP
- Provide updated traffic study and plans showing the proposed changes in the master plan
- FDOT will then be able to officially review, comment on, and approve the updated plans.

The purpose of the revision and study/plans request is to provide for updating the permit to reflect expected changes to the site master plan and allow FDOT to make necessary reviews and recommendations. Keeping the permit up to date with reality on the ground helps prevent future issues.

Based on the preliminary review, it is not anticipated that the permit revision will result in any changes to the prior approved driveway connection to SR580 Hillsborough Ave.

Todd Croft

**Permits Manager
Tampa Operations Center
2822 Leslie Road
Tampa, FL 33619
OFFICE: (813) 612-3318
CELL: (813) 326-0506**

COMMISSION

Gwendolyn “Gwen” W. Myers CHAIR
 Harry Cohen VICE-CHAIR
 Donna Cameron Cepeda
 Ken Hagan
 Pat Kemp
 Christine Miller
 Joshua Wostal



DIRECTORS

Janet D. Lorton EXECUTIVE DIRECTOR
 Elaine S. DeLeeuw ADMIN DIVISION
 Sam Elrabi, P.E. WATER DIVISION
 Diana M. Lee, P.E. AIR DIVISION
 Michael Lynch WETLANDS DIVISION
 Rick Muratti, Esq. LEGAL DEPT
 Steffanie L. Wickham WASTE DIVISION

AGENCY COMMENT SHEET

REZONING	
<p>HEARING DATE: October 15, 2024</p> <p>PETITION NO.: 24-0397</p> <p>EPC REVIEWER: Abbie Weeks</p> <p>CONTACT INFORMATION: (813) 627-2600 X1101</p> <p>EMAIL: weeksa@epchc.org</p>	<p>COMMENT DATE: October 4, 2024</p> <p>PROPERTY ADDRESS: NE Corner of Double Branch Rd and Hillsborough Avenue</p> <p>FOLIO #: 0040860000, 0040860010</p> <p>STR: 19-28S-17E</p>
<p>REQUESTED ZONING: Modification to PD</p>	
FINDINGS	
WETLANDS PRESENT	YES
SITE INSPECTION DATE	N/A
WETLAND LINE VALIDITY	Valid To July 18, 2027
WETLANDS VERIFICATION (AERIAL PHOTO, SOILS SURVEY, EPC FILES)	Double Branch Creek and the three onsite wetland areas generally located in the eastern portion of the property. Wetland areas appear to be accurately depicted in the Option 2 site plan
<p>The EPC Wetlands Division has reviewed the proposed rezoning. In the site plan’s current configuration, a resubmittal is not necessary. If the zoning proposal changes and/or the site plans are altered, EPC staff will need to review the zoning again. This project as submitted is conceptually justified to move forward through the zoning review process as long as the following conditions are included:</p> <ul style="list-style-type: none"> • Approval of this zoning petition by Hillsborough County does not constitute a guarantee that the Environmental Protection Commission of Hillsborough County (EPC) approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impact to wetlands, and does not grant any implied or vested right to environmental approvals. • The construction and location of any proposed wetland impacts are not approved by this correspondence but shall be reviewed by EPC staff under separate application pursuant to the EPC Wetlands rule detailed in Chapter 1-11, Rules of the EPC, (Chapter 1-11) to determine whether such impacts are necessary to accomplish reasonable use of the subject property. 	

- Prior to the issuance of any building or land alteration permits or other development, the approved wetland / other surface water (OSW) line must be incorporated into the site plan. The wetland/ OSW line must appear on all site plans, labeled as "EPC Wetland Line", and the wetland must be labeled as "Wetland Conservation Area" pursuant to the Hillsborough County Land Development Code (LDC).
- Final design of buildings, stormwater retention areas, and ingress/egresses are subject to change pending formal agency jurisdictional determinations of wetland and other surface water boundaries and approval by the appropriate regulatory agencies.

INFORMATIONAL COMMENTS:

The following specific comments are made for informational purposes only and to provide guidance as to the EPC review process. However, future EPC staff review is not limited to the following, regardless of the obviousness of the concern as raised by the general site plan and EPC staff may identify other legitimate concerns at any time prior to final project approval.

- The site plan depicts wetland impacts that have not been authorized by the Executive Director of the EPC. The wetland impacts are indicated for the proposed multi-family development. Chapter 1-11, prohibits wetland impacts unless they are necessary for reasonable use of the property. Staff of the EPC recommends that this requirement be taken into account during the earliest stages of site design so that wetland impacts are avoided or minimized to the greatest extent possible. The size, location, and configuration of the wetlands may result in requirements to reduce or reconfigure the improvements depicted on the plan.
- During the ongoing EPC permitting process, the applicant will be asked to continue exploring minimization to the greatest extent possible.
- The Hillsborough County Land Development Code (LDC) defines wetlands and other surface waters as Environmentally Sensitive Areas. Pursuant to the LDC, wetlands and other surface waters are further defined as Conservation Areas or Preservation Areas and these areas must be designated as such on all development plans and plats. A minimum setback must be maintained around the Conservation/Preservation Area and the setback line must also be shown on all future plan submittal.
- Any activity interfering with the integrity of wetland(s) or other surface water(s), such as clearing, excavating, draining or filling, without written authorization from the Executive Director of the EPC or authorized agent, pursuant to Section 1-11.07, would be a violation of Section 17 of the Environmental Protection Act of Hillsborough County, Chapter 84-446, and of Chapter 1-11.

aow / cb

ec: landuse@gardnerbrewer.com



Adequate Facilities Analysis: Rezoning

Date: April 17, 2024

Acreage: 11.44 (+/- acres)

Jurisdiction: Hillsborough County

Proposed Zoning: Planned Development

Case Number: 24-0397

Future Land Use: OC-20

HCPS #: RZ 610

Maximum Residential Units: 220

Address: Northeast Corner of Hillsborough Avenue and Double Branch Road

Residential Type: Multifamily

Parcel Folio Number(s): 004086.0000
004086.0010

School Data	Lowry Elementary	Farnell Middle	Alonso High
FISH Capacity Total school capacity as reported to the Florida Inventory of School Houses (FISH)	1063	1290	2955
2023-24 Enrollment K-12 enrollment on 2023-24 40 th day of school. This count is used to evaluate school concurrency per Interlocal Agreements with area jurisdictions	760	1200	2933
Current Utilization Percentage of school capacity utilized based on 40 th day enrollment and FISH capacity	71%	93%	99%
Concurrency Reservations Existing concurrency reservations due to previously approved development. Source: CSA Tracking Sheet as of 04/16/2024	18	9	14
Students Generated Estimated number of new students expected in development based on adopted generation rates. Source: Duncan Associates, School Impact Fee Study for Hillsborough County, Florida, Dec. 2019	26	10	12
Proposed Utilization School capacity utilization based on 40 th day enrollment, existing concurrency reservations, and estimated student generation for application	76%	94%	100%

Notes: At this time, adequate capacity exists at Lowry Elementary and Farnell Middle Schools for the proposed rezoning. Although Alonso High School is projected to be at capacity given existing approved development and the proposed rezoning, state law requires the school district to consider whether capacity exists in adjacent concurrency service areas (i.e., school attendance boundaries). At this time, additional capacity exists in adjacent concurrency service areas at the high school level.

This is an analysis for adequate facilities only and is NOT a determination of school concurrency. A school concurrency review will be issued PRIOR TO preliminary plat or site plan approval.

Andrea A. Stingone

Andrea A. Stingone, M.Ed.
Department Manager, Planning & Siting
Growth Management Department
Hillsborough County Public Schools

E: andrea.stingone@hcps.net

P: 813.272.4429 C: 813.345.6684

AGENCY COMMENT SHEET

TO: **Zoning/Code Administration, Development Services Department**

FROM: **Reviewer:** Carla Shelton Knight **Date:** July 25, 2024

Agency: Natural Resources **Petition #:** 24-0397

- This agency has **no comment**
- This agency has **no objections**
- This agency has **no objections, subject to listed or attached conditions**
- This agency **objects, based on the listed or attached issues.**

1. Natural Resources staff identified a number of significant trees on the site including potential Grand Oaks. Every effort must be made to avoid the removal of and design the site around these trees. The site plan may be modified from the Certified Site Plan to avoid tree removal.
2. Wetlands or other surface waters are considered Environmentally Sensitive Areas and are subject to Conservation Area and Preservation Area setbacks. A minimum setback must be maintained around these areas which shall be designated on all future plan submittals. Only items explicitly stated in the condition of approval or items allowed per the LDC may be placed within the wetland setback. Proposed land alterations are restricted within the wetland setback areas.
3. Approval of this petition by Hillsborough County does not constitute a guarantee that Natural Resources approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impacts to trees, natural plant communities or wildlife habitat, and does not grant any implied or vested right to environmental approvals.
4. The construction and location of any proposed environmental impacts are not approved by this correspondence, but shall be reviewed by Natural Resources staff through the site and subdivision development plan process pursuant to the Land Development Code.

4. If the notes and/or graphic on the site plan are in conflict with specific zoning conditions and/or the Land Development Code (LDC) regulations, the more restrictive regulation shall apply, unless specifically conditioned otherwise. References to development standards of the LDC in the above stated conditions shall be interpreted as the regulations in effect at the time of preliminary site plan/plat approval.



NOTE: THIS IS ONLY FOR ESTIMATE PURPOSES, BASED ON THE FEES AT THE TIME THE REVIEW WAS MADE. ACTUAL FEES WILL BE ASSESSED BASED ON PERMIT APPLICATIONS RECEIVED AND BASED ON THE FEE SCHEDULE AT THE TIME OF BUILDING PERMIT APPLICATION.

TO: Zoning Review, Development Services **DATE:** 07/12/2024
REVIEWER: Ron Barnes, Impact & Mobility Fee Coordinator
APPLICANT: WPG-Double Branch LLC / WPG - Oldsmar Farm LLC **PETITION NO:** 24-0397
LOCATION: NE Corner of Double Brand Rd & Hillsborough Ave
FOLIO NO: 4086.000 & 4086.0010

Estimated Fees:

(Fee estimate is based on a 1,200 square foot, Multi-Family Units 1-2 story)

Mobility: \$6,661 * 220 = \$1,465,420

Parks: \$1,555 * 220 = \$342,100

School: \$3,891 * 220 = \$856,020

Fire: \$249 * 220 = \$54,780

Total impact fee estimate \$2,718,320

Retail - Conv Mkt. w/Gas

(Per fueling position for Mobility based on Conv Mkt size)

(Per 1,000 s.f. for Fire)

Mobility: \$18,422 x 16 = \$294,752.00

Fire: \$313 x 6.119 = \$1,915.25

Project Summary/Description:

Urban Mobility, Northwest Park/Fire - 220 Multi-Family Units and 6119 sq ft conv mkt with gas (16 fueling positions)



Agency Review Comment Sheet

NOTE: Wellhead Resource Protection Areas (WRPA), Potable Water Wellfield Protection Areas (PWWPA), and Surface Water Resource Protection Areas (SWRPA) reviews are based on the most current available data on the Hillsborough County maps, as set forth in Part 3.05.00 of the Land Development Code.

TO: Zoning Review, Development Services **REQUEST DATE:** 2/6/2024

REVIEWER: Kim Cruz, Environmental Supervisor **REVIEW DATE:** 2/14/2024

PROPERTY OWNER: WPG-Double Branch LLC / WPG - Oldsmar Farm LLC **PID:** 24-0397

APPLICANT: WPG-Double Branch LLC / WPG - Oldsmar Farm LLC

LOCATION: NE Corner of Double Brand Rd and Hillsborough Avenue Tampa, FL 33635

FOLIO NO.: 4086.0000, 4086.0010

AGENCY REVIEW COMMENTS:

According to the Hillsborough County BOCC approved maps adopted in the Comprehensive Plan, the project is not located within a Wellhead Resource Protection Area (WRPA), Potable Water Wellfield Protection Area (PWWPA), and/or a Surface Water Resource Protection Area (SWRPA), as defined in Part 3.05.00 of the Hillsborough County Land Development Code (LDC).

Hillsborough County Environmental Services Division (HC EVSD) has no objection.

**WATER RESOURCE SERVICES
REZONING REVIEW COMMENT SHEET: WATER & WASTEWATER**

PETITION NO.: MM 24-0397 REVIEWED BY: Clay Walker, E.I. DATE: 2/9/2024

FOLIO NO.: 4086.0000 & 4086.0010

WATER

- The property lies within the ____ Water Service Area. The applicant should contact the provider to determine the availability of water service.
- A 12 inch water main exists (adjacent to the site), (approximately __ feet from the site) and is located south of the subject property within the north Right-of-Way of West Hillsborough Avenue. This will be the likely point-of-connection, however there could be additional and/or different points-of-connection determined at the time of the application for service. This is not a reservation of capacity.
- Water distribution system improvements will need to be completed prior to connection to the County's water system. The improvements include _____ and will need to be completed by the _____ prior to issuance of any building permits that will create additional demand on the system.

WASTEWATER

- The property lies within the _____ Wastewater Service Area. The applicant should contact the provider to determine the availability of wastewater service.
- A 10 inch wastewater forcemain exists (adjacent to the site), (approximately 130 feet from the site) and is located southwest of the subject property within the south Right-of-Way of West Hillsborough Avenue. This will be the likely point-of-connection, however there could be additional and/or different points-of-connection determined at the time of the application for service. This is not a reservation of capacity.
- Wastewater collection system improvements will need to be completed prior to connection to the County's wastewater system. The improvements include _____ and will need to be completed by the _____ prior to issuance of any building permits that will create additional demand on the system.

COMMENTS: The subject rezoning includes parcels that are within the Urban Service Area and would require connection to the County's wastewater system. The subject area is located within the Hillsborough County Wastewater Service Area and will be served by the Northwest Regional Water Reclamation Facility.

AGENCY REVIEW COMMENT SHEET

TO: ZONING TECHNICIAN, Planning Growth Management

DATE: 7 Feb. 2024

REVIEWER: Bernard W. Kaiser, Conservation and Environmental Lands Management

APPLICANT: Truett Gardner

PETITION NO: RZ-PD 24-0397

LOCATION: Tampa, FL 33635

FOLIO NO: 4086.0000, 4086.0010

SEC: 19 TWN: 28 RNG: 17

- This agency has no comments.

- This agency has no objection.

- This agency has no objection, subject to listed or attached conditions.

- This agency objects, based on the listed or attached conditions.

COMMENTS: _____.



VERBATIM TRANSCRIPT

Zoning Hearing Master Hearing
October 28, 2024

HILLSBOROUGH COUNTY, FLORIDA
BOARD OF COUNTY COMMISSIONERS

-----X
)
IN RE:)
)
ZONE HEARING MASTER)
HEARINGS)
)
-----X

ZONING HEARING MASTER HEARING
TRANSCRIPT OF TESTIMONY AND PROCEEDINGS

BEFORE: Pamela Jo Hatley
 Land Use Hearing Master

DATE: Monday, October 28, 2024

TIME: Commencing at 6:00 p.m.
 Concluding at 8:44 p.m.

LOCATION: Hillsborough County BOCC
 601 East Kennedy Boulevard,
 Second Floor Boardroom
 Tampa, Florida 33601

Reported by:
Diane DeMarsh, AAERT No. 1654

1 MS. HEINRICH: Our next application is Item D.1, Major
2 Mod 24-0397. The applicant is requesting a modification to
3 PD 96-0340. Chris Grandlienard with Development Services will
4 provide staff findings after the applicant's presentation.

5 HEARING MASTER: Hi.

6 MR. GARDNER: Good evening. Truett Gardner here with
7 Addie Clark. Gardner, Brewer, Hudson, 400 North Ashley Drive.

8 And our client is Wagner Property Group. Addie has a
9 PowerPoint she's going to run you through. But I thought just
10 as a preliminary comment, broadly what we're doing is taking an
11 existing PD. One of the parcels is being currently developed as
12 Wawa. The other parcel has about close to 84,000 square feet of
13 commercial uses. We're providing a different option for that,
14 which is multifamily housing, which one, from a transportation
15 standpoint, we feel like it's -- it's much better, much less
16 impactful. Secondly, serves as a great transition to the
17 residential neighborhood to the east. And then third, provides
18 you know, critical need facing the county, which is additional
19 housing.

20 So that's the broad overview. With that, Addie's
21 going to dig into the details. We've got our team, civil
22 engineer, developer and environmental. We've been working
23 closely with the staff and also with EPC. And so, this has been
24 a -- a labor and I'm happy to be in front of you tonight and
25 happy to answer any questions you may have. And with that, I'll

1 turn it over the Addie Clark.

2 HEARING MASTER: All right. Thank you.

3 MS. CLARK: Good evening. Addie Clark, 400 North
4 Ashley Drive. If I can share a PowerPoint. Thank you.

5 So getting started, we're looking at this site here,
6 shade out in yellow. And it's two folios. And it has been
7 zoned planned development since 1996. And it does have an
8 underlying Future Land Use of OC-20. And as Truett mentioned,
9 it's been approved for commercial general uses with CG
10 dimensional stand -- standards with multiple access points.

11 And this image I think does a really good job at
12 showing, you can see in the southwest corner, the -- a gas
13 station with convenience store is currently under construction
14 and was approved by right under the 1996 PD zoning.

15 And again, looking into that '96 plan, you can see it
16 was previously approved here, access and multiple offsite -- oh,
17 sorry, here we go, multiple offsite roadway improvements were
18 required as part of the gas station construction project, which
19 again was approved under the '96 Pd. And, for example, the
20 right-of-way preservation along Memorial Highway, internal and
21 external sidewalk connections, as well as turn lane improvements
22 were all previously approved as part of that gas station plan
23 and are not the result of the modification requested before you
24 tonight.

25 And these multiple improvements, along Double Branch

1 Road, Memorial Highway and Hillsborough Avenue, which are
2 currently under construction right now, are really all safety
3 requirements that were required by the County as part of that
4 Wawa project, which had approved construction permits earlier
5 this year.

6 So the proposed modification before you tonight is
7 really just adding in this option two, as Truett mentioned to
8 introduce multifamily as a potential use. So option one will
9 remain as the PD that is approved today from '96. And then
10 option two will capture that gas station that's currently being
11 constructed as the use for parcel one. And then will allow
12 220 multifamily dwelling units as parcel two, which is shown
13 with that blue bubble here.

14 So really, the only change that addition of
15 multifamily units in parcel two since parcel one in green, is
16 already approved and being constructed under the '96 PD today.

17 And so, here we -- we shaded out parcel one since the
18 gas station is under construction. And again, parcel two being
19 proposed for 220 multifamily dwell -- dwelling units ranging
20 from one to three bedrooms. And given the site's location along
21 collector and arterial roadways, we believe that's -- the use is
22 appropriate here. But also we are adjacent to Double Branch
23 Creek to the east and to the north. We believe that the
24 development's design is sensitive to the surroundings in terms
25 of setback and height. And again, the maximum height of 68 feet

1 above the finished floor elevation. This is a slight increase
2 from what is in the staff report today, which was 60 feet. And
3 that is due to the potential for a peaked roof. We think that
4 would be a nice architectural feature and we want to have that
5 option if possible also, in coordination with EPC in trying to
6 be sensitive with the surroundings.

7 And then on that note, we are providing a retaining
8 wall that will provide protection to the adjacent wetland and
9 ensure that no untreated flow will go into that wetland area.
10 And again, this market needs, we believe that the -- the intent
11 of the request is to allow for residential in a growing area
12 while also allowing for the flexibility should market trends
13 change. And we recognize the importance of both residential use
14 and commercial use along these collector and arterial roadways
15 in the urban service area. And then also while bal -- balancing
16 the need for infrastructure improvements.

17 And so, which takes us now into focusing on option two
18 compared to option one which exists today in terms of traffic.
19 The -- the trip generation analysis derives from the Institute
20 of Transportation Engineers Trip Generation Manual, which
21 indicated an overall reduction in trips generated by the gas
22 station and the multifamily development compared to the
23 currently approved zoning plan. And these numbers would
24 actually be a little bit lower considering the internal capture
25 that occurs when you have someone from the multifamily

1 development kind of hop across and go to the gas station to get
2 gas or coffee or sandwich or -- or what have you.

3 So the analysis conducted by the team's professional
4 engineer concluded that option two would be fewer trips and that
5 there would be no significant impact to the previously approved
6 driveways in the external roadway network that was improved and
7 approved as part of the gas station construction plan.

8 And we're fortunate to have coordinated with staff on
9 this and have received recommendations of approval with
10 conditions from all departments. And our team is here if you
11 have any questions at all.

12 HEARING MASTER: All right. Thank you. I have no
13 questions for you.

14 MS. CLARK: Thank you.

15 HEARING MASTER: All right.

16 MR. GRANDLIENARD: Good evening. Chris Grandlienard,
17 planner with Development Services here to present Major
18 Modification 24-397.

