

Rezoning Application: PD 22-0719
Zoning Hearing Master Date: January 17, 2023
BOCC Land Use Meeting Date: March 7, 2023

1.0 APPLICATION SUMMARY

Applicant: Sunny Sia
FLU Category: SMU-6 (Suburban Mixed Use-6)
Service Area: Rural
Site Acreage: Approximately 3.94 acres
Community Plan Area: Seffner Mango
Overlay: None



Introduction Summary:

The applicant seeks to develop an approximately 3.94-acre unified development consisting of one folio. The request is for a rezoning from Residential Single Family Conventional (RSC-4) to Planned Development (PD) to allow for a mini-warehouse development.

Zoning:	Existing	Proposed
District(s)	RSC-4	Proposed
Typical General Use(s)	Single-Family Residential (Conventional Only)	Commercial (Mini-warehouse)
Acreage	3.94 acres	3.94 acres
Density/Intensity	Minimum 10,000-sq.-ft. lot per sf home	0.37 FAR

Development Standards:	Existing	Proposed
District(s)	RSC-4	PD
Setbacks/Buffering and Screening	Front: 25 ft. Side: 7.5 ft. Rear: 25 ft.	North (rear) 20 ft. landscape with Type "B" buffer Sides: 20 ft. landscape with Type "B" buffer
Height	50 ft. Max. Ht.	35 ft. Max. Ht.

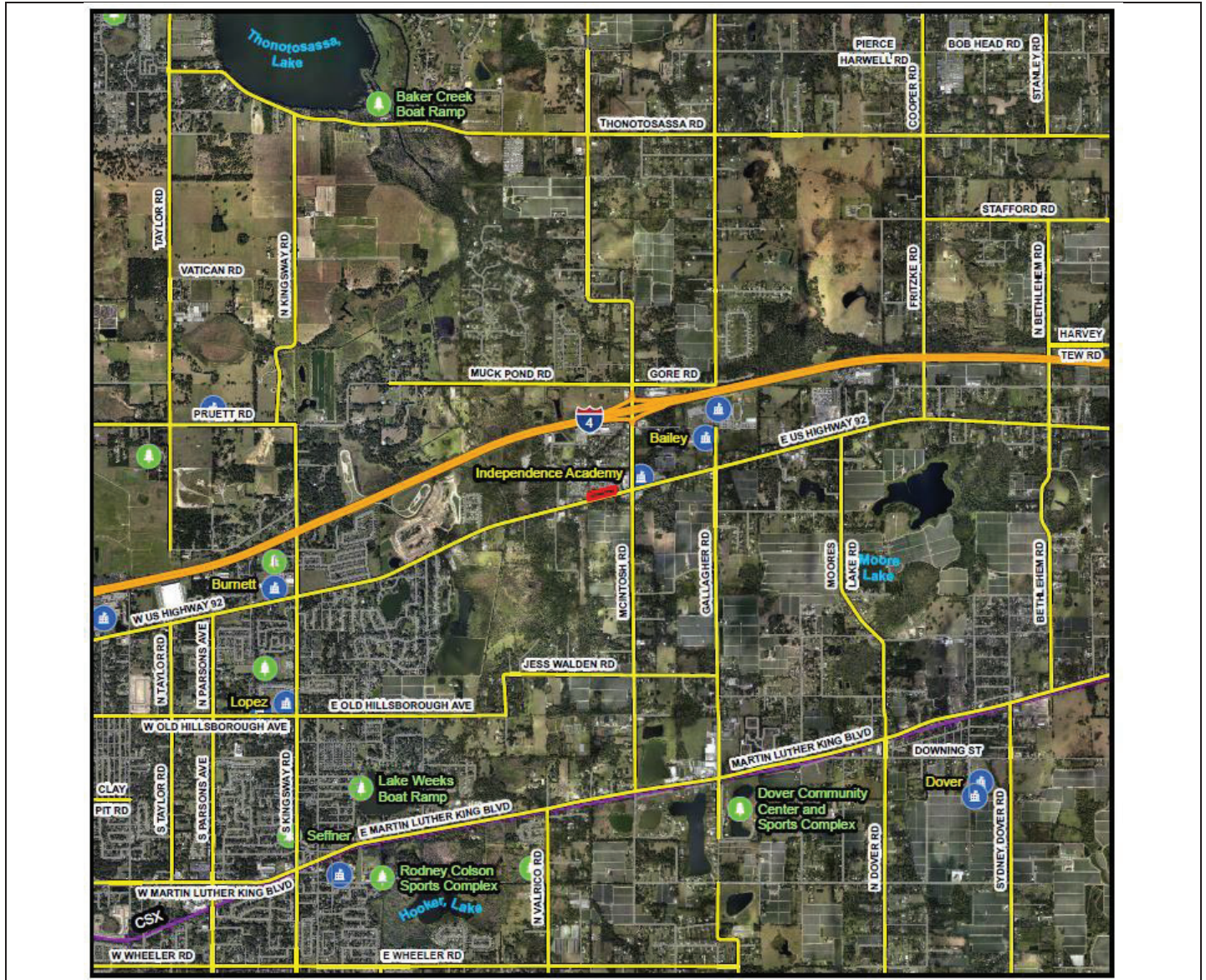
Additional Information:

PD Variation(s)	None requested as part of this application
Waiver(s) to the Land Development Code	None requested as part of this application.

Planning Commission Recommendation: INCONSISTENT	Development Services Recommendation: Not Supportable
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2.0 LAND USE MAP SET AND SUMMARY DATA

2.1 Vicinity Map



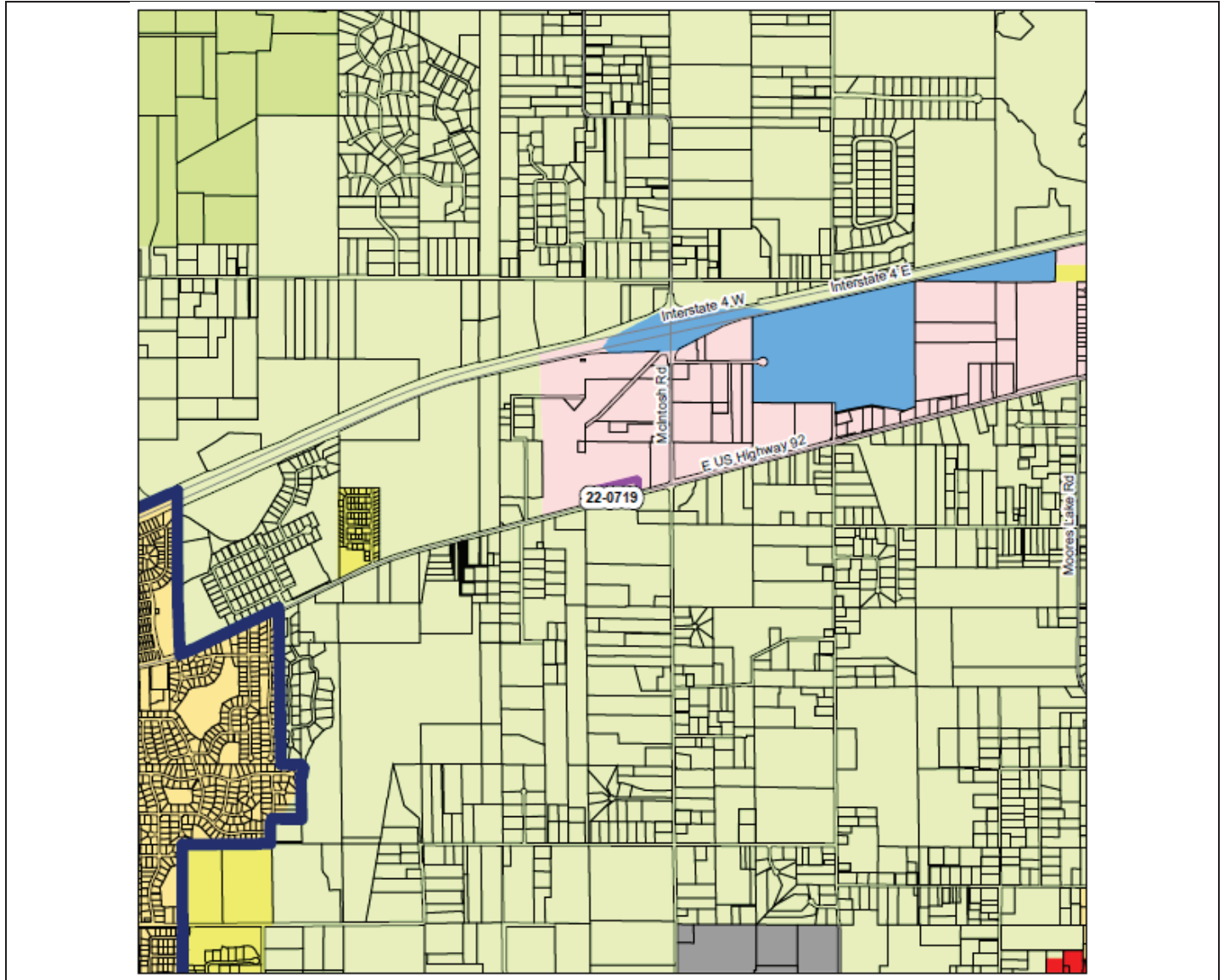
Context of Surrounding Area:

The subject property is located on the north side of East U.S. Highway 92, west of McIntosh Road. The subject property is located within the Rural Area and within the limits of the Seffner-Mango Community Plan.

Planned Development (PD) zoning exists to the north and east and is developed with an RV / mobile home park and Driscoll’s agricultural plant. On the south side of US Highway 92 are Agricultural Single Family-1 (AS-1) and Agricultural Rural (AR) zoned properties developed with agriculture and single family uses. Commercial General (CG) zoned properties are located to the west and southwest and are developed with a variety of uses, including a motel, single-family residential, mobile homes, and a warehouse use.

2.0 LAND USE MAP SET AND SUMMARY DATA

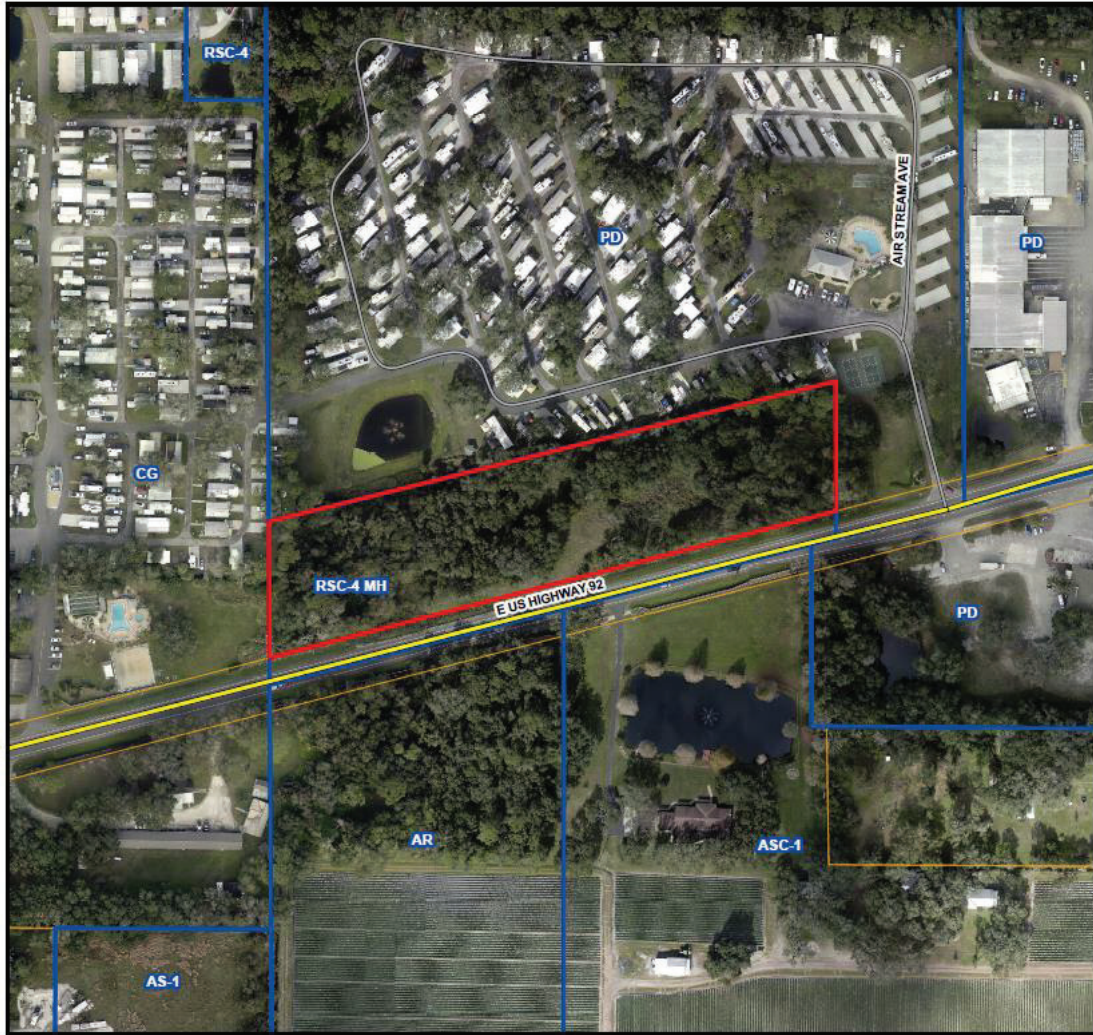
2.2 Future Land Use Map



Subject Site Future Land Use Category:	SMU-6 (Suburban Mixed Use-6)
Maximum Density/F.A.R.:	6 dwelling per acre / 0.25 FAR: Suburban scale neighborhood commercial; 0.35 FAR: Office uses, research corporate park uses, multipurpose, and mixed use; 0.5 FAR: Light Industrial uses
Typical Uses:	Typical uses in the SMU-6 includes residential, suburban commercial, offices, research parks, light industrial, multi-purpose, clustered residential, mixed-use

2.0 LAND USE MAP SET AND SUMMARY DATA

2.3 Immediate Area Map



Adjacent Zonings and Uses

Location:	Zoning:	Maximum Density/F.A.R. Permitted by Zoning District:	Allowable Use:	Existing Use:
North	PD 86-0056 / 93-0097	Max. 2 /ac. per 93-0097	RV / MH	RV / MH
South	PD 86-0149 and AR	AR / ASC-1	SF / Agricultural	SF / Agricultural
East	PD 86-0056 / 93-0097	Max. 2 /ac. per 93-0097	RV / MH	RV / MH
West	PD 86-0056 / 93-0097	Max. 2 /ac. per 93-0097	RV / MH	RV / MH

3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)

Adjoining Roadways (check if applicable)			
Road Name	Classification	Current Conditions	Select Future Improvements
US Hwy 92	FDOT Principal Arterial - Rural	2 Lanes <input type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input checked="" type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other

Project Trip Generation <input type="checkbox"/> Not applicable for this request			
	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	151	12	16
Proposed	90	7	10
Difference (+/-)	-61	-5	-6

*Trips reported are based on net new external trips unless otherwise noted.

Connectivity and Cross Access <input type="checkbox"/> Not applicable for this request				
Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North		None	None	Meets LDC
South	X	None	None	Meets LDC
East		None	None	Meets LDC
West		None	None	Meets LDC

Notes:

Design Exception/Administrative Variance <input checked="" type="checkbox"/> Not applicable for this request		
Road Name/Nature of Request	Type	Finding
N/A	Choose an item.	Choose an item.

Notes:

4.0 Additional Site Information & Agency Comments Summary			
Transportation	Objections	Conditions Requested	Additional Information/Comments
<input type="checkbox"/> Design Exception/Adm. Variance Requested <input type="checkbox"/> Off-Site Improvements Provided	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	See report.

4.0 ADDITIONAL SITE INFORMATION & AGENCY COMMENTS SUMMARY

INFORMATION/REVIEWING AGENCY				
Environmental:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Environmental Protection Commission	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Natural Resources	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Conservation & Environ. Lands Mgmt.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Check if Applicable: <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Wetlands/Other Surface Waters <input type="checkbox"/> Use of Environmentally Sensitive Land Credit <input type="checkbox"/> Wellhead Protection Area <input type="checkbox"/> Surface Water Resource Protection Area <input type="checkbox"/> Potable Water Wellfield Protection Area <input type="checkbox"/> Significant Wildlife Habitat <input type="checkbox"/> Coastal High Hazard Area <input type="checkbox"/> Urban/Suburban/Rural Scenic Corridor <input type="checkbox"/> Adjacent to ELAPP property <input checked="" type="checkbox"/> Other <u>Potable Water Buffer Area</u> 				
Public Facilities:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Transportation <input type="checkbox"/> Design Exc./Adm. Variance Requested <input type="checkbox"/> Off-site Improvements Provided	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	See Transportation Report.
Service Area/ Water & Wastewater <input type="checkbox"/> Urban <input type="checkbox"/> City of Tampa <input checked="" type="checkbox"/> Rural <input type="checkbox"/> City of Temple Terrace	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	See Water Resource Services Comment Sheet Water & Wastewater
Hillsborough County School Board Adequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input checked="" type="checkbox"/> N/A Inadequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Impact/Mobility Fees Self-Storage (Per 1,000 s.f.) Mobility: \$1,084 Fire: \$32 Rural Mobility, Northeast Fire - Self Storage, not specified size				
Comprehensive Plan:	Comments Received	Findings	Conditions Requested	Additional Information/Comments
Planning Commission <input type="checkbox"/> Meets Locational Criteria <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Locational Criteria Waiver Requested <input type="checkbox"/> Minimum Density Met <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Inconsistent <input type="checkbox"/> Consistent	<input type="checkbox"/> Yes <input type="checkbox"/> No	See Planning Commission Report

5.0 IMPLEMENTATION RECOMMENDATIONS

5.1 Compatibility

The applicant seeks to develop an approximately 3.94-acre unified development consisting of one folio. The request is for a rezoning from RSC-4 (Residential Single Family-4) to Planned Development (PD) to allow for the development of a mini-warehouse facility. The subject site is located on the north side of East U.S. Highway 92, west of McIntosh Road. The subject property is located within the Rural Area and within the limits of the Seffner-Mango Community Plan.

Planned Development (PD) zoning exists to the north and east and is developed with a RV / mobile home park. Further east is Driscoll's of Florida. On the south side of US Highway 92 are Agricultural Single Family-1 (AS-1) and Agricultural Rural (AR) zoned properties developed with agriculture and single family uses. Heading west are Commercial General (CG) zoned properties located to the west and southwest that are developed with a variety of uses, including a motel, single-family residential, mobile homes, and a warehouse use.

The site plan illustrates measures that mitigate the proposed mini-warehouse and the adjacent RV and mobile home planned development and adjacent abutting properties. The applicant proposes a 20-foot buffer with Type "B" screening along the north, east and west of the subject site. The applicant requests no Variations for Site Design. The application does not request any variations to Land Development Code Parts 6.06.00 (Landscaping/Buffering).


The subject site is located outside of the Hillsborough County Urban Service Area. If the site is required or otherwise allowed to connect to the potable water and/or wastewater systems, there will be offsite improvements required that extend beyond a connection to the closest location with existing infrastructure. These points-of-connection will have to be determined at time of application for service as additional analysis will be required to make the final determination.

There are wetlands present on the subject property. The Environmental Protection Commission (EPC) Wetlands Division has reviewed the proposed rezoning and has determined a resubmittal is not necessary for the site plan's current configuration. If the zoning proposal changes and/or the site plans are altered, EPC staff will need to review the zoning again. This project as submitted is conceptually justified to move forward through the zoning review process, contingent upon conditions.

Planning Commission staff finds that the request is located outside of the commercial node and within the Rural Area. Typically, the type of development that would be expected is less intense than the proposed mini warehouse use. Planning Commission finds that the proposed development does not meet Commercial Locational Criteria. Planning Commission also finds that the proposed rezoning is in direct conflict with the vision of the Seffner Mango Community Plan. Overall, the Planning Commission finds the proposed development inconsistent with the Goals, Objectives and Policies of the Unincorporated Hillsborough County Comprehensive Plan.

5.2 Recommendation

Overall, the request is **NOT** supportable.

<p>Zoning Administrator Sign Off:</p>	 <p>J. Brian Grady Tue Jan 10 2023 07:49:09</p>
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SITE, SUBDIVISION AND BUILDING CONSTRUCTION IN ACCORDANCE WITH HILLSBOROUGH COUNTY SITE DEVELOPMENT PLAN & BUILDING REVIEW AND APPROVAL.