19 The 11.44 acre site contains two parcels zoned
20 PD 96-0340 and it's located at the northeast corner of
21 Hillsborough Avenue and Double Branch Road. It's located in the
22 urban service area within the limits of the Town 'N Country and
23 North -- Northwest Area community plans. '96 -- PD 96-0340 was
24 approved in 1996 to allow up to 90,000 square feet of commercial
25 general uses.

1 The applicant requests a modification to have add a
2 second option to include residential multifamily as an allowable
3 use for the development of up to 220 dwelling units for parcel
4 two.

5 Parcel one is proposed to remain as a 6,119 square
6 feet convenience store with gas station. The surrounding area
7 is predominately a mixture of light industrial, RV parks and
8 institutional uses. There's a church immediately west of the
9 site across Double Branch Road, multiple RV parts to the north
10 and east across Double Branch Creek. And the general
11 proximate -- proximity of the subject site is PD zoning to the
12 north, east and west. A commercial general zoning to the south
13 and west.

14 The subject property is designated office commercial
15 20 on the Future Land Use Map. The -- the Planning Commission
16 finds the proposed use consistent with a comprehensive plan.
17 The current PD 96-340 is already approved for commercial general
18 uses, which provides residential support uses. The addition of
19 a second option, which includes 220 multifamily dwelling units,
20 would be consistent with the property -- with the currently
21 approved PD.

22 Therefore, the modification of PD 96-0340 to allow for
23 a second option to develop the site with up to 220 multifamily
24 dwelling units and 619 -- 6 -- 6,119 square foot convenience
25 store with gas station would be consistent with the existing

1 zoning pattern of the area.

2 Based on the office commercial 20 Future Land Use
3 classification, the surrounding zoning and development pattern
4 and the proposed uses for the modified planned development
5 district, staff lines to request approvable, subject to proposed
6 conditions.

7 That concludes my staff report. I'd be glad to answer
8 any questions you might have.

9 HEARING MASTER: Don't have any questions for you.

10 MR. GRANDLIENARD: Thank you.

11 HEARING MASTER: Thank you. All right. Planning
12 Commission.

13 MS. MYERS: Yes. Alexis Myers, Planning Commission
14 Staff.

15 The subject property is located in the office
16 commercial 20 Future Land Use Category. It is in the urban
17 service area and within the limits of the Town 'N Country and
18 Northwest Area Community Plans. The proposal meets the intent
19 of Future Land Use Element Objective one on compatibility and
20 Objective 16 on neighborhood protection. As the proposed uses
21 will complement the existing development patter surrounding the
22 subject site.

23 The surrounding land use pattern is of mixed uses, but
24 comprise mostly of residential uses, vacant land, light
25 commercial and public-quasi-public institution uses.

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1 Based upon those considerations, Planning Commission
2 Staff finds the proposed major modification consistent with the
3 Unincorporated Hillsborough County Comprehensive Plan, subject
4 to the proposed conditions by the Development Services
5 Department.

6 HEARING MASTER: All right. Thank you. All right.
7 Is there anyone here or online who wishes to speak in support of
8 this application? I do not hear anyone.

9 Is there anyone here or online who wishes to speak in
10 opposition to this application? All right. I think I see three
11 speakers. Please -- okay, several. Please come forward and
12 each -- okay. We have 15 minutes total. So were there five or
13 were there three of you? Raise your hands again, please. All
14 right. One, two, three, four, five, it looks like. All right,
15 so five speakers over 15 minutes, that would give you three
16 minutes each.

17 All right. So please come forward and first state
18 your name and address and make sure that you're speaking into
19 the microphone.

20 MR. DENYKO: My name is George Denyko. I'm the
21 president of the HOA for River Chase. My address is 9002 North
22 River Road, Tampa, Florida 33635-9106.

23 As president of the HOA, my community is very
24 concerned with the wetlands, in particular for this property.
25 We just went through two hurricanes and saw the results of what

1 the drainage from the north does to us and how much there is
2 there. And we're very concerned about anything that is going to
3 touch this critical point at the north of the bank.

4 We're the point where the water's going to hit and
5 it's going to come through. So those mangroves and everything
6 are extremely important.

7 The -- the other concerns that we have are with the
8 site, the 220 units, that's about 20 an acre, I guess the way to
9 hash it out. How many cars? 200? 600? Don't know. That's
10 not going to fit in 11 acres real well. If you look at the
11 layout, the entrance and exits for those are going to be an
12 absolute nightmare both along Memorial Highway, which is already
13 a nightmare in the mornings with people trying to go to work,
14 make a left turn out of there to get onto Hillsborough through
15 Double Branch. The new modification's there to try and funnel
16 traffic in place are making it even more difficult for traffic
17 to get through there and to see people that are walking, riding
18 bikes, anything else. I see this as a -- a problem point with
19 traffic congestion. By the way, one of the drives is directly
20 across from Millwork 360, which has nothing but commercial
21 trucks going in and out with wood. So that's going to be very
22 interesting.

23 To the west of this property is a huge warehouse,
24 which is going to bring additional semi-traffic down an area
25 that they just repaved for Memorial Highway. So that's going to

1 be more traffic coming down there. This is frankly much too
2 dense for this area and we're very concerned on what it's going
3 to do to the -- those of us upstream from that -- from that
4 entrance area.

5 I'll leave for other folks.

6 HEARING MASTER: All right. Thank you, sir. And
7 before you sit down, please sign in with the clerk here. Thank
8 you.

9 All right. Next speaker.

10 UNIDENTIFIED SPEAKER: Madam Chair, we also have one
11 online as well.

12 HEARING MASTER: Okay. All right. Well since I
13 divided incorrectly, there's one person online, is that it?
14 Okay. If we run out of time, the I'll extend the time by three
15 minutes since I didn't count that person.

16 So please come forward, sir.

17 MR. TOLEDO: Thank you for having me. My name is
18 Pedro Toledo. I go by Coach P. I coach at Alonso High School.

19 And the reason I'm here, I live at 8931 North River
20 Road. We have a beautiful community. I was -- I was one of the
21 first persons that moved there and established. We're very
22 close. But we have one way in and one way out. One of the main
23 problems we have is, coming down River Road and either making a
24 left, going toward County Way or making a right going to Double
25 Branch.

1 We -- my -- my feelings are that this is going to
2 bring very much traffic. We have a lot of kids that walk to
3 school to Alonso, there's no sidewalks anywhere, no -- none on
4 River Road, not on Memorial. I would love for the City to
5 please go out there and take a look at this. This also is going
6 to bring a lot of traffic. Right now, there's speeders going
7 down. The speed limit is 30 miles an hour. You can take the
8 signs and put them away because that doesn't happen.

9 One of the main things that I -- I see as a resident
10 of River Chase is like Chip said, Mr. Denyko, sorry, like he
11 said, they built a huge warehouse, a huge warehouse, not even a
12 quarter mile down the street along with 360. 360's been okay
13 because to us, it doesn't bother me that -- that much because
14 the trucks come in, they unload and they leave and pretty --
15 pretty much, you know, pretty quickly, they don't block traffic
16 that much.

17 Now, there's also a trailer park. The other day we
18 had a camper that decided to do a 360 on Memorial and got stuck.
19 So now the bridge side, which is on the east side of Memorial
20 got stuck, we only have one way in. We had to go all the way
21 around Hillsborough Avenue.

22 Flooding, the main concern with all our residents is
23 storms. I think this project is going to raise our level.
24 Those lanes are there for a reason. We had almost a lot of
25 homes in our community that were close to being flooded.

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1 Luckily, we were bless and nothing happened, you know, because
2 it's just the way it happened this hurricane. But a lot of
3 people left their -- their homes because of that, being scared
4 of -- of flood. If -- anytime there's a heavy rain, if you go
5 east, that bridge that's down the road gets clogged up, it's
6 closed. I wish somebody could take a look at that also, because
7 that's going to cause additional problems with this traffic. My
8 main concern also is, I have some notes here. I'm sorry,
9 I'm not a public speaker but I'm -- leaving my baseball game for
10 you guys.

11 HEARING MASTER: You're almost out of time. You got
12 about ten seconds. Do you have happen to have notes that you
13 could submit to the record that --

14 MR. TOLEDO: I can --

15 HEARING MASTER: -- are written?

16 MR. TOLEDO: -- I can do that. And I appreciate your
17 time, really, I do. Thank you.

18 HEARING MASTER: Yes, sir. Thank you very much. Be
19 sure that you sign in with the clerk here.

20 All right. Next speaker, please.

21 MR. ROJAS: Good afternoon. Daniel Rojas, 9013 North
22 River Road.

23 I have a few concerns in regards to this project. A
24 couple of things right, this is listed as an evacuation zone A.
25 As we know, we have many houses already in this flood zone. Our

1 concern is, we're going to continue to add to this large
2 flooding pro -- problem in our area. Existing ground level run
3 is between four and five elevation. These (indiscernible)
4 levels around 11. So that means we're going to have to raise it
5 six to seven feet, right, just to get base level. So this is
6 going -- where is that water going to go to? We've already seen
7 some of those issues. So I have two photos here, if I can share
8 them.

9 This one was after one of the storms. I don't know,
10 what do I press?

11 HEARING MASTER: It'll come up. There you go.

12 MR. ROJAS: This was after a storm in October. This
13 is not a hurricane. As you can already see the impact of the
14 parcel to the right is parcel one, which is not Wawa. So if you
15 can already see what's already causing on there, can you imagine
16 as we continue to do more development in this area?

17 The second picture I do have as well is after
18 Hurricane Helene. As you can imagine, that's Double Branch in
19 the back. That's the RV center right there. Again, continuing
20 to think about what we're doing with this development, the
21 playing issues we've already have in our neighborhood is a major
22 concern, especially as we think that this project is
23 approximately going to remove half of the wetlands on site,
24 right. The previous plan in 1996 was a commercial development
25 avoiding all wetlands. Yet, that has changed.

1 So one of the key things we want to remember here is
2 wetlands provide mitigation for flooding, water quality and you
3 know one-third of the U.S. beaches are dependant on those
4 wetlands. So a couple concerns there.

5 Another concern here is the research staff did talk
6 about, the -- the significant trees that are part of this, yet
7 there is a no tree study and there is -- that we saw. And there
8 is a natural concern for us as a public because as you can see
9 from parcel one, when we did Wawa, all of those trees were
10 removed, right. So there's a lot of -- they even said there's
11 potentially some grand oak that are there, yet all the trees in
12 parcel one were -- were -- were removed.

13 And then when we talked about traffic on trip page --
14 generation table page seven, the document showed no change
15 between existing and proposed average general trips. I asked
16 the board here how could that be? How could that be the case,
17 right, when we're adding more development and more people?

18 And then the last thing I'll say here, right, is when
19 we think about this plan, a lot of this was approved in 1996.
20 This was before an entire community was built around this area
21 and people's families living and the concerns that we have as a
22 community. Thank you.

23 HEARING MASTER: Yes, sir. Thank you.

24 MS. BARLOW: Good evening. My name is Shawnae Barlow.
25 I'm at 8908 North River Road. I live in the same community as

1 Daniel, as well as George.

2 I'm opposed to the development and my objections are
3 threefold. The first being the impact on the neighborhood
4 character and the cohesion. The space that they want to put the
5 apartments on is quite small, especially compared to the way
6 everything is laid out in the area. I was told it would be a
7 four-story building, which based on how much space, it seems it
8 would be very close to the street line and isn't very compatible
9 or cohesive with the look of the entire area. Our community has
10 a unique older Florida atmosphere and I believe that introducing
11 a building like that is going to be bit disruptive to the
12 balance and the look.

13 My second concern has already been stated, traffic and
14 infrastructure, significant strains on traffic. They are right,
15 that is only really two ways out of a community. Very scared
16 when it's flooding and very busy in the morning if you commute
17 to work or you take kids to school.

18 And my third one would be preserving the natural
19 beauty and the natural resources and green spaces that we have.
20 You know, many neighborhoods are designed to preserve the green
21 spaces, parks and trees and that contributes to the residents'
22 wellbeing, as well as our property. As Daniel already said,
23 they did take out a significant number of trees in order to put
24 up the gas station, which was quite disruptive, just visually.
25 And we have a number of historic trees that kind of line that

1 area as well. So I just believe that too many buildings crammed
2 into that small space doesn't really cultivate an atmosphere of
3 community appease.

4 In addition to that, I -- I'd like to preserve the
5 neighborhood's integrity and maintain a high quality of life for
6 the rear residents. I think that alternative locations, even
7 not too far away from where we are would be a better suited
8 location for a high density housing unit. Thank you.

9 HEARING MASTER: All right. Thank you very much.

10 Next speaker, please.

11 MR. BREWER: Jonathan Brewer, 3432 State Road 580, in
12 Safety Harbor, Florida. I'm here on behalf of the Grace and
13 Faith Church, which is directly across the street from the
14 project.

15 And Grace and Faith has been there for many, many
16 years. But the piece of property that they are in was actually
17 approved by the Board of County Commissioners back in the 80's.
18 Their apron, main apron into the parking lot is a 150 feet
19 exactly based on the standard back in the day to Hillsborough
20 Avenue. Without any notice whatsoever, there was no necessarily
21 disregard for the project itself, but all of a sudden a median
22 strip showed up on Double Branch Road with no notice to the
23 church, which did cut off egress to the site.

24 Again, that site has been used for over 30 years. For
25 this church itself, it's been 20 years. The senior pastor is

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1 here this evening to also support that they received no contact
2 from the applicant or from the property owner about putting in
3 that median strip or cutting off access to that parking lot.
4 That's -- that's one issue.

5 HEARING MASTER: Could you clarify, I'm sorry, when
6 you say cutting off access, that's from that one -- from Double
7 Branch Road, is that correct?

8 MR. BREWER: Yes, ma'am.

9 HEARING MASTER: And does that -- when you say cut off
10 access there, do you mean that they can't cross the median now,
11 but someone coming from the other direction to come in, right?
12 It doesn't actually close off your access, does it?

13 MR. BREWER: It closes on the access from Hillsborough
14 Avenue --

15 HEARING MASTER: Okay.

16 MR. BREWER: -- coming into the church.

17 HEARING MASTER: Going north and turning left?

18 MR. BREWER: Correct.

19 HEARING MASTER: Okay. But someone could come from
20 the north and --

21 MR. BREWER: Yes.

22 HEARING MASTER: -- turn in right, is that correct? I
23 just want to make sure I understand what you're saying.

24 MR. BREWER: This gentleman has a copy.

25 HEARING MASTER: Okay. No. No. No. No. Sir,

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1 please, I need to hear just from the speaker who's on the
2 microphone right now. And he can explain it. And I think I do
3 understand.

4 MR. BREWER: Okay.

5 HEARING MASTER: Thank you very much.

6 MR. BREWER: Okay.

7 HEARING MASTER: Okay.

8 MR. BREWER: And so, what we're asking -- the -- the
9 actual application for MM 24-0397, the -- the notice states that
10 additional information may be obtained or a neighborhood meeting
11 may be requested by contacting the applicant or applicant's
12 representative at the number listed above. I tried to contact
13 the applicant. Mr. Gardner, on numerous occasions. And then, I
14 finally sent a -- an email to them saying that we needed to put
15 a -- a meeting together. We -- we've lost access, our main
16 access, to the church. And it's been used for almost 30 years.
17 And so, I have a copy that I will submit to the record of that
18 email.

19 Additionally, the map that they've offered tonight as
20 evidence of this proposal from 96-0340 is not what is being
21 built today.

22 HEARING MASTER: Okay. You got about 12 seconds. Did
23 you want to expound on that?

24 MR. BREWER: Well, it shows that --

25 HEARING MASTER: Okay.

Zoning Hearing Master Hearing
October 28, 2024

1 MR. BREWER: -- there would be a -- a cross
2 intersection immediately adjacent to the driveway, our driveway,
3 and that has not been built.

4 HEARING MASTER: Okay. All right. I'll ask the
5 applicant to address that in their final comments. Thank you,
6 sir.

7 And we have someone online. All right. Did we have
8 five speakers already just now? Wasn't that five?

9 MR. SCARALLO: I don't know how many you had, but my
10 hand was up.

11 HEARING MASTER: Okay. Well, I had grossly miscounted
12 then, didn't I? All right. Please come forward, sir. You have
13 three minutes and then I'll hear from the person online.

14 And applicant, I'll give you more time to address this
15 in your final comments. Yes, sir.

16 MR. SCARALLO: Thank you, everyone. My name is
17 Robert Scarallo. I'm the senior pastor of Grace and Faith
18 Church. My address is 12749 West Hillsborough Avenue.

19 If I could address this photo, if you could help me
20 here for a moment. One of our primary concerns, and I say
21 primary because there are others, with this median strip, which
22 is now on the water and you can barely see it in the picture.
23 To the right of the median strip to enter into the Wawa
24 property, there is a curb that makes it a very specific Lane.
25 What me -- what that means is you have maybe 200 feet where if a

1 car gets stuck coming off of Hillsborough Avenue, either from
2 the east or the west, it will complete -- it will create a
3 complete blockage, bringing traffic all the way back into
4 Hillsborough Avenue.

5 Aside from that, we have lost our main entrance, our
6 primary entrance to our property. You don't buy a property on
7 an eight lane road paying millions of dollars so that your
8 customers or your 400 congregants have to come in through the
9 back of the property. This devalues our property tremendously
10 and unfortunately, we have 400 congregants that are very, very
11 dissatisfied with what has happened here. On top of that,
12 several gentlemen referenced the fact that if you go down
13 Old Memorial heading west, there is a new development, a very
14 large warehouse that has over 50 truck bays. The amount of
15 traffic that is going to be going through this little road is
16 ridiculously over what this road can handle, especially with
17 that median there. God forbid a car, a truck or a mobile home
18 that goes to the mobile park just to the right ever gets stuck,
19 again, there is no way because of the median, you cannot go
20 around any blockage or stalled vehicle or anything.

21 Further to that, we are a church and have events for
22 young families with their children. We run children's church.
23 If I'm not mistaken, I believe that gas stations like this do
24 sell alcohol. This is within the 500 feet. And we -- we have
25 nothing but a problem primarily with this median strip. We have

1 never been consulted. No one has ever talked to us. We -- we
2 mow the city's sidewalk. We edge the sidewalk. We try to make
3 our property look beautiful. We try to be community friendly.
4 We are always serving the community and we find this at this a
5 disservice. Thank you.

6 HEARING MASTER: All right. Thank you, sir. Be sure
7 and sign in, please.

8 All right. I think that is all of the speakers who
9 are here in this room, is that correct?

10 And we have someone online. We'll go to the online
11 speaker now.

12 MS. MACELLI: Hi. My name is Barbara Macelli. I live
13 at 8811 North River Road, Tampa, Florida 33635.

14 I -- in a -- against this particular project,
15 specifically for the -- the two facts that have been spoken to
16 previously. It's a 220 community development will have at least
17 a minimum of 220 vehicles. And certain again is with that
18 Old River Road, the road is in terrible condition. Going to --
19 going -- heading east on that road. And County Road or, I'm
20 sorry, Country Way is already getting backed up and would be
21 that much more difficult for more cars to -- to go through.

22 Second is very concerned about the water runoff into
23 Double Branch Road. Apart from the flooding pictures that you
24 have seen, any type of pavement is going to have much more
25 runoff because you've reduced mangroves and other wetlands. And

1 that is significantly in at our neighborhood, which is on that
2 River Chase of -- Double Branch. We are sure to see increased
3 levels, rising levels because of runoff. And we just don't feel
4 that, again, of -- for 220 multifamily residents is in alignment
5 with what's best for the wetlands and for the traffic in that
6 community.

7 HEARING MASTER: All right. Thank you, ma'am.

8 Okay. County Development Services, anything further?

9 MS. HEINRICH: No, ma'am.

10 HEARING MASTER: All right. And applicant, so
11 applicant, do you think you can get -- address these issues
12 within ten minutes?

13 MR. GARDNER: Yes, ma'am.

14 HEARING MASTER: Okay. I'll give you up to
15 ten minutes. And -- and I know you have your team with you
16 tonight. So I heard concerns about flooding, a lot of issues
17 with flooding, character of the community, the of course
18 traffic, lots of concerns about traffic. And maybe you could
19 also have someone address that median. And that may be related
20 to actually the development that's already taken place out
21 there.