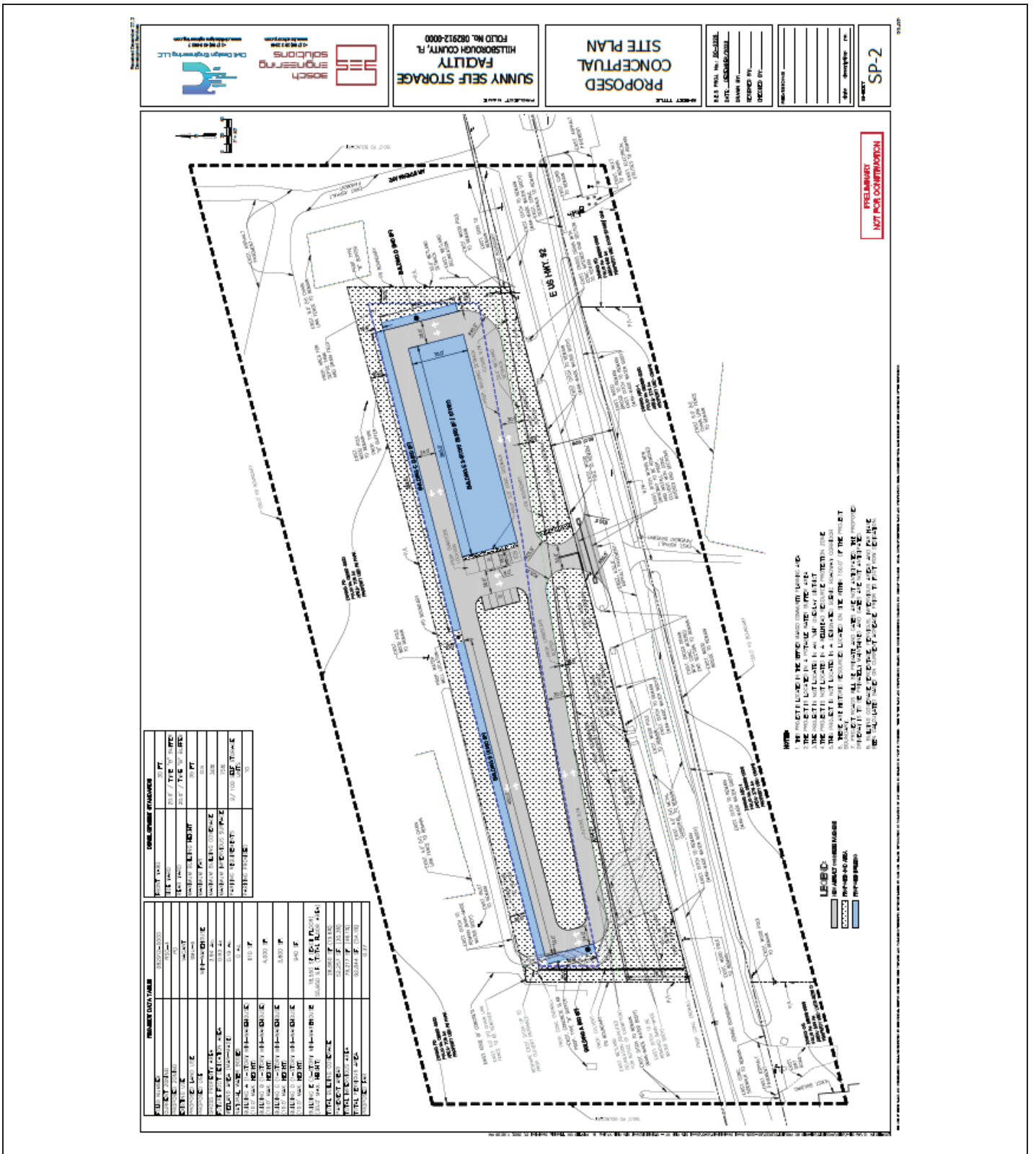
Approval of this re-zoning petition by Hillsborough County does not constitute a guarantee that the project will receive approvals/permits necessary for site development as proposed will be issued, nor does it imply that other required permits needed for site development or building construction are being waived or otherwise approved. The project will be required to comply with the Site Development Plan Review approval process in addition to obtain all necessary building permits for on-site structures.

SITE, SUBDIVISION AND BUILDING CONSTRUCTION IN ACCORDNACE WITH HILLSBOROUGH COUNTY SITE DEVELOPMENT PLAN & BUILDING REVIEW AND APPROVAL.

Approval of this re-zoning petition by Hillsborough County does not constitute a guarantee that the project will receive approvals/permits necessary for site development as proposed will be issued, nor does it imply that other required permits needed for site development or building construction are being waived or otherwise approved. The project will be required to comply with the Site Development Plan Review approval process in addition to obtain all necessary building permits for on-site structures.

7.0 ADDITIONAL INFORMATION AND/OR GRAPHICS

8.0 PROPOSED SITE PLAN (FULL)



9.0 FULL TRANSPORTATION REPORT (see following pages)

AGENCY REVIEW COMMENT SHEET

TO: Zoning Technician, Development Services Department

DATE: 1/09/2023

REVIEWER: Richard Perez, AICP

AGENCY/DEPT: Transportation

PLANNING AREA/SECTOR: SM/Central

PETITION NO: PD 22-0719

- This agency has no comments.
- This agency has no objection.
- This agency has no objection, subject to the listed or attached conditions.
- This agency objects for the reasons set forth below.

CONDITIONS OF ZONING APPROVAL

- The project shall be permitted one (1) full access on US Highway 92, subject to FDOT approval.
- The developer shall dedicate right of way to FDOT along the project frontage, as proffered and delineated on the PD site plan, to satisfy the Hillsborough County Corridor Preservation requirements pursuant to LDC, Sec. 5.11.08, subject to FDOT approval.
- The developer shall construct minimum 5-foot-wide sidewalk along the project’s frontage.

OTHER:

- Prior to certification, the applicant shall add a site plan note stating that the developer proposes to dedicate the area delineated as Future R/W to FDOT to satisfy the Hillsborough County Corridor Preservation Plan consistent with LDC, Sec. 5.11.08.

PROJECT SUMMARY AND ANALYSIS

The applicant is requesting to rezone a +/- 4.03 ac. parcel to Planned Development (PD) to allow for up to a maximum of 500-unit self-storage facility. The subject property is zoned Residential Suburban Conventional – 4 with Mobile Home Overlay (RSC-4/MH) and designated Suburban Mixed Use – 6 (SMU-6) future land use.

Trip Generation Analysis

The applicant submitted a trip generation and site access analysis consistent with the Development Review Procedures Manual (DRPM). Staff has prepared a comparison of the trips potentially generated under the existing and proposed zoning designations, utilizing a generalized worst-case scenario. Data presented below is based on the Institute of Transportation Engineer’s Trip Generation Manual, 10th Edition.

Existing Zoning:

Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
RSC-4; 16 Single-Family Dwelling Unit (ITE LUC 210)	151	12	16

Proposed Zoning:

Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
PD: 500-unit, Self Storage (ITE Code 151)	90	7	10

Trip Generation Difference:

Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
Difference (+/-)	-61	-5	-6

Note: Above table reports gross project trips.

The proposed PD zoning will result in a decrease in maximum potential trips generated from the subject property by 61 daily trips, 5 AM peak hour trips and 6 PM peak hour trips.

TRANSPORTATION INFRASTRUCTURE SERVING THE SITE

The subject property has frontage on US Hwy 92. US Highway 92 is a 2-lane, undivided, rural, Florida Department of Transportation (FDOT) maintained Principal Arterial roadway with +/- 12-foot lanes and +/- 4-foot paved shoulders. The roadway lies within a +/- 80-foot-wide right-of-way. There are no sidewalks within in the vicinity of the proposed project.

Pursuant to the Hillsborough County Corridor Preservation Plan, Hillsborough Ave. is proposed to be improved to a 4-lane section. According to FDOT adopted PD&E study (WPI Segment No. 435749-1), the future right of way width will be 180 feet at buildout, as such the applicant shall is required to designate a certain portion of the project frontage as Right of Way Preservation or may proffer to dedicate the right-of-way at the time of site construction consistent with the Hillsborough County Land Development Code, Part 5.11.00. As shown in the proposed PD site plan, the applicant is proffering to dedicate frontage along US Hwy 92 ranging from +/-20 to +/-74 feet.

SITE ACCESS

The project is proposing one (1) full access connection on US Hwy 92, subject to FDOT approval.

The applicant submitted a site access analysis indicating that turn lane improvements are not warranted.

The applicant is required to construct a sidewalk along the project frontage.

ROADWAY LEVEL OF SERVICE

Roadway	From	To	LOS Standard	Peak Hour Directional LOS
US Hwy 92	Kingsway Rd.	McIntosh Rd.	D	C

Source: Hillsborough County 2020 Level of Service Report.

Transportation Comment Sheet

3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)

Adjoining Roadways (check if applicable)			
Road Name	Classification	Current Conditions	Select Future Improvements
US Hwy 92	FDOT Principal Arterial - Rural	2 Lanes <input type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input checked="" type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other

Project Trip Generation <input type="checkbox"/> Not applicable for this request			
	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
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Proposed	90	7	10
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Connectivity and Cross Access <input type="checkbox"/> Not applicable for this request				
Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North		None	None	Meets LDC
South	X	None	None	Meets LDC
East		None	None	Meets LDC
West		None	None	Meets LDC
Notes:				

Design Exception/Administrative Variance <input checked="" type="checkbox"/> Not applicable for this request		
Road Name/Nature of Request	Type	Finding
N/A	Choose an item.	Choose an item.
Notes:		

4.0 Additional Site Information & Agency Comments Summary			
Transportation	Objections	Conditions Requested	Additional Information/Comments
<input type="checkbox"/> Design Exception/Adm. Variance Requested <input type="checkbox"/> Off-Site Improvements Provided	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	See report.

COUNTY OF HILLSBOROUGH

**RECOMMENDATION OF THE
LAND USE HEARING OFFICER**

APPLICATION NUMBER: RZ PD 22-0719

DATE OF HEARING: January 17, 2023

APPLICANT: Sunny Sia

PETITION REQUEST: A request to rezone property from RSC-4 to PD to permit a mini-warehouse facility

LOCATION: 250 feet northwest of the intersection E. US Hwy. 92 and Air Stream Avenue

SIZE OF PROPERTY: 4.03 acres, m.o.l.

EXISTING ZONING DISTRICT: RSC-4

FUTURE LAND USE CATEGORY: SMU-6

SERVICE AREA: Rural

COMMUNITY PLAN: Seffner Mango

DEVELOPMENT REVIEW STAFF REPORT

***Note:** Formatting issues prevented the entire Development Services Department staff report from being copied into the Hearing Master’s Recommendation. Therefore, please refer to the Development Services Department web site for the complete staff report.

1.0 APPLICATION SUMMARY

Applicant: Sunny Sia

FLU Category: SMU-6 (Suburban Mixed Use-6)

Service Area: Rural

Site Acreage: Approximately 3.94 acres

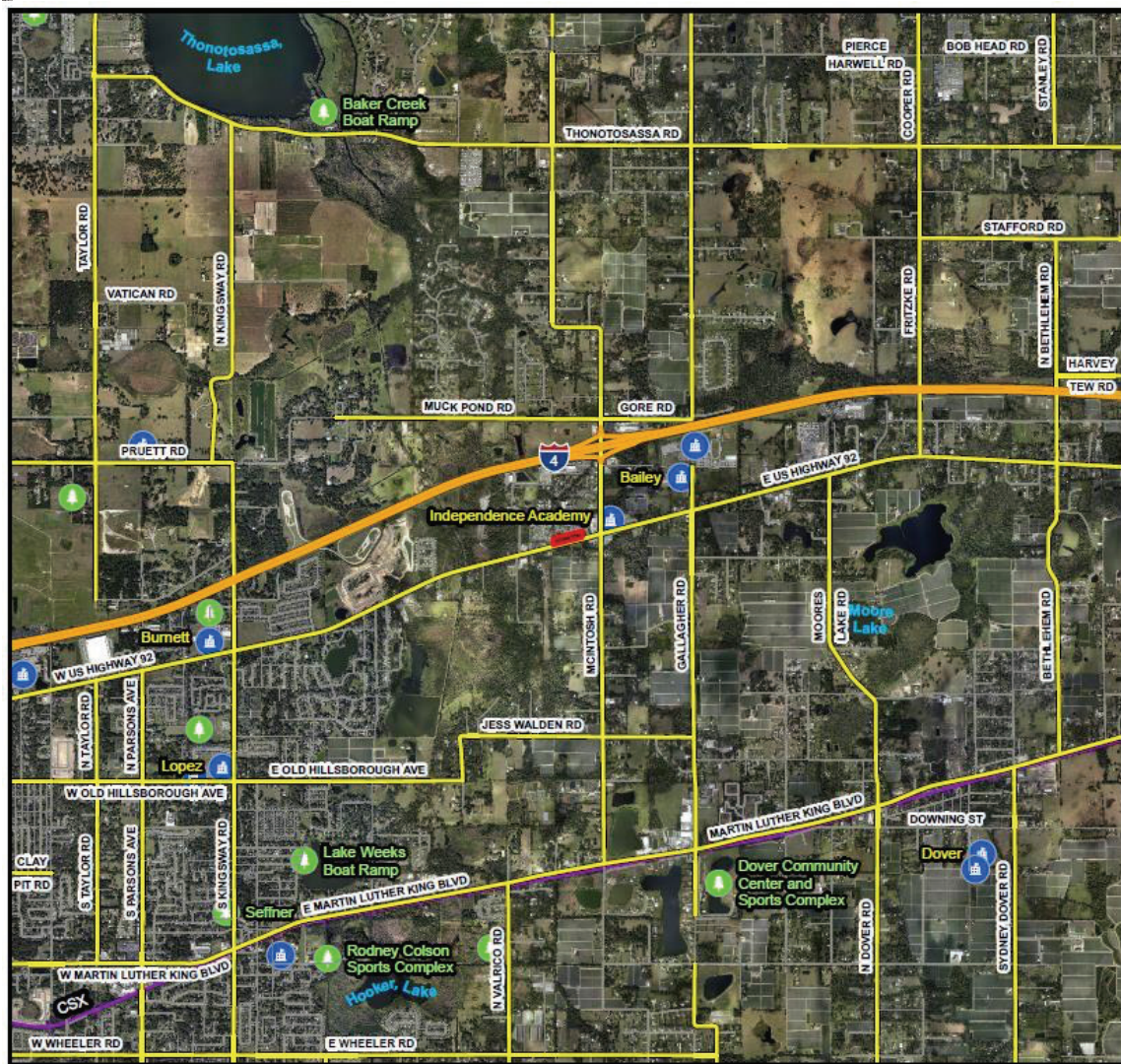
Community Plan Area: Seffner Mango

Overlay: None

Introduction Summary:		
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Zoning: Existing Proposed		
District(s)	RSC-4	Proposed
Typical General Use(s)	Single-Family Residential (Conventional Only)	Commercial (Mini-warehouse)
Acreage	3.94 acres	3.94 acres
Density/Intensity	Minimum 10,000-sq.-ft. lot per sf home	0.37 FAR

Development Standards: Existing Proposed		
District(s)	RSC-4	PD
Setbacks/Buffering and Screening	Front: 25 ft. Side: 7.5 ft. Rear: 25 ft.	North (rear) 20 ft. landscape with Type" B" buffer Sides: 20 ft. landscape with Type" B" buffer
Height	50 ft. Max. Ht.	35 ft. Max. Ht.
Additional Information:		
PD Variation(s)	None requested as part of this application	
Waiver(s) to the Land Development Code	None requested as part of this application.	
Planning Commission Recommendation: INCONSISTENT	Development Services Recommendation: Not Supportable	

2.0 LAND USE MAP SET AND SUMMARY DATA 2.1 Vicinity Map



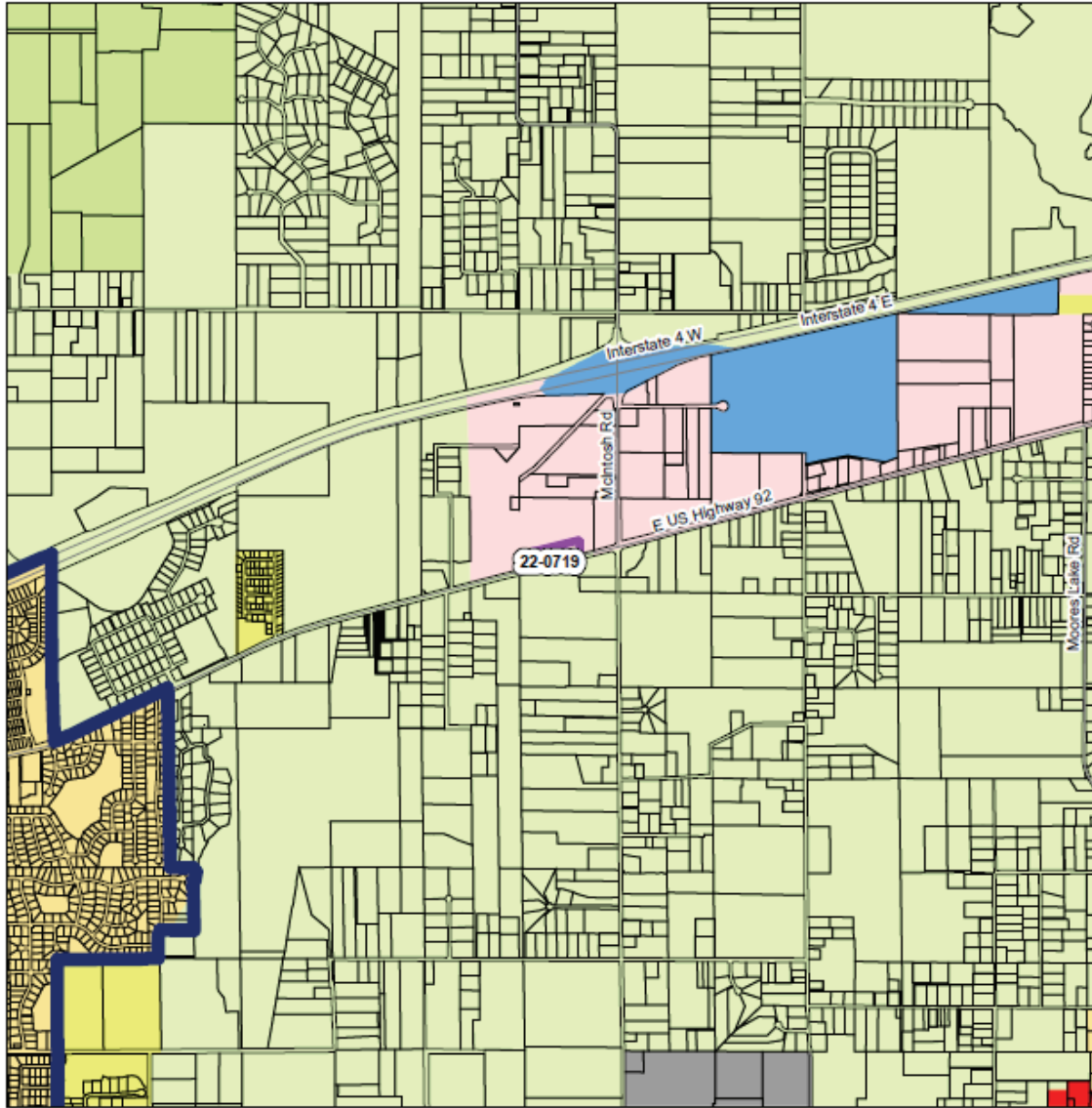
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family residential, mobile homes, and a warehouse use.

2.0 LAND USE MAP SET AND SUMMARY DATA 2.2 Future Land Use Map



Subject Site Future Land Use Category:	SMU-6 (Suburban Mixed Use-6)
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Typical Uses:	Typical uses in the SMU-6 includes residential, suburban commercial, offices, research parks, light industrial, multi-purpose, clustered residential, mixed-use

2.0 LAND USE MAP SET AND SUMMARY DATA 2.3 Immediate Area Map



Adjacent Zonings and Uses

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Check if Applicable: <input checked="" type="checkbox"/> Wetlands/Other Surface Waters <input type="checkbox"/> Use of Environmentally Sensitive Land Credit <input type="checkbox"/> Wellhead Protection Area <input type="checkbox"/> Surface Water Resource Protection Area <input type="checkbox"/> Potable Water Wellfield Protection Area <input type="checkbox"/> Significant Wildlife Habitat <input type="checkbox"/> Coastal High Hazard Area <input type="checkbox"/> Urban/Suburban/Rural Scenic Corridor <input type="checkbox"/> Adjacent to ELAPP property <input checked="" type="checkbox"/> Other <u> Potable Water Buffer Area</u>				
Public Facilities:	Comments Received	Objections	Conditions Requested	Additional Information/Comments

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Impact/Mobility Fees Self-Storage (Per 1,000 s.f.) Mobility: \$1,084 Fire: \$32 Rural Mobility, Northeast Fire - Self Storage, not specified size				
Comprehensive Plan:	Comments Received	Findings	Conditions Requested	Additional Information/Comments
Planning Commission <input type="checkbox"/> Meets Locational Criteria <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Locational Criteria Waiver Requested <input type="checkbox"/> Minimum Density Met <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Inconsistent <input type="checkbox"/> Consistent	<input type="checkbox"/> Yes <input type="checkbox"/> No	See Planning Commission Report

Density Bonus Requested Consistent Inconsistent

5.0 IMPLEMENTATION RECOMMENDATIONS

5.1 Compatibility

The applicant seeks to develop an approximately 3.94-acre unified development consisting of one folio. The request is for a rezoning from RSC-4 (Residential

Single Family-4) to Planned Development (PD) to allow for the development of a mini-warehouse facility. The subject site is located on the north side of East U.S. Highway 92, west of McIntosh Road. The subject property is located within the Rural Area and within the limits of the Seffner-Mango Community Plan.

Planned Development (PD) zoning exists to the north and east and is developed with a RV / mobile home park. Further east is Driscoll's of Florida. On the south side of US Highway 92 are Agricultural Single Family-1 (AS-1) and Agricultural Rural (AR) zoned properties developed with agriculture and single family uses. Heading west are Commercial General (CG) zoned properties located to the west and southwest that are developed with a variety of uses, including a motel, single-family residential, mobile homes, and a warehouse use.

The site plan illustrates measures that mitigate the proposed mini-warehouse and the adjacent RV and mobile home planned development and adjacent abutting properties. The applicant proposes a 20-foot buffer with Type "B" screening along the north, east and west of the subject site. The applicant requests no Variations for Site Design. The application does not request any variations to Land Development Code Parts 6.06.00 (Landscaping/Buffering).

The subject site is located outside of the Hillsborough County Urban Service Area. If the site is required or otherwise allowed to connect to the potable water and/or wastewater systems, there will be offsite improvements required that extend beyond a connection to the closest location with existing infrastructure. These points-of-connection will have to be determined at time of application for service as additional analysis will be required to make the final determination.

There are wetlands present on the subject property. The Environmental Protection Commission (EPC) Wetlands Division has reviewed the proposed rezoning and has determined a resubmittal is not necessary for the site plan's current configuration. If the zoning proposal changes and/or the site plans are altered, EPC staff will need to review the zoning again. This project as submitted is conceptually justified to move forward through the zoning review process, contingent upon conditions.

Planning Commission staff finds that the request is located outside of the commercial node and within the Rural Area. Typically, the type of development that would be expected is less intense than the proposed mini warehouse use. Planning Commission finds that the proposed development does not meet Commercial Locational Criteria. Planning Commission also finds that the proposed rezoning is in direct conflict with the vision of the Seffner Mango Community Plan. Overall, the Planning Commission finds the proposed development inconsistent with the Goals, Objectives and Policies of the Unincorporated Hillsborough County Comprehensive Plan.

5.2 Recommendation

Overall, the request is **NOT** supportable.

SUMMARY OF HEARING

THIS CAUSE came on for hearing before the Hillsborough County Land Use Hearing Officer on January 17, 2023. Mr. Brian Grady of the Hillsborough County Development Services Department introduced the petition.

Mr. Sunny Sia 9903 Maple Street Gibsonton testified as the applicant. Mr. Sia stated that he would like to rezone the property from RSC-4 to Planned Development for a mini-warehouse. He stated that he had originally planned to build a strip mall but was advised by the Planning Commission that it was not permitted. Mr. Sia testified that a warehouse is more environmentally friendly as no one will live there. There will be less traffic, less impacts on water resources and waste management. He added that there are no mini-warehouses within a three mile radius. Mr. Sia stated that the County's transportation reviewer did not object to the request. He discussed the associated traffic and stated that EPC also had no objections. Mr. Sia concluded his presentation by stating that the property does not meet commercial locational criteria however parcels adjacent are zoned either PD, CG or CI. Regarding the Planning Commission's comments that US 92 is a rural road, he detailed the traffic counts and stated that it is a high traffic area. Mr. Sia concluded his remarks by stating that the SMU-6 land use category permits different types of mixed land uses.

Mr. Tim Lampkin, Development Services Department testified regarding the County's staff report. Mr. Lampkin stated that the request is to rezone 3.94 acres from RSC-4 to PD to allow for a mini-warehouse development. He described the location of the property within the Seffner Mango Community Plan and detailed the surrounding residential and agricultural land uses. No waivers or variations are requested. Mr. Lampkin testified that the Planning Commission found the site does not meet commercial locational criteria and is direct conflict with the Seffner Mango Community Plan. He concluded his presentation by stating that staff finds the request not supportable.

Ms. Jillian Massey of the Planning Commission staff stated that the property is designated Suburban Mixed Use-6 Future Land Use category and located in the Rural Service Area and the Seffner Mango Community Planning Area. She discussed the surrounding residential development and stated that the proposed use is inconsistent with Policy 16.2 which requires a gradual transition of intensities between different land uses. She added that the proposed use is out of character with the residential nature of the properties to the north and south. The site does not meet commercial locational criteria and staff does not support the waiver. Planning Commission staff found that the request is in direct conflict with the Seffner Mango Community Plan as it restricts retail development along US 92 and Dr. Martin Luther King Jr. Blvd. outside the Urban Service area. Ms. Massey concluded her remarks by stating that the Planning Commission staff

finds the request inconsistent with the Seffner Mango Community Plan and the Comprehensive Plan.

Hearing Master Finch asked audience members if there were any proponents of the application. None replied.

Hearing Master Finch asked audience members if there were any opponents of the application.

Ms. Grace McComas 805 Old Darby Road Seffner testified in opposition. Ms. McComas stated that the request is inconsistent with the Seffner Mango Community Plan which she worked hard on preparing. The Plan discourages commercial in the Rural area and the property does not meet commercial locational criteria. Ms. McComas showed a graphic to discuss the location of the property and existing conditions.

Ms. Elizabeth Belcher testified in opposition. Ms. Belcher referenced a memo from FDOT dated 5-12-22 that states that there is a requirement for 160 feet of right-of-way. She stated there is a requirement for a sidewalk but that she did not see that on the plan. She also did not see mention of the proposed lighting which will abut residential land uses nor the appearance of the proposed warehouse. Ms. Belcher testified that she believes that there are two mini-warehouse facilities within a three mile radius and that she was one of the people that helped write the Seffner Mango Community Plan. Ms. Belcher concluded her comments by stating that the request is not compatible with the Community Plan.

County staff did not have additional comments.

Mr. Sia testified during the rebuttal period and showed a graphic to dispute that his property is in the Seffner Mango area. He added that his address is in Dover. He discussed the maximum Floor Area Ratio and stated that his property is in a commercial area with schools and parcels zoned CG. Mr. Sia referred to another zoning that was approved in 2012 under RZ 12-0512 for 90,000 square feet of commercial and a residential subdivision. He added that it also did not meet commercial locational criteria but was supported by the Planning Commission. He summed up his rebuttal by stating that the mini-warehouse will be beneficial to small business, farmers, the school system and residential neighborhoods in the community.

The hearing was then concluded.

EVIDENCE SUBMITTED

Ms. McComas submitted portions of the County's staff report into the record. Mr. Sia submitted a copy of his PowerPoint presentation, a copy of the listing of Future Land Use categories and a print-out from the Property Appraiser's record for the subject property into the record.

PREFACE

All matters that precede the Summary of Hearing section of this Decision are hereby incorporated into and shall constitute a part of the ensuing Findings of Fact and Conclusions of Law.

FINDINGS OF FACT

1. The subject site is 4.03 acres in size and is zoned Residential Single-Family Conventional-4 (RSC-4) and designated Suburban Mixed Use-6 (SMU-6) by the Comprehensive Plan. The property is located in the Rural Service Area and the Seffner Mango Community Planning Area.
2. The Planned Development is requested to develop a mini-warehouse facility.
3. No Planned Development Variations or waivers are being requested.
4. The Planning Commission staff testified that the request is not compatible with the surrounding residential development to the north and south of the subject property. The request is inconsistent with Policy 16.2 which requires a gradual transition of intensities between different land uses. The parcel does not meet commercial locational criteria and staff does not support the requested waiver. The Planning Commission staff found that the request is in direct conflict with the Seffner Mango Community Plan as it restricts retail development along US 92 and Dr. Martin Luther King Jr. Blvd. outside the Urban Service area. The Planning Commission staff found the request inconsistent with both the Seffner Mango Community Plan and the Comprehensive Plan.
5. The Development Services Department staff do not support the request based on the Planning Commission's findings.
6. The parcels surrounding the subject property are zoned Planned Development and approved for residential and agricultural land uses.
7. Testimony in opposition was presented at the Zoning Hearing Master hearing. The concerns expressed were from two residents that helped draft the Seffner Mango Community Plan which discourages commercial land uses in

the Rural area. Also mentioned were issues regarding the parcel not meeting commercial locational criteria and the lack of information on the site plan.

8. The applicant cited a previously approved rezoning for 90,000 square feet of commercial and a residential subdivision (RZ PD 12-0512) as precedent for the approval of commercial on a parcel which did not meet locational criteria on US Hwy. 92 in the Seffner Mango Community Planning Area.

This zoning is not analogous to the subject property rezoning as the 2012 rezoning included property already zoned Commercial General (CG) and the proposed Planned Development significantly reduced the amount of commercial that could be developed as compared to the existing commercial entitlements. Further, the 2012 rezoning parcel was located on a segment of US Hwy. 92 that was developed with commercial and industrial land uses such as heavy equipment sales and industrial storage. These reasons were cited by the Planning Commission in 2012 for supporting the waiver of commercial locational criteria at that time.

9. The parcel's location in the Rural Service Area and outside the commercial node does not support the requested Planned Development zoning for a mini-warehouse facility.
10. The request conflicts with the vision of the Seffner Mango Community Plan to restrict retail development along US 92 outside the Urban Service Area and would result in development that is incompatible with the character of the area.

FINDINGS OF COMPLIANCE/NON-COMPLIANCE WITH THE HILLSBOROUGH COUNTY COMPREHENSIVE PLAN

The rezoning request is not in compliance with and does not further the intent of the Goals, Objectives and the Policies of the Future of Hillsborough Comprehensive Plan.

CONCLUSIONS OF LAW

Based on the Findings of Fact cited above, there is not substantial competent evidence to demonstrate that the requested Planned Development rezoning is in conformance with the applicable requirements of the Land Development Code and with applicable zoning and established principles of zoning law.

SUMMARY

The request is to rezone 4.03 acres from RSC-4 to Planned Development is to develop a mini-warehouse facility.

The Planning Commission testified that the rezoning is incompatible with the residential land uses to the north and south and the parcel does not meet commercial locational criteria. The requested waiver is not supported by staff. Staff also found that the request is in direct conflict with the Seffner Mango Community Plan as it restricts retail development along US 92 and Dr. Martin Luther King Jr. Blvd. outside the Urban Service area. Overall, the Planning Commission found that the rezoning is inconsistent with both the Seffner Mango Community Plan and the Comprehensive Plan.

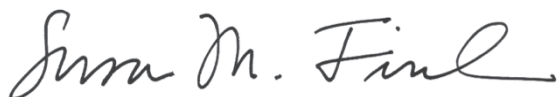
The Development Services Department staff do not support the request based on the Planning Commission's findings.

Testimony in opposition was presented at the Zoning Hearing Master hearing. The concerns expressed were from two residents that helped draft the Seffner Mango Community Plan which discourages commercial land uses in the Rural area. Also mentioned were issues regarding the parcel not meeting commercial locational criteria and the lack of information on the site plan.

The parcel's location in the Rural Service Area and outside the commercial node does not support the requested Planned Development zoning for a mini-warehouse facility. The request conflicts with the vision of the Seffner Mango Community Plan to restrict retail development along US 92 outside the Urban Service Area and would result in development that is incompatible with the character of the area.

RECOMMENDATION

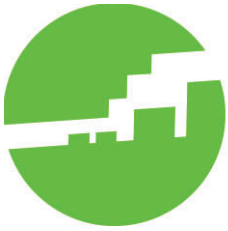
Based on the foregoing, this recommendation is for **DENIAL** of the Planned Development rezoning request as indicated by the Findings of Fact and Conclusions of Law stated above.



February 7, 2023

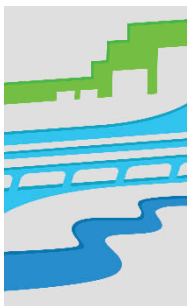
Susan M. Finch, AICP
Land Use Hearing Office

Date



**Hillsborough County
City-County
Planning Commission**

Unincorporated Hillsborough County Rezoning	
Hearing Date: January 17, 2023	Petition: PD 22-0719
Report Prepared: January 5, 2023	12722 E US Highway 92 <i>North side of US Highway 92, west of McIntosh Road</i>
Summary Data:	
Comprehensive Plan Finding:	INCONSISTENT
Adopted Future Land Use:	Suburban Mixed Use-6 (6du/ga; 0.25 FAR)
Service Area:	Rural
Community Plan:	Seffner-Mango
Requested Zoning:	Residential Single Family Conventional (RSC-4) to Planned Development (PD) to allow for a mini warehouse development
Parcel Size (Approx.):	3.94 +/- acres (171,626 square feet)
Street Functional Classification:	US Highway 92 – Principal Arterial McIntosh Road- Collector
Locational Criteria:	Does not meet; waiver requested
Evacuation Zone:	None



Context

- The 3.94 +/- acre site is located on the north side of US Highway 92 and west of McIntosh Road. The subject property is located within the Rural Area and within the limits of the Seffner-Mango Community Plan.
- The subject property's Future Land Use designation is Suburban Mixed Use-6 (SMU-6). Typical uses in this designation include residential, suburban scale neighborhood commercial, office uses, research corporate park uses, light industrial multi-purpose and clustered residential and/or mixed-use projects at appropriate locations. Neighborhood Commercial uses are required to meet locational criteria or be part of larger mixed use planned development. Office uses are not subject to locational criteria.
- The subject property is surrounded by SMU-6 to the north, east and west. Further west and south of the property is designated as Residential-1 (RES-1).
- The subject property is zoned Residential Single Family Conventional-4 (RSC-4). Planned Development (PD) zoning exists to the north and east and is developed with a mobile home park and Driscoll's agricultural plant. On the south side of US Highway 92 are Agricultural Single Family-1 (AS-1) and Agricultural Rural (AR) zoned properties developed with agriculture and single family uses. Commercial General (CG) zoned properties are located to the west and southwest and are developed with a variety of uses, including a motel, single family residential, mobile homes, and a warehouse use. Southeast of the is zoned Planned Development (PD) and Commercial Neighborhood (CN) and are developed with convenience stores and gas stations.
- The applicant requests to rezone the subject site from Residential Single Family Conventional (RSC-4) to Planned Development (PD) to allow for a mini warehouse development.

Compliance with Comprehensive Plan:

The following Goals, Objectives, and Policies apply to this Planned Development request and are used as a basis for an inconsistency finding.

FUTURE LAND USE ELEMENT

Policy 1.4: *Compatibility is defined as the characteristics of different uses or activities or design which allow them to be located near or adjacent to each other in harmony. Some elements affecting compatibility include the following: height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor and architecture. Compatibility does not mean "the same as." Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development.*

Rural Area

Objective 4: The Rural Area will provide areas for long term, agricultural uses and large lot, low density rural residential uses which can exist without the threat of urban or suburban encroachment, with the goal that no more than 20% of all population growth within the County will occur in the Rural Area

Neighborhood/Community Development

Objective 16: Neighborhood Protection *The neighborhood is a functional unit of community development. There is a need to protect existing neighborhoods and communities and those that will emerge in the future. To preserve, protect and enhance neighborhoods and communities, all new development must conform to the following policies.*

Policy 16.1: *Established and planned neighborhoods and communities shall be protected by restricting incompatible land uses through mechanisms such as:*

- a) locational criteria for the placement of non-residential uses as identified in this Plan,*
- b) limiting commercial development in residential land use categories to neighborhood scale;*
- c) requiring buffer areas and screening devices between unlike land uses;*

Policy 16.2: *Gradual transitions of intensities between different land uses shall be provided for as new development is proposed and approved, through the use of professional site planning, buffering and screening techniques and control of specific land uses.*

Policy 16.3: *Development and redevelopment shall be integrated with the adjacent land uses through:*

- a) the creation of like uses; or*
- b) creation of complementary uses; or*
- c) mitigation of adverse impacts; and*
- d) transportation/pedestrian connections*

Policy 16.5: *Development of higher intensity non-residential land uses that are adjacent to established neighborhoods shall be restricted to collectors and arterials and to locations external to established and developing neighborhoods.*

Policy 17.7: *New development and redevelopment must mitigate the adverse noise, visual, odor and vibration impacts created by that development upon all adjacent land uses.*

Commercial-Locational Criteria

Objective 22: *To avoid strip commercial development, locational criteria for neighborhood serving commercial uses shall be implemented to scale new commercial development consistent with the character of the areas and to the availability of public facilities and the market.*

Policy 22.1: *The locational criteria for neighborhood serving non-residential uses in specified land uses categories will:*

- provide a means of ensuring appropriate neighborhood serving commercial development without requiring that all neighborhood commercial sites be designated on the Future Land Use Map;*
- establish a maximum square footage for each proposed neighborhood serving commercial intersection node to ensure that the scale of neighborhood serving commercial development defined as convenience, neighborhood, and general types of commercial uses, is generally consistent with surrounding residential character; and*
- establish maximum frontages for neighborhood serving commercial uses at intersections ensuring that adequate access exists or can be provided.*

Policy 22.5: *When planning the location of new non-residential developments at intersections meeting the locational criteria, a transition in land use shall be established that recognizes the existing surrounding community character and supports the creation of a walkable environment.*

This transition will cluster the most intense land uses toward the intersection, while providing less intense uses, such as offices, professional services or specialty retail (i.e., antiques, boutiques) toward the edges of the activity center.

Policy 22.7: *Neighborhood commercial activities that serve the daily needs of residents in areas designated for residential development in the Future Land Use Element shall be considered provided that these activities are compatible with surrounding existing and planned residential development and are developed in accordance with applicable development regulations, including phasing to coincide with long range transportation improvements.*

The locational criteria outlined in Policy 22.2 are not the only factors to be considered for approval of a neighborhood commercial or office use in a proposed activity center. Considerations involving land use compatibility, adequacy and availability of public services, environmental impacts, adopted service levels of effected roadways and other policies of the Comprehensive Plan and zoning regulations would carry more weight than the locational criteria in the approval of the potential neighborhood commercial use in an activity center. The locational criteria would only designate locations that could be considered, and they in no way guarantee the approval of a particular neighborhood commercial or office use in a possible activity center.

Policy 22.8: *The Board of County Commissioners may grant a waiver to the intersection criteria for the location of commercial uses outlined in Policy 22.2. The waiver would be based on the compatibility of the use with the surrounding area and would require a recommendation by the Planning Commission staff. Unique circumstances and specific findings should be identified by the staff or the Board of County Commissioners which would support granting a waiver to this section of the Plan. The Board of County Commissioners may reverse or affirm the Planning Commission staff's recommendation through their normal review of rezoning petitions. The waiver can only be related to the location of the neighborhood serving commercial or agriculturally oriented community serving commercial zoning or development. The square footage requirement of the plan cannot be waived.*

Community Design Component

1.4 RURAL PATTERN CHARACTERISTICS

The largest land area of the County is rural in character. This covers all the future land use categories allowing one (1) dwelling unit per five (5) acres and less (unless located within an area identified with a higher density land use category on the Future Land Use Map as a suburban enclave, planned village or rural community which will carry higher densities). The characteristics of this pattern are in two components: (1) rural-agricultural and (2) rural-residential, but generally can be described as follows:

Rural Development Pattern

- *Predominance of agricultural use and agriculture related industry*
- *Predominance of undeveloped natural areas*
- *Very dispersed general pattern*
- *Widely scattered small-scale convenience -oriented retail*
- *Little employment available outside of agriculture/mining*
- *Large scale land-intensive public uses tend to locate in rural settings*
- *Residential uses are often on lots five (5) acres or larger*

5.0 Neighborhood Level Design

5.1 Compatibility

OBJECTIVE 12-1: *New developments should recognize the existing community and be designed in a way that is compatible (as defined in FLUE policy 1.4) with the established character of the surrounding neighborhood.*

LIVABLE COMMUNITIES ELEMENT: SEFFNER-MANGO COMMUNITY PLAN

3. Goal: *Commercial development should be directed to the US 92 and Martin Luther King Boulevard corridors.*

- *Restrict retail development along US 92 and Martin Luther King Boulevard outside the Urban Service Area to existing commercial zoning districts.*
- *Discourage further strip retail development along those portions of US 92 and Martin Luther King Boulevard that are in the Rural Service Area.*
- *Support in-fill development and redevelopment within the Urban Service Area*
- *Support office and light industrial uses along US 92 and Martin Luther King Boulevard between I-75 and CR 579 (Mango Road).*

Staff Analysis of Goals, Objectives, and Policies:

The 3.94 +/- acre site is located on the north side of US Highway 92 and west of McIntosh Road. The subject property is located within the Rural Area and within the limits of the Seffner-Mango Community Plan. The applicant requests to rezone the subject site from Residential Single Family Conventional (RSC-4) to Planned Development (PD) to allow for a mini warehouse development.

The proposal does not meet the intent of the Neighborhood Protection policies outlined under Future Land Use Element (FLUE) Objective 16 and FLUE Policies 16.1, 16.2, 16.3. Policy 16.1, which require development in residential areas be limited to neighborhood scale. Additionally, the proposed development does not fit within the description of the Rural Development Pattern outlined in Policy 1.4 of the Community Design Component. The request would facilitate further encroachment into an area where mobile homes and RVs are present to the north, east and west, and single family zoning districts are located to the south. This is inconsistent with policy direction of FLUE Policy 16.2, which requires gradual transitions of intensities between different land uses to be provided for as new development is proposed and approved. Though the applicant is providing buffering, the intensity of the proposed use is out of character with the residential nature of the uses that surround the site to the north and south. The proposal includes four (4) single story buildings around the perimeter of the site on the north, east and west boundaries, and one (1) three story building with a maximum height of 35' towards the center of the site at the eastern end.

The site is located in a residential zoning district and designated as SMU-6 on the Future Land Use Map. Since it is located outside of the commercial node and within the Rural Area, typically the type of development that would be expected is less intense than the proposed mini warehouse use. For example, residential, office, or a mix thereof would be typical in this Future Land Use category in the Rural Area that does not meet Commercial

Locational Criteria. The proposal is inconsistent with FLUE Policy 22.5, which states that there should be a transition of less intensity in uses away from the intersection.

The site does not meet Commercial Locational Criteria per FLUE Objective 22 and its accompanying policies. Per policy direction under Objective 22, 75% of the site's frontage is not within the required distance of 900 feet from the closest qualifying intersection of US Highway 92 and McIntosh Road. The applicant did submit a request to waive the Commercial Locational Criteria, stating that 56% of the site's frontage is within the required distance of the closest qualifying intersection. It is the applicant's opinion that the RV Resort Park that surrounds the site is more commercial in nature than it is residential. It also states that the requested use is compatible with the existing motel, warehouse, and commercially zoned land in the area.

Although there are several uses nearby that are commercial in nature, they are either agriculturally related or in preexisting commercial zoning districts. The existing commercial zoning districts tend to be west of the subject site, closer to the Urban Service Area boundary. The proposed use encroaches into the residential uses along the northern boundary, and Planning Commission staff does not support a waiver based on compatibility and very specific language in the Seffner-Mango Community Plan described below. Planning Commission staff have not been able to identify a special or unique circumstance supporting why a commercial use of this nature should locate on this site and how the request is consistent with Comprehensive Plan policy direction.