22 MR. GARDNER: Sure.

23 HEARING MASTER: So please address that in your
24 comments. Thank you.

25 MR. GARDNER: And actually, Ms. Hearing Master, I had

Zoning Hearing Master Hearing
October 28, 2024

1 one more, which was the desire for sidewalks --

2 HEARING MASTER: Yes, that's true.

3 MR. GARDNER: -- was on my list.

4 HEARING MASTER: I wrote that down as well. Thank
5 you.

6 MR. GARDNER: Great. So on the wetlands and
7 flooding -- again, Truett Gardner, 400 North Ashley Drive.

8 We've worked very, very closely with the EPC on that.
9 We have their finding of consistency. There is still work to be
10 done with them as we finalized this plan, but by no means will
11 we have a negative impact on those wetlands. With us tonight is
12 Tim Neddler. He's our environment expert with height. Should
13 you have any questions on him, he's more than happy to -- he'd
14 be more than happy to -- to answer those. But, again, we've
15 been --

16 HEARING MASTER: Well, maybe because you -- you just
17 stated that there would be no impacts on the wetland. But I
18 believe there are impacts on the wetland, but that'll be
19 compensated, is that right?

20 MR. GARDNER: Correct.

21 HEARING MASTER: So maybe that needs to be clarified.

22 MR. GARDNER: Okay. So Tim can speak to that.

23 On traffic, as -- as Addie showed you, which was put
24 together by our expert traffic engineer, we -- if this option
25 two is approved, it will be a substantial reduction in traffic.

1 So I think it's easy to say increased traffic, but I think
2 what's -- what's not being factored in is the taking away the
3 Wawa, the 83,000 almost 84,000 square feet of commercial
4 entitlements that are already approved. So that can't be looked
5 at in a vacuum. We've got to look at that as to -- as to what
6 is currently approved today.

7 HEARING MASTER: Okay. And just to clarify that
8 also --

9 MR. GARDNER: Sure.

10 HEARING MASTER: If this rezone -- or modification is
11 approved, if it's approved, then both of those options are still
12 available, is that correct?

13 MR. GARDNER: Correct.

14 HEARING MASTER: So the development that is approved
15 now and could go forward has a number related to it as far as
16 traffic impacts.

17 MR. GARDNER: Right.

18 HEARING MASTER: And then the residential that is
19 being proposed will have a different number and that number is
20 actually less than what is already approved, is that correct?

21 MR. GARDNER: Yes. And --

22 HEARING MASTER: But both options will remain?

23 MR. GARDNER: Both options will remain.

24 HEARING MASTER: Okay. Thank you.

25 MR. GARDNER: But I can say and our -- our client is

1 here, the preferred option is the multifamily option, which
2 would provide less traffic than the currently approved 83,000
3 some odd square feet of commercial. So that's traffic.

4 The desire for sidewalks. Ms. Clark has a graphic we
5 will be providing sidewalks. Just to make a -- a comment, we
6 did hear from Mr. Brewer and we'll get into -- to that comment
7 on the -- the -- the median. But a lot of these are hopefully I
8 think could've been satisfied before. These are person we've
9 heard from was Mr. Brewer. So sidewalk will be provided.

10 And then next was the compatibility and the size of
11 the site, seeming to intimate that it's a small site. It's
12 actually -- it's over eight acres is this parcel two. So it's a
13 large site. And again, as I mentioned in my presentation, and
14 again, you're correct in saying both options will be preferred
15 or preserved, but the preferred option is the multifamily
16 option. I feel that that's a much more better transitional use
17 to these residences to the east than the 83,000 some odd square
18 feet of the commercial. And, again, that is the -- I don't want
19 to be disingenuous because the 83,000 will be preserved, but the
20 preferred option is the multifamily.

21 And so with that, I'll leave time for Tim Neddler to
22 speak, but perhaps before him, Addie on the -- Addie Clark on
23 the access issue and the median.

24 HEARING MASTER: Okay. Just quickly. Was there a
25 neighborhood meeting or did you, you know, was there an effort

1 to organize a neighborhood meeting with the surrounding --

2 MR. GARDNER: So notices sent, signs posted. The only
3 call that came in was from Mr. Brewer that I'm aware of. And
4 so, that's what we heard and that's what we were trying to
5 answer to.

6 HEARING MASTER: Okay. Thank you.

7 MS. CLARK: Thank you. Addie Clark, 400 North Ashley
8 Drive.

9 So speak again, there will be sidewalk improvements.
10 So again, as part of the gas station approval, there's sidewalk
11 all throughout the site along Memorial, Hillsborough and then
12 Double Branch Road, as well as significant improvements to some
13 of the pavement and then the -- the widths there for those turn
14 lanes that are coming and then some of the three lanes that
15 currently exist. So there are infrastructure improvements that
16 are coming, you know, online very soon.

17 And then in terms of, I know there was some mention of
18 setbacks potentially. So I just wanted to mention if there's a
19 25-foot front yard setback from the multifamily to Hillsborough
20 and then as well as to Memorial. And then just to hit on
21 traffic really quickly. So the ITE, Institute of Transportation
22 Engineer's Trip Generation Manual, 11th Edition, it's industry
23 standard data points that have data points from multiple areas
24 around the country for commercial uses, as well as residential.
25 And so, commercial is a -- a very high generating use. And so,

1 that is the reasoning for that difference there that we spoke
2 about.

3 And then as well as -- I'll speak a little bit to that
4 raised median on Double Branch Road. So I just wanted to point
5 out that actually, because of that, it being a safety
6 improvement, is -- was requested by the county, the
7 transportation department during the Wawa construction approval.
8 And that actually limits the access for this project on Double
9 Branch Road to just be a right in only. And so that of -- of
10 course, act as being important to everyone for all businesses
11 and all groups was not the, you know, preferred option here.
12 But, of course, we understand that's a safety improvement with
13 being so close to that very large signalized intersection to the
14 south. So ultimately, understood by the county's transportation
15 department was implementing that requirement.

16 And so I wanted to speak to that. And I can introduce
17 Tim Neddler for specific questions about the wetlands.

18 HEARING MASTER: Thank you.

19 Ms. CLARK: Thank you.

20 MR. NEDDLER: My name's Tim Neddler with Height
21 Design, 5904A, Hampton Oaks Parkway, Tampa.

22 Thank you very much. Oh, okay. Part of the detailed
23 assessment that we had to do on the property was for the
24 habitat, which is this -- this is the wetland delineation, along
25 the creek, feeds into the creek. This is an isolated wetland

1 here and another little isolated wetland here. You can see that
2 the retaining walls that are being proposed are along the
3 wetlands that -- where Double Branch Creek is on the east side
4 here.

5 So in this area where this building, in this
6 particular picture is being shown site plan that we provided to
7 the environmental protection commission. This area here that's
8 being impacted was, let me slide this over so you can see the
9 coloration. Okay. And let me zoom in a little bit.

10 Okay. That is an area is dominated by Brazilian
11 Pepper, which is a nuisance exotic vegetation. So that area
12 there is what's going to be impacted by the -- by the
13 development. The mangroves that they're talking about, this
14 area here where you see that little red line, that's the area
15 where the mean high water line -- or the mean high water line
16 comes into the property. And that's where the mangroves are
17 congregated, if you will. That's where they're located right
18 there. So we're actually not impacting the mitigate -- the
19 mangrove habitat. So the effect on listed species and that type
20 of thing is very minor here because they're pretty much hanging
21 out on the creek, if you will, and that type of thing. So we're
22 not really affecting them too much. And again, we had no
23 objections with conditions from EPC.

24 HEARING MASTER: Okay. And on --

25 MR. NEDDLER: Do you want to keep that there?

Zoning Hearing Master Hearing
October 28, 2024

1 HEARING MASTER: Well, I -- I guess I had one question
2 about --

3 MR. NEDDLER: Yes.

4 HEARING MASTER: -- the compensation areas. Are --
5 are there --

6 MR. NEDDLER: Okay. There's no onsite mitigation
7 proposed.

8 HEARING MASTER: Okay.

9 MR. NEDDLER: Mitigation will be happening by
10 mitigation credits that'll be purchased from the mitigation --

11 HEARING MASTER: No, that's not --

12 MR. NEDDLER: I'm sorry.

13 HEARING MASTER: I'm sorry, maybe I'm using the wrong
14 term. Is there a retention pond onsite or anything like that?

15 MR. NEDDLER: Our -- our engineer address that.

16 HEARING MASTER: Okay.

17 MR. NEDDLER: How's that.

18 HEARING MASTER: Okay.

19 MR. NEDDLER: Okay.

20 HEARING MASTER: Thank you.

21 MR. NEDDLER: You're welcome.

22 HEARING MASTER: The other one, the name is David.

23 MR. LEROM: Good evening, everyone. My name's
24 David Lerom. I'm with Kinnley, Horn and Associates representing
25 the civil engineer on the project at 201 North Franklin Street.

1 So for the storm water system, we are proposing all
2 underground underneath the parking lot. Something I did want to
3 point out or bring up is, we are having to account for coastal
4 floodplain. So we are building the reason for the retaining
5 walls is we have to build up to account for storm surge. So
6 that is the reason for the height of the retaining walls and why
7 we have them, why we need them. Beneath the parking lot, we are
8 proposing a substantial amount of underground storm water
9 chambers.

10 Something else I'd like to point out just for how
11 we're designing these storm water chambers is we're aware we're
12 right underneath FDOT's bridge crossing here. So with that,
13 that we will be subject to all the FDOT's requirements for a
14 situation like this. So running their floodplain modeling,
15 their extra storm events, I believe they have a matrix of 36
16 storm events we'll have to account for.

17 HEARING MASTER: There were some comments about the
18 neighborhood around there experiencing flooding now. Do you --
19 could you opine on whether this development, once completed,
20 might actually help alleviate any of that?

21 MR. LEROM: I mean, it's hard to say. It looks like
22 the pictures they were showing looked like it was a construction
23 condition, not a -- not finished storm water system. But
24 from -- from our perspective, we will meet all criteria for both
25 county working with the County's flood plan engineering. We

1 also are going to maintain existing flow patterns. So existing
2 flow patterns go to the creek. We're going to maintain our
3 connection to the creek. We're not adding anything to the
4 roadway.

5 HEARING MASTER: Okay.

6 MR. LEROM: Thank you.

7 HEARING MASTER: No. No. No. Okay. Just a second
8 speaker, thank you, and be sure in -- in with the clerk.

9 And for the public members sitting behind, I can't --
10 the public comment time is over, so I'm not going to hear from
11 you again.

12 So, Mr. Brew -- Brew -- all right, I've lost my names
13 now. Applicant, please come back to the -- thank you.

14 MR. GARDNER: It's easy because our law firm is
15 Gardner Brewer.

16 HEARING MASTER: Yes, I know. Mr. Gardner, and your
17 colleague may have addressed this, but I might have missed it.
18 That median that the church mentioned --

19 MR. GARDNER: Yes.

20 HEARING MASTER: That was a requirement of the county,
21 is that correct?

22 MR. GARDNER: Correct.

23 HEARING MASTER: Okay.

24 MR. GARDNER: I believe County's online. They could
25 speak much more intelligently to that -- that -- that is

1 correct.

2 HEARING MASTER: Okay. Oh, and there were some
3 photographs -- and actually applicant, this isn't addressed to
4 you, but there were some photographs that were shown by the
5 public speakers. And I just want to make sure that those have
6 been submitted to the clerk. If they have not been submitted to
7 the clerk, would you please do so?

8 MR. GARDNER: It's on the --

9 HEARING MASTER: Yeah.

10 MR. GARDNER: -- ELMO. Do you want me to --

11 HEARING MASTER: Yeah. And I believe it was
12 Mr. Denyko, if you would please submit those appli -- those
13 photographs to the clerk and make sure they get in the record.
14 Thank you.

15 So -- I'm sorry about that. That's -- that's all the
16 questions I believe I had for you.

17 MR. GARDNER: Thank you.

18 HEARING MASTER: Thank you so much.

19 MS. HEINRICH: Madam Hearing Officer, I was advised
20 that transportation staff is online and would like to make some
21 comments.

22 HEARING MASTER: Okay. Good. We'll hear from the
23 transportation staff then. Thank you.

24 MR. RATLIFF: Good evening. For the record,
25 James Ratliff, Development Services Transportation Review.

1 I was a reviewer on this case. I wanted to kind of go
2 through a couple of things that I heard and just provide some
3 additional information. There was a citizen that was talking
4 about traffic on Memorial Highway. And as you're aware,
5 generally because of state law, we're not allowed to consider
6 capacity issues. But I did want to point out that Memorial
7 Highway is on the corner preservation plan as a future four-lane
8 roadway.

9 I believe the sidewalk issues already addressed, so I
10 won't put anything further into the record unless you have any
11 questions about that.

12 With respect to the -- the way the trip generation was
13 calculated in the -- in the report, I -- I believe Truett
14 touched on this already a little bit, but I think what the
15 citizen was saying, is expressing, you know, there's nothing on
16 the site today, so how can it be, you know, showing that there's
17 no change in trip impacts? And -- and I just wanted to put a
18 little bit more detail into the record. We don't look at it in
19 terms of what's there today being, you know, just a green field
20 site and developing it. Of course, there's going to be
21 additional trips from that. What we do in our report is look at
22 it for standpoint of what the existing zoning is. And so, that
23 baseline is the existing siding option, which is 90,000 square
24 feet of commercial uses.

25 And so, because that is the most intensive option, the

1 one that's already approved and because if they develop these
2 apartment uses, the trips will actually go down. That's why we
3 say that there's no change because they're keeping that most
4 intense option that's already been moved. And so, I just want
5 to kind of explain that for the citizens a little bit there.

6 There was a comment that talked about the design of
7 the intersection that it was intended to create a cross with the
8 church across the street. That existing 1996 zoning plan is
9 very conceptual. Those kind of level of design details are not
10 shown on that site plan, anywhere at the site plan. And so,
11 just because it looks like that doesn't mean that that's what
12 it -- was intended. Typically back in 1996, those level of
13 design details weren't looked at, at the zoning stage. And
14 that's been a lot of time between then and now and we know a lot
15 more about roadway, excuse me, roadway safety. And so, to their
16 concern about traffic backing out into Hillsborough Avenue,
17 that's precisely why we're wanting -- one of the reasons why
18 we're wanting to put that median in. And -- and we -- we don't
19 want a car that's sitting there, somebody trying to -- to turn
20 left to back traffic out because of the high opposing volumes.
21 There were other considerations as well that went into why that
22 median was required in terms of traffic going across. But if
23 this case were to withdrawal tonight, that median would still be
24 there because it was approved as a part of the construction plan
25 set for that Wawa under the -- under a different design

1 exception under the original option one site plan. So I just
2 want to clarify that as well.

3 And with that, if you have any other questions, I'm
4 happy to answer them.

5 HEARING MASTER: Okay. No, I don't have anymore
6 questions for you, Mr. Ratliff. Thank you so much for
7 addressing those items.

8 And Development Services, you -- that was all that
9 you -- you all had --

10 MS. HEINRICH: Yes, ma'am.

11 HEARING MASTER: -- right? Okay. Okay. This will
12 close the hearing then on Major Modification 24-0397.

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Zoning Hearing Master Hearing
October 15, 2024

HILLSBOROUGH COUNTY, FLORIDA
BOARD OF COUNTY COMMISSIONERS

-----X
)
IN RE:)
)
ZONE HEARING MASTER)
HEARINGS)
)
-----X

ZONING HEARING MASTER HEARING
TRANSCRIPT OF TESTIMONY AND PROCEEDINGS

BEFORE: Brian Grady
Development Services

DATE: Tuesday, October 15, 2024

TIME: Commencing at 6:00 p.m.
Concluding at 6:06 p.m.

LOCATION: Hillsborough County BOCC
601 East Kennedy Boulevard
Tampa, Florida 33601

Reported by:
Diane DeMarsh, AAERT No. 1654

Zoning Hearing Master Hearing
October 15, 2024

1 Master Hearing.

2 Item D.1, Rezone -- Major Mod Application 24-0397.

3 It's being continued by staff to the October 28, 2024 Zoning
4 Hearing Master Hearing.

5 Item D.2, Major Mod Application 24-0691. It's being
6 continued by staff to the October 28th Zoning Hearing Master
7 Hearing at -- at 6:00 p.m.

8 And Item D.3, Rezoning PD 24-0722. It's, again, being
9 continued by staff to the October 28th Zoning Hearing Master
10 Hearing.

11 Item D.4, Rezoning PD 24-0789. Again, it's being
12 continued by staff to the October 28th Zoning Hearing Master
13 Hearing.

14 Item D.5, Rezoning PD 24-0932. It's being continued
15 by staff to the October 28th Zoning Hearing Master Hearing.

16 And Item D.6, Major Mod Application 24-1044. It's
17 being continued by staff to the October 28th Zoning Hearing
18 Master Hearing.

19 That concludes all continuance. And we are adjourned.

20 Thank you.

21 (Off the record at 6:06 p.m.)

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1 MS. HEINRICH: Okay. The next one off the agenda is
2 Item C.3, Standard Rezoning 24-1023. This application is out of
3 order to be heard and is being continued to the October 15, 2024
4 ZHM hearing.

5 HEARING MASTER: All right. This one is out of order.
6 So it can't go forward. But is there -- just for information,
7 is there anyone in the audience that wanted to speak to Item C.3
8 Rezoning 24-1023?

9 All right, I'm seeing no one. And that one will be
10 continued to October 15, 2024 at 6:00 p.m. Go ahead.

11 MS. HEINRICH: Okay. I'll go ahead and go over the
12 published withdrawals and continuance, beginning with Item A.1,
13 Major Mod 24-0368. This application is out of order to be heard
14 and is being continued to be October 15, 2024 ZHM Hearing.

15 Item A.2, Major Mod 24-0384. This application is out
16 of order to be heard and is being continued to the
17 November 12, 2024 ZHM Hearing.

18 Item A.3, Major Mod 24-0397. This application is
19 being continued by staff to the October 15, 2024 ZHM Hearing.

20 Item A.4, Major Mod 24-0402. This application is
21 being continued by staff to be October 15, 2024 ZHM Hearing.

22 Item A.5, PD 24-0459. This application is out of
23 order to be heard and is being continued to be October 15, 2024
24 ZHM Hearing.

25 I am A.6, Major Mod 24-0468. This application is out

Zoning Hearing Master Hearing
August 19, 2024

HILLSBOROUGH COUNTY, FLORIDA
Board of County Commissioners

-----X
IN RE:)
)
ZONE Hearing Master)
HEARINGS)
)
-----X

ZONING Hearing Master HEARING
TRANSCRIPT OF TESTIMONY AND PROCEEDINGS

BEFORE: Pamela Jo Hatley
Land Use Hearing Master

DATE: Monday, August 19, 2024

TIME: Commencing at 6:00 p.m.
Concluding at 8:57 p.m.

LOCATION: Hillsborough County BOCC
Development Services Department -
Second Floor Boardroom
601 East Kennedy Boulevard
Tampa, Florida 33601

Reported by:
Diane DeMarsh, AAERT No. 1654
Digital Reporter

Zoning Hearing Master Hearing
August 19, 2024

1 Rezoning 24-0591. The application is out of order and is
2 continuing to October 15th, not the 16th, ZHM Hearing.

3 And I can go over the published continuances and
4 withdrawals if you'd like.

5 HEARING MASTER: Yes, please.

6 MS. HEINRICH: Our first item is Item A.1, Major Mod
7 24-0397. This application is out of order to be heard and is
8 being continue to the September 16, 2024 ZHM Hearing.

9 Item A.2, this app is PD Rezoning 24-0537. This
10 application is out of order to be heard and it being continued
11 to the September 16, 2024 ZHM Hearing.

12 Item A.3, PD Rezoning 24-0591. This application is
13 out of order to be heard and it's being continued to the
14 October 15, 2024 ZHM Hearing.

15 Item A.4, Major Mod 24-0675. This application is out
16 order to be heard and is being continued to be
17 September 16, 2024 ZHM Hearing.

18 Item A.5, Major Mod 24-0677. This application is
19 being continued by the applicant to the September 16, 2024 ZHM
20 Hearing.

21 Item A.6, PD Rezoning 24-0679. This application is
22 out of order to be heard and is being continued to the
23 September 16, 2024 ZHM Hearing.

24 Item A.7, Major Mod 24-0691. This application is out
25 of order to be heard and is being continued to the

HILLSBOROUGH COUNTY, FLORIDA
Board of County Commissioners

-----X
IN RE:)
)
ZONE HEARING MASTER)
HEARINGS)
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ZONING HEARING MASTER HEARING
TRANSCRIPT OF TESTIMONY AND PROCEEDINGS

BEFORE: Susan Finch
Land Use Hearing Master

DATE: Monday, July 22, 2024

TIME: Commencing at 6:00 p.m.
Concluding at 9:32 p.m.