Furthermore, the proposed rezoning is in direct conflict with the vision of the Seffner Mango Community Plan. The Plan for this community restricts retail development along US 92 and Martin Luther King Boulevard outside the Urban Service Area to existing commercial zoning districts, as well as discourages further strip retail development along those portions of US 92 and Martin Luther King Boulevard that are in the Rural Area. In addition, the Community Plan specifies where in-fill development and office and light industrial uses are envisioned, which is in the Urban Service Area between I-75 and CR 579. The subject site does not fit the intent of this vision.

Overall, the proposed rezoning would allow for development that is inconsistent with the Goals, Objectives and Policies of the *Unincorporated Hillsborough County Comprehensive Plan*, and that is incompatible with the existing and planned development pattern found in the surrounding area.

Recommendation

Based upon the above considerations, the Planning Commission staff finds the proposed Planned Development **INCONSISTENT** with the *Unincorporated Hillsborough County Comprehensive Plan*.

HILLSBOROUGH COUNTY FUTURE LAND USE RZ PD 22-0719

Rezonings
STATUS

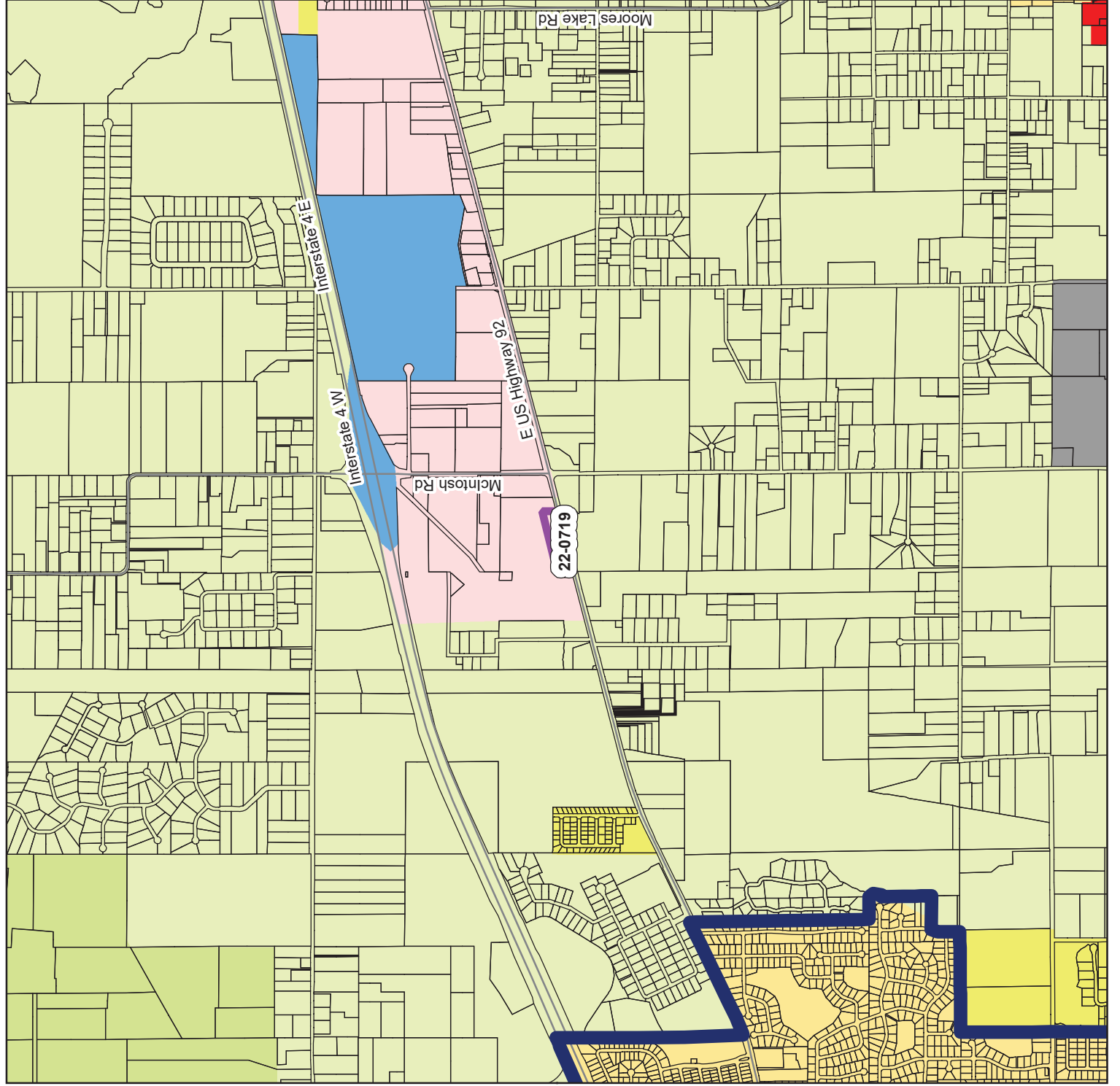
- APPROVED
- CONTINUED
- DENIED
- WITHDRAWN
- PENDING

- Tampa Service
- Urban Service
- Shoreline
- County Boundary
- Jurisdiction Boundary
- Major Roads
- Parcels

- AGRICULTURAL/MINING-1/20 (.25 FAR)
- PEC PLANNED ENVIRONMENTAL COMMUNITY-1/2 (.25 FAR)
- AGRICULTURAL-1/10 (.25 FAR)
- AGRICULTURAL/RURAL-1/5 (.25 FAR)
- AGRICULTURAL ESTATE-1/2.5 (.25 FAR)
- RESIDENTIAL-1 (.25 FAR)
- RESIDENTIAL-2 (.25 FAR)
- RESIDENTIAL PLANNED-2 (.35 FAR)
- RESIDENTIAL-4 (.25 FAR)
- RESIDENTIAL-6 (.25 FAR)
- RESIDENTIAL-9 (.35 FAR)
- RESIDENTIAL-12 (.35 FAR)
- RESIDENTIAL-16 (.35 FAR)
- RESIDENTIAL-20 (.35 FAR)
- RESIDENTIAL-35 (1.0 FAR)
- NEIGHBORHOOD MIXED USE-4 (3) (.35 FAR)
- SUBURBAN MIXED USE-6 (.35 FAR)
- COMMUNITY MIXED USE-12 (.50 FAR)
- URBAN MIXED USE-20 (1.0 FAR)
- REGIONAL MIXED USE-35 (2.0 FAR)
- OC-20
- RESEARCH CORPORATE PARK (1.0 FAR)
- ENERGY INDUSTRIAL PARK (.50 FAR USES OTHER THAN RETAIL, .25 FAR RETAIL/COMMERCE)
- LIGHT INDUSTRIAL PLANNED (.50 FAR)
- LIGHT INDUSTRIAL (.50 FAR)
- HEAVY INDUSTRIAL (.50 FAR)
- PUBLIC/QUASH-PUBLIC
- NATURAL PRESERVATION
- WIMAUVA VILLAGE RESIDENTIAL-2 (.25 FAR)
- CITRUS PARK VILLAGE

Map Printed from Rezoning System: 5/9/2022
 Author: Beverly F. Daniels
 File: G:\Rezoning\System\MapProjects\HC\Reg_H\Rezoning - Copy.mxd

DATA SOURCES: Rezonings boundaries from The Planning Commission and are not official. Parcel lines and data from Hillsborough County Property Appraiser. The information on this map is for informational purposes only. It is intended that the City/County Planning Commission. ACCURACY: It is intended that the information on this map is for informational purposes only. It is intended that the information on this map is for informational purposes only. For the most current data and information, visit the appropriate website.





**GENERAL
SITE PLAN
FOR
CERTIFICATION**



DEVELOPMENT SERVICES

PO Box 1110, Tampa, FL 33601-1110
(813) 272-5600

**HILLSBOROUGH COUNTY
DEVELOPMENT SERVICES DEPARTMENT**

GENERAL SITE PLAN REVIEW/CERTIFICATION

**BOARD OF COUNTY
COMMISSIONERS**

Harry Cohen
Ken Hagan
Pat Kemp

Gwendolyn "Gwen" Myers
Michael Owen
Donna Cameron Cepeda
Joshua Wostal

COUNTY

ADMINISTRATOR Bonnie
M. Wise **COUNTY**

ATTORNEY Christine M.
Beck **INTERNAL AUDITOR**
Peggy Caskey

DEPUTY COUNTY ADMINISTRATOR

Gregory S. Horwedel

Project Name: Sunny Self Storage

Zoning File: RZ-PD (22-0719) Modification: None

Atlas Page: None Submitted: 02/16/23

To Planner for Review: 02/16/23 Date Due: ASAP

Contact Person: Sunny Sia Phone: 813-205-5727/sunnyangsia@hotmail.com

Right-Of-Way or Land Required for Dedication: Yes No

The Development Services Department HAS NO OBJECTION to this General Site Plan.

The Development Services Department RECOMMENDS DISAPPROVAL of this General Site Plan for the following reasons:

Reviewed by: Tim Lampkin Date: 2-16-23

Date Agent/Owner notified of Disapproval: _____

PROPOSED SITE PLAN FOR SUNNY SELF STORAGE FACILITY

FOLIO No. 082912-0000
HILLSBOROUGH COUNTY, FL 33527

SHEET INDEX
 SP-0 COVER PAGE
 SP-1 SITE PLAN NOTES
 SP-2 PROPOSED CONCEPTUAL SITE PLAN

PROPERTY INFORMATION AND PROJECT DESCRIPTION:
 LOCATED IN THE PARCELS A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z, AND AA, THERE IS A REQUIREMENT OF VARIABLE RIGHT OF WAY DEDICATION ALONG E US HWY 92, WHICH TAKES APPROXIMATELY 6.83' AC. OF THE PROPERTY AREA.
 THE PROPOSED DEVELOPMENT CONSISTS OF 1 AND 3-5 STORY SELF STORAGE BUILDINGS WITH INTERIOR STAIRS, A 200,000 GPM STORAGE TANK, A 100,000 GPM STORAGE TANK, A 50,000 GPM STORAGE TANK, AND A SEPTIC TANK AND DRAIN FIELD ARE BEING PROPOSED AS THE END POINT OF THE SANITARY SEWER SYSTEM. STORMWATER MANAGEMENT WILL BE PROVIDED IN A DRY RETENTION, LOCATED IN THE EAST PORTION OF WAY DEDICATION AREA IN THE SOUTHWEST PORTION OF THE PROPERTY.
 THE PROPOSED DEVELOPMENT REQUIRES A REZONING FROM RSC-4 TO PLANNED DEVELOPMENT (PD), WITH A PROPOSED "SMU-P" USE.



PROJECT AREA

LEGAL DESCRIPTION:

FROM THE N/E CORNER OF THE SW 1/4 SECTION 20, TOWNSHIP 28 SOUTH, RANGE 21 EAST, SECTION 10, TOWNSHIP 28 SOUTH, RANGE 21 EAST, COUNTY OF HILLSBOROUGH, STATE OF FLORIDA, THE SOUTHWEST CORNER OF THE NORTHERLY RIGHT-OF-WAY LINE OF U.S. 92, THENCE SOUTHERLY ALONG SAID NORTHERLY RIGHT-OF-WAY LINE OF U.S. 92, A DISTANCE OF 31.10 FEET TO THE POINT OF BEGINNING, THENCE S74°55'58" WEST 31.10 FEET TO THE WEST BOUNDARY OF THE SW 1/4 OF SAID SECTION 20, THENCE SOUTH ALONG SAID WEST BOUNDARY TO THE NORTHERLY RIGHT-OF-WAY LINE OF U.S. 92, THENCE NORTHERLY ALONG SAID NORTHERLY RIGHT-OF-WAY TO THE POINT OF BEGINNING.



LOCATION MAP
N.T.S.

PREPARED BY



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PROPERTY OWNER INFORMATION AND OWNER AUTORIZATION REQUIREMENTS

Table with 2 columns: INCLUDED, REQUIREMENT. Rows include: MA (PROPERTY INFORMATION SHEET TO INCLUDE ALL NECESSARY FOLD NUMBERS, CORRECT ACREAGE, CORRECT ZONING AND CORRECT L.U.), MA (PROJECT DESCRIPTION/Written STATEMENT), PD VARIATION RESPONSES, SUPPLEMENTAL INFORMATION REQUIRED FOR PROPOSAL, OTHER.

SUBMITTAL REQUIREMENTS FOR I/M AND PD ZONING

Table with 2 columns: INCLUDED, REQUIREMENT. Rows include: MA (PROJECT DESCRIPTION/Written STATEMENT), PD VARIATION RESPONSES, SUPPLEMENTAL INFORMATION REQUIRED FOR PROPOSAL, OTHER.

SITE PLAN REQUIREMENTS - GENERAL

Table with 2 columns: INCLUDED, REQUIREMENT. Rows include: MA (NAME AND TYPE OF THE PROPOSED PD AND THE NAMES OF THE DEVELOPER(S), ARCHITECT(S), ENGINEER(S), AND PLANNERS) ASSOCIATED WITH THE PROJECT, MA (SCALE WITH SCALE BAR AND SCALE STATEMENT (I.E. 1 INCH = 100 FEET), DATE AND NORTH ARROW), MA (GENERAL DESCRIPTION OF THE PROPOSED PD), MA (A VIGNET MAP SHOWING THE LOCATION OF THE PROJECT WITHIN HILLSBOROUGH COUNTY), MA (COMMUNITY PLANNING AREA(S) IN WHICH THE PROJECT IS LOCATED), MA (OVERLAY DISTRICT(S) IN WHICH THE PROJECT IS LOCATED), MA (SPECIAL ZONES), MA (DESIGNATED SENIOR ROADWAY CORRIDORS WITHIN THE PROJECT OR ADJACENT TO THE PROJECT), MA (A PROJECT DATA TABLE WITH THE FOLLOWING INFORMATION), MA (GROSS ACREAGE IN THE PROPOSED PD), MA (AREAS OF NATURAL WATER BODIES), MA (AREAS OF ENVIRONMENTALLY SENSITIVE AREAS), MA (RESIDENTIAL USES ARE PROPOSED), MA (IF ANY APPLICATION, AREA OF MODIFICATION TO BE Delineated AND IDENTIFIED ON THE SITE PLAN), MA (IF ANY APPLICATION, IS THE SITE PLAN BASED UPON THE MOST RECENTLY APPROVED MODIFICATION (IF ANY)), MA (IF ANY APPLICATION, ARE ALL PREVIOUSLY APPROVED PLAN SHEETS (IF MORE THAN ONE) SUBMITTED AS PART OF THIS IM APPLICATION).

SITE PLAN REQUIREMENTS - LAND USE INFORMATION WITHIN THE PROJECT

Table with 2 columns: INCLUDED, REQUIREMENT. Rows include: MA (PROPERTY OWNER INFORMATION SHEET TO INCLUDE ALL NECESSARY FOLD NUMBERS, CORRECT ACREAGE, CORRECT ZONING AND CORRECT L.U.), MA (PROJECT DESCRIPTION/Written STATEMENT), PD VARIATION RESPONSES, SUPPLEMENTAL INFORMATION REQUIRED FOR PROPOSAL, OTHER.

PROPERTY OWNER INFORMATION AND OWNER AUTORIZATION REQUIREMENTS

Table with 2 columns: INCLUDED, REQUIREMENT. Rows include: MA (PROPERTY INFORMATION SHEET TO INCLUDE ALL NECESSARY FOLD NUMBERS, CORRECT ACREAGE, CORRECT ZONING AND CORRECT L.U.), MA (PROJECT DESCRIPTION/Written STATEMENT), PD VARIATION RESPONSES, SUPPLEMENTAL INFORMATION REQUIRED FOR PROPOSAL, OTHER.

SITE PLAN REQUIREMENTS - TRANSPORTATION INFORMATION

Table with 2 columns: INCLUDED, REQUIREMENT. Rows include: MA (EXISTING AND PROPOSED POINTS OF INGRESS AND EGRESS FOR PRINCIPAL PEDESTRIAN, VEHICULAR, MASS TRANSIT AND RECREATION ACTIVITIES AND THE GENERAL CIRCULATION PATTERNS WITHIN THE PD), MA (EXISTING POINTS OF INGRESS/EGRESS THAT ARE TO REMAIN, BE CLOSED OR MODIFIED SHALL BE IDENTIFIED AND LABELED AS APPROPRIATE), MA (TITLES, INTERNAL CONNECTIVITY WITHIN THE PROJECT, MARKINGS, AND SIGNAGE), MA (WHERE APPLICABLE, THE FOLLOWING INFORMATION SHALL BE PROVIDED ON THE SITE PLAN FOR ALL ROADWAYS, PROJECT BOUNDARIES, MA (POINTS OF INGRESS AND EGRESS AND/OR DRIVEWAYS AND CURB CUTS), MA (RIGHT-OF-WAY BOTH PUBLIC AND PRIVATE SHALL BE SHOWN), MA (INFORMATION SHALL BE SHOWN ON THE PLAN AND WHERE POSSIBLE, THE BOOK AND PAGE OR INSTRUMENT NUMBER AND ADJACENT PROPERTY OWNER SHALL BE IDENTIFIED), MA (MODIFICATIONS THEREOF), MA (SIGNALS, STOPPED CROSSINGS, SCHOOL ZONES, RED ANGULAR ROAD TOUSING BELONGS (BUSES), ETC.), MA (TYPE OF SURFACE (I.E. CONCRETE, ASPHALT, GRAVEL, ETC.), MA (LOCATION OF ALL EXISTING SIDEWALKS, BRICKWAYS, AND TRANSIT FACILITIES), MA (REQUIRED PER SHALL BE IDENTIFIED ON THE PLAN), MA (MODIFICATIONS THEREOF), MA (SIGNALS, STOPPED CROSSINGS, SCHOOL ZONES, RED ANGULAR ROAD TOUSING BELONGS (BUSES), ETC.), MA (MOTIF AND SHOULDER WIDTHS, OR WHERE NO LAKE MARKINGS ARE PRESENT, LABEL AND SHOW PAVEMENT WIDTHS AND CROSSINGS), MA (LOCATION OF ALL EXISTING SIDEWALKS, BRICKWAYS, AND TRANSIT FACILITIES), MA (REQUIRED PER SHALL BE IDENTIFIED ON THE PLAN), MA (MODIFICATIONS THEREOF), MA (SIGNALS, STOPPED CROSSINGS, SCHOOL ZONES, RED ANGULAR ROAD TOUSING BELONGS (BUSES), ETC.), MA (TYPE OF SURFACE (I.E. CONCRETE, ASPHALT, GRAVEL, ETC.), MA (LOCATION OF ALL EXISTING SIDEWALKS, BRICKWAYS, AND TRANSIT FACILITIES), MA (REQUIRED PER SHALL BE IDENTIFIED ON THE PLAN), MA (MODIFICATIONS THEREOF), MA (SIGNALS, STOPPED CROSSINGS, SCHOOL ZONES, RED ANGULAR ROAD TOUSING BELONGS (BUSES), ETC.), MA (MOTIF AND SHOULDER WIDTHS, OR WHERE NO LAKE MARKINGS ARE PRESENT, LABEL AND SHOW PAVEMENT WIDTHS AND CROSSINGS).

SITE PLAN REQUIREMENTS - UTILITIES INFORMATION

Table with 2 columns: INCLUDED, REQUIREMENT. Row include: MA (IDENTIFICATION OF TYPE OF WATER/WASTEWATER SERVICE UTILIZED BY PROJECT, LOCATION OF IWMP, IF APPLICABLE).

SITE PLAN REQUIREMENTS - ENVIRONMENTAL INFORMATION

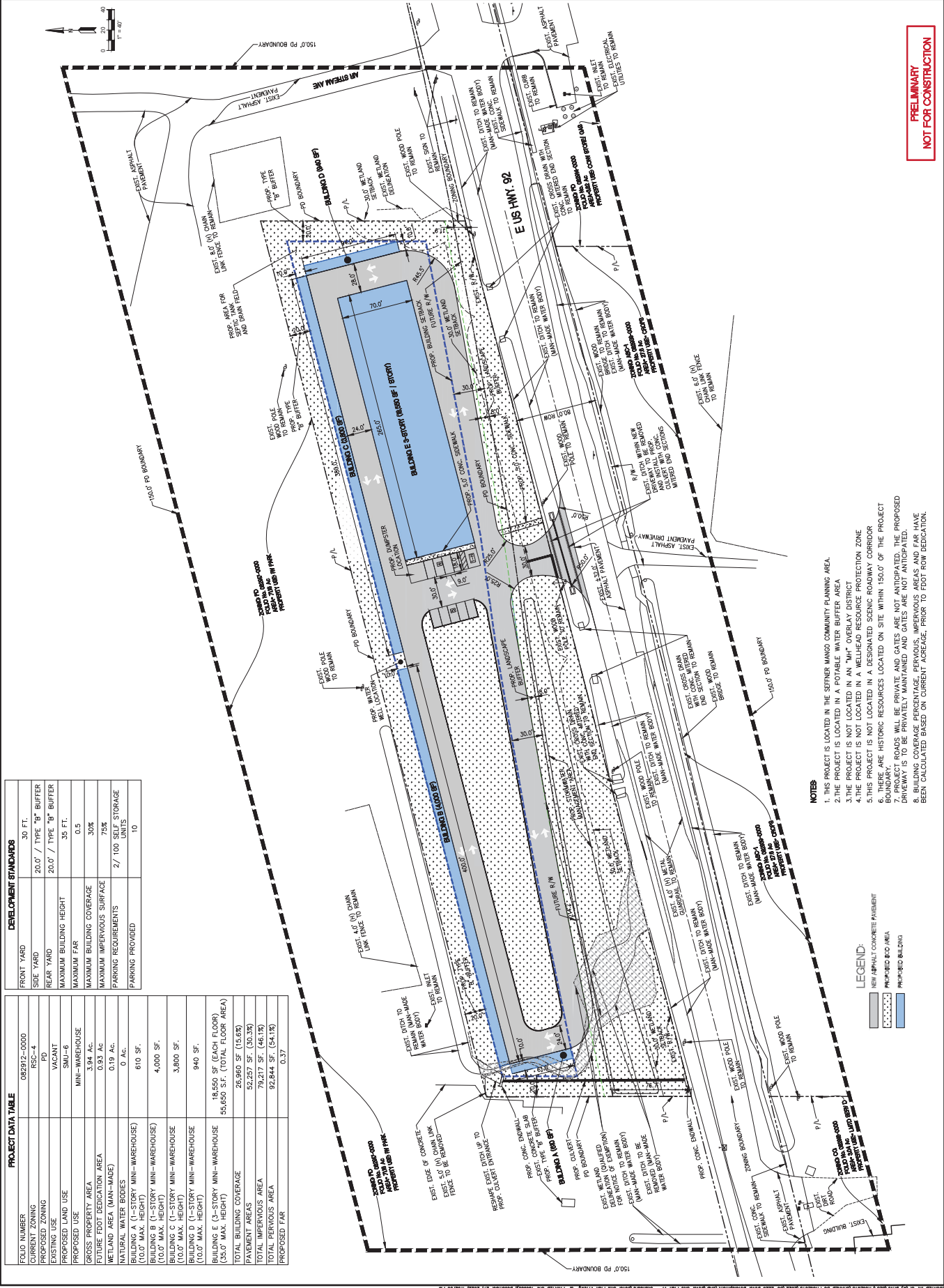
Table with 2 columns: INCLUDED, REQUIREMENT. Row include: MA (ENVIRONMENTAL INFORMATION TO BE IDENTIFIED ON THE SITE PLAN SHALL BE IDENTIFIED ON THE PLAN AND WHERE POSSIBLE, THE BOOK AND PAGE OR INSTRUMENT NUMBER AND ADJACENT PROPERTY OWNER SHALL BE IDENTIFIED ON THE PLAN).