LOCATION: Hillsborough County BOCC
601 East Kennedy Boulevard
Second Floor Boardroom
Tampa, Florida 33601

Reported by:
Diane DeMarsh, AAERT No. 1654
Digital Reporter

1 ZHM Hearing.

2 Item A.2, Major Mod 24-0368. This application is out
3 of order to be heard and it's being continued to the
4 September 16, 2024 ZHM Hearing.

5 Item A.3, Major Mod 24-0384. This application is out
6 of order to be heard and is being continued to the
7 September 16, 2024 ZHM Hearing.

8 Item A.4, Major Mod 24-0397. This application is out
9 of order to be heard and is being continued to the
10 August 19, 2024 ZHM hearing.

11 Item A.5, Major Mod 24-0402. This application is
12 being continued by the applicant to the September 16, 2024 ZHM
13 Hearing.

14 Item A.6, PD 24-0459. This application is out of
15 order to be heard and is being continued to the September 16,
16 2024 ZHM Hearing.

17 Item A.7, Major Mod 24-0468. This application is out
18 of order to be heard and is being continued to the September 16,
19 2024 ZHM Hearing.

20 Item A.8, PD 24-0537. This application is out of
21 order to be heard and is being continued to the August 19, 2024
22 ZHM Hearing.

23 Item A.9, PD 24-0579. This application is being
24 continued by staff to the August 19, 2024 ZHM Hearing.

25 Item A.10, PD 24-0591. This application out of order

1 hearing.

2 Item A.3, Major Mod 24-0300. This application is
3 being continued by Staff to the July 22, 2024 ZHM hearing.

4 Item A.4, Major Mod 24-0397. This application is
5 being continued by the applicant to the July 22, 2024 ZHM
6 hearing.

7 Item A.5, Major Mod 24-0402. This application is
8 being continued by the applicant to the July 22, 2024 ZHM
9 hearing.

10 Item A.6, PD 24-0459. This application is out of
11 order to be heard and is being continued to the July 22, 2024
12 ZHM hearing.

13 Item A.7, Major Mod 24-0468. This application is out
14 of order to be heard and is being continued to the July 22, 2024
15 ZHM hearing.

16 Item A.8, PD 24-0537. This application is out of
17 order to be heard and is being continued to the July 22, 2024
18 ZHM hearing.

19 Item A.9, PD 24-0538. This application is being
20 continued by Staff to the July 22, 2024, ZHM hearing.

21 Item A.10, Standard Rezoning 24-0690. This
22 application has been withdrawn from the hearing process.

23 And Item A.11, PD 24-0791. This application is out of
24 order to be heard and is being continued to the July 22, 2024
25 ZHM hearing.

1 Item A.11, Major Mod 24-0300. This application is
2 being continued by the applicant to the June 17, 2024 ZHM
3 hearing.

4 Item A.12, this application or Major Mod 24-0368.
5 This application is out of order to be heard and is being
6 continued to the July 22, 2024 ZHM hearing.

7 Item A.13, Major Mod 24-0384. This application is out
8 of order to be heard and is being continued the July 22, 2024
9 ZHM hearing.

10 Item A.14, PD 24-0393. This application is out of
11 order to be heard and is being continued to the June 17, 2024
12 ZHM hearing.

13 Item A.15, Major Mod 24-0397. This application is out
14 of order to be heard and being continued to the June 17, 2024
15 ZHM hearing.

16 Item A.16, Major Mod 24-0402. This application is
17 being continued by the applicant to the June 17, 2024 ZHM
18 hearing.

19 And Item A.17, Standard Rezoning 24-0585. This
20 application has been withdrawn from the hearing process.

21 HEARING MASTER: All right. Thank you.

22 All right. The agenda tonight consists of items that
23 require a public hearing before a hearing master before going
24 onto the Board of County Commissioners for a final decision. I
25 will conduct a hearing today on each item on the agenda and will



**EXHIBITS SUBMITTED
DURING THE ZHM HEARING**

PLEASE **PRINT CLEARLY**, THIS INFORMATION WILL BE USED FOR MAILING

APPLICATION # <u>RZ 24-1023</u>	PLEASE PRINT NAME <u>Todd Pressman</u> MAILING ADDRESS <u>200 7th Ave #491</u> CITY <u>F. Pde</u> STATE <u>FL</u> ZIP <u>3219</u> PHONE <u>207-804-1760</u>
APPLICATION # <u>RZ 24-1023</u>	PLEASE PRINT NAME <u>Grace E McComas</u> MAILING ADDRESS <u>805 Old Derby St</u> CITY <u>Seffner</u> STATE <u>FL</u> ZIP <u>32584</u> PHONE <u>813-240-3907</u>
APPLICATION # <u>RZ 24-1082</u>	PLEASE PRINT NAME <u>Aileen Rosario</u> MAILING ADDRESS <u>5827 E Columbus Dr.</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33619</u> PHONE <u>813-520-4583</u>
APPLICATION # <u>mm 24-0397</u>	PLEASE PRINT NAME <u>Truett Gardner (Truett Gardner)</u> MAILING ADDRESS <u>400 N Ashley Dr</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33629</u> PHONE <u>813-221-9600</u>
APPLICATION # <u>mm 24-0397</u>	PLEASE PRINT NAME <u>Addie Clark</u> MAILING ADDRESS <u>400 N Ashley Dr.</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33603</u> PHONE <u>813-221-9600</u>
APPLICATION # <u>mm 24-0397</u>	PLEASE PRINT NAME <u>GEORGE DELUKO</u> MAILING ADDRESS <u>9002 N RIVER RD</u> CITY <u>TAMPA</u> STATE <u>FL</u> ZIP <u>33125</u> PHONE <u>813-230-9187</u>

SIGN-IN SHEET: RFR, (ZHM), PHM, LUHO

PAG. 2 OF 4

DATE/TIME: 10/28/24 6:00pm HEARING MASTER: Pamela Jo Hatley

PLEASE PRINT CLEARLY, THIS INFORMATION WILL BE USED FOR MAILING

<p>APPLICATION # mm 24-0397</p>	<p>PLEASE PRINT NAME <u>Pedro Toledo</u> MAILING ADDRESS <u>8931 N. RIVER RD</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33635</u> PHONE <u>813 780 0696</u></p>
<p>APPLICATION # mm 24-0397</p>	<p>PLEASE PRINT NAME <u>Daniel Rojas</u> MAILING ADDRESS <u>9013 N River RD (Rd)</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33635</u> PHONE <u>727-218-2182</u></p>
<p>APPLICATION # mm 24-0397</p>	<p>PLEASE PRINT NAME <u>Shawnae Barlow</u> MAILING ADDRESS <u>8908 N River Rd</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33635</u> PHONE <u>352-584-1253</u></p>
<p>APPLICATION # mm 24-0397</p>	<p>PLEASE PRINT NAME <u>Jonathan Browne</u> MAILING ADDRESS <u>3432 SP 580, Safety Harbor</u> CITY <u>Safety Harbor</u> STATE <u>FL</u> ZIP <u>34655</u> PHONE <u>727-479-5721</u></p>
<p>APPLICATION # mm 24-0397</p>	<p>PLEASE PRINT NAME <u>ROBERT SCARALLO</u> MAILING ADDRESS <u>12749 W. Hillsborough ave</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33635</u> PHONE <u>813 368 3339</u></p>
<p>APPLICATION # mm 24-0397 (VS)</p>	<p>PLEASE PRINT NAME <u>Barbara Macelli</u> MAILING ADDRESS <u>8811 N. River Rd.</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33635</u> PHONE <u>813-786-2832</u></p>

DATE/TIME: 10/28/24 6:00pm HEARING MASTER: Pamela Jo Hatley

PLEASE **PRINT CLEARLY**, THIS INFORMATION WILL BE USED FOR MAILING

<p>APPLICATION # mm 24-0397</p>	<p>PLEASE PRINT NAME <u>Timothy Nelder</u> MAILING ADDRESS <u>5904-A Hardt Oaks Parkway</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33610</u> PHONE <u>813-253-5311</u></p>
<p>APPLICATION # mm 24-0397</p>	<p>PLEASE PRINT NAME <u>David Lerom</u> MAILING ADDRESS <u>201 W Franklin Street, STE 1400</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33602</u> PHONE <u>(813) 635-5582</u></p>
<p>APPLICATION # mm 24-0691</p>	<p>PLEASE PRINT NAME <u>Todd Pressman</u> MAILING ADDRESS <u>200 Jack Ave #491</u> CITY <u>St. Pete</u> STATE <u>FL</u> ZIP <u>33710</u> PHONE <u>727-804-1760</u></p>
<p>APPLICATION # mm 24-0691</p>	<p>PLEASE PRINT NAME <u>Rose Ann Hammock</u> MAILING ADDRESS <u>3802 Corporate Park Dr Ste 300</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33619</u> PHONE <u>813-822-2005</u></p>
<p>APPLICATION # mm 24-0691 (VS)</p>	<p>PLEASE PRINT NAME <u>Dominic Lafundi</u> MAILING ADDRESS <u>9910 Alafia River Ln.</u> CITY <u>Gibsonton</u> STATE <u>FL</u> ZIP <u>33534</u> PHONE <u>813-709-9789</u></p>
<p>APPLICATION # mm 24-0691 (VS)</p>	<p>PLEASE PRINT NAME <u>Michelle Pineda</u> MAILING ADDRESS <u>9918 Alafia River Ln.</u> CITY <u>Gibsonton</u> STATE <u>FL</u> ZIP <u>33534</u> PHONE <u>813-951-0336</u></p>

DATE/TIME: 10/28/24 6:00pmHEARING MASTER: Pamela Jo HatleyPLEASE **PRINT CLEARLY**, THIS INFORMATION WILL BE USED FOR MAILING

APPLICATION # mm 24-0691	PLEASE PRINT NAME <u>MICHAEL YATES</u> MAILING ADDRESS <u>PALM TRAFFIC</u> <u>4006 S MACDILL AVE</u> CITY <u>TAMPA</u> STATE <u>FL</u> ZIP <u>33611</u> PHONE <u>813 205 8057</u>
APPLICATION # RZ 24-0722	PLEASE PRINT NAME <u>Todd Pressman</u> MAILING ADDRESS <u>200 2nd Ave S. #491</u> CITY <u>St. Pete</u> STATE <u>FL</u> ZIP <u>33701</u> PHONE <u>727-804</u> <u>1700</u>
APPLICATION # RZ 24-0789	PLEASE PRINT NAME <u>JESSE BLACKSTOCK</u> MAILING ADDRESS <u>1646 W. Snow AVENUE, SUITE 174</u> CITY <u>TAMPA</u> STATE <u>FL</u> ZIP <u>33606</u> PHONE <u>813.455.2184</u>
APPLICATION # RZ 24-0932	PLEASE PRINT NAME <u>Isabelle Albert</u> MAILING ADDRESS <u>1000 W. Ashley Dr #900</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33602</u> PHONE <u>813</u> <u>331 0976</u>
APPLICATION # mm 24-1044	PLEASE PRINT NAME <u>Kami Corbett</u> MAILING ADDRESS <u>101 E Kennedy Blvd Ste 3700</u> CITY <u>TAMPA</u> STATE <u>FL</u> ZIP <u>33610</u> PHONE <u>813-227-8421</u>
APPLICATION # mm 24-1044	PLEASE PRINT NAME <u>Jessica Kowal</u> MAILING ADDRESS <u>3810 Northdale Blvd</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33642</u> PHONE <u>656 444-0012</u>

OCTOBER 28, 2024 ZONING HEARING MASTER

The Zoning Hearing Master (ZHM), Hillsborough County, Florida, met in Regular Meeting, scheduled for Monday, October 28, 2024, at 6:00 p.m., in the Boardroom, Frederick B. Karl County Center, Tampa, Florida, and held virtually.

▶ Pamela Jo Hatley, ZHM, called the meeting to order at 6:00 p.m., led in the pledge of allegiance to the flag, and introduction.

A. WITHDRAWALS AND CONTINUANCES

▶ Michelle Heinrich, Development Services (DS), introduced staff and stated there were no changes/withdrawals/continuances.

▶ Pamela Jo Hatley, ZHM, overview of ZHM process.

▶ Chief Assistant County Attorney Cameron Clark, overview of evidence/ZHM/BOCC Land Use process.

▶ Pamela Jo Hatley, ZHM, Oath.

B. REMANDS - **None.**

C. REZONING STANDARD (RZ-STD):

C.1. RZ 24-1023

▶ Michelle Heinrich, DS, called RZ 24-1023.

▶ Testimony provided.

▶ Pamela Jo Hatley, ZHM, closed RZ 24-1023.

C.2. RZ 24-1082

▶ Michelle Heinrich, DS, called RZ 24-1082.

▶ Testimony provided.

▶ Pamela Jo Hatley, ZHM, closed RZ 24-1082.

D. REZONING-PLANNED DEVELOPMENT (RZ-PD) & MAJOR MODIFICATION (MM):

D.1. MM 24-0397

▶ Michelle Heinrich, DS, called MM 24-0397.

▶ Testimony provided.

OCTOBER 28, 2024 ZONING HEARING MASTER

▶ Pamela Jo Hatley, ZHM, closed MM 24-0397.

D.2. MM 24-0691

▶ Michelle Heinrich, DS, called MM 24-0691.

▶ Testimony provided.

▶ Pamela Jo Hatley, ZHM, closed MM 24-0691.

D.3. RZ 24-0722

▶ Michelle Heinrich, DS, called RZ 24-0722.

▶ Testimony provided.

▶ Pamela Jo Hatley, ZHM, closed RZ 24-0722.

D.4. RZ 24-0789

▶ Michelle Heinrich, DS, called RZ 24-0789.

▶ Testimony provided.

▶ Pamela Jo Hatley, ZHM, closed RZ 24-0789.

D.5. RZ 24-0932

▶ Michelle Heinrich, DS, called RZ 24-0932.

▶ Testimony provided.

▶ Pamela Jo Hatley, ZHM, closed RZ 24-0932.

D.6. MM 24-1044

▶ Michelle Heinrich, DS, called MM 24-1044.

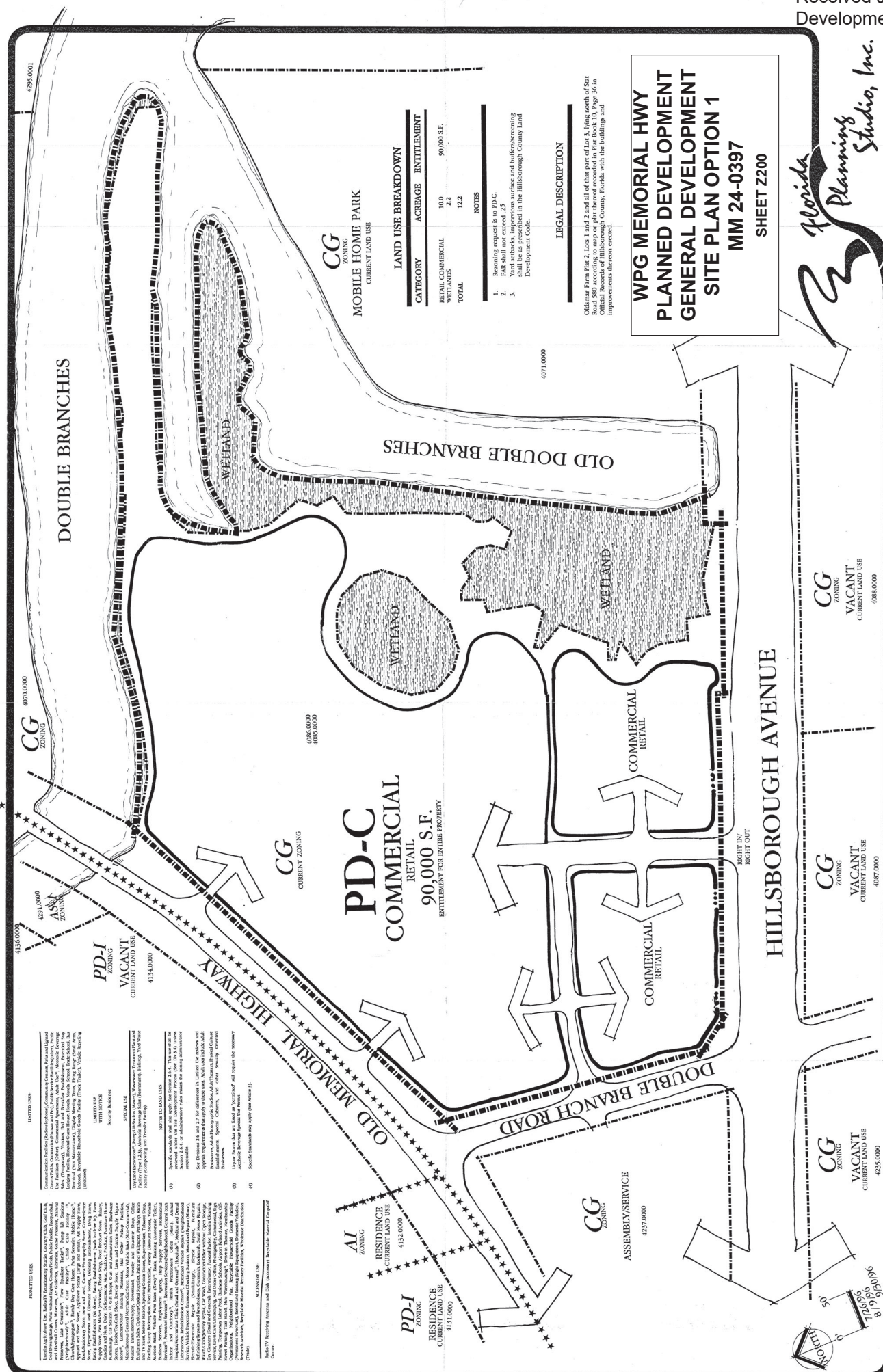
▶ Testimony provided.

▶ Pamela Jo Hatley, ZHM, closed MM 24-1044.

E. ZHM SPECIAL USE - **None**.

ADJOURNMENT

▶ Pamela Jo Hatley, ZHM, adjourned the meeting at 8:43 p.m.



**WPG MEMORIAL HWY
PLANNED DEVELOPMENT
GENERAL DEVELOPMENT
SITE PLAN OPTION 1
MM 24-0397
SHEET Z200**

LAND USE BREAKDOWN

CATEGORY	ACRAGE	ENTIREMENT
RETAIL COMMERCIAL	10.0	90,000 S.F.
WETLANDS	2.2	
TOTAL	12.2	

NOTES

1. Rezoning request is to PD-C.
2. 70% shall not exceed 2.5' surface and building screening shall be as prescribed in the Hillsborough County Land Development Code.
- 3.
- 4.

LEGAL DESCRIPTION

Oldemar Farm Plat 2, Lots 1 and 2 and all of that part of Lot 4, lying north of Star Road 589 according to map or plat thereof recorded in Plat Book 10, Page 36 in Official Records of Hillsborough County, Florida with the buildings and improvements thereon erected.

PERMITTED USES:

As shown on this map, the following uses are permitted in the PD-C Zoning District: Commercial Retail, Office, Professional Office, Retail, and other uses as defined in the Florida Building Code, Chapter 6, Florida Building Code, Chapter 7, Florida Building Code, Chapter 8, Florida Building Code, Chapter 9, Florida Building Code, Chapter 10, Florida Building Code, Chapter 11, Florida Building Code, Chapter 12, Florida Building Code, Chapter 13, Florida Building Code, Chapter 14, Florida Building Code, Chapter 15, Florida Building Code, Chapter 16, Florida Building Code, Chapter 17, Florida Building Code, Chapter 18, Florida Building Code, Chapter 19, Florida Building Code, Chapter 20, Florida Building Code, Chapter 21, Florida Building Code, Chapter 22, Florida Building Code, Chapter 23, Florida Building Code, Chapter 24, Florida Building Code, Chapter 25, Florida Building Code, Chapter 26, Florida Building Code, Chapter 27, Florida Building Code, Chapter 28, Florida Building Code, Chapter 29, Florida Building Code, Chapter 30, Florida Building Code, Chapter 31, Florida Building Code, Chapter 32, Florida Building Code, Chapter 33, Florida Building Code, Chapter 34, Florida Building Code, Chapter 35, Florida Building Code, Chapter 36, Florida Building Code, Chapter 37, Florida Building Code, Chapter 38, Florida Building Code, Chapter 39, Florida Building Code, Chapter 40, Florida Building Code, Chapter 41, Florida Building Code, Chapter 42, Florida Building Code, Chapter 43, Florida Building Code, Chapter 44, Florida Building Code, Chapter 45, Florida Building Code, Chapter 46, Florida Building Code, Chapter 47, Florida Building Code, Chapter 48, Florida Building Code, Chapter 49, Florida Building Code, Chapter 50, Florida Building Code, Chapter 51, Florida Building Code, Chapter 52, Florida Building Code, Chapter 53, Florida Building Code, Chapter 54, Florida Building Code, Chapter 55, Florida Building Code, Chapter 56, Florida Building Code, Chapter 57, Florida Building Code, Chapter 58, Florida Building Code, Chapter 59, Florida Building Code, Chapter 60, Florida Building Code, Chapter 61, Florida Building Code, Chapter 62, Florida Building Code, Chapter 63, Florida Building Code, Chapter 64, Florida Building Code, Chapter 65, Florida Building Code, Chapter 66, Florida Building Code, Chapter 67, Florida Building Code, Chapter 68, Florida Building Code, Chapter 69, Florida Building Code, Chapter 70, Florida Building Code, Chapter 71, Florida Building Code, Chapter 72, Florida Building Code, Chapter 73, Florida Building Code, Chapter 74, Florida Building Code, Chapter 75, Florida Building Code, Chapter 76, Florida Building Code, Chapter 77, Florida Building Code, Chapter 78, Florida Building Code, Chapter 79, Florida Building Code, Chapter 80, Florida Building Code, Chapter 81, Florida Building Code, Chapter 82, Florida Building Code, Chapter 83, Florida Building Code, Chapter 84, Florida Building Code, Chapter 85, Florida Building Code, Chapter 86, Florida Building Code, Chapter 87, Florida Building Code, Chapter 88, Florida Building Code, Chapter 89, Florida Building Code, Chapter 90, Florida Building Code, Chapter 91, Florida Building Code, Chapter 92, Florida Building Code, Chapter 93, Florida Building Code, Chapter 94, Florida Building Code, Chapter 95, Florida Building Code, Chapter 96, Florida Building Code, Chapter 97, Florida Building Code, Chapter 98, Florida Building Code, Chapter 99, Florida Building Code, Chapter 100.



EXHIBIT A

Trip Generation Comparison

3. PROJECT TRIP CHARACTERISTICS **SITE ACCESS EVALUATION REPORT**
August 25, 2022

Trip Generation

The AM, PM and daily trip generation estimates were based on the trip rates contained in the 11th Edition of the Institute of Transportation of Engineers (ITE) Trip Generation Manual. Tables 1, 2, and 3 below contain the detailed trip generation calculations for the AM, PM and daily, time periods.

TABLE 1 - DAILY TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	1-Way	2-Way	1-Way	
PHASE 1										
Convenience Store/ Gas Station	945	SQUARE FEET	1,283.38	6,119	7,853	5,104	2,552	2,749	1,374	
PHASE 2										
Fast Food Restaurant w/ DT	934	SQUARE FEET	467.48	3,500	1,636	736	368	900	450	
Fast Food Restaurant w/ DT	934	SQUARE FEET	467.48	4,000	1,870	841	421	1,028	514	
Phase 2 Sub Total:					7,500	1,578	789	1,928	964	
Total:					13,619	11,389	6,682	3,341	4,677	2,338

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 2 - AM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips			
						2-Way	1-Way	2-Way	1-Way		
PHASE 1											
Convenience Store/ Gas Station	945	SQUARE FEET	91.35	6,119	559	363	182	196	98		
PHASE 2											
Fast Food Restaurant w/ DT	934	SQUARE FEET	44.61	3,500	156	70	36	86	42		
Fast Food Restaurant w/ DT	934	SQUARE FEET	44.61	4,000	178	80	41	98	48		
Phase 2 Sub Total:					7,500	335	151	77	184	90	
Total:					13,619	894	514	258	380	192	188

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 3 - PM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips			
						2-Way	1-Way	2-Way	1-Way		
PHASE 1											
Convenience Store/ Gas Station	945	SQUARE FEET	78.95	6,119	483	314	157	169	85		
PHASE 2											
Fast Food Restaurant w/ DT	934	SQUARE FEET	33.03	3,500	116	52	27	64	31		
Fast Food Restaurant w/ DT	934	SQUARE FEET	33.03	4,000	132	59	31	73	35		
Phase 2 Sub Total:					7,500	248	111	58	136	71	65
Total:					13,619	731	425	215	305	155	150

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

PD REZONE TRANSPORTATION ANALYSIS
dated 3-28-24

4. TRIP GENERATION SUMMARY

The trip generation estimates for this PD development were based on the trip rates contained in the 11th Edition of the Institute of Transportation of Engineers (ITE) Trip Generation Manual. Tables 1, 2 and 3 below contain the trip generation calculations associated with the PD Development.

TABLE 1 - DAILY TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	1-Way	2-Way	1-Way	
PARCEL 1										
Convenience Store/ Gas Station	945	SQUARE FEET	1,283.38	6,119	7,853	5,104	2,552	2,749	1,374	
PARCEL 2										
Multifamily Housing (Low-Rise)	220	UNITS	T=6.41(X)+75.31	220	1,466	0	0	1,466	743	
Total:					n/a	9,339	5,104	2,552	4,235	2,117

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 2 - AM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips			
						2-Way	1-Way	2-Way	1-Way		
PARCEL 1											
Convenience Store/ Gas Station	945	SQUARE FEET	91.35	6,119	559	363	182	196	98		
PARCEL 2											
Multifamily Housing (Low-Rise)	220	UNITS	T=0.31(X)+22.85	220	91	0	0	91	22		
Total:					n/a	650	363	182	287	120	167

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 3 - PM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips			
						2-Way	1-Way	2-Way	1-Way		
PARCEL 1											
Convenience Store/ Gas Station	945	SQUARE FEET	78.95	6,119	483	314	157	169	85		
PARCEL 2											
Multifamily Housing (Low-Rise)	220	UNITS	T=0.43(X)+20.55	220	115	0	0	115	72		
Total:					n/a	598	314	157	284	157	127

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

EXHIBIT B

Access Spacing Exhibit



**Hillsborough
County Florida**
Development Services

Supplemental Information for Transportation Related Administrative Reviews

Instructions:

- This form must be provided separately for each request submitted (including different requests of the same type).
- This form must accompany all requests for applications types shown below. Staff will not log in or assign cases that are not accompanied by this form, or where the form is partially incomplete.
- A response is required in every field. Blank fields or non-responsive answers will result in your application being returned.
- All responses must be typed.
- Please contact Ingrid Padron at padroni@hcpaf.fl.gov or via telephone at (813) 307-1709 if you have questions about how to complete this form.

Request Type (check one)	<input checked="" type="checkbox"/> Section 6.04.02.B. Administrative Variance <input type="checkbox"/> Technical Manual Design Exception Request <input type="checkbox"/> Alternative Parking Plan Request (Reference LDC Sec. 6.05.02.G3.) <input type="checkbox"/> Request for Determination of Required Parking for Unlisted Uses (Reference LDC Sec. 6.05.02.G.1. and G.2.)
Submittal Type (check one)	<input type="checkbox"/> New Request <input type="checkbox"/> Revised Request <input checked="" type="checkbox"/> Additional Information
Submittal Number and Description/Running History (check one and complete text box using instructions provided below)	<input checked="" type="checkbox"/> 1. AV - Double Branch Rd Access Spacing <input type="checkbox"/> 4. <input type="checkbox"/> 2. <input type="checkbox"/> 5. <input type="checkbox"/> 3. <input type="checkbox"/> 6.
<p>Important: To help staff differentiate multiple requests (whether of the same or different type), please use the above fields to assign a unique submittal number/name to each separate request. Previous submittals relating to the same project/phase shall be listed using the name and number previously identified. It is critical that the applicant reference this unique name in the request letter and subsequent filings/correspondence. If the applicant is revising or submitting additional information related to a previously submitted request, then the applicant would check the number of the previous submittal.</p>	
Project Name/ Phase	MM 24-0397
<p>Important: The name selected must be used on all future communications and submittals of additional/revised information relating to this variance. If request is specific to a discrete phase, please also list that phase.</p>	
Folio Number(s)	Portion of 004086-0000; 004086-0010
<input type="checkbox"/> Check This Box If There Are More Than Five Folio Numbers	
<p>Important: List all folios related to the project, up to a maximum of five. If there are additional folios, check the box to indicate such. Folio numbers must be provided in the format provided by the Hillsborough County Property Appraiser's website (i.e. 6 numbers, followed by a hyphen, followed by 4 additional numbers, e.g. "012345-6789"). Multiple records should be separated by a semicolon and a space e.g. "012345-6789; 054321-9876").</p>	
Name of Person Submitting Request	Matthew R. Femal, P.E. (FL PE License 68397)
<p>Important: For Design Exception (DE) Requests, the person submitting must be a Professional Engineer (PE) licensed within the state of Florida. The DE request letter must be signed and sealed.</p>	
Current Property Zoning Designation	PD (RZ-PD-96-0340)
<p>Important: For Example, type "Residential Multi-Family Conventional – 9" or "RMC-9". This is not the same as the property's Future Land Use (FLU) Designation. Typing "N/A" or "Unknown" will result in your application being returned. This information may be obtained via the Official Hillsborough County Zoning Atlas, which is available at https://maps.hillsboroughcounty.org/maphillsborough/maphillsborough.html. For additional assistance, please contact the Zoning Counselors at the Center for Development Services at (813) 272-5600 Option 3.</p>	
Pending Zoning Application Number	MM 24-0397
<p>Important: If a rezoning application is pending, enter the application number preceded by the case type prefix, otherwise type "N/A" or "Not Applicable". Use PD for PD rezoning applications, MM for major modifications, PRS for minor modifications/personal appearances.</p>	
Related Project Identification Number (Site/Subdivision Application Number)	N/A
<p>Important: This 4-digit code is assigned by the Center for Development Services Intake Team for all Certified Parcel, Site Construction, Subdivision Construction, and Preliminary/Final Plat applications. If no project number exists, please type "N/A" or "Not Applicable".</p>	



May 14, 2024

Mr. Michael J. Williams, P.E.
Development Review Director / County Engineer
Hillsborough County Development Services Department
601 E Kennedy Boulevard, 20th Floor
Tampa, FL 33602

RE: *WPG Memorial Highway Planned Development*
App No: MM 24-0397
Folios: 004086-0010, 004086-0000
Administrative Variance Request
Double Branch Road (Class 5 Roadway Access Spacing)

Mr. Williams:

The purpose of this letter is to request an Administrative Variance per LDC Section 6.04.02.B to meet the requirements of LDC Sec. 6.04.07 - Minimum Access Spacing for a Class 5 Roadway according to the Hillsborough County Land Development Code, which requires 245 feet of spacing between access connections along Double Branch Road.

The Major Modification request is to include residential multi-family as an allowable use for the development of up to 220 dwelling units. Currently, 6,119 S.F. Convenience Store with Gas Pumps is being constructed on the NE corner of the intersection of W Hillsborough Ave & Double Branch Road (PI 6213). Therefore, the Major Modification request is to include Option 2 as an additional potential development option:

~~Option 1~~

~~Parcel 1 and Parcel 2: Retain entitlements permitted via PD 06-0340: up to 90,000 square feet of Commercial General (CG)~~

Option 2

Parcel 1: 6,119 square feet of convenience store with gas pumps (8 gas pumps, 16 vehicle fueling positions)

Parcel 2: 220 multi-family dwelling units

Access is proposed to be provided a right-in, right-out access to W. Hillsborough Avenue, right-in on Double Branch Road, and full access on Memorial Highway.

The following request was previously approved as part of the Site and Subdivision application for the gas station (PI 6213). The request has been updated to reference the proposed residential addition as part of development Option 2, however, it is important to note that the request as part of PI 6213 was made in consideration of the cumulative gas station and future development traffic generation. The Access Management Analysis dated August 25, 2022 for PI 6213 evaluated the 6,119 SF convenience store with 16 vehicle fueling positions in addition to fast-food restaurant with drive-through use, resulting in a total of 894 total AM peak-hour trips and 731 total PM peak-hour trips.

As shown in Exhibit A, Option 2 has been evaluated in the updated Transportation Analysis dated March 28, 2024 and is proposed to generate fewer daily, AM peak-hour, and PM peak-hour trips compared to the development scenario previously analyzed for the design considerations of PI 6213. Therefore, Option 2 is

not anticipated to require any capacity-related improvements or turn lane modifications beyond what is already required and planned, as shown on the General Development Plan.

The request is to allow a right-in access at a distance of 238.5' from Hillsborough Avenue. The existing road network along with physical impediment of Double Branch Creek to the east limits the frontage available for site access.

LDC Section 6.04.02.B.3-Criteria:

LDC Section 6.04.07 – Minimum Access Spacing

The Applicant requests a variance from LDC Sec. 6.04.07 - Minimum Access Spacing. The existing property boundary/available frontage of Double Branch Rd is measured at 331', creating a hardship as the required 245' in either direction cannot be met. A restricted right-in-only driveway at a distance of 238.5' from Hillsborough Ave with a deceleration lane is proposed in the ideal location between the two intersections. Please note the access spacing request justification per LDC Sec. 6.04.02.B.3 as follows:

a) There is an unreasonable burden on the applicant.

Justification: Given the physical geometrical constraints of the site, the limited roadway frontage on Double Branch Rd does not allow County spacing standards to be met.

b) The variance would not be detrimental to public health, safety, and welfare.

Justification: As proposed, the spacing reduction to facilitate access on Double Branch Rd will enhance the safety of traffic movements entering the site from the west and south by providing a controlled and organized path of entry with minimum disruption to traffic flow. There will be decreased detriment to the public health, safety and welfare if approved.

c) Without the variance, reasonable access cannot be provided.

Justification: The access driveway design presented under this variance is the most reasonable location based on site conditions and physical limitations. Without the variance for the right-in-only driveway, reasonable and safe access to the site cannot be provided.

Please refer to the attached Exhibit B access spacing exhibit detailing the proposed spacing measurements to the adjacent intersection and bridge crossing.



Should you have any questions regarding any of the comments addressed above, please do not hesitate to contact me at 813-635-5526 or Matt.Femal@kimley-horn.com.

Sincerely,

Matt Femal, P.E.
Project Manager

**Matthew R
Femal**

Digitally signed by Matthew R Femal
DN: cn=Matthew R Femal, c=US, o=Florida, email=matt.femal@kimley-horn.com
Date: 2024.06.17 12:01:05 -04'00'

Matthew R. Femal, State of Florida, Professional Engineer, License No. 68397; This item has been digitally signed and sealed by Matthew R. Femal on the date indicated here. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Based on the information provided by the applicant, this request is:

- Approved with Conditions
- Approved
- Disapproved

Michael J. Williams
Hillsborough County Engineer on _____

Notice: Consistent with Section 6.04.02B.8 of the LDC, the result of this variance application may be appealed, as further described in Section 10.05.01 of the LDC, to the Land Use Hearing Officer within 30 calendar days of the date above action.

Conditions:

The County Engineer notes that this Design Exception applies only to Option 2 development. Any development under Option 1 shall require additional analysis, review and approval (including a new Design Exception).

Notice: Consistent with Sec. 6.04.02.B.8. of the Hillsborough County LDC, the result of this variance application may be appealed, as further described in Sec. 10.05.01 of the LDC, to the Land Use Hearing Officer within 30 calendar days of the date of the above action.

Florida
Planning
Studio, Inc.

2304 W. Colonial Parkway, Suite 109, Tampa, Florida, 33609
(813) 854-7400 • (813) 254-7625 FAX

**WPG MEMORIAL HWY
PLANNED DEVELOPMENT
GENERAL DEVELOPMENT
SITE PLAN OPTION 1**
MM 24-0397
SHEET Z200

**CG ZONING
MOBILE HOME PARK
CURRENT LAND USE**

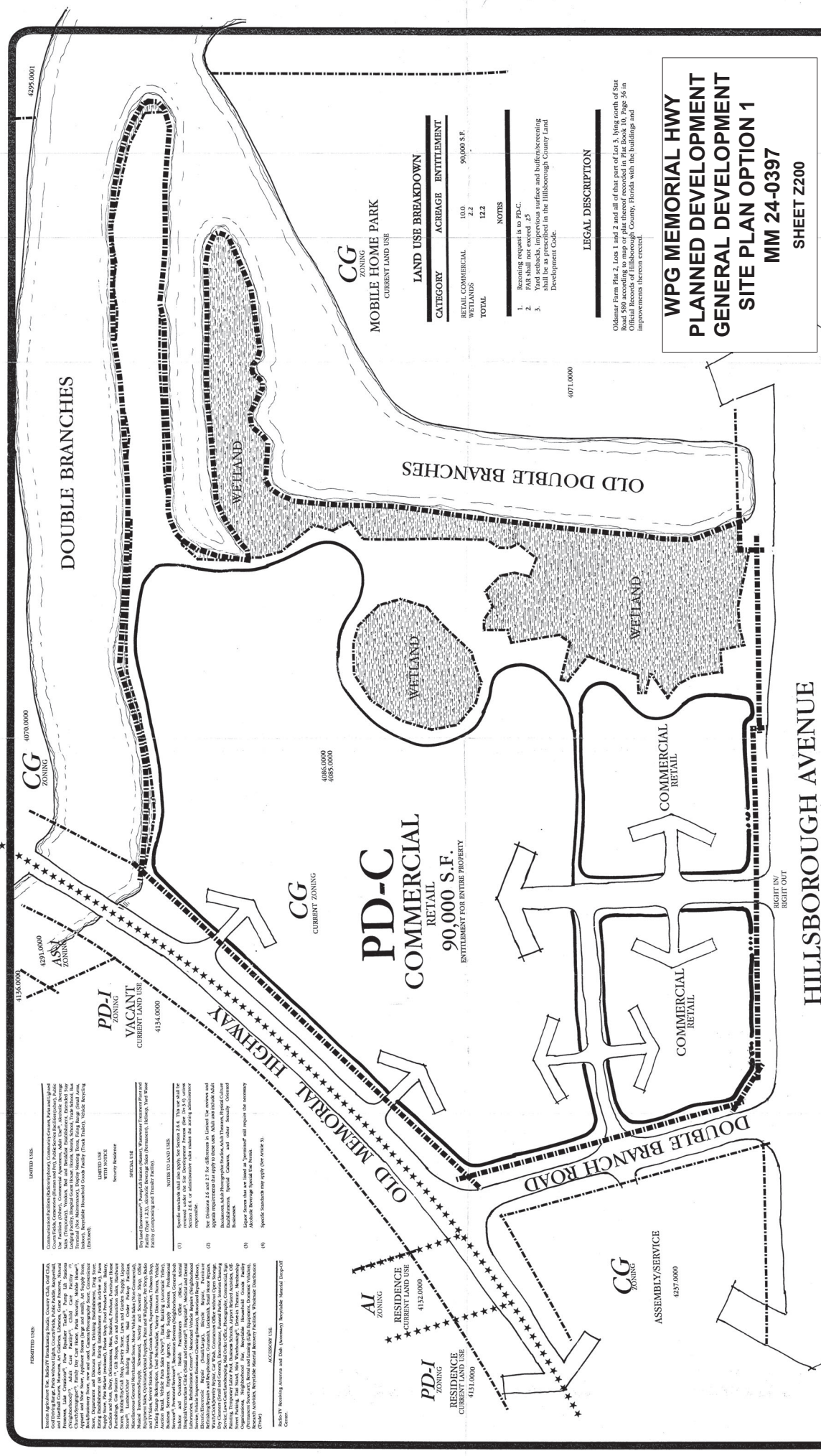
LAND USE BREAKDOWN		
CATEGORY	ACRAGE	ENTIREMENT
RETAIL COMMERCIAL	10.0	90,000 S.F.
WETLANDS	2.2	
TOTAL	12.2	

NOTES

1. Reasoning request is to PD-C.
2. 704 shall not exceed 2.9.
3. All surface and building screening shall be as prescribed in the Hillsborough County Land Development Code.

LEGAL DESCRIPTION

Oldemar Farm Plat 2, Lots 1 and 2 and all of that part of Lot 4, lying north of Star Road 589 according to map or plat thereof recorded in Plat Book 10, Page 36 in Official Records of Hillsborough County, Florida with the buildings and improvements thereon erected.



PERMITTED USES

As shown on the site plan, the following uses are permitted in the PD-C zoning district:

1. Retail commercial uses, including but not limited to: retail stores, restaurants, bars, taverns, and other establishments primarily engaged in the sale of goods or services to the general public.

2. Office uses, including but not limited to: professional offices, executive offices, and other offices.

3. Community uses, including but not limited to: day care centers, libraries, and other community facilities.

4. Amusement and recreation uses, including but not limited to: amusement parks, sports stadiums, and other recreational facilities.

5. Other uses that are similar in nature to those listed above and that are consistent with the purpose and intent of the zoning district.