SAMPLE PICTURES OF DESIRABLE ARCHITECTURAL FEATURES



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THE USE OF THESE PLANS AND PROVISIONS SHALL BE RESTRICTED TO THE ORIGINAL USER. THESE PLANS AND PROVISIONS SHALL BE REVISED TO REFLECT ANY CHANGES TO THE ORIGINAL DESIGN. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.



DEVELOPMENT STANDARDS

FRONT YARD	30 FT.
SIDE YARD	20.0' / TYPE "B" BUFFER
REAR YARD	20.0' / TYPE "B" BUFFER
MAXIMUM BUILDING HEIGHT	35 FT.
MAXIMUM FAR	0.5
MAXIMUM BUILDING COVERAGE	30%
MAXIMUM IMPERVIOUS SURFACE	75%
PARKING REQUIREMENTS	2 / 100 SELF STORAGE UNITS
PARKING PROVIDED	10

PROJECT DATA TABLE

FOLD NUMBER	082912-0000
CURRENT ZONING	RSC-4
PROPOSED ZONING	PD
EXISTING USE	VACANT
PROPOSED USE	MINI-WAREHOUSE
GROSS PROPERTY AREA	3.94 AC.
FUTURE FOOT DEDICATION AREA	0.93 AC.
WETLAND AREA (MAN-MADE)	0.19 AC.
NATURAL WATER BODIES	0 AC.
BUILDING A (1-STORY MINI-WAREHOUSE) (10.0' MAX. HEIGHT)	610 SF.
BUILDING B (1-STORY MINI-WAREHOUSE) (10.0' MAX. HEIGHT)	4,000 SF.
BUILDING C (3-STORY MINI-WAREHOUSE) (10.0' MAX. HEIGHT)	3,600 SF.
BUILDING D (1-STORY MINI-WAREHOUSE) (35.0' MAX. HEIGHT)	940 SF.
BUILDING E (1-STORY MINI-WAREHOUSE) (10.0' MAX. HEIGHT)	18,550 SF (EACH FLOOR) 55,650 SF. (TOTAL FLOOR AREA)
TOTAL BUILDING COVERAGE	26,960 SF (51.6%)
PAYMENT AREAS	52,277 SF (64.1%)
TOTAL IMPERVIOUS AREA	79,217 SF (64.1%)
TOTAL PREVIOUS AREA	92,844 SF (64.1%)
PROPOSED FAR	0.37

- NOTES:**
1. THIS PROJECT IS LOCATED IN THE STEINER MANOJO COMMUNITY PLANNING AREA.
 2. THE PROJECT IS LOCATED IN A POTABLE WATER BUFFER AREA.
 3. THE PROJECT IS NOT LOCATED IN AN "M" OVERLAY DISTRICT.
 4. THE PROJECT IS NOT LOCATED IN A WELLSHEAD RESOURCE PROTECTION ZONE.
 5. THIS PROJECT IS NOT LOCATED IN A DESIGNATED SCENIC ROADWAY CORRIDOR.
 6. THERE ARE HISTORIC RESOURCES LOCATED ON SITE WITHIN 150.0' OF THE PROJECT BOUNDARY. ROADS WILL BE PRIVATE AND GATES ARE NOT ANTICIPATED. THE PROPOSED DRIVEWAY IS TO BE PRIVATELY MAINTAINED AND GATES ARE NOT ANTICIPATED.
 7. BUILDING COVERAGE PERCENTAGE, IMPERVIOUS AREAS, AND FAR HAVE BEEN CALCULATED BASED ON CURRENT ACREAGE, PRIOR TO FOOT ROW DEDICATION.



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LOCATION: 0.0 MY DRIVE/PROJECT/SUNNY SELF STORAGE FACILITY/2022-2023 PDZ BOUNDARY/CONCEPTUAL SITE PLAN/12/22/2023 1:20:00 PM



AGENCY COMMENTS

AGENCY REVIEW COMMENT SHEET

TO: Zoning Technician, Development Services Department

DATE: 1/09/2023

REVIEWER: Richard Perez, AICP

AGENCY/DEPT: Transportation

PLANNING AREA/SECTOR: SM/Central

PETITION NO: PD 22-0719

- This agency has no comments.
- This agency has no objection.
- This agency has no objection, subject to the listed or attached conditions.
- This agency objects for the reasons set forth below.

CONDITIONS OF ZONING APPROVAL

- The project shall be permitted one (1) full access on US Highway 92, subject to FDOT approval.
- The developer shall dedicate right of way to FDOT along the project frontage, as proffered and delineated on the PD site plan, to satisfy the Hillsborough County Corridor Preservation requirements pursuant to LDC, Sec. 5.11.08, subject to FDOT approval.
- The developer shall construct minimum 5-foot-wide sidewalk along the project’s frontage.

OTHER:

- Prior to certification, the applicant shall add a site plan note stating that the developer proposes to dedicate the area delineated as Future R/W to FDOT to satisfy the Hillsborough County Corridor Preservation Plan consistent with LDC, Sec. 5.11.08.

PROJECT SUMMARY AND ANALYSIS

The applicant is requesting to rezone a +/- 4.03 ac. parcel to Planned Development (PD) to allow for up to a maximum of 500-unit self-storage facility. The subject property is zoned Residential Suburban Conventional – 4 with Mobile Home Overlay (RSC-4/MH) and designated Suburban Mixed Use – 6 (SMU-6) future land use.

Trip Generation Analysis

The applicant submitted a trip generation and site access analysis consistent with the Development Review Procedures Manual (DRPM). Staff has prepared a comparison of the trips potentially generated under the existing and proposed zoning designations, utilizing a generalized worst-case scenario. Data presented below is based on the Institute of Transportation Engineer’s Trip Generation Manual, 10th Edition.

Existing Zoning:

Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
RSC-4; 16 Single-Family Dwelling Unit (ITE LUC 210)	151	12	16

Proposed Zoning:

Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
PD: 500-unit, Self Storage (ITE Code 151)	90	7	10

Trip Generation Difference:

Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
Difference (+/-)	-61	-5	-6

Note: Above table reports gross project trips.

The proposed PD zoning will result in a decrease in maximum potential trips generated from the subject property by 61 daily trips, 5 AM peak hour trips and 6 PM peak hour trips.

TRANSPORTATION INFRASTRUCTURE SERVING THE SITE

The subject property has frontage on US Hwy 92. US Highway 92 is a 2-lane, undivided, rural, Florida Department of Transportation (FDOT) maintained Principal Arterial roadway with +/- 12-foot lanes and +/- 4-foot paved shoulders. The roadway lies within a +/- 80-foot-wide right-of-way. There are no sidewalks within in the vicinity of the proposed project.

Pursuant to the Hillsborough County Corridor Preservation Plan, Hillsborough Ave. is proposed to be improved to a 4-lane section. According to FDOT adopted PD&E study (WPI Segment No. 435749-1), the future right of way width will be 180 feet at buildout, as such the applicant shall is required to designate a certain portion of the project frontage as Right of Way Preservation or may proffer to dedicate the right-of-way at the time of site construction consistent with the Hillsborough County Land Development Code, Part 5.11.00. As shown in the proposed PD site plan, the applicant is proffering to dedicate frontage along US Hwy 92 ranging from +/-20 to +/-74 feet.

SITE ACCESS

The project is proposing one (1) full access connection on US Hwy 92, subject to FDOT approval.

The applicant submitted a site access analysis indicating that turn lane improvements are not warranted.

The applicant is required to construct a sidewalk along the project frontage.

ROADWAY LEVEL OF SERVICE

Roadway	From	To	LOS Standard	Peak Hour Directional LOS
US Hwy 92	Kingsway Rd.	McIntosh Rd.	D	C

Source: Hillsborough County 2020 Level of Service Report.

Transportation Comment Sheet

3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)

Adjoining Roadways (check if applicable)			
Road Name	Classification	Current Conditions	Select Future Improvements
US Hwy 92	FDOT Principal Arterial - Rural	2 Lanes <input type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input checked="" type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other

Project Trip Generation <input type="checkbox"/> Not applicable for this request			
	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	151	12	16
Proposed	90	7	10
Difference (+/-)	-61	-5	-6

*Trips reported are based on net new external trips unless otherwise noted.

Connectivity and Cross Access <input type="checkbox"/> Not applicable for this request				
Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North		None	None	Meets LDC
South	X	None	None	Meets LDC
East		None	None	Meets LDC
West		None	None	Meets LDC
Notes:				

Design Exception/Administrative Variance <input checked="" type="checkbox"/> Not applicable for this request		
Road Name/Nature of Request	Type	Finding
N/A	Choose an item.	Choose an item.
Notes:		

4.0 Additional Site Information & Agency Comments Summary			
Transportation	Objections	Conditions Requested	Additional Information/Comments
<input type="checkbox"/> Design Exception/Adm. Variance Requested <input type="checkbox"/> Off-Site Improvements Provided	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	See report.



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2822 Leslie Road
Tampa, FL 33612-6456

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SECRETARY

November 1st, 2022

Dover Mini Storage

12722 E US Hwy 92
10 030 000
MP 12.65 Lt Rdwy
Class 5 @ 45 MPH
Folio # 082912-0000

RE: Pre-Application Meeting Revisit

THIS DOCUMENT IS NOT A PERMIT APPROVAL

THE COMMENTS AND FINDINGS FROM THIS PRE-APPLICATION MEETING MAY BE SUBJECT TO CHANGE
AND MAY NOT BE USED AS A BASIS OF APPROVAL AFTER 5/1/2023

Attendees:

Guests: Mike Yates, Alejandro Bosch, Patricia Bosch, and Rick Perez

FDOT: Mecale' Roth, Tom Allen, Allison Carroll, Lindsey Mineer, Manny Flores, and Luis Mejia

Proposed Conditions:

This development is proposing new access to **SR 600**, a **class 5** roadway with a posted speed limit of **55 MPH**. Florida Administrative Code, Rule Chapter 14-97, requires **440'** driveway spacing, **660'** directional, **2640'** full median opening spacing, and **2640'** signal spacing requirements.

Proposing a new full access driveway onto US 92 for a self-storage facility with 600 individual storage units and a leasing office/retail store for storage and packing items.

FDOT Recommendations:



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1. PD & E ROW taking needs to be accurately shown on plans so building and driveway constraints are met.
2. Charlie Xie or Manuel Flores can provide CAD files or any information about the FDOT project.
3. Compare PD&E plans vs. Design plans for consistency.
4. Do not interfere with the guardrail.
5. Throat depth to be measured from ROW dedication point.
6. 50' radii on ingress and egress.
7. Wrap 5' paved shoulder around ingress and egress radii.
8. If facility is gated, show set back of a minimum of the length of the largest anticipated vehicle that would access the property.
9. Provide a sidewalk connection joining US 92 and the main office building.
10. Pre and post runoff volume conditions to the ROW must be the same or less in the post construction condition.
11. Donate ponds when construction is finished so FDOT can assume maintenance.
12. Legal documentation will be required to be completed by final inspection of the permit.
13. If site drains to the state system or there is an existing structure or system, either active or inactive, in the existing or proposed condition, then a drainage permit will be required.
14. A drainage permit will be required.
15. Dry ponds will need a double ring infiltration test.
16. Contact Joel Provenzano or Andrew Perez for any traffic or access related questions at joel.provenzano@dot.state.fl.us, andrewa.perez@dot.state.fl.us, or at 813-975-6000.
17. Contact Todd, Tom or Mecale' (makayla) for permit, pre app, or general questions at todd.croft@dot.state.fl.us, thomas.allen@dot.state.fl.us, mecale.roth@dot.state.fl.us, or 813-612-3200.
18. Contact Amanda Serra for drainage related questions at amanda.serra@dot.state.fl.us or 813-262-8257.

Summary:

After reviewing and discussing the information presented in this meeting, the Department has determined we are

in favor (considering the conditions stated above)



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- not in favor
- willing to revisit a revised plan

The access, as proposed in this meeting, would be considered

- conforming
- non-conforming
- N/A (no access proposed)

in accordance with the rule chapters 1996/97 for connection spacing. The following state permits will need to be applied for by visiting our One Stop Permitting website (osp.fdot.gov):

- access-category A or B
- access-category C, D, E, or F
 - traffic study required
- access safety upgrade
- drainage
 - or
 - drainage exception
 - construction agreement
 - utility
 - general Use
 - other _____

Thank you for allowing us the opportunity to review and discuss this project in advance. Please feel free to contact me with any questions. We look forward to working with you again.

Respectfully,

Mecale' Roth

Permit Coordinator II
2822 Leslie Rd.
Tampa, FL 33619
Office - 813-612-3237
M-F 8:30 AM – 5:00 PM





Florida Department of Transportation

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Additional Comments/Standard Information:

(These comments may or may not apply to this project, they are standard comments)

1. Document titles need to reflect what the document is before it is uploaded into OSP, and please do not upload unnecessary documents.
2. Documents need to be signed and sealed or notarized.
3. Include these notes with the application submittal.
4. Permits that fall within the limit of a FDOT project must contact project manager, provide a work schedule, and coordinate construction activities prior to permit approval. Ask Mecale' for information if not provided in the notes.
5. Plans shall be per the current Standard Plans and FDM.
6. All the following project identification information must be on the Cover Sheet of the plans:
 - a. all associated FDOT permit #'s
 - b. state road # (& local road name) and road section ID #
 - c. mile post # and left (Lt) or right (Rt) side of the roadway (when facing north or east)
 - d. roadway classification # and posted speed limit (MPH)
7. All typical driveway details are to be placed properly:
 - a. 24" thermoplastic white stop bar equal to the lane width placed 4' behind crosswalk or a minimum of 25' in front of it
 - b. 36" stop sign mounted on a 3" round post, aligned with the stop bar
 - c. if applicable, a "right turn only" sign mounted below the stop sign (FTP-55R-06 or FTP-52-06)
 - d. double yellow 6" lane separation lines
 - e. 6' wide, high emphasis, ladder style crosswalk straddling the detectable warning mats
 - f. warning mats to be red in color unless specified otherwise
 - g. directional arrow(s) 25' behind the stop bar
 - h. all markings on concrete are to be high contrast (white with black border)
 - i. all striping within and approaching FDOT ROW shall be thermoplastic
8. Maintain 20' x 20' pedestrian sight triangles and draw the triangles on the plans to show there are no obstructions taller than 24" within the triangles. Also, no parking spaces can be in these triangles Measure 20' up the sidewalk and 20' up the





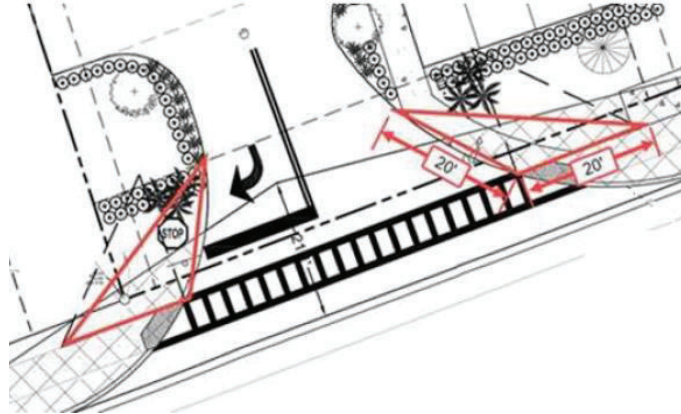
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driveway from the point at which the sidewalk meets the driveway. Here is an example of what these triangles look like and how they are positioned.



9. Any relocation of utilities, utility poles, signs, or other agency owned objects must be coordinated with the Department and the **existing and proposed location** must be clearly labeled on the plans. Contact the Permits Department for more details and contact information.
10. Make note on plans that it is the responsibility of the contractor to not only restore the ROW, but they are also responsible for maintaining the ROW for the duration of the project.

Context Classification:

Here is the link to find information about context classification to see what class standards the proposed project needs to be built to. Below is the standard table for sidewalk width for each class:

<https://kai.maps.arcgis.com/apps/webappviewer/index.html?id=b5ecc163fe04491dafeb44194851ba93>



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Topic #625-000-002
FDOT Design Manual

January 1, 2020

Table 222.1.1 Standard Sidewalk Widths

Context Classification	Sidewalk Width (feet)
C1 Natural	5
C2 Rural	5
C2T Rural Town	6
C3 Suburban	6
C4 Urban General	6
C5 Urban Center	10
C6 Urban Core	12

Notes:

- (1) For C2T, C3 and C4, sidewalk width may be increased up to 8 feet when the demand is demonstrated.
- (2) For C5 and C6, when standard sidewalk width cannot be attained, provide the greatest attainable width possible, but not less than 6 feet.
- (3) For RRR projects, unaltered sidewalk with width 4 feet or greater may be retained within any context classification.
- (4) See **FDM 260.2.2** for sidewalk width requirements on bridges.

Provide the following minimum unobstructed sidewalk width (excluding the width of the curb) when there is no practical alternative to placing a pole within the sidewalk:

- 36 inches for aboveground utilities. This 36 inch width may be reduced to 32 inches, not exceeding 24 inches in length, when there is no practical alternative available to avoid an obstruction.
- 48 inches for signal, light, sign poles

When used for plantings and street furniture, the area between the back of curb and the sidewalk should be 5 feet or greater in width. Consider providing treewells in areas where on-street parking is provided.