RESTRICTIONS

As shown on the site plan, the following restrictions apply to the PD-C zoning district:

1. Maximum height shall not exceed 35 feet.

2. Maximum lot coverage shall not exceed 75%.

3. Maximum floor area ratio (FAR) shall not exceed 2.0.

4. Maximum number of stories shall not exceed 3.

5. Maximum number of units per acre shall not exceed 10.

6. Maximum number of parking spaces per acre shall not exceed 10.

7. Maximum number of drive aisles per acre shall not exceed 10.

8. Maximum number of drive aisles per lot shall not exceed 10.

9. Maximum number of drive aisles per block shall not exceed 10.

10. Maximum number of drive aisles per street shall not exceed 10.

11. Maximum number of drive aisles per intersection shall not exceed 10.

12. Maximum number of drive aisles per block shall not exceed 10.

13. Maximum number of drive aisles per street shall not exceed 10.

14. Maximum number of drive aisles per intersection shall not exceed 10.

15. Maximum number of drive aisles per block shall not exceed 10.

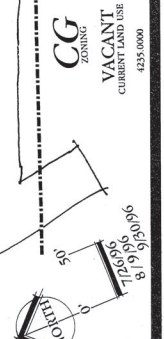
16. Maximum number of drive aisles per street shall not exceed 10.

17. Maximum number of drive aisles per intersection shall not exceed 10.

18. Maximum number of drive aisles per block shall not exceed 10.

19. Maximum number of drive aisles per street shall not exceed 10.

20. Maximum number of drive aisles per intersection shall not exceed 10.



**CG ZONING
VACANT
CURRENT LAND USE**

6088.0000

**CG ZONING
VACANT
CURRENT LAND USE**

4087.0000

**CG ZONING
VACANT
CURRENT LAND USE**

4235.0000

EXHIBIT A
Trip Generation Comparison

3. PROJECT TRIP CHARACTERISTICS **SITE ACCESS EVALUATION REPORT**
August 25, 2022

Trip Generation

The AM, PM and daily trip generation estimates were based on the trip rates contained in the 11th Edition of the Institute of Transportation of Engineers (ITE) Trip Generation Manual. Tables 1, 2, and 3 below contain the detailed trip generation calculations for the AM, PM and daily, time periods.

TABLE 1 - DAILY TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	1-Way	2-Way	1-Way	
PHASE 1										
Convenience Store/ Gas Station	945	SQUARE FEET	1,283.38	6,119	7,853	5,104	2,552	2,749	1,374	
PHASE 2										
Fast Food Restaurant w/ DT	934	SQUARE FEET	467.48	3,500	1,636	736	368	900	450	
Fast Food Restaurant w/ DT	934	SQUARE FEET	467.48	4,000	1,870	841	421	1,028	514	
Phase 2 Sub Total:					7,500	1,578	789	1,928	964	
Total:					13,619	11,389	6,682	3,341	4,677	2,338

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 2 - AM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips			
						2-Way	1-Way	2-Way	1-Way		
PHASE 1											
Convenience Store/ Gas Station	945	SQUARE FEET	91.35	6,119	559	363	182	196	98		
PHASE 2											
Fast Food Restaurant w/ DT	934	SQUARE FEET	44.61	3,500	156	70	36	86	42		
Fast Food Restaurant w/ DT	934	SQUARE FEET	44.61	4,000	178	80	41	98	48		
Phase 2 Sub Total:					7,500	335	151	77	184	90	
Total:					13,619	894	514	258	380	192	188

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 3 - PM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips			
						2-Way	1-Way	2-Way	1-Way		
PHASE 1											
Convenience Store/ Gas Station	945	SQUARE FEET	78.95	6,119	483	314	157	169	85		
PHASE 2											
Fast Food Restaurant w/ DT	934	SQUARE FEET	33.03	3,500	116	52	27	64	31		
Fast Food Restaurant w/ DT	934	SQUARE FEET	33.03	4,000	132	59	31	73	35		
Phase 2 Sub Total:					7,500	248	111	58	136	65	
Total:					13,619	731	425	211	305	155	150

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

PD REZONE TRANSPORTATION ANALYSIS
dated 3-28-24

4. TRIP GENERATION SUMMARY

The trip generation estimates for this PD development were based on the trip rates contained in the 11th Edition of the Institute of Transportation of Engineers (ITE) Trip Generation Manual. Tables 1, 2 and 3 below contain the trip generation calculations associated with the PD Development.

TABLE 1 - DAILY TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	1-Way	2-Way	1-Way	
PARCEL 1										
Convenience Store/ Gas Station	945	SQUARE FEET	1,283.38	6,119	7,853	5,104	2,552	2,749	1,374	
PARCEL 2										
Multifamily Housing (Low-Rise)	220	UNITS	T=6.41(X)+75.31	220	1,466	0	0	1,466	743	
Total:					9,339	5,104	2,552	4,235	2,117	2,117

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 2 - AM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	1-Way	2-Way	1-Way	
PARCEL 1										
Convenience Store/ Gas Station	945	SQUARE FEET	91.35	6,119	559	363	182	196	98	
PARCEL 2										
Multifamily Housing (Low-Rise)	220	UNITS	T=0.31(X)+22.85	220	91	0	0	91	22	69
Total:					650	363	182	287	120	167

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 3 - PM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	1-Way	2-Way	1-Way	
PARCEL 1										
Convenience Store/ Gas Station	945	SQUARE FEET	78.95	6,119	483	314	157	169	85	
PARCEL 2										
Multifamily Housing (Low-Rise)	220	UNITS	T=0.43(X)+20.55	220	115	0	0	115	72	43
Total:					598	314	157	284	157	127

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

EXHIBIT B

Access Spacing Exhibit



May 14, 2024

Mr. Michael J. Williams, P.E.
Development Review Director / County Engineer
Hillsborough County Development Services Department
601 E Kennedy Boulevard, 20th Floor
Tampa, FL 33602

RE: *WPG Memorial Highway Planned Development*
App No: MM 24-0397
Folios: 004086-0010, 004086-0000
Design Exception Request
Memorial Highway (TS-4 Typical Section)

Mr. Williams:

The purpose of this request is to seek a Design Exception to Typical Section Urban Collector for a 2-Lane Undivided Roadway (TS-4) as outlined in the Hillsborough County Transportation Technical Manual (see Exhibit A). The applicant is proposing the construction of a 6,119 square foot Convenience Store with Fuel Sales at the southeast corner of the intersection of Memorial Highway and Double Branch Road, which includes Right-In Right-Out access to W. Hillsborough Ave, Right-In on Double Branch Road, and Full Access on Memorial Highway.

The Major Modification request is to include residential multi-family as an allowable use for the development of up to 220 dwelling units. Currently, 6,119 S.F. Convenience Store with Gas Pumps is being constructed on the NE corner of the intersection of W Hillsborough Ave & Double Branch Road (PI 6213). Therefore, the Major Modification request is to include Option 2 as an additional potential development option:

~~Option 1~~

~~Parcel 1 and Parcel 2: Retain entitlements permitted via PD 06-0340: up to 90,000 square feet of Commercial General (CG)~~

Option 2

Parcel 1: 6,119 square feet of convenience store with gas pumps (8 gas pumps, 16 vehicle fueling positions)

Parcel 2: 220 multi-family dwelling units

Access is proposed to be provided a right-in, right-out access to W. Hillsborough Avenue, right-in on Double Branch Road, and full access on Memorial Highway.

The following request was previously approved as part of the Site and Subdivision application for the gas station (PI 6213). The request has been updated to reference the proposed residential addition as part of development Option 2, however, it is important to note that the request as part of PI 6213 was made in consideration of the cumulative gas station and future development traffic generation. The Access Management Analysis dated August 25, 2022 for PI 6213 evaluated the 6,119 SF convenience store with 16 vehicle fueling positions in addition to fast-food restaurant with drive-through use, resulting in a total of 894 total AM peak-hour trips and 731 total PM peak-hour trips.

As shown in Exhibit E, Option 2 has been evaluated in the updated Transportation Analysis dated March 28, 2024 and is proposed to generate fewer daily, AM peak-hour, and PM peak-hour trips compared to the development scenario previously analyzed for the design considerations of PI 6213. Therefore, Option 2 is

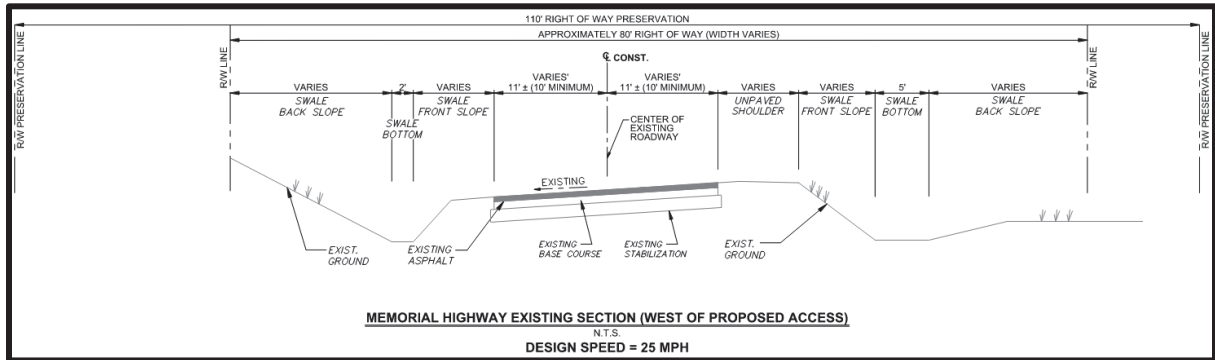
not anticipated to require any capacity-related improvements or turn lane modifications beyond what is already required and planned, as shown on the General Development Plan.

Request Description

Memorial highway from the intersection of Double Branch Road through to the east side of our proposed access driveway is a substandard roadway configuration that includes variable lane widths that are not 11-feet wide, a lack of bike lanes and no pedestrian sidewalk facilities, with a functional open swale conveyance system on both sides of the roadway. We are proposing to widen memorial highway to include a consistent eastbound travel lane 11-feet wide, with a 4-foot wide buffered bike lane as supported by county staff to match the Memorial Highway cross section east of our project. Our client understands that per the Hillsborough County TTM, staff instructions to mill and overlay as well as replace pavement markings will be required for both directions of asphalt pavement to the limits of the project. It is our understanding based on conversations with county staff, the county has a practical preference for maintaining functional open swale drainage, and therefore the existing drainage is proposed to remain or be reconstructed to maintain current conveyance capacity in lieu of underground conveyance options. Also, a limited scope of enhanced pedestrian improvements is incorporated with the proposed 6' onsite sidewalk that will also be internally connected to Double Branch Road and Hillsborough Avenue as shown on Exhibit B. These modifications to the typical TS-4 section will improve existing roadway infrastructure and enhance public safety and welfare while also incorporating the discussed preferential drainage criteria. Therefore, the proposed Modified TS-4 Roadway section within the right-of-way from north to south will be as follows. A variable width sod swale and utility area that includes an unpaved shoulder, typical 11-feet westbound travel lane, an 11-feet eastbound travel lane, a 4-foot bike lane, 2-foot curb & gutter, a 2-foot sod utility area, and varying width of sodded drainage swale, with a 6-foot wide pedestrian sidewalk located onsite as depicted in the below cross section and further detailed in Exhibit C.

Considerations for the full implementation of the typical TS-4 section were made and our engineering opinion is that it is not practical as part of this project due to causing access slopes in excess of 10% for the existing commercial access driveway to the north and proposed pavement widening will directly conflict with the adjacent open swale drainage. Please refer to Exhibit D for the comparison of the existing access slope versus the TS-4 configuration that requires widening of the roadway to the north. Please note on Exhibit D Lane widths exceed the typical TS-4 11-feet wide at Memorial Highway station 206+37.11 and match existing conditions as they are shown transitioning to match the lane widths east of our project. Due to the excessive access slopes imposed on the north access driveway and the direct conflict with the existing functional open swale drainage system we are requesting that the scope of improvements north of the Memorial Highway centerline be limited to repaving and restriping the existing conditions.

Existing Roadway Section



Proposed Modified TS-4 Roadway Section

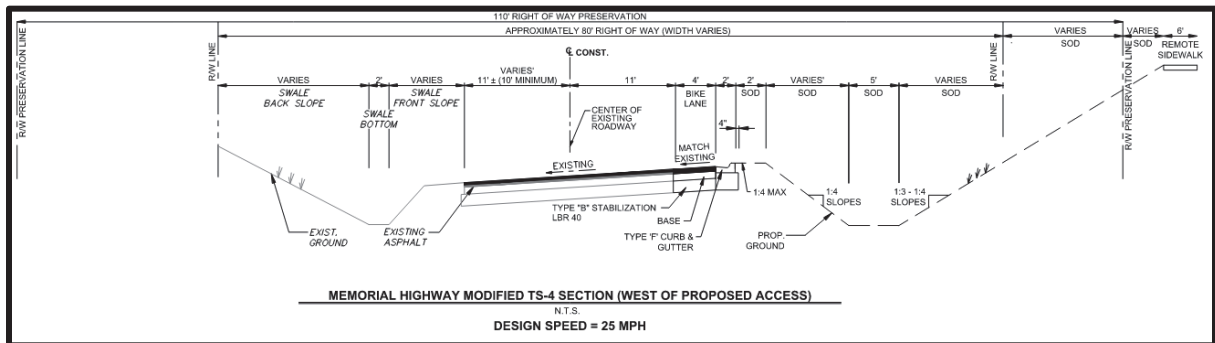
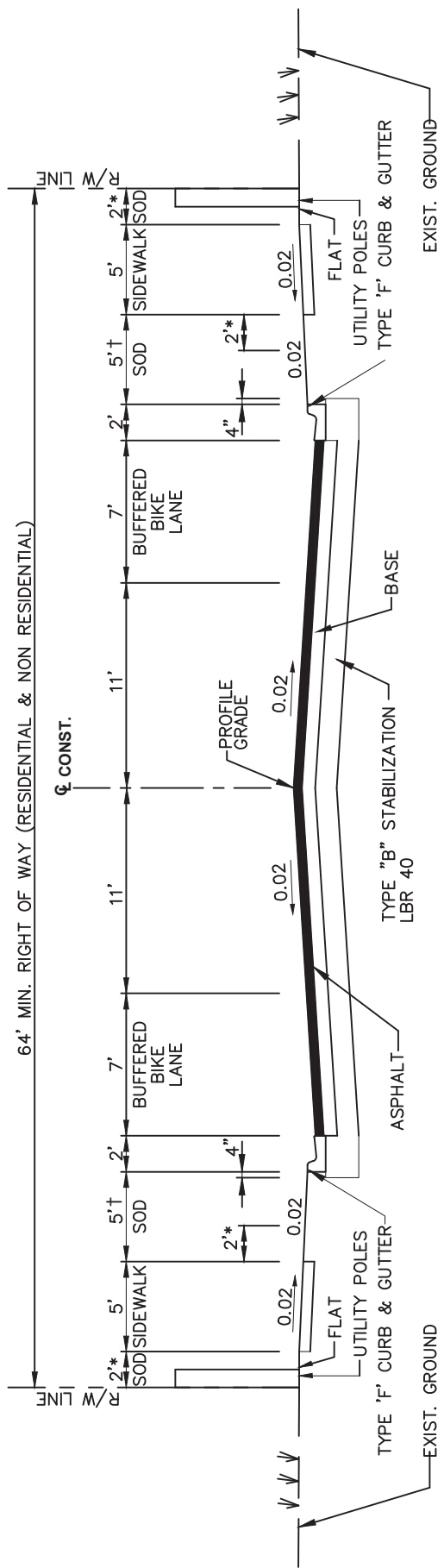


EXHIBIT A

Typical Section Local Urban Collector for a 2-Lane Undivided Roadway (TS-4)



TYPICAL SECTION

N.T.S.

5,000 TO 10,000 AADT

MAX. ALLOWABLE DESIGN SPEED – 40 MPH

1. ALL DIMENSIONS SHOWN ARE MINIMUM.
2. SEE APPROPRIATE SECTIONS OF TECHNICAL MANUAL FOR DESIGN PARAMETERS.
- * 3. PROVIDE 2' MINIMUM CLEARANCE FROM FENCES, WALLS, HEDGES, ABOVEGROUND UTILITIES OR IMPROVEMENTS, DROP OFFS, OR FROM THE TOPS OF BANKS WITH SLOPES STEEPER THAN 1 TO 4, THAT INTERFERE WITH THE SAFE, FUNCTIONAL USE OF THE SIDEWALK. INTERMITTENT ABOVEGROUND UTILITIES, OR MATURE TREES, 2' OR LESS IN DIAMETER MAY BE PLACED IN THIS 2' STRIP AS FAR FROM THE SIDEWALK AS POSSIBLE, IF NOT IN THE CLEAR ZONE.
- † 4. SEE SIDEWALK PROTECTION OPTIONS, DRAWING NO. TD-16 SHEET 7 OF 7 FOR USE WHEN TREES ARE PLANTED IN THE PARKWAY AREA (BETWEEN THE BACK OF CURB AND SIDEWALK).
5. SOD SHALL BE PLACED IN TWO ROWS STAGGERED. (BOTH TEMPORARY AND PERMANENT)

REVISION DATE:
10/17

**TRANSPORTATION
TECHNICAL
MANUAL**



**Hillsborough
County Florida**

**URBAN COLLECTORS
(2 LANE UNDIVIDED)
TYPICAL SECTION**

DRAWING NO. **TS-4**
SHEET NO. 1 OF 1

EXHIBIT B

Z100 – PD GENERAL DEVELOPMENT SITE PLAN

EXHIBIT C

C361 – Memorial Highway Roadway Sections

WAGNER PROPERTY GROUP
12750 W HILLSBOROUGH AVE
HILLSBOROUGH, FL 34647
FLORIDA

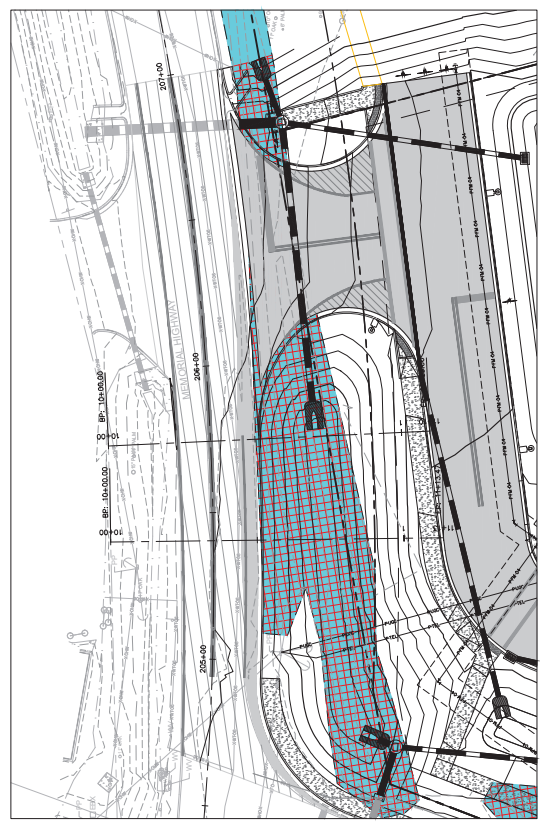
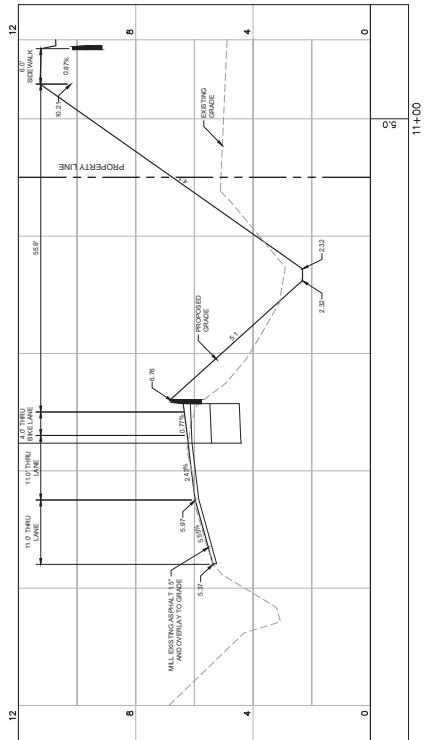
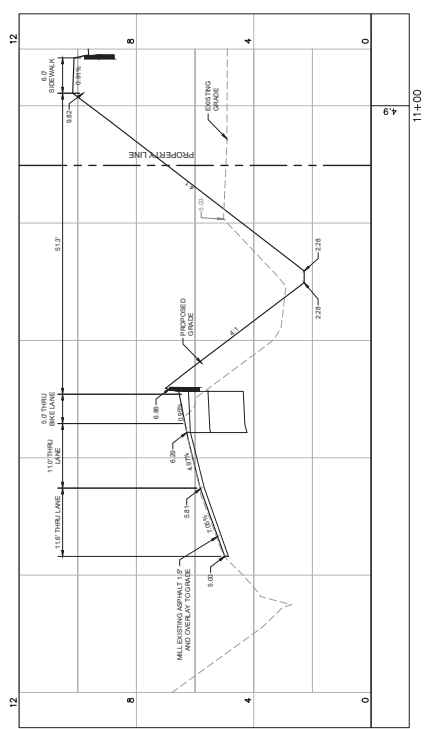
MEMORIAL HWY ROADWAY SECTIONS

DESIGN ENGINEERS
MATTHEW FEMAL, P.E.
FLORIDA REGISTRATION NUMBER 08397
DATE: 09/30/2023

Kimley-Horn
2024 KIMLEY-HORN AND ASSOCIATES, INC.
201 NORTH FRANKLIN STREET, SUITE 1400, TAMPA, FL 33602
PHONE: 813-450-1400
WWW.KIMLEY-HORN.COM

NO.	REVISIONS	DATE	BY
1	RESPONSE TO COMMENTS	09/30/23	MRF
2	ISSUED FOR CONSTRUCTION	07/02/24	MRF
3	BOH RESPONSE TO COMMENTS	07/17/24	MRF
4	SPWMD RESPONSE TO COMMENTS	03/19/24	MRF
5	STORM AND UTILITY REVISION	04/17/24	MRF

PROJECT: 24-0397
DRAWING: 24-0397-01
SHEET: 01 OF 01
REVISION: 00000001



Drawing name: K:\work\14779 - wagner property group\017 - work at hillsborough and double branch\CADD\Work\plan\sheet\C350 - ROADWAY SECTIONS.dwg C361 MEMORIAL HWY ROADWAY SECTIONS May 10, 2024 8:44am By: Jyden Fedor
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Plans or other portions of this document without written authorization and signature by Kimley-Horn and Associates, Inc. will be without liability to Kimley-Horn and Associates, Inc.

EXHIBIT D
TS-4 Impacts

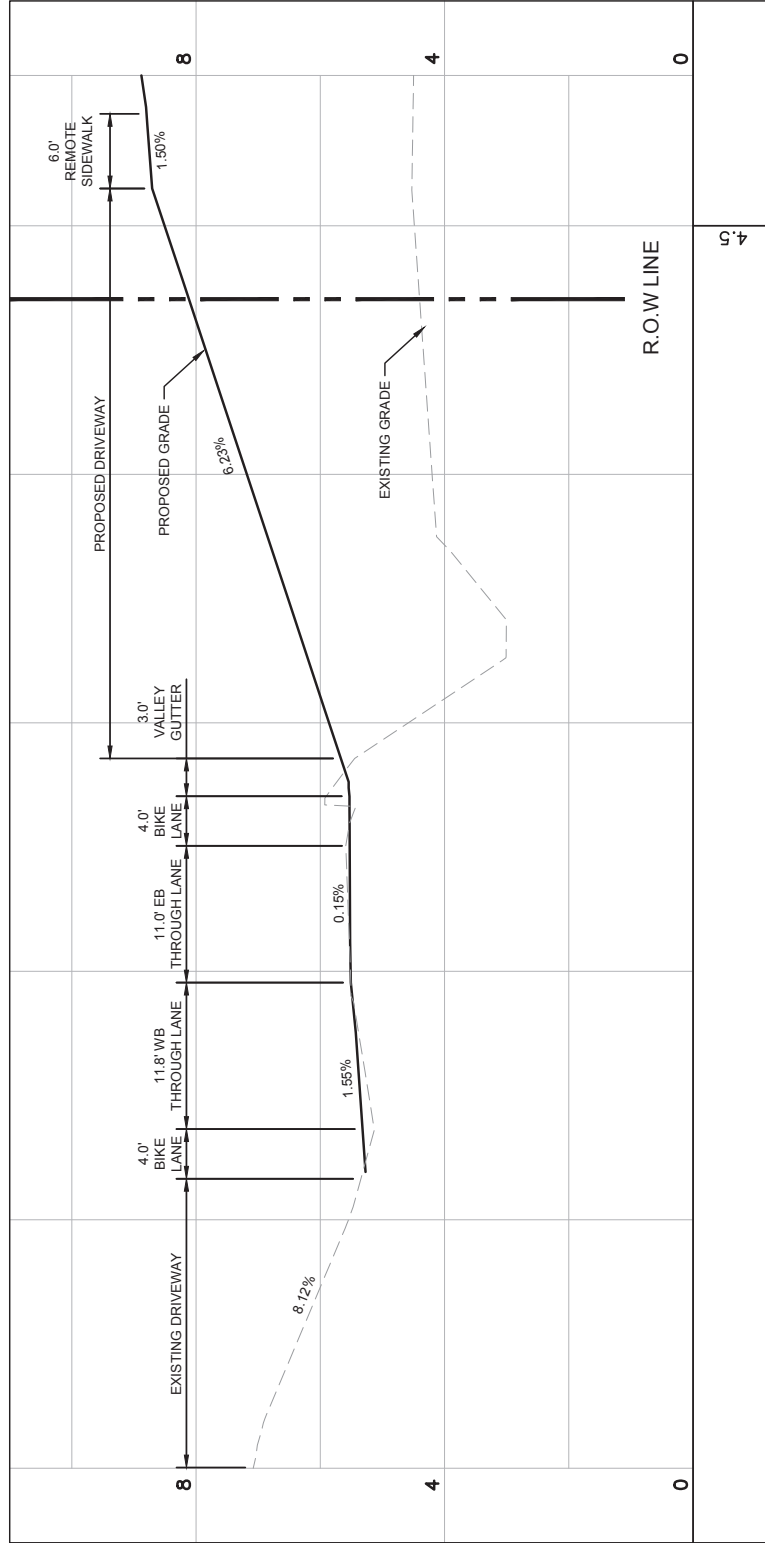
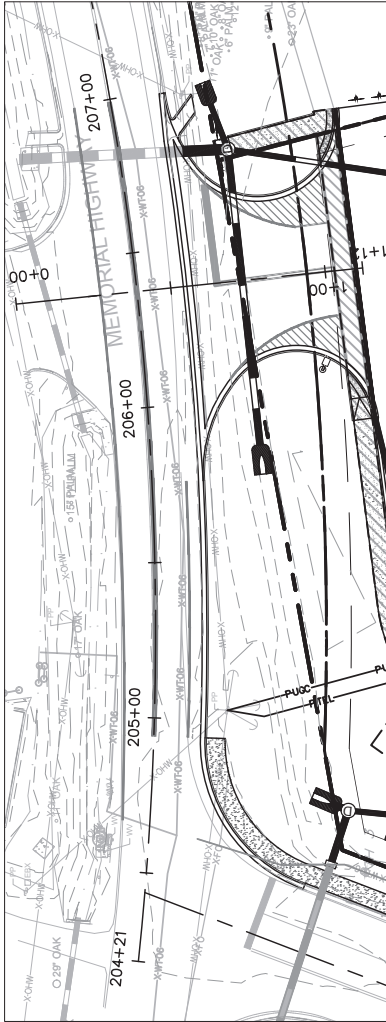


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201 NORTH FRANKLIN STREET, SUITE 1400, TAMPA, FL 33602
PHONE: 813-620-1460
WWW.KIMLEY-HORN.COM CA 0000696

SCALE AS SHOWN
DESIGNED BY JRT
DRAWN BY JRT
CHECKED BY DAL
DATE: 6/8/24
DESIGN ENGINEER: MATTHEW FEMAL, P.E.
FLORIDA P.E. LICENSE NUMBER: 68397

EXHIBIT D
TS-4 IMPACTS

DATE: 04/02/2024
PROJECT NO: 147779017
SHEET NUMBER: D



MEMORIAL 206+37.53 (TS-4 IMPACTS)
SCALE: 1"=10'
VERT. 1"=2'

EXHIBIT E
Trip Generation Comparison

3. PROJECT TRIP CHARACTERISTICS **SITE ACCESS EVALUATION REPORT**
August 25, 2022

Trip Generation

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Total:					13,619	11,389	6,682	3,341	4,677	2,338

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 2 - AM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips			
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Convenience Store/ Gas Station	945	SQUARE FEET	91.35	6,119	559	363	182	196	98		
PHASE 2											
Fast Food Restaurant w/ DT	934	SQUARE FEET	44.61	3,500	156	70	36	86	42		
Fast Food Restaurant w/ DT	934	SQUARE FEET	44.61	4,000	178	80	41	98	48		
Phase 2 Sub Total:					7,500	335	151	74	184	90	
Total:					13,619	894	514	255	380	192	188

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 3 - PM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips			
						2-Way	1-Way	2-Way	1-Way		
PHASE 1											
Convenience Store/ Gas Station	945	SQUARE FEET	78.95	6,119	483	314	157	169	85		
PHASE 2											
Fast Food Restaurant w/ DT	934	SQUARE FEET	33.03	3,500	116	52	27	64	33		
Fast Food Restaurant w/ DT	934	SQUARE FEET	33.03	4,000	132	59	31	73	38		
Phase 2 Sub Total:					7,500	248	111	58	136	71	
Total:					13,619	731	425	211	305	155	150

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

PD REZONE TRANSPORTATION ANALYSIS
dated 3-28-24

4. TRIP GENERATION SUMMARY

The trip generation estimates for this PD development were based on the trip rates contained in the 11th Edition of the Institute of Transportation of Engineers (ITE) Trip Generation Manual. Tables 1, 2 and 3 below contain the trip generation calculations associated with the PD Development.

TABLE 1 - DAILY TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	1-Way	2-Way	1-Way	
PARCEL 1										
Convenience Store/ Gas Station	945	SQUARE FEET	1,283.38	6,119	7,853	5,104	2,552	2,749	1,374	
PARCEL 2										
Multifamily Housing (Low-Rise)	220	UNITS	T=6.41(X)+75.31	220	1,466	0	0	1,466	743	
Total:					n/a	9,339	5,104	2,552	4,235	2,117

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 2 - AM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	1-Way	2-Way	1-Way	
PARCEL 1										
Convenience Store/ Gas Station	945	SQUARE FEET	91.35	6,119	559	363	182	196	98	
PARCEL 2										
Multifamily Housing (Low-Rise)	220	UNITS	T=0.31(X)+22.85	220	91	0	0	91	22	
Total:					n/a	650	363	182	287	120

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 3 - PM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	1-Way	2-Way	1-Way	
PARCEL 1										
Convenience Store/ Gas Station	945	SQUARE FEET	78.95	6,119	483	314	157	169	85	
PARCEL 2										
Multifamily Housing (Low-Rise)	220	UNITS	T=0.43(X)+20.55	220	115	0	0	115	72	
Total:					n/a	598	314	157	284	127

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.



**Hillsborough
County Florida**
Development Services

Supplemental Information for Transportation Related Administrative Reviews

Instructions:

- This form must be provided separately for each request submitted (including different requests of the same type).
- This form must accompany all requests for applications types shown below. Staff will not log in or assign cases that are not accompanied by this form, or where the form is partially incomplete.
- A response is required in every field. Blank fields or non-responsive answers will result in your application being returned.
- All responses must be typed.
- Please contact Ingrid Padron at padroni@hcpaf.fl.gov or via telephone at (813) 307-1709 if you have questions about how to complete this form.

Request Type (check one)	<input type="checkbox"/> Section 6.04.02.B. Administrative Variance <input checked="" type="checkbox"/> Technical Manual Design Exception Request <input type="checkbox"/> Alternative Parking Plan Request (Reference LDC Sec. 6.05.02.G3.) <input type="checkbox"/> Request for Determination of Required Parking for Unlisted Uses (Reference LDC Sec. 6.05.02.G.1. and G.2.)
Submittal Type (check one)	<input type="checkbox"/> New Request <input type="checkbox"/> Revised Request <input checked="" type="checkbox"/> Additional Information
Submittal Number and Description/Running History (check one and complete text box using instructions provided below)	<input checked="" type="checkbox"/> 1. DE - Double Branch Rd <input type="checkbox"/> 4. <input type="checkbox"/> 2. <input type="checkbox"/> 5. <input type="checkbox"/> 3. <input type="checkbox"/> 6.
<p>Important: To help staff differentiate multiple requests (whether of the same or different type), please use the above fields to assign a unique submittal number/name to each separate request. Previous submittals relating to the same project/phase shall be listed using the name and number previously identified. It is critical that the applicant reference this unique name in the request letter and subsequent filings/correspondence. If the applicant is revising or submitting additional information related to a previously submitted request, then the applicant would check the number of the previous submittal.</p>	
Project Name/ Phase	MM 24-0397
<p>Important: The name selected must be used on all future communications and submittals of additional/revised information relating to this variance. If request is specific to a discrete phase, please also list that phase.</p>	
Folio Number(s)	Portion of 004086-0000; 004086-0010
<input type="checkbox"/> Check This Box If There Are More Than Five Folio Numbers	
<p>Important: List all folios related to the project, up to a maximum of five. If there are additional folios, check the box to indicate such. Folio numbers must be provided in the format provided by the Hillsborough County Property Appraiser's website (i.e. 6 numbers, followed by a hyphen, followed by 4 additional numbers, e.g. "012345-6789"). Multiple records should be separated by a semicolon and a space e.g. "012345-6789; 054321-9876").</p>	
Name of Person Submitting Request	Matthew R. Femal, P.E. (FL PE License 68397)
<p>Important: For Design Exception (DE) Requests, the person submitting must be a Professional Engineer (PE) licensed within the state of Florida. The DE request letter must be signed and sealed.</p>	
Current Property Zoning Designation	PD (RZ-PD-96-0340)
<p>Important: For Example, type "Residential Multi-Family Conventional – 9" or "RMC-9". This is not the same as the property's Future Land Use (FLU) Designation. Typing "N/A" or "Unknown" will result in your application being returned. This information may be obtained via the Official Hillsborough County Zoning Atlas, which is available at https://maps.hillsboroughcounty.org/maphillsborough/maphillsborough.html. For additional assistance, please contact the Zoning Counselors at the Center for Development Services at (813) 272-5600 Option 3.</p>	
Pending Zoning Application Number	MM 24-0397
<p>Important: If a rezoning application is pending, enter the application number preceded by the case type prefix, otherwise type "N/A" or "Not Applicable". Use PD for PD rezoning applications, MM for major modifications, PRS for minor modifications/personal appearances.</p>	
Related Project Identification Number (Site/Subdivision Application Number)	N/A
<p>Important: This 4-digit code is assigned by the Center for Development Services Intake Team for all Certified Parcel, Site Construction, Subdivision Construction, and Preliminary/Final Plat applications. If no project number exists, please type "N/A" or "Not Applicable".</p>	



May 14, 2024

Mr. Michael J. Williams, P.E.
Development Review Director / County Engineer
Hillsborough County Development Services Department
601 E Kennedy Boulevard, 20th Floor
Tampa, FL 33602

**RE: WPG Memorial Highway Planned Development
App No: MM 24-0397
Folios: 004086-0010, 004086-0000
Design Exception Request
Double Branch Road (TS-4 Typical Section)**

Mr. Williams:

The purpose of this request is to seek a Design Exception for the Typical Section Local Urban Collector for a 2-Lane Undivided Roadway (TS-4) as outlined in the Hillsborough County Transportation Technical Manual (see exhibit A). The applicant is proposing the construction of a 6,119 square foot Convenience Store with Fuel Sales at the northeast corner of the intersection of W Hillsborough Ave and Double Branch Road, which includes Right-In Right-Out access to W. Hillsborough Ave, Right-In on Double Branch Road, and Full Access on Memorial Highway.

The Major Modification request is to include residential multi-family as an allowable use for the development of up to 220 dwelling units. Currently, 6,119 S.F. Convenience Store with Gas Pumps is being constructed on the NE corner of the intersection of W Hillsborough Ave & Double Branch Road (PI 6213). Therefore, the Major Modification request is to include Option 2 as an additional potential development option:

~~Option 1~~

~~Parcel 1 and Parcel 2: Retain entitlements permitted via PD 06-0340: up to 90,000 square feet of Commercial General (CG)~~

Option 2

Parcel 1: 6,119 square feet of convenience store with gas pumps (8 gas pumps, 16 vehicle fueling positions)

Parcel 2: 220 multi-family dwelling units

Access is proposed to be provided a right-in, right-out access to W. Hillsborough Avenue, right-in on Double Branch Road, and full access on Memorial Highway.

The following request was previously approved as part of the Site and Subdivision application for the gas station (PI 6213). The request has been updated to reference the proposed residential addition as part of development Option 2, however, it is important to note that the request as part of PI 6213 was made in consideration of the cumulative gas station and future development traffic generation. The Access Management Analysis dated August 25, 2022 for PI 6213 evaluated the 6,119 SF convenience store with 16 vehicle fueling positions in addition to fast-food restaurant with drive-through use, resulting in a total of 894 total AM peak-hour trips and 731 total PM peak-hour trips.

As shown in Exhibit C, Option 2 has been evaluated in the updated Transportation Analysis dated March 28, 2024 and is proposed to generate fewer daily, AM peak-hour, and PM peak-hour trips compared to the

development scenario previously analyzed for the design considerations of PI 6213. Therefore, Option 2 is not anticipated to require any capacity-related improvements or turn lane modifications beyond what is already required and planned, as shown on the General Development Plan.

Request Description

The applicant is seeking approval of a modified typical section detailed below for Double Branch Road. Improvements to Double Branch Road to the full TS-4 typical section are not feasible by this applicant due to geometric design constraints as depicted in exhibit B and limited available right-of-way.

The TS-4 typical section requires 64 feet. This typical section comprises a 2-foot sod utility area, a 5-foot pedestrian sidewalk, a 5-foot sod separation from the roadway, a 2-foot curb & gutter, a 7-foot buffered bike lane, and 11-foot travel lane to the centerline of right-of-way and mirrored on the other side as depicted in exhibit A. It is reasonable to assume that truck traffic will utilize Double Branch Road, so discussions with county staff have supported the incorporating of the existing 12-foot wide through lane widths and decreasing the existing 12-foot centered left turn lane to 11-foot into the TS-4 section. As part of the traffic analysis and coordination with county review staff, a 3-foot concrete separator shall be provided from the intersection of Hillsborough Avenue and Double Branch Road through to the north extent of the proposed access point to limit unsafe traffic movements. Therefore, the total required right-of-way width required is 80 feet.

The described 80 feet right-of-way will cause an undesirable and unsafe geometric design configuration at the intersection of Hillsborough Avenue and Double Branch Road. Per the FDOT design manual Table 2.12.7.1 as referenced in the Hillsborough County TTM 2.7.3, deflection of intersection through lanes should not cause a lane shift of more than 6 feet from stop bar to stop bar. As shown in exhibit B, the proposed 80 feet roadway improvement will cause the northbound lane shift to exceed the 6-foot preferred maximum. The northbound and southbound lane shifts are 8.0-feet and 5.1-feet respectively through the intersection and therefore an alternative to the TS-4 typical section should be considered.

It should be noted that apart from this request for a design exception an 11.5-foot right auxiliary lane into the site is required in accordance with the LDC access requirements and will necessitate ROW dedication totaling a ROW width of 91.5 feet under the full TS-4 typical section as modified above.

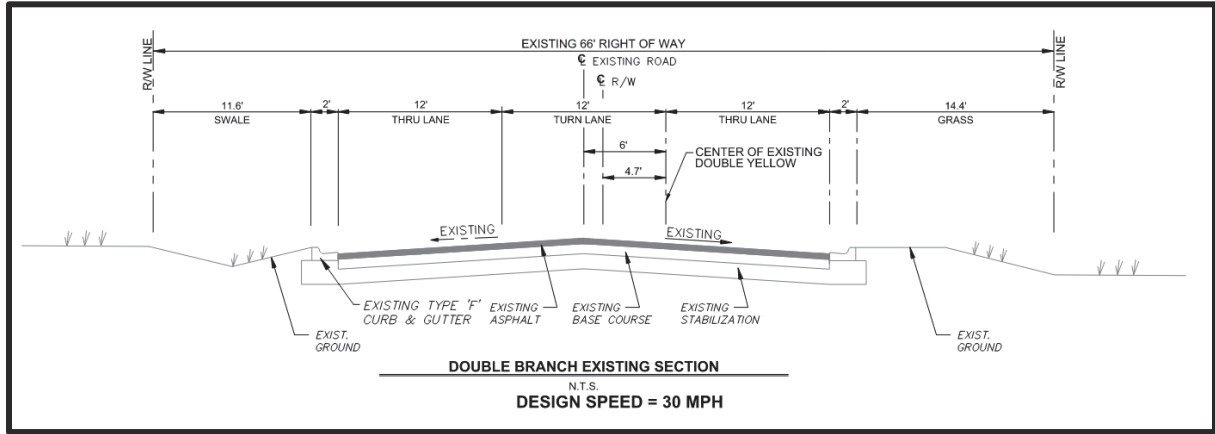
The proposed modified TS-4 section aims to improve the existing roadway infrastructure while considering several design considerations. Firstly, regarding the TS-4 typical section sidewalk improvements west of the existing southbound back of curb, it has been determined that this would be in direct conflict with existing drainage swales and stormwater conveyance infrastructure. Additionally, the presence of a mature 29" Oak located at the southwest corner of Double Branch Road and Memorial Highway means that the construction of the 5 feet sidewalk would impact the critical root zone. Therefore, the modified typical section requests the omission of sidewalk improvements west of the existing southbound back of curb.