Lighting:

Lighting of sidewalks and/or shared paths must be to current standards (FDM section 231). Newly implemented FDOT Context classifications updated the required sidewalk widths (FDM section 222.2.1.1). Where sidewalk is being added and/or widened, the lighting will be analyzed to ensure sidewalks are properly lighted per FDOT FDM standards. Reference the following link and table for details:

https://fdotwww.blob.core.windows.net/sitefinity/docs/default-source/roadway/fdm/2020/2020fdm231lighting.pdf?sfvrsn=2ad35fbf_2



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Topic #625-000-002
FDOT Design Manual

January 1, 2020

Table 231.2.1 Lighting Initial Values

Roadway Classification Or Project Type	Illumination Level Average Foot Candle		Illumination Uniformity Ratios		Veiling Luminance Ratio
	Horizontal (H.F.C.)	Vertical (V.F.C.)	Avg./Min.	Max./Min.	$L_{V(MAX)}/L_{AVG}$
Conventional Lighting					
Limited Access Facilities	1.5	N/A	4:1 or Less	10:1 or Less	0.3:1 or Less
Major Arterials	1.5				
Other Roadways	1.0				
High Mast Lighting					
All Roadway Classifications	0.8 to 1.0	N/A	3:1 or Less	10:1 or Less	N/A
Signalized Intersection Lighting					
New Reconstruction	3.0	2.3	4:1 or Less	10:1 or Less	N/A
Lighting Retrofit	1.5 Std. 1.0 Min.	1.5 Std. 1.0 Min.			
Midblock Crosswalk Lighting					
Low Ambient Luminance	N/A	2.3	N/A	N/A	N/A
Medium & High Ambient Luminance		3.0			
Sidewalks and Shared Use Paths					
Facilities Separated from the Roadway	2.5	N/A	4:1 or Less	10:1 or Less	N/A
Sign Lighting					
Low Ambient Luminance	15-20	N/A	N/A	6:1	N/A
Medium & High Ambient Luminance	25-35				
Rest Area Lighting					
All Roadways and Parking Areas	1.5	N/A	4:1 or Less	10:1 or Less	N/A

231-Lighting

October 14th, 2022

PD 22-0719- UPDATED PROJECT NARRATIVE

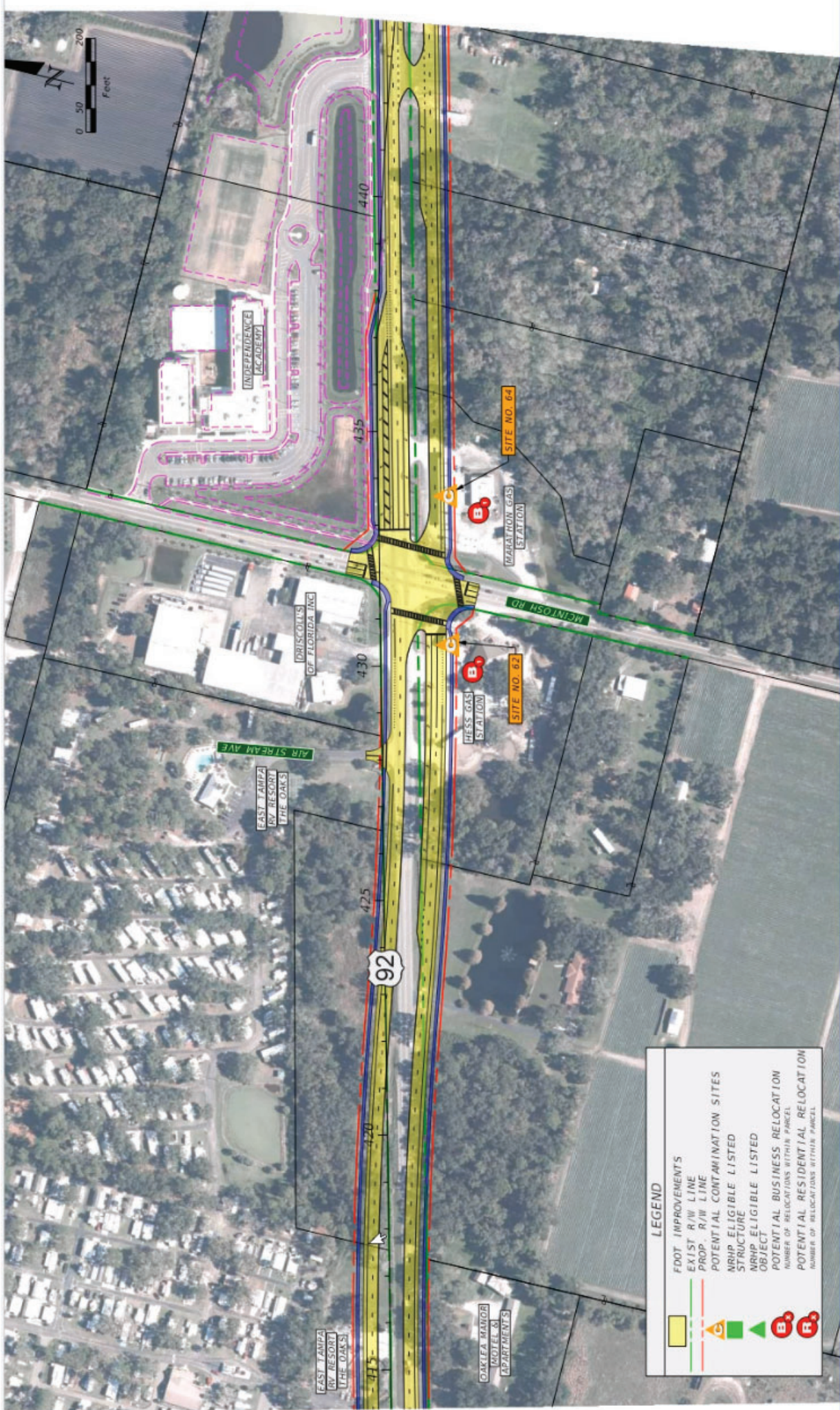
The parcel at 12722 E US 92 is a 3.94 Ac vacant lot currently zoned RSC-4. We initially wanted to develop a retail strip center at the site, but after listening to the comments of various stakeholders, we changed and moved to a less traffic, less intrusive type of development that would cater to the local community. This time, we are proposing to do mini-warehouses or self-storage facility. This would be in conjunction with the future land use "Suburban Mixed Use-6" of the future land use plan of Hillsborough County. The development proposes 600 units of various storage size units ranging from 50 sq foot to 300 sq ft of storage units for a total of approx. 70,000 sq foot. It will also include an office retail that would handle new self-storage clients' signups and renewals, and perhaps moving, packaging or postal supplies, etc.

Storage facilities or mini warehouses are an integral part of a community. It serves an intrinsic need for both families and local businesses to store their valuables and goods especially as homes, offices and small businesses are growing and expanding while lot areas and business spaces are becoming more expensive and less available.

Currently, the property's 3-mile radius has two High Schools (Armwood and Strawberry Crest), two elementary (Bailey Elementary and Independence Academy) and one middle school (Burnett Middle School); with several businesses and subdivisions including an adjacent RV Resort Park that has 700+ homes.

As far as storage facilities are concerned, there is only 1 storage facility in a 3-mile radius from this property's location.

Many of you may have preconceived notions that storage facilities are dull and ugly—with rows and rows of sheds or garage doors. Today, however, storage facilities have beautiful architectural that can be mistaken for office or residential buildings. This means that the storage facility that we are planning to build, will not only enhance the quality of life of Dover families and businesses, but it will also add to the aesthetics and vibrancy of the community itself.



LEGEND

- FDOT IMPROVEMENTS
- EXIST R/W LINE
- PROP. R/W LINE
- POTENTIAL CONTAMINATION SITES
- NRHP ELIGIBLE LISTED STRUCTURE
- NRHP ELIGIBLE LISTED OBJECT
- POTENTIAL BUSINESS RELOCATION
- POTENTIAL RESIDENTIAL RELOCATION

NUMBER OF RELOCATIONS WITHIN PARCEL

NUMBER OF RELOCATIONS WITHIN PARCEL

DATE	DESCRIPTION	REVISIONS	DATE	DESCRIPTION

ENGINEER OF RECORD Drew D. Deak, P.E. Inwood Consulting Engineers, Inc. Certificate of Authorization No. 7074 3000 Dowers Drive, Suite 200, Oviedo, Florida 32765 P. 407.971.8850		STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION	FINANCIAL PROJECT ID 435749-1-22-01	SHEET NO. 12
ROAD NO. 600	COUNTY HILLSBOROUGH	US 92 / SR 600 PLAN SHEETS SEG 6 PREFERRED ALIGNMENT		
11/14/2017		P:\PROJECTS\017-002-01\ roadway\Preferred\Preferred.dwg		

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 Sterlin Woodard, P.E. WETLANDS DIVISION

AGENCY COMMENT SHEET

REZONING	
<p>HEARING DATE: TBD</p> <p>PETITION NO.: 22-0719</p> <p>EPC REVIEWER: Jackie Perry Cahanin</p> <p>CONTACT INFORMATION: (813) 627-2600 X1241</p> <p>EMAIL: cahaninj@epchc.org</p>	<p>COMMENT DATE: November 29, 2022</p> <p>PROPERTY ADDRESS: 12722 E US 92, Dover, FL 33527</p> <p>FOLIO #: 082912-0000</p> <p>STR: 30-28S-21E</p>
<p>REQUESTED ZONING: RSC-4 to PD</p>	
FINDINGS	
<p>WETLANDS PRESENT</p>	<p>YES</p>
<p>SITE INSPECTION DATE</p>	<p>October 28, 2022</p>
<p>WETLAND LINE VALIDITY</p>	<p>NO, in review</p>
<p>WETLANDS VERIFICATION (AERIAL PHOTO, SOILS SURVEY, EPC FILES)</p>	<p>Wetland and OSW ditch system located in western portion of parcel</p>
<p>The EPC Wetlands Division has reviewed the proposed rezoning. In the site plan’s current configuration, a resubmittal is not necessary. If the zoning proposal changes and/or the site plans are altered, EPC staff will need to review the zoning again. This project as submitted is conceptually justified to move forward through the zoning review process as long as the following conditions are included:</p> <ul style="list-style-type: none"> • Approval of this zoning petition by Hillsborough County does not constitute a guarantee that the Environmental Protection Commission of Hillsborough County (EPC) approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impact to wetlands, and does not grant any implied or vested right to environmental approvals. • The construction and location of any proposed wetland impacts are not approved by this correspondence, but shall be reviewed by EPC staff under separate application pursuant to the EPC Wetlands rule detailed in Chapter 1-11, Rules of the EPC, (Chapter 1-11) to determine whether such impacts are necessary to accomplish reasonable use of the subject property. 	

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- Prior to the issuance of any building or land alteration permits or other development, the approved wetland / other surface water (OSW) line must be incorporated into the site plan. The wetland/ OSW line must appear on all site plans, labeled as "EPC Wetland Line", and the wetland must be labeled as "Wetland Conservation Area" pursuant to the Hillsborough County Land Development Code (LDC).
- Final design of buildings, stormwater retention areas, and ingress/egresses are subject to change pending formal agency jurisdictional determinations of wetland and other surface water boundaries and approval by the appropriate regulatory agencies.

INFORMATIONAL COMMENTS:

The following specific comments are made for informational purposes only and to provide guidance as to the EPC review process. However, future EPC staff review is not limited to the following, regardless of the obviousness of the concern as raised by the general site plan and EPC staff may identify other legitimate concerns at any time prior to final project approval.

- The subject property contains wetland/OSW areas, which were delineated by EPC staff on November 9, 2022, and the survey is under review. Prior to the issuance of any building or land alteration permits or other development, surveys must be formally approved by EPC staff.
- The site plan depicts wetland impacts that have not been authorized by the Executive Director of the EPC. The wetland impacts are indicated for warehouse construction. Chapter 1-11, prohibits wetland impacts unless they are necessary for reasonable use of the property. Staff of the EPC recommends that this requirement be taken into account during the earliest stages of site design so that wetland impacts are avoided or minimized to the greatest extent possible. The size, location, and configuration of the wetlands may result in requirements to reduce or reconfigure the improvements depicted on the plan. If you choose to proceed with the wetland impacts depicted on the plan, a separate wetland impact/mitigation proposal and appropriate fees must be submitted to this agency for review.
- The Hillsborough County Land Development Code (LDC) defines wetlands and other surface waters as Environmentally Sensitive Areas. Pursuant to the LDC, wetlands and other surface waters are further defined as Conservation Areas or Preservation Areas and these areas must be designated as such on all development plans and plats. A minimum setback must be maintained around the Conservation/Preservation Area and the setback line must also be shown on all future plan submittals.
- Any activity interfering with the integrity of wetland(s) or other surface water(s), such as clearing, excavating, draining or filling, without written authorization from the Executive Director of the EPC or authorized agent, pursuant to Section 1-11.07, would be a violation of Section 17 of the Environmental Protection Act of Hillsborough County, Chapter 84-446, and of Chapter 1-11.

Jpc/cb

cc: sunnyangsia@hotmail.com

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From: [Perry Cahanin, Jackie](#)
To: [Sunny Sia](#)
Cc: [Lampkin, Timothy](#)
Subject: REZ 22-0719 - Ana Realty LLC - Revised EPC comments
Date: Tuesday, November 29, 2022 12:40:59 PM
Attachments: [22-0719 Revised EPC 11-29-2022 .pdf](#)

External email: Use caution when clicking on links, opening attachments or replying to this email.

Good morning Sunny,

Thank you for meeting with EPC staff today. Revised zoning comments from EPC for Conditional Approval are attached and have been uploaded to Optix.

As we discussed, a Variance may be required for encroachment into the setback of the eastern, off site wetland. Ryan Joyce at HC Natural Resources handles setback and variance issues and can assist with the process if needed. His email is joycer@hillsboroughcounty.org

Thank you again for your time, and if you have any questions, please let me know.

Jackie

Jackie Perry Cahanin, M.S.

Environmental Scientist II

Wetlands Division

(813) 627-2600 ext. 1241 | www.epchc.org

Environmental Protection Commission

3629 Queen Palm Drive, Tampa, FL 33619

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From: [REYNOLDS, JENNIFER L](#)
To: [Rome, Ashley](#); [Lampkin, Timothy](#)
Subject: Fwd: RE RZ PD 22-0719
Date: Wednesday, December 21, 2022 7:56:02 AM
Attachments: [image001.png](#)

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As noted below, no issues per HCSO.

Regards,

Jennifer L. Reynolds

Grants, Research & Development Unit
Hillsborough County Sheriff's Office
2008 East 8th Avenue
Tampa, Florida 33605
(813) 247-8232
www.TeamHCSO.com

From: "JOSHUA LOY" <jloy@teamhcs.com>
To: "JENNIFER REYNOLDS" <jreynolds@teamhcs.com>
Sent: Tuesday, December 20, 2022 5:14:45 PM
Subject: Re: RE RZ PD 22-0719

I've reviewed the storage facility plans and have no questions or comments at this time. Thank you.

Respectfully,

Corporal Joshua Loy #119227
Hillsborough County Sheriff's Office
Department of Patrol Services
District 2
jloy@teamhcs.com
Office: 813-247-8545

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From: "JENNIFER L REYNOLDS" <jreynolds@teamhcso.com>
To: "JOSHUA LOY" <jloy@teamhcso.com>
Sent: Tuesday, December 20, 2022 4:26:22 PM
Subject: Fwd: RE RZ PD 22-0719

Good afternoon Corporal,

Here is another request with a location in D2 for your review.

Regards,
Jenn

Jennifer L. Reynolds

Grants, Research & Development Unit
Hillsborough County Sheriff's Office
2008 East 8th Avenue
Tampa, Florida 33605
(813) 247-8232
www.TeamHCSO.com

From: "Ashley Rome" <RomeA@hillsboroughcounty.org>
To: "Allen, Cari" <AllenCA@hillsboroughcounty.org>, "Andrea Papandrew" <papandrewa@plancom.org>, "Blinck, Jim" <BlinckJ@HillsboroughCounty.ORG>, "Brown, Gregory" <BrownGr@hillsboroughcounty.org>, "Bryant, Christina" <BryantC@epchc.org>, "Bryce Fehringer" <fehringerb@plancom.org>, "Cabrera, Richard" <CabreraR@HillsboroughCounty.ORG>, "Dalfino, Jarryd" <DalfinoJ@hillsboroughcounty.org>, "Santos, Daniel" <daniel.santos@dot.state.fl.us>, "David Skrelunas" <David.Skrelunas@dot.state.fl.us>, "DeWayne Brown" <brownd2@gohart.org>, "Dickerson, Ross" <DickersonR@HillsboroughCounty.ORG>, "Ellen Morrison" <ellen.morrison@swfwmd.state.fl.us>, "Franklin, Deborah" <FranklinDS@hillsboroughcounty.org>, "Glorimar Belangia" <Glorimar.Belangia@hcps.net>, "Greg Colangelo" <colangeeg@plancom.org>, "Raymond Hansen" <HansenR@hillsboroughcounty.org>, "Holman, Emily - PUD" <HolmanE@HillsboroughCounty.ORG>, "Hummel, Christina" <HummelC@hillsboroughcounty.org>, "Impact Fees" <ImpactFees@hillsboroughcounty.org>, "James Hamilton" <jkhamilton@tecoenergy.com>, "JENNIFER REYNOLDS" <jreynolds@teamhcso.com>, "Jillian Massey" <masseyj@plancom.org>, "Kaiser, Bernard" <KAISERB@HillsboroughCounty.ORG>, "Karla Llanos" <llanosk@plancom.org>, "Katz, Jonah" <KatzJ@hillsboroughcounty.org>, "Kyle Brown" <kyle.brown@myfwc.com>, landuse-zoningreviews@tampabaywater.org, "Mineer, Lindsey" <Lindsey.Mineer@dot.state.fl.us>, "Lindstrom, Eric" <LindstromE@hillsboroughcounty.org>, "Mackenzie, Jason" <MackenzieJ@hillsboroughcounty.org>, "McGuire, Kevin" <McGuireK@HillsboroughCounty.ORG>, "Melanie Ganas" <mxganas@tecoenergy.com>, "Melissa Lienhard" <lienhardm@plancom.org>, "Perez, Richard" <PerezRL@hillsboroughcounty.org>, "Petrovic, Jaksa" <PetrovicJ@HillsboroughCounty.ORG>, "Pezone, Kathleen" <PezoneK@hillsboroughcounty.org>, "Ratliff, James" <RatliffJa@hillsboroughcounty.org>, "Hessinger, Rebecca" <HessingerR@hillsboroughcounty.org>, "Renee Kamen"

<renee.kamen@hcps.net>, "Revette, Nacole" <RevetteN@HillsboroughCounty.ORG>, "Carroll, Richard" <CarrollR@HillsboroughCounty.ORG>, "Rochelle, Randy" <RochelleR@HillsboroughCounty.ORG>, "Rodriguez, Dan" <RodriguezD@gohart.org>, "RP-Development" <RP-Development@hillsboroughcounty.org>, "Salisbury, Troy" <SalisburyT@hillsboroughcounty.org>, "Sanchez, Silvia" <sanchezs@epchc.org>, "Shelton, Carla" <SheltonC@HillsboroughCounty.ORG>, "Steady, Alex" <SteadyA@hillsboroughcounty.org>, "Tony Mantegna" <tmantegna@tampaairport.com>, "Turbiville, John (Forest)" <TurbivilleJ@HillsboroughCounty.ORG>, "Weeks, Abbie" <weeksa@epchc.org>, WetlandsPermits@epchc.org, "Woodard, Sterlin" <Woodard@epchc.org>, "Yeneka Mills" <millsy@plancom.org>
Cc: "Grady, Brian" <GradyB@HillsboroughCounty.ORG>, "Lampkin, Timothy" <LampkinT@hillsboroughcounty.org>, "Timoteo, Rosalina" <TimoteoR@HillsboroughCounty.ORG>, "Morales, Cintia" <MoralesCS@hillsboroughcounty.org>, "Tirado, Sheida" <TiradoS@hillsboroughcounty.org>, "Williams, Michael" <WilliamsM@HillsboroughCounty.ORG>
Sent: Monday, December 19, 2022 3:02:32 PM
Subject: RE RZ PD 22-0719

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Good Day All,

Please be advised, we have received and uploaded to Optix **revised documents/plans** for the above mentioned application. Please review and comment.

For further information regarding the change/update please contact the assigned planner.

Planner assigned:

Planner: Timothy Lampkin

Contact: lampkint@hillsboroughcounty.org

Have a good one,

Ashley Rome
Planning & Zoning Technician
Development Services Dept.

P: (813) 272-5595

E: romea@hillsboroughcounty.org

W: HCFLGov.net

Hillsborough County

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AGENCY REVIEW COMMENT SHEET

NOTE: THIS IS ONLY FOR ESTIMATE PURPOSES, BASED ON THE FEES AT THE TIME THE REVIEW WAS MADE. ACTUAL FEES WILL BE ASSESSED BASED ON PERMIT APPLICATIONS RECEIVED AND BASED ON THE FEE SCHEDULE AT THE TIME OF BUILDING PERMIT APPLICATION.

TO: Zoning Review, Development Services

DATE: 12/05/2022

REVIEWER: Ron Barnes, Impact & Mobility Fee Coordinator

APPLICANT: Sunny Sia

PETITION NO: 22-0719

LOCATION: 12722 E US 92

FOLIO NO: 082912.0000

Estimated Fees:

Self-Storage

(Per 1,000 s.f.)

Mobility: \$1,084

Fire: \$32

Project Summary/Description:

Rural Mobility, Northeast Fire - Self Storage, not specified size

AGENCY REVIEW COMMENT SHEET

TO: ZONING TECHNICIAN, Planning Growth Management

DATE: 31 May 2022

REVIEWER: Bernard W. Kaiser, Conservation and Environmental Lands Management

APPLICANT: Sunny Sia

PETITION NO: RZ-PD 22-0719

LOCATION: Dover, FL 33572

FOLIO NO: 82912.0000

SEC: 30 TWN: 28 RNG: 21

- This agency has no comments.

- This agency has no objection.

- This agency has no objection, subject to listed or attached conditions.

- This agency objects, based on the listed or attached conditions.

COMMENTS: _____.

**WATER RESOURCE SERVICES
REZONING REVIEW COMMENT SHEET: WATER & WASTEWATER**

PETITION NO.: PD22-0719 REVIEWED BY: Randy Rochelle DATE: 5/17/2022

FOLIO NO.: 82912.0000

WATER

- The property lies within the _____ Water Service Area. The applicant should contact the provider to determine the availability of water service.

- A ___ inch water main exists (adjacent to the site), (approximately ___ feet from the site) _____. This will be the likely point-of-connection, however there could be additional and/or different points-of-connection determined at the time of the application for service. This is not a reservation of capacity.

- Water distribution system improvements will need to be completed prior to connection to the County's water system. The improvements include _____ and will need to be completed by the _____ prior to issuance of any building permits that will create additional demand on the system.

WASTEWATER

- The property lies within the _____ Wastewater Service Area. The applicant should contact the provider to determine the availability of wastewater service.

- A ___ inch wastewater gravity main exists (adjacent to the site), (approximately ___ feet from the site) _____. This will be the likely point-of-connection, however there could be additional and/or different points-of-connection determined at the time of the application for service. This is not a reservation of capacity.

- Wastewater collection system improvements will need to be completed prior to connection to the County's wastewater system. The improvements include _____ and will need to be completed by the _____ prior to issuance of any building permits that will create additional demand on the system.

COMMENTS: The subject site is located outside of the Hillsborough County Urban Service Area, therefore water and/or wastewater service is not generally allowed. if the site is required or otherwise allowed to connect to the potable water and/or wastewater systems, there will be offsite improvements required that extend beyond a connection to the closest location with existing infrastructure. These points-of-connection will have to be determined at time of application fo service as additional anaysis will be required to make the final determination .



VERBATIM TRANSCRIPT

Zoning Hearing Master Hearing
January 17, 2023

1 MR. GRADY: The next item is Agenda Item D.1, Rezoning
2 PD 22-0719. The applicant's Sunny Sia. The request is a rezone
3 from RSC-4 to plan development. Tim Lampkin will provide staff
4 recommendation after presentation by the applicant.

5 HEARING MASTER: Good evening.

6 MR. SIA: Hi. Good evening Madam Hearing Officer.
7 Let me open my presentation.

8 HEARING MASTER: If you could give us your name and
9 address before you start.

10 MR. SIA: My name is Sunny Sia. I live in 9903 Maple
11 Street in Gibsonton, Florida 33534.

12 HEARING MASTER: Thank you very much.

13 MR. SIA: All right. Name is again, Sunny Sia and I'm
14 here to present rezoning PD 22-0179 from a RSC-4 to a -- to a
15 plan development. I am the president of A&A Realty and with me
16 are Patricia Bosch, Alejandro Bosch, physical engineer of Bosch
17 Engineering and they're online, if you have any questions. My
18 traffic analyst is Michael Yates, Palm Traffic. And also,
19 potential builders (inaudible).