Furthermore, the requested modified section includes the maintaining of existing 12 feet lane widths in accordance with pre-development meeting discussions with county staff and reasonable roadway use expectations. Additionally, the omission of the 7-foot buffered bike lanes is requested to mitigate unsafe intersection lane shift as detailed in exhibit B.

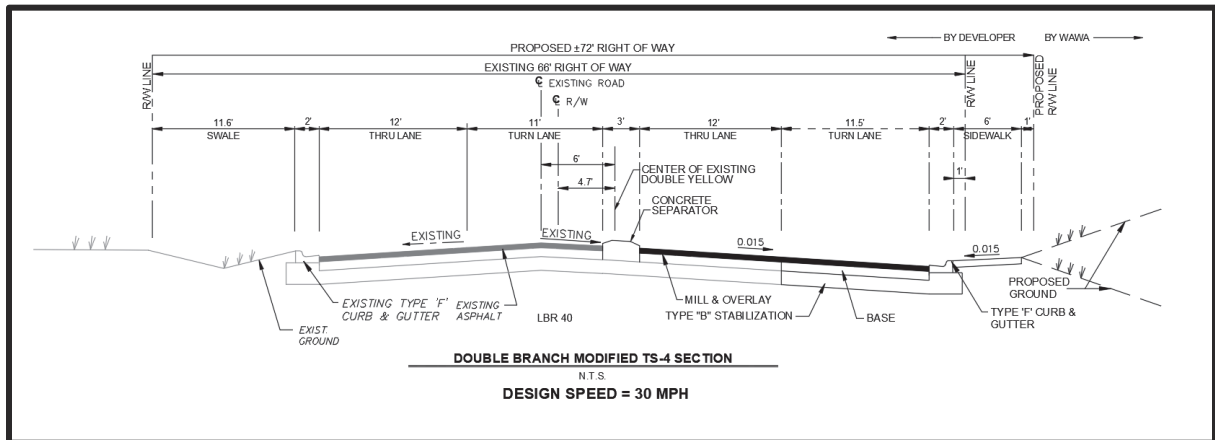
Lastly, due to the limited 66 feet of available right-of-way, we request a 6-foot sidewalk adjacent to the back of curb on the eastern side of the ROW which shall limit the dedication area required. This will provide sufficient existing ROW width to fit the proposed modified TS-4 section except where the 11.5 feet auxiliary right turn lane is required. To which right-of-way dedication is proposed accordingly.

These modifications will significantly enhance the roadway infrastructure, while also ensuring public safety and welfare. Therefore, the proposed Modified TS-4 Roadway section consists of an 11.6-foot sod swale and utility area, a 2-foot curb & gutter, a 12-foot travel lane, a 11-foot left turn lane, a center 3-foot concrete separator, another 12-foot travel lane, an 11.5-foot right turn lane, 2-foot curb & gutter, a 6-foot pedestrian sidewalk, and a 1-foot sod utility area as depicted in the below cross section. The right-of-way therefore shall be widened to 72 feet ± to accommodate the 11.5 foot right turn lane, tapered widening, and lane drop reduction areas via right-of-way dedication accordingly.

Existing Roadway Section



Proposed Modified TS-4 Roadway Section





The proposed modified roadway section for Double Branch Road, as described above, will enhance the traffic safety and operation of Double Branch Road between Hillsborough Avenue and Memorial Highway.

Should you have any questions regarding any of the comments addressed above, please do not hesitate to contact me at 813-635-5526 or Matt.Femal@kimley-horn.com.

Sincerely,

Matt Femal, P.E.
Project Manager

**Matthew R
Femal**

Digitally signed by Matthew R Femal
DN: cn=Matthew R Femal, c=US,
o=Florida,
email=matt.femal@kimley-horn.com
Date: 2024.06.17 11:47:16 -04'00'

Matthew R. Femal, State of Florida, Professional Engineer, License No. 68397; This item has been digitally signed and sealed by Matthew R. Femal on the date indicated here. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Based on the information provided by the applicant, this request is:

_____ Approved

_____ Disapproved

 X **Approved with
Conditions**

Conditions:

The County Engineer notes that this Design Exception applies only to Option 2 development. Any development under Option 1 shall require additional analysis, review and approval (including a new Design Exception).

Notice: Consistent with Hillsborough County Land Development Code Sec. 10.05.01 of the LDC, the above decision may be appealed to the Land Use Hearing Officer within 30 calendar days of the date of the above action.

EXHIBIT A

Typical Section Local Urban Collector for a 2-Lane Undivided Roadway (TS-4)

3. PROJECT TRIP CHARACTERISTICS **SITE ACCESS EVALUATION REPORT**
August 25, 2022

Trip Generation

The AM, PM and daily trip generation estimates were based on the trip rates contained in the 11th Edition of the Institute of Transportation of Engineers (ITE) Trip Generation Manual. Tables 1, 2, and 3 below contain the detailed trip generation calculations for the AM, PM and daily, time periods.

TABLE 1 - DAILY TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips		
						2-Way	1-Way	2-Way	1-Way	
PHASE 1										
Convenience Store/ Gas Station	945	SQUARE FEET	1,283.38	6,119	7,853	5,104	2,552	2,749	1,374	
PHASE 2										
Fast Food Restaurant w/ DT	934	SQUARE FEET	467.48	3,500	1,636	736	368	900	450	
Fast Food Restaurant w/ DT	934	SQUARE FEET	467.48	4,000	1,870	841	421	1,028	514	
Phase 2 Sub Total:					7,500	1,578	789	1,928	964	
Total:					13,619	11,389	6,682	3,341	4,677	2,338

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 2 - AM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	(1) Rate/Eqn	Size	Total Trips	Pass-By Trips		New-Net Trips			
						2-Way	1-Way	2-Way	1-Way		
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Fast Food Restaurant w/ DT	934	SQUARE FEET	33.03	4,000	132	59	31	73	38		
Phase 2 Sub Total:					7,500	248	111	58	136	71	
Total:					13,619	731	425	211	305	155	150

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PD REZONE TRANSPORTATION ANALYSIS
dated 3-28-24

4. TRIP GENERATION SUMMARY

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Total:					9,339	5,104	2,552	4,235	2,117	2,117

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

TABLE 2 - AM PEAK HOUR TRIP GENERATION ESTIMATES

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Multifamily Housing (Low-Rise)	220	UNITS	T=0.31(X)+22.85	220	91	0	0	91	22	
Total:					650	363	182	287	120	167

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

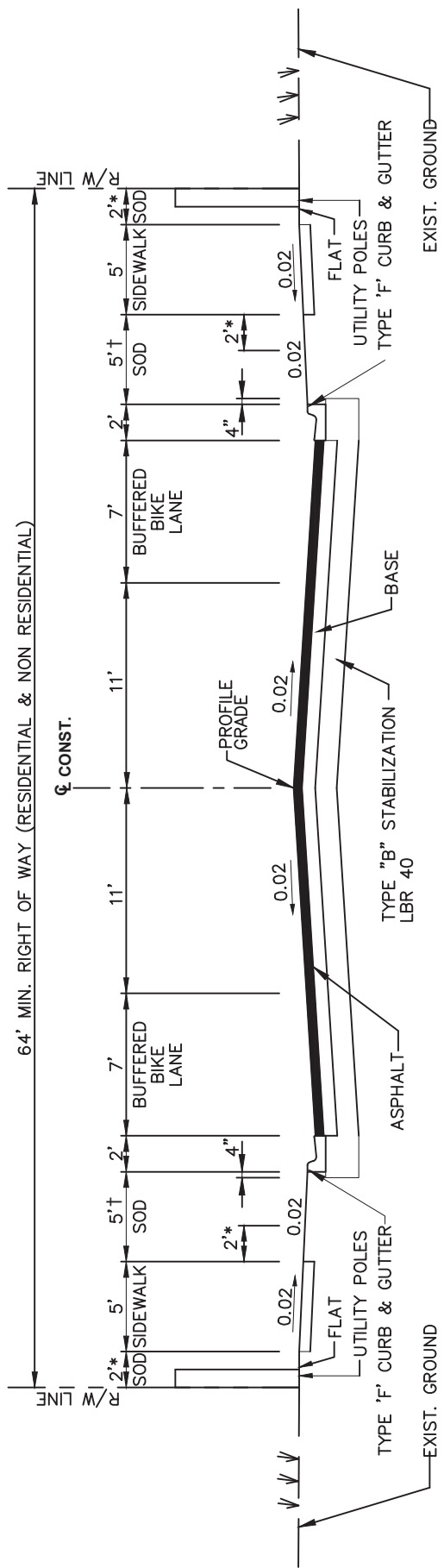
TABLE 3 - PM PEAK HOUR TRIP GENERATION ESTIMATES

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Multifamily Housing (Low-Rise)	220	UNITS	T=0.43(X)+20.55	220	115	0	0	115	72	
Total:					598	314	157	284	157	127

(1)- SOURCE: ITE Trip Generation Manual 11th Edition.

EXHIBIT B

Hillsborough Avenue & Double Branch Road – TS-4 Deflection Exhibit



TYPICAL SECTION

N.T.S.

5,000 TO 10,000 AADT

MAX. ALLOWABLE DESIGN SPEED – 40 MPH

1. ALL DIMENSIONS SHOWN ARE MINIMUM.
2. SEE APPROPRIATE SECTIONS OF TECHNICAL MANUAL FOR DESIGN PARAMETERS.
- * 3. PROVIDE 2' MINIMUM CLEARANCE FROM FENCES, WALLS, HEDGES, ABOVEGROUND UTILITIES OR IMPROVEMENTS, DROP OFFS, OR FROM THE TOPS OF BANKS WITH SLOPES STEEPER THAN 1 TO 4, THAT INTERFERE WITH THE SAFE, FUNCTIONAL USE OF THE SIDEWALK. INTERMITTENT ABOVEGROUND UTILITIES, OR MATURE TREES, 2' OR LESS IN DIAMETER MAY BE PLACED IN THIS 2' STRIP AS FAR FROM THE SIDEWALK AS POSSIBLE, IF NOT IN THE CLEAR ZONE.
- † 4. SEE SIDEWALK PROTECTION OPTIONS, DRAWING NO. TD-16 SHEET 7 OF 7 FOR USE WHEN TREES ARE PLANTED IN THE PARKWAY AREA (BETWEEN THE BACK OF CURB AND SIDEWALK).
5. SOD SHALL BE PLACED IN TWO ROWS STAGGERED. (BOTH TEMPORARY AND PERMANENT)

REVISION DATE:
10/17

**TRANSPORTATION
TECHNICAL
MANUAL**



**Hillsborough
County Florida**

**URBAN COLLECTORS
(2 LANE UNDIVIDED)
TYPICAL SECTION**

DRAWING NO. **TS-4**
SHEET NO. 1 OF 1

EXHIBIT C

Trip Generation Comparison

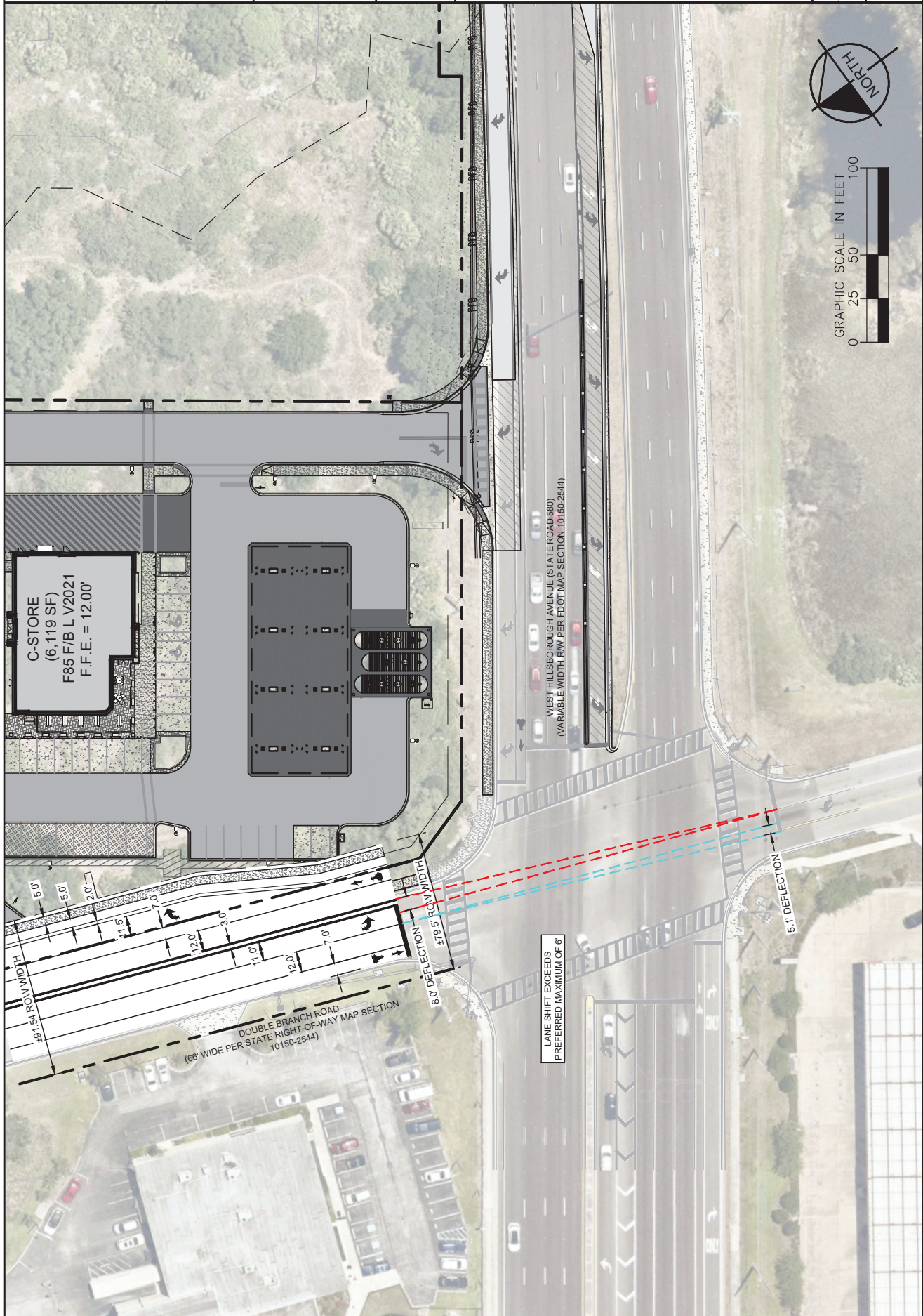
DATE: 05/09/2024
PROJECT NO: 147779017
SHEET NUMBER: B

EXHIBIT B INTERSECTION DEFLECTIONS



© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
201 NORTH FRANKLIN STREET, SUITE 1400, TAMPA, FL 33602
PHONE: 813-620-1460
WWW.KIMLEY-HORN.COM CA 00000696

SCALE: AS SHOWN
DESIGNED BY: JLF
DRAWN BY: JLF
CHECKED BY: DAL
DATE: 05/09/2024
FLORIDA P.E. LICENSE NUMBER: 68397
DESIGN ENGINEER: MATTHEW FEMAL, P.E.



Application No. MM 24-0397
Name: Jonathan Brewer
Entered at Public Hearing: ZHM
Exhibit # 2 Date: 10/28/24

Jonathan Brewer

From: jbxjr100@yahoo.com

To: landuse@gardnerbrewer.com, Jonathan
Brewer, psrob@raceandfaith.church, carlos@graceandfaith.church

Sun, Sep 22 at 3:24 PM

Mr. Gardner,

I have made more the half a dozen voicemail attempts to speak with you as the identified applicant for MM-24-0397. I finally received a return call from one of your staff, Megan Smith, in which I clearly communicated the desire of Senior Pastor Rob Scarallo of Grace and Faith Church to meet and discuss the Wagner Properties project.

I again have left additional voicemails for Ms Smith subsequent to our conversation of September 10th to "nail down" a meeting date with no success. Pastor Rob will be leaving for a mission trip to the Dominican Republic on October 15th, so we are fast approaching the hearing date. Pastor Rob is available most afternoons between 3:00pm and 5:00pm except Thursdays. We offer to meet at the site or across the street in the church board room.

Should a meeting date prior to the October 15th hearing not be accommodated, we will be forced to request an additional continuance at the hearing itself. Please contact me at your earliest convenience to set a meeting date and time.

Respectfully,

Jonathan Brewer

f/Grace and Faith Church

(727)479-5176 mobile

Grandlienard, Christopher

From:grandlienardc@hcfl.gov

To: Jonathan Brewer

Tue, Sep 10 at 8:59 AM

Good Morning,

MM 24-0397 was continued to the October 15, 2024 ZHM Hearing.

No site plans have been approved yet. That is done at the BOCC hearing.

Chris Grandlienard, AICP

Senior Planner

Community Development Section

Development Services Department

P: (813) 276-8372

E: GrandlienardC@HCFL.gov

W: www.HCFL.gov



Application No. mm 24-0397
Name: Daniel Rojas
Entered at Public Hearing: ZHM
Exhibit # 3 Date: 10/28/24





**PARTY OF
RECORD**

Rome, Ashley

From: Timoteo, Rosalina
Sent: Wednesday, September 11, 2024 1:53 PM
To: Rome, Ashley
Subject: FW: MM 24-0397

Hi Ashley,

For POR.

Thank you,

Rosa Timoteo

Senior Planning & Zoning Technician
Development Services Dept.

C: (813) 244-3956
P: (813) 307-1752
E: timoteor@hillsboroughcounty.org
W: HCFLGov.net

Hillsborough County

601 E. Kennedy Blvd., Tampa, FL 33602

[Facebook](#) | [Twitter](#) | [YouTube](#) | [LinkedIn](#) | [HCFL Stay Safe](#)

Please note: All correspondence to or from this office is subject to Florida's Public Records law.

From: Meagan M <meametz@gmail.com>
Sent: Wednesday, September 11, 2024 10:32 AM
To: Timoteo, Rosalina <TimoteoR@hcfl.gov>; Grady, Brian <Gradyb@hcfl.gov>; Heinrich, Michelle <HeinrichM@hcfl.gov>; Ratliff, James <RatliffJa@hcfl.gov>
Subject: MM 24-0397

External email: Use caution when clicking on links, opening attachments or replying to this email.

Good morning,

Im writing in concern of the construction on memorial highway and double branch road. This construction demolished all of the trees and land on the corner of that road and began construction May 2024. Since then they have extended their public hearing meetings while continuing with their construction.

I urge you to reconsider extending these public hearings for the major modification as they have built an access point to this development off memorial highway, a two lane residential road.

If this is going to be a new WaWa, having increased traffic on a two lane residential road is very concerning. There are pedestrians and bikers and its a quiet road that doesnt need further traffic directed to it.

It was already unfortunate to have the trees torn down for a gas station when there is a gas station across the street and more a mile down the road, but the disturbance on a residential road is too much.

Please reconsider on this development.

Best regards,

Meagan

Rome, Ashley

From: Hearings
Sent: Tuesday, October 1, 2024 4:35 PM
To: Timoteo, Rosalina; Grandlienard, Christopher; Rome, Ashley
Subject: FW: MM 24-0397 Objection

From: Meagan M <meametz@gmail.com>
Sent: Tuesday, October 1, 2024 2:49 PM
To: Hearings <Hearings@hcfl.gov>
Subject: MM 24-0397 Objection

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Good afternoon,

There is a new Wawa being built on memorial hwy and double branch road. They have had public hearings for the major modification being built pushed since May 2024 and they have built an entrance to the development on memorial road. This is concerning because it's a two lane residential road.

The removal of those trees for a gas station when there is a gas station across the street and more less than a mile down the road was disappointing enough, but the residents on this road don't need increased traffic directed down a residential road with bikers and pedestrians.

This is a quiet street and I urge you to restrict the flow of access to this road from a gas station that will bring late night crowds. Please consider the residents of Tampa when allowing construction of an unnecessary business that will disrupt the flow of traffic.

Best regards,

Meagan