20 All right. So I'm requesting -- we are requesting for
21 rezoning from RSC-4 to PD mini warehouse. We're -- we are
22 planning to develop a 65,000 square foot of one three-story
23 building and single story building of -- of four mini
24 warehouses. Initially, we planned to build the strip mall early
25 in 2022 when we planned to -- when we submitted this. We were

1 told by the Planning Commission that according the community
2 does not allow strip mall retail establishments. And therefore,
3 after several alterations and abiding by the PC initial
4 comments, we decided on building a self-storage facility. We
5 believe that mini warehouse is a -- is more environmental
6 friendly, as there are no people living there, no homes going to
7 be built. Less traffic -- it will be less traffic intensive.
8 It will be less impactful on the water resources, as well as
9 waste management.

10 In addition, it will be more compatible with needs of
11 the immediate residences, which are the -- part, the
12 agricultural farms, as well as the school system and businesses
13 surrounding the area. Moreover, there are no mini warehouse
14 facility within the -- within the three-mile radius. As you can
15 see, our site is the green on the right. We're near the exit 14
16 and the -- the corner of Macintosh and US-92. And I'd like to
17 also delve on the different agencies that have commented.

18 Transportation agency has no objection with our submission --
19 submittal. Basically, our mini storage proposal have peak
20 morning traffic of seven, as well as a nighttime traffic of ten,
21 which are lower than the RSC-4 a.m. trip of 12, the p.m. trip of
22 16. It is a five -- -5 and -6 less than what is proposed, which
23 is six percent lower. And for a total of 24-hour period, the
24 total traffic will be 91, which is less than 151 for the RSC-4.

25 In addition, FDOT has a -- has a future widening

1 project in that area, which will affect us, our land. They will
2 take a portion of the land, but they will widen the -- the
3 (inaudible) into a four-way roadway from east Macintosh to
4 Gallagher -- Gallagher Road. Macintosh will also be widened up
5 to the exit I-4. However, no time yet as of this writing, but
6 according to FDOT, it could -- it be could be you know, sometime
7 in the future. But just to save it, out site plan will also
8 have reservations for future right of way in addition to the
9 required buffering.

10 Environmentally, the EPC has no objections with
11 conditions which we will be abiding. The wetland of this parcel
12 is 0.13 acres out of the 3.94 acres. According to the EPC, the
13 wetland area is also historical manmade ditch and therefore
14 qualifies for a notice of exception. Development Services
15 commented that it's unsupportable due to Planning Commission
16 comments, but has no objection per conditions, which we will be
17 abiding by their proposed conditions per their comments in
18 Optix.

19 Finally, we applied for the commercial -- commercial
20 locational criteria per policy. Our parcel is located within
21 the 900-foot policy for Macintosh and US-92 commercial --
22 commercial intersection. Our easternmost corner is 514 feet,
23 which is if you count up to the midpoint of the land, the front
24 pitch is a 56% of our frontage falls under this criteria.
25 Various parcels adjacent to our land also either PD or

1 commercial general or commercial intensive. 5,000 foot east of
2 our parcel is PD 12-0512 approved for all -- for residential
3 subdivision with the 19,000 square foot of commercial general
4 property as well, which was approved by Planning Commission back
5 in 2012.

6 I'd like to also make my case about the Planning
7 Commission's thinking that it's a rural road area. US-92 in
8 that -- along that road has a traffic of 11,100 vehicles per day
9 as -- as per FDOT count. Parallel to us, half a mile from us
10 the I-4 daily traffic is 139,000 vehicles per -- per day. Plus,
11 FDOT's of widening the I-4, that -- no, the four -- to four
12 lanes. This means that it will be a very high traffic area.
13 And therefore, refutes the rural definition.

14 And finally, which is the most important is that
15 Hillsborough County Unincorporated Plan has the Future Land Use
16 as SMU-6, which is suburban mixed use-6, which incorporates
17 different types of mixed use. And with that, I have a rebuttal,
18 but I'll do that later.

19 HEARING MASTER: All right. Thank you so much for
20 your testimony. If you could please sign in with Clerk's
21 office. Development Services. Good evening.

22 TIM LAMPKIN: Good evening. Tim Lampkin, Development
23 Services. The applicant's seeking to develop a 3.94 acre to
24 develop and consisting of one folio. The request is for a
25 rezoning from residential single-family conventional to plan

1 development to allow for for mini warehouse development.

2 The subject property is located on the north side of
3 east US Highway 92, west of Macintosh Road. The subject
4 property is located within the rural service area and it's also
5 within the limits of the Seffner Mango Community Plan. The plan
6 development zoning exists to the north and to the east and it
7 developed with an RV mobile home park and Griscoll's agricultural
8 plan to the east. On the south side of the US Highway 91 are
9 agricultural single-family, AS-1 and agricultural rural zoned
10 properties developed with agriculture and single-family uses.

11 The applicant does not request any waivers. The site
12 plan illustrates measures that mitigate the proposed mini
13 warehouse such as it proposed a 20-foot buffer with type B
14 screening along with north, east and west of the subject site.
15 The applicant requests no variations for the site design. The
16 applicant does not request any variations to the Land
17 Development Code part 6.06.00 regarding landscaping and
18 buffering.

19 And as previously stated, the subject site is located
20 outside of the Hillsborough County urban service area. If the
21 site's developed, it's going to be required to connect to
22 portable water and wastewater systems. All site improvements
23 will be required. There are wetlands present on the subject
24 property. The Environmental Protection Commission Wetlands
25 Division has reviewed the proposed rezoning and has determined a

1 re-submittal is not necessary for the site's current
2 configuration.

3 EPC staff will have to review again if the plan
4 changes. And the Planning Commission Staff finds the request is
5 located outside of the commercial node and with -- also within
6 the rural area. Typically, the type of development that would
7 be expected is less intense than the posed mini warehouse use.
8 The Planning Commission finds that the proposed development does
9 not meet the commercial locational criteria and also finds the
10 proposed rezoning is in direct conflict with division of the
11 Seffner Mango Community Plan.

12 Overall, the Planning Commission finds the proposed
13 development is inconsistent with goals, objectives and policies
14 of the Unincorporated Hillsborough County Comprehensive Plan and
15 Development Services finds that the request is not supportable.
16 And that concludes my presentation unless there are any
17 questions.

18 HEARING MASTER: No questions at this time, but thank
19 you so much. Planning Commission.

20 MS. MASSEY: This is Jillian Massey with Planning
21 Commission Staff. The subject site is located in the suburban
22 mixed use six, Future Land Use Category. It is in the rural
23 area and within the limits of the Seffner Mango Community Plan.
24 It's surrounded by suburban mixed use six to the north, east and
25 west. To the south is designated as Residential-1, as well as

1 further west it's designated as Residential-1. The request
2 would facilitate further encroachment into an area where mobile
3 homes and RVs are present to the north, east and west. And
4 single-family zoning districts are located to the south. This
5 is inconsistent with policy direction of Future Land Use Element
6 Policy 16.2, which requires gradual transitions of intensities
7 between different land uses to be provided for as new
8 development as proposed and approved.

9 Though the applicant is providing buffering, the
10 intensity of the proposed use is out of character, but the
11 residential nature of the uses that surround the site to the
12 north and south. The site does not meet commercial locational
13 criteria per Future Land Use Element Objective 22 and its
14 accompanying policies. Per policy direction under Objective 22,
15 75% of the site's frontage is not within the required distance
16 of 900 feet from the closest qualifying intersection of US
17 Highway 92 and Macintosh Road.

18 Although there are several uses nearby that are
19 commercial in nature, they are either agriculturally related or
20 pre-existing commercial zoning districts. The com -- the
21 existing commercial zoning districts tend to be west of the
22 subject site closer to the urban service area boundary. The
23 proposed use encroaches into the residential uses along the
24 northern boundary and Planning Commission Staff does not support
25 a waiver to the commercial locational criteria.

Zoning Hearing Master Hearing
January 17, 2023

1 Furthermore, the proposed rezoning is in direct
2 conflict with the vision of Seffner Mango Community Plan. The
3 plan for this community restricts retail development along US 92
4 and Martin Luther King Boulevard outside the urban service area
5 to existing commercial zoning districts, as well discourages
6 further district retail development along both portions of US 92
7 and Martin Luther King Boulevard that are in the rural area.

8 In addition, the community plan specifies where in
9 fill development and office -- and light industrial uses are
10 envisioned, which is in the urban service area between I-75 and
11 County Route 579. The subject site does not fit the intent of
12 this vision.

13 And based upon these considerations, Planning
14 Commission Staff finds the proposed plan development
15 inconsistent with the Unincorporated Hillsborough County
16 Comprehensive Plan. Thank you.

17 HEARING MASTER: Thank you. I appreciate it. Is
18 there anyone in the room or online that would like to speak in
19 support? Anyone in favor. I see no one. Anyone in opposition
20 to this request? All right. I see two hands. Do we have
21 anyone online that would like to speak?

22 MR. ALI: I do not have anyone in support or
23 otherwise.

24 HEARING MASTER: Okay. All right. If you all want to
25 come forward. Two people, it's seven and a half minutes, but

Zoning Hearing Master Hearing
January 17, 2023

1 don't feel obligated to take it if you don't want to. All
2 right. Thank you. Good evening. Oh, you're doing great.

3 MS. McCOMAS: My name is Grace McComas. I live at 805
4 Old Darby Street in Seffner. I'm still opposed to the current
5 third changes in site plans of this application 22-0719, mini
6 warehouses on Highway 92 in Seffner. Nothing has changed to
7 make it consistent with county requirements. My reasons for
8 opposition is inconsistent with the Seffner Community Plan,
9 which we worked hard on. And which discourages commercial in
10 the rural area. Also, it does not meet commercial locational
11 criteria to Macintosh Road and Highway 92 intersection, which
12 County just mentioned. It does need to be 75% of his property.

13 The applicant's narrative of December 27th indicates
14 that Highway 92 and Airstream Avenue intersection, well
15 intersections must be qualifying intersections in the rural
16 area. And I think looking at the map and I -- County has -- had
17 presented a map that -- can I put this on here?

18 HEARING MASTER: Sure.

19 MS. McCOMAS: (Inaudible). Anyway, it shows that his
20 property --

21 THE CLERK: Ma'am, speak into the microphone.

22 MS. McCOMAS: Sorry.

23 HEARING MASTER: That don't move. You can just pull
24 it over with you.

25 MS. McCOMAS: Okay.

Zoning Hearing Master Hearing
January 17, 2023

1 HEARING MASTER: The microphone.

2 MS. McCOMAS: Okay.

3 HEARING MASTER: Yeah. There you go.

4 MS. McCOMAS: Sorry Chuck, I'm embarrassing you. The
5 property line is noted here. The Airstream Avenue, which is
6 probably an emergency exit entrance to the RV on Airstream
7 Avenue. So it's not really an intersection. Now, that the
8 floor area is now reduced to 65,000 square feet, which is still
9 over the current allowance of 40,000 square feet in a rural
10 area. The wetlands are not delineated on the site plan, nor is
11 the four -- the 80 feet ROW for the widening of 92. There is a
12 storm water retention plan that's supposedly going to be located
13 in the future right of way for Highway 92. I just said that, I
14 don't know.

15 That's a total of my concerns. And I'm hope -- I
16 thank you for taking my consideration and the Development
17 Services and Planning Commission's comments on this. And I wish
18 that you all had time to go and actually look at the properties,
19 but that would be impossible with all the zonings here. But
20 just so you can see what really is there, not what the
21 applicant's is trying to tell you is there because they're
22 trying to get their thing through.

23 So I appreciate it very much. Thank you.

24 HEARING MASTER: Thank you for coming down. If you
25 could please sign in with the Clerk's office. Good evening.

1 MS. BELCHER: Good evening. My name is
2 Elizabeth Belcher. I live in Seffner, Florida. Per the
3 memorandum through FDOT dated 5/12/2022, it's in the file. It
4 states that there's 160-foot right of way requirements. The
5 applicants were put on notice by this, but they -- but yet their
6 site plan only shows 40 feet of -- of right of way on their site
7 plan. The applicant states there will be a drainage pond
8 that'll be on the FDOT right of way. How is that possible?

9 A the notation in the application is that there's
10 manmade wetland subject to exception. What does this mean and
11 when -- what is the effect of alternate -- altering these --
12 these alleged wetlands? A memo dated 7/11/22, again in the
13 file, states the applicant should provide a easement for future
14 sidewalk. I can't find an easement in the file, nor do I see
15 where there's a sidewalk showing on the site plan.

16 These are issues that need to be addressed before the
17 application goes forward. Nothing was addressed regarding the
18 lighting in the -- on the site. The applicants stated they're
19 going to be abutting residential. So there should be lighting
20 details on the site map to keep lighting from trespassing on the
21 residential units.

22 There is one thing that I have learned, if it isn't in
23 writing, it doesn't exist. The applicants write their by how a
24 traffic zoning units can be -- can be made to look, yet make no
25 commitment to make their storage units attractive. They should

Zoning Hearing Master Hearing
January 17, 2023

1 be required to commit in writing to show a plan showing storage
2 units. I was not aware until tonight that there was a -- there
3 was no storage units within three miles. There are two storage
4 units in MLK and I believe both units are well within three
5 miles.

6 I was one of the many people who helped write Seffner
7 Manual Community Plan. It is very important to the citizens of
8 the Seffner Mango that their community plan is followed. This
9 application does -- is not compatible with the community plan.
10 I urge you to follow the guidelines outlined in the Community
11 Plan and finding -- and follow the findings of the County Staff.
12 Thank you.

13 HEARING MASTER: Thank you for coming down. I
14 appreciate it. If you could please sign in. All right. So
15 seeing no one else speak in opposition, we'll close that portion
16 of the hearing and we'll go back to Development Services.
17 Anything further, Mr. Grady?

18 MR. GRADY: Nothing. Nothing further.

19 HEARING MASTER: Okay. Thank you. All right.
20 Mr. Sia, you have five minutes for rebuttal if you'd like.

21 MR. SIA: Thank you for giving me this opportunity.
22 And -- all right. So could you somehow please put this on the
23 screen?

24 Okay. All right. So to rebut the Planning
25 Commission's definition that they're basically telling us time

1 and time again that we are part of the Seffner Mango rural
2 community.

3 HEARING MASTER: To everyone watching, I did mention
4 at the begin of the hearing that this is our first meeting back
5 in this room and so we've had a little bit of technical issues.
6 I appreciate your patience.

7 MR. SIA: All right. Like I said, we are basically
8 being boxed into Seffner Mango rural community plan. But I'd
9 like -- just like to give you a tidbit about the -- tidbit.
10 There's a ten -- 10th Century country -- 10th century of the
11 18th century, there's a country -- it was called holy Roman
12 Empire. And historians right now saying that that -- that
13 country's neither holy nor Roman nor an empire. And this is
14 what I'd like to say about my -- my parcel, which they're
15 pushing that I'm neither in Seffner nor in Mangrove nor are we
16 located in the rural area.

17 Exhibit A, which show that this is the -- show that
18 (inaudible) of Hillsborough County has put our address as Dover.
19 No -- nothing was mentioned about Seffner nor -- nor in the
20 mangrove community. That's Exhibit A. Secondly, Exhibit B, I'd
21 like to -- to address the issue of the FAR of the -- the
22 previous two ladies that says that my -- the building would be
23 violating or be you know, above the rules.. I'd like to say
24 that our FAR is actually point 0.37, but it can be as high as --
25 as 0.5 and it will lighten the street.

1 This is Exhibit B, light in the street of 0.5. It can
2 be used for land industrial --

3 THE CLERK: Please talk in the microphone.

4 MR. SIA: -- manufacturing, as well as a storage
5 facility. So up to 0.5 can be the FAR. I'd like -- I don't
6 need to reread these. Can -- can we go to the side please? All
7 right. Thanks.

8 So I'd like to again review where the location of
9 my -- the -- the parcel. It's the violet dot there. As you can
10 see, a picture's worth a thousand words. That we are 500 foot
11 from -- 514 feet from the -- to the east of Macintosh and US 92.
12 Basically, that's where the commercial node is. The -- there is
13 a school system there, Independence Academy, Strawberry Crest
14 High School. It's above that picture. And the driscoll plant,
15 as well as there are two gas stations, convenience, stores, as
16 well as the -- along this. This one is also commercial general
17 and commercial general here. So like I said, this is from
18 Hillsborough Count Unincorporated plan for future land use. It
19 shows 0.35 FAR. And that whole pink area is -- is deemed as
20 SMU-6 and nowhere was it shown here that it is residential or
21 agricultural. Like I said, the whole area along that -- that --
22 in that lane or that radius, north, south and east are all
23 either commercial general an RV resort park is also deemed as
24 commercial, but being used as a residential by people.

25 So and in addition, I'd like to cite a precedent,

1 which was back in 12-0512, it was approved for residential
2 subdivision with 90,000 square foot of commercial space. This
3 commercial parcel is also land use 92, elevated 5,130 feet from
4 the intersection North Kingsway Avenue and more than 6,100 feet
5 from Macintosh. This clearly is not consistent with the
6 commercial locational clearance, but was approved by the
7 Planning Commission in 9 -- in 2012.

8 Hence in -- in addition to this, RSC 21-0371 was also
9 approved at the County Commissioners based on that reasoning.
10 See, as you can see, that particular PD that was talked about is
11 5,132 feet from -- from the east and then 6,100 feet from the --
12 from Macintosh. So that concludes my -- my -- just to summarize
13 technically, the PD is (inaudible) our mini warehouse would be
14 less traffic intensive, less impactful of resources and
15 environment and it will be compatible with the Hillsborough
16 County Future Land Use. And finally, it will be -- also be
17 beneficial to small businesses, farmers, school systems and
18 residential neighborhoods in the community.

19 With that, I rest my case and I respectfully request
20 that the -- the hearing -- Madam Hearing Officer to please
21 approve this plan.

22 HEARING MASTER: Thank you, sir. I appreciate your
23 testimony. So with that we'll close Rezoning PD 22-0719. I see
24 it's 8:00. We typically take a break then. So let's break for
25 five minutes. There's a clock on the back of the wall, return a

P R O C E E D I N G S

1
2
3 HEARING MASTER: -- 2-1387 is continued to the
4 January 17, 2023 Zoning Hearing Master Meeting.

5 MR. GRADY: I'll now go through the public PD 22-0075.
6 This application's being continued by the applicant of the
7 January 17, 2023 Zoning Hearing Master Hearing.

8 Item A.2, Major Mod application 22-0671. This
9 application is out of order to be heard and is being continued
10 to the January 17, 2023 Zoning Hearing Master Hearing.

11 Item A.3, Rezoning PD 22-0719. This application is
12 out of order to be heard and is being continued to the
13 January 17, 2023 Zoning Hearing Master Hearing.

14 Item A.4, Rezoning PD 22-0856. This application is
15 out of order to be heard and is being continued to the January
16 17, 2023 Zoning Hearing Master Hearing.

17 Item A.5, Rezoning PD 22-0857. This application is
18 out of order to be heard and is being continued to the
19 January 17, 2023 Zoning Hearing Master Hearing.

20 Item A.6, Rezoning PD 22-0865. This application is
21 being continued by staff to the January 17, 2023 Zoning Hearing
22 Master Hearing.

23 Item A.7, Rezoning PD 22-0866. This application is
24 being continued by the applicant to the January 17, 2023 Zoning
25 Hearing Master Hearing.

1 Commission, Andrea Papandrew. From the County Attorney's
2 Office, Mary Dorman and Cameron Clark. And from our
3 transportation review staff, Richard Perez, James Ratliff and
4 Alex Steady. Again, there's no changes to the agenda. So I
5 will go through the published withdrawals and continuances
6 beginning on page four of the Agenda.

7 The first item is Item A.1 Rezoning PD 22-0567. This
8 application is out of order -- out of order to be heard is being
9 continued to the December 12, 2022 zoning hearing master
10 hearing.

11 Item a A.2 Rezoning PD 22-0648. This application is
12 out of order to be heard is being continued to the December 12,
13 2022 zoning hearing master hearing.

14 Item A.3 major mod application 22-0671. This
15 application is out of order to be heard and is being continued
16 to the December 12, 2022 zoning hearing master hearing.

17 Item A.4 major mod application 22-0686. This
18 application is out of order to be heard and is being continued
19 to the December 12, 2022 zoning hearing master hearing.

20 Item A.5 Rezoning PD 22-0696. This application is
21 out of order to be heard and is being continued to the
22 December 12, 2022 zoning hearing master hearing.

23 Item A.6 Rezoning PD 22-0719. This application is out
24 of order to be heard and is being continued to the
25 December 12, 2022 zoning hearing master hearing.

HILLSBOROUGH COUNTY, FLORIDA
BOARD OF COUNTY COMMISSIONERS

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LAND USE HEARING OFFICER)
HEARINGS)
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LAND USE HEARING OFFICER HEARING
TRANSCRIPT OF TESTIMONY AND PROCEEDINGS

BEFORE: PAMELA JO HATLEY
Land Use Hearing Master

DATE: Monday, October 17, 2022

TIME: Commencing at 6:00 p.m.
Concluding at 9:10 p.m.

PLACE: Robert W. Saunders, Sr. Public
Library
Ada T. Payne Community Room
1505 N. Nebraska Avenue
Tampa, Florida 33602

Reported via Zoom Videoconference by:

Julie Desmond, Court Reporter
U.S. Legal Support

1 PD 22-0567. This application is not awarded.
2 The hearing is being continued to the November 14,
3 2022, Zoning Hearing Master Hearing.

4 Item A.2, Rezoning PD 22-0648, this
5 application is continued by the applicant to the
6 November 14, 2022, Zoning Hearing Master Hearing.

7 Item A.3, Major Mod Application 22-0671.
8 This application not awarded. The hearing is being
9 continued to the November 14, 2022, Zoning Hearing
10 Master Hearing.

11 Item A.4, Major Mod Application 22-0686. This
12 application not awarded. The hearing is being
13 continued to the November 14, 2022, Zoning Hearing
14 Master Hearing.

15 Item A.5, Rezoning PD 22-0696. This
16 application not awarded. The hearing is being
17 continued to the November 14, 2022, Zoning Hearing
18 Master Hearing.

19 Item A.6, Rezoning PD 22-0719. This
20 application not awarded. The hearing is being
21 continued to the November 14, 2022, Zoning Hearing
22 Master Hearing.

23 Item A.7, Rezoning PD 22-0856. This
24 application is not awarded. The hearing is being
25 continued to the December 12, 2022, Zoning Hearing

HILLSBOROUGH COUNTY, FLORIDA
BOARD OF COUNTY COMMISSIONERS

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ZONE HEARING MASTER)
HEARINGS)
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ZONING HEARING MASTER HEARING
TRANSCRIPT OF TESTIMONY AND PROCEEDINGS

BEFORE: PAMELA JO HATLEY
Land Use Hearing Master

DATE: Monday, September 19, 2022

TIME: Commencing at 6:00 p.m.
Concluding at 8:34 p.m.

PLACE: Robert W. Saunders, Sr. Public
Library
Ada T. Payne Community Room
1505 N. Nebraska Avenue
Tampa, Florida 33602

Reported via Cisco Webex Videoconference by:

Christina M. Walsh, RPR
Executive Reporting Service
Ulmerton Business Center
13555 Automobile Blvd., Suite 130
Clearwater, FL 33762
(800) 337-7740

1 October 17, 2022, Zoning Hearing Master Hearing.

2 Item A-4, Major Mod Application 22-0671.

3 This application is out of order to be heard and is
4 being continued to the October 17, 2022, Zoning
5 Hearing Master Hearing.

6 Item A-5, Major Mod Application 22-0686.

7 This application is being continued by the
8 applicant to the October 17, 2022, Zoning Hearing
9 Master Hearing.

10 Item A-6, Major Mod Application 22-0689.

11 This application is being continued by the
12 applicant to the October 17, 2022, Zoning Hearing
13 Master Hearing.

14 Item A-7, Rezoning-PD 22-0696. This
15 application is out of order to be heard and is
16 being continued to the October 17, 2022, Zoning
17 Hearing Master Hearing.

18 Item A-8, Rezoning-PD 22-0719. This
19 application is out of order to be heard and is
20 being continued to the October 17, 2022, Zoning
21 Hearing Master Hearing.

22 Item A-9, Rezoning-PD 22-0853. This
23 application is being continued by the applicant to
24 the November 14th, 2022, Zoning Hearing Master
25 Hearing.

HILLSBOROUGH COUNTY, FLORIDA
BOARD OF COUNTY COMMISSIONERS

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ZONE HEARING MASTER )
HEARINGS )
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ZONING HEARING MASTER HEARING
TRANSCRIPT OF TESTIMONY AND PROCEEDINGS

BEFORE: SUSAN FINCH
Land Use Hearing Master

DATE: Monday, July 25, 2022

TIME: Commencing at 6:00 p.m.
Concluding at 11:20 p.m.

PLACE: Robert W. Saunders, Sr. Public
Library
Ada T. Payne Community Room
1505 N. Nebraska Avenue
Tampa, Florida 33602

Reported via Cisco Webex Videoconference by:

Christina M. Walsh, RPR
Executive Reporting Service
Ulmerton Business Center
13555 Automobile Blvd., Suite 130
Clearwater, FL 33762
(800) 337-7740

1 being continued to the August 15, 2022, Zoning
2 Hearing Master Hearing.

3 Item A-20, Rezoning-PD 22-0688. This
4 application is being withdrawn from the Zoning
5 Hearing Master Hearing process.

6 Item A-21, Rezoning-PD 22-0692. This
7 application is being continued by the applicant to
8 the August 15, 2022, Zoning Hearing Master Hearing.

9 Item A-22, Rezoning-PD 22-0696. This
10 application is out of order to be heard and is
11 being continued to the August 15, 2022, Zoning
12 Hearing Master Hearing.

13 Item A-23, Rezoning-PD 22-0719. This
14 application is out of order to be heard and is
15 being continued to the September 19, 2022, Zoning
16 Hearing Master Hearing.

17 Item A-24, Rezoning-PD 22-0853. This
18 application is being continued by the applicant to
19 the August 15th, 2022, Zoning Hearing Master
20 Hearing.

21 Item A-28 [A-25], Rezoning-Pd 22-0857. This
22 application is out of order to be heard and is
23 being continued to the October 17, 2022, Zoning
24 Hearing Master Hearing.

25 Item A-26, Rezoning-PD 22-0859. This



**EXHIBITS SUBMITTED
DURING THE ZHM HEARING**

DATE/TIME: 1/17/23 HEARING MASTER: Susan FinchPLEASE **PRINT CLEARLY**, THIS INFORMATION WILL BE USED FOR MAILING

APPLICATION # 22-0075	PLEASE PRINT NAME <u>Kamala Corbett</u> MAILING ADDRESS <u>101 E Kennedy Blvd, Ste 3700</u> CITY <u>TAMPA</u> STATE <u>FL</u> ZIP <u>33607</u> PHONE <u>813-8421²²³⁻⁸⁴²¹</u>
APPLICATION # 22-0075	PLEASE PRINT NAME <u>James Anderson</u> MAILING ADDRESS <u>10514 Sedgebrook Drive</u> CITY <u>River view</u> STATE <u>FL</u> ZIP <u>33569</u> PHONE <u>727 430-3494</u>
APPLICATION # 22-0075	PLEASE PRINT NAME <u>Jane Graham</u> MAILING ADDRESS <u>737 Man Street Suite 100</u> CITY <u>Safety Harbor</u> STATE <u>FL</u> ZIP <u>34655</u> PHONE <u>727 291 9526</u>
APPLICATION # 22-0075 VS	PLEASE PRINT NAME <u>Ethel Hammer</u> MAILING ADDRESS <u>19825 Angel Lane</u> CITY <u>Odessa</u> STATE <u>FL</u> ZIP <u>33556</u> PHONE _____
APPLICATION # 22-0075	PLEASE PRINT NAME <u>Gary A. Gibbons</u> MAILING ADDRESS <u>800 29th AVE N, S</u> CITY <u>St. Petersburg</u> STATE <u>FL</u> ZIP <u>33704</u> PHONE <u>813-785-2028</u>
APPLICATION # 22-0075	PLEASE PRINT NAME <u>Ryan Brooks</u> MAILING ADDRESS <u>12714 Shadowcrest Ct</u> CITY <u>River view</u> STATE <u>FL</u> ZIP <u>33605</u> PHONE <u>813 215 7991</u>

DATE/TIME: 1/17/23

HEARING MASTER: Susan Finch

PLEASE PRINT CLEARLY, THIS INFORMATION WILL BE USED FOR MAILING

APPLICATION # 22-0075 VS	PLEASE PRINT NAME Sabine Prather MAILING ADDRESS 1601 Bentwood Drive CITY Sun City Center STATE FL ZIP 33573 PHONE
APPLICATION # 22-0075 VS	PLEASE PRINT NAME Jennifer Miller MAILING ADDRESS 13317 Waterford Run Drive CITY Riverview STATE FL ZIP 33569 PHONE
APPLICATION # 22-0075	PLEASE PRINT NAME STATE Henry MAILING ADDRESS 5023 W. LAUREL ST CITY TPA STATE FL ZIP 33607 PHONE 813-289-0059
APPLICATION # 22-0075	PLEASE PRINT NAME Abbey Naylor MAILING ADDRESS 14206 Tudor Chase Dr. CITY Tampa STATE FL ZIP 33616 PHONE 727-207-5525
APPLICATION # 22-0075	PLEASE PRINT NAME Trent Stephenson MAILING ADDRESS 505 E Jackson St #200 CITY Tampa STATE FL ZIP 33602 PHONE 813 375.0616
APPLICATION # 22-1591	PLEASE PRINT NAME Todd Pressman MAILING ADDRESS 200 2nd Ave S #451 CITY St. Petersburg STATE FL ZIP 33701 PHONE 727-304-1760

SIGN-IN SHEET: RFR, **ZHM** PHM, LUHO

PAGE 3 OF 9

DATE/TIME: 1/17/23

HEARING MASTER: Susan Finch

PLEASE PRINT CLEARLY, THIS INFORMATION WILL BE USED FOR MAILING

<p>APPLICATION # <u>22-1642</u></p>	<p>PLEASE PRINT NAME <u>Jeff Cathy</u> MAILING ADDRESS <u>1142 Wister Young Rd.</u> CITY <u>Lake Park</u> STATE <u>FL</u> ZIP <u>32403</u> PHONE <u>561-247-0362</u></p>
<p>APPLICATION # <u>22-0719</u></p>	<p>PLEASE PRINT NAME <u>SUNNY SA</u> MAILING ADDRESS <u>19903 Maple St.</u> CITY <u>Gubersville</u> STATE <u>FL</u> ZIP <u>33584</u> PHONE <u>873-2055727</u></p>
<p>APPLICATION # <u>22-0719</u></p>	<p>PLEASE PRINT NAME <u>Grace McLomas</u> MAILING ADDRESS <u>805 Old Darby St</u> CITY <u>Seffner</u> STATE <u>FL</u> ZIP <u>33584</u> PHONE <u>813-240-3907</u></p>
<p>APPLICATION # <u>22-0719</u></p>	<p>PLEASE PRINT NAME <u>Elizabeth Bslchsk</u> MAILING ADDRESS <u>5 x smpt</u> CITY <u>5 mail Eibslchsk</u> STATE <u>FL</u> ZIP <u>Att. Nst</u> PHONE <u>(813) 468-7902</u></p>
<p>APPLICATION # <u>22-0857</u></p>	<p>PLEASE PRINT NAME <u>Roger GRUNKE</u> MAILING ADDRESS <u>2708 N Elmora Ave</u> CITY <u>Tpa</u> STATE <u>FL</u> ZIP <u>33602</u> PHONE <u>813-679-2945</u></p>
<p>APPLICATION # <u>22-0857</u></p>	<p>PLEASE PRINT NAME <u>Marla Frazer</u> MAILING ADDRESS <u>11215 Davis Rd</u> CITY <u>Tpa</u> STATE <u>FL</u> ZIP <u>33637</u> PHONE <u>813-777-9931</u></p>

SIGN-IN SHEET: RFR, **ZHM** PHM, LUHO

PAGE 4 OF 9

DATE/TIME: 1/17/23

HEARING MASTER: Susan Finch

PLEASE PRINT CLEARLY. THIS INFORMATION WILL BE USED FOR MAILING

<p>APPLICATION # <u>22-0857</u></p>	<p>PLEASE PRINT NAME <u>FLORENCE BARBER-HANCOCK</u> MAILING ADDRESS <u>21004 NEGRIL CT.</u> CITY <u>LUTZ</u> STATE <u>FL</u> ZIP <u>33558</u> PHONE ⁸¹³ <u>948-7597</u></p>
<p>APPLICATION # <u>22-0857</u></p>	<p>PLEASE PRINT NAME <u>Theresa L Maide</u> MAILING ADDRESS <u>11107 Davis Rd</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33637</u> PHONE <u>813-985-6190</u></p>
<p>APPLICATION # <u>22-0866</u></p>	<p>PLEASE PRINT NAME <u>Kamala Corbett</u> MAILING ADDRESS <u>101 E Kennedy Blvd Ste 3700</u> CITY <u>TAMPA</u> STATE <u>FL</u> ZIP <u>33602</u> PHONE <u>813-847-8421</u></p>
<p>APPLICATION # <u>22-1226</u></p>	<p>PLEASE PRINT NAME <u>Kamela Corbett</u> MAILING ADDRESS <u>101 E Kennedy Blvd Ste 3700</u> CITY <u>TAMPA</u> STATE <u>FL</u> ZIP <u>33602</u> PHONE <u>813-227-8421</u></p>
<p>APPLICATION # <u>22-1226</u></p>	<p>PLEASE PRINT NAME <u>JOE HENRY</u> MAILING ADDRESS <u>503 W. LAMAR ST</u> CITY <u>TPA</u> STATE <u>FL</u> ZIP <u>33607</u> PHONE <u>813-789-0039</u></p>
<p>APPLICATION # <u>22-1228</u></p>	<p>PLEASE PRINT NAME <u>Elise Betsel</u> MAILING ADDRESS <u>401 E. Jackson St. Tampa</u> CITY <u>T</u> STATE <u>FL</u> ZIP <u>06</u> PHONE ⁸¹³⁻²²²⁻ <u>5057</u></p>

SIGN-IN SHEET: RFR, **ZHM** PHM, LUHO

PAGE 5 OF 9

DATE/TIME: 1/17/23

HEARING MASTER: Susan Finch

PLEASE PRINT CLEARLY. THIS INFORMATION WILL BE USED FOR MAILING

<p>APPLICATION # <u>22-1228</u></p>	<p>PLEASE PRINT NAME <u>David M. Smith</u></p> <p>MAILING ADDRESS <u>401 E. Jackson Street Suite 2100</u></p> <p>CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33601</u> PHONE <u>813 222-5010</u></p>
<p>APPLICATION # <u>22-1228</u></p>	<p>PLEASE PRINT NAME <u>Steve Henry</u></p> <p>MAILING ADDRESS <u>5023 W. LAUREL ST</u></p> <p>CITY <u>TPA</u> STATE <u>FL</u> ZIP <u>33607</u> PHONE <u>813-289-6039</u></p>
<p>APPLICATION # <u>22-1228</u> <u>VS</u></p>	<p>PLEASE PRINT NAME <u>Katie Russo</u></p> <p>MAILING ADDRESS <u>400 N. Ashley Drive #2820</u></p> <p>CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33602</u> PHONE _____</p>
<p>APPLICATION # <u>22-1228</u></p>	<p>PLEASE PRINT NAME <u>SMERRI SOUTHWELL</u></p> <p>MAILING ADDRESS <u>552 FRANDER PL</u></p> <p>CITY <u>Apollo Beach</u> STATE <u>FL</u> ZIP <u>33572</u> PHONE <u>813 410 7027</u></p>
<p>APPLICATION # <u>22-1228</u></p>	<p>PLEASE PRINT NAME <u>Jeanine Lussier</u></p> <p>MAILING ADDRESS <u>477 Flamingo Drive</u></p> <p>CITY <u>Apollo Beach</u> STATE <u>FL</u> ZIP <u>33572</u> PHONE <u>813-992 7023</u></p>
<p>APPLICATION # <u>22-1228</u></p>	<p>PLEASE PRINT NAME <u>Stark Finby</u></p> <p>MAILING ADDRESS <u>815 Islebay Dr</u></p> <p>CITY <u>Apollo Beach</u> STATE <u>FL</u> ZIP <u>33572</u> PHONE <u>813-441-3980</u></p>

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HEARING MASTER: Susan Finch

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<p>APPLICATION # <u>22-1228</u></p>	<p>PLEASE PRINT NAME <u>Kim PLANT</u></p> <p>MAILING ADDRESS <u>1029 APOLLO BEACH BLVD APT 4</u></p> <p>CITY <u>APOLLO BEACH</u> STATE <u>FL</u> ZIP <u>33572</u> PHONE <u>813-394-2047</u></p>
<p>APPLICATION # <u>22-1228</u> <u>VS</u></p>	<p>PLEASE PRINT NAME <u>Laura Shepherd</u></p> <p>MAILING ADDRESS <u>5218 Point Harbor Lane</u></p> <p>CITY <u>Apollo Beach</u> STATE <u>FL</u> ZIP <u>33572</u> PHONE _____</p>
<p>APPLICATION # <u>22-1228</u> <u>VS</u></p>	<p>PLEASE PRINT NAME <u>Nicole Cameron</u></p> <p>MAILING ADDRESS <u>5414 Conch Shell Place</u></p> <p>CITY <u>Apollo Beach</u> STATE <u>FL</u> ZIP <u>33572</u> PHONE _____</p>
<p>APPLICATION # <u>22-1229</u></p>	<p>PLEASE PRINT NAME <u>Kamala Corbett</u></p> <p>MAILING ADDRESS <u>14 E Kennedy Blvd Ste 100</u></p> <p>CITY <u>TAMPA</u> STATE <u>FL</u> ZIP <u>33602</u> PHONE <u>813-227-8121</u></p>
<p>APPLICATION # <u>22-1229</u></p>	<p>PLEASE PRINT NAME <u>Stephen Sposato</u></p> <p>MAILING ADDRESS <u>505 E Jackson St</u></p> <p>CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33602</u> PHONE <u>813-375-0616</u></p>
<p>APPLICATION # <u>22-1229</u></p>	<p>PLEASE PRINT NAME <u>STEVE HENRY</u></p> <p>MAILING ADDRESS <u>5023 W. LAMAR ST</u></p> <p>CITY <u>TDA</u> STATE <u>FL</u> ZIP <u>33607</u> PHONE <u>813-289-0029</u></p>

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<p>APPLICATION # 22-1229</p>	<p>PLEASE PRINT NAME Alan Daoud MAILING ADDRESS 3007 Drake Landing Ct CITY Valrico STATE FL ZIP 33596 PHONE 813-789-2707</p>
<p>APPLICATION # 22-1229</p>	<p>PLEASE PRINT NAME Todd Pressman MAILING ADDRESS 200 2nd Ave S #451 CITY Ft. Leakes STATE FL ZIP 33707 PHONE 727-304-1760</p>
<p>APPLICATION # 22-1229</p>	<p>PLEASE PRINT NAME Wendy Oliverio MAILING ADDRESS 717 Bryan Rd CITY Brandon STATE FL ZIP 33511 PHONE 813-695-2482</p>
<p>APPLICATION # 22-1229</p>	<p>PLEASE PRINT NAME Dina Cagnina MAILING ADDRESS 713 Coulter Place CITY Brandon STATE FL ZIP 33511 PHONE 813-546-5433</p>
<p>APPLICATION # 22-1229</p>	<p>PLEASE PRINT NAME Lisa Dersmore MAILING ADDRESS 703 Coulter Place CITY Brandon STATE FL ZIP 33511 PHONE 813-601-2782</p>
<p>APPLICATION # 22-1229</p>	<p>PLEASE PRINT NAME Lisa Knox MAILING ADDRESS 508 S. Bryan Cir CITY Brandon STATE FL ZIP 33511 PHONE 352-339-3140</p>

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Susan Finch

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<p>APPLICATION # <u>22-1338</u></p>	<p>PLEASE PRINT NAME <u>Elisa Batsal</u></p> <p>MAILING ADDRESS <u>401 E Jackson St.</u></p> <p>CITY <u>Tampa</u> STATE _____ ZIP <u>33602</u> PHONE <u>813 222 3057</u></p>
<p>APPLICATION # <u>22-1338</u></p>	<p>PLEASE PRINT NAME <u>David M. Smith</u></p> <p>MAILING ADDRESS <u>401 E. Jackson Street Suite 2100</u></p> <p>CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33601</u> PHONE <u>813 222 5010</u></p>
<p>APPLICATION # <u>22-1338</u></p>	<p>PLEASE PRINT NAME <u>PAT KILMER</u></p> <p>MAILING ADDRESS <u>7025 ADEEN ST</u></p> <p>CITY <u>TAMPA</u> STATE <u>FL</u> ZIP <u>33617</u> PHONE <u>407 36-5331</u></p>
<p>APPLICATION # <u>22-1338</u></p>	<p>PLEASE PRINT NAME <u>Claude-Perrette Conzé</u></p> <p>MAILING ADDRESS <u>4512 Porpoise Drive</u></p> <p>CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33617</u> PHONE <u>813 956 1751</u></p>
<p>APPLICATION # <u>22-1338</u></p>	<p>PLEASE PRINT NAME <u>TIM McMURRY</u></p> <p>MAILING ADDRESS <u>8019 PAULSON LN</u></p> <p>CITY <u>TAMPA</u> STATE <u>FL</u> ZIP <u>33617</u> PHONE <u>813 948 8762</u></p>
<p>APPLICATION # <u>22-1338</u></p>	<p>PLEASE PRINT NAME <u>SARA McMURRY</u></p> <p>MAILING ADDRESS <u>8019 PAULSON LANE</u></p> <p>CITY <u>TAMPA</u> STATE <u>FL</u> ZIP <u>33617</u> PHONE <u>813-263-7279</u></p>

SIGN-IN SHEET: RFR, **ZHM**, PHM, LUHO

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DATE/TIME: _____

HEARING MASTER: Susan Finch

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<p>APPLICATION # 22-1378</p>	<p>PLEASE PRINT NAME <u>Jeremy Couch</u></p> <p>MAILING ADDRESS <u>17937 Hunting Bow Circle</u></p> <p>CITY <u>Lutz</u> STATE <u>FL</u> ZIP <u>33558</u> PHONE <u>813 920 2005</u></p>
<p>APPLICATION # 22-1387</p>	<p>PLEASE PRINT NAME <u>Kamala Corbett</u></p> <p>MAILING ADDRESS <u>101 2 Kennedy Blvd</u></p> <p>CITY <u>MVA</u> STATE <u>FL</u> ZIP <u>33602</u> PHONE <u>813-227-8421</u></p>
<p>APPLICATION # 22-1387 VS</p>	<p>PLEASE PRINT NAME <u>Michael Ball</u></p> <p>MAILING ADDRESS <u>16545 South US Highway 301</u></p> <p>CITY <u>Wimauma</u> STATE <u>FL</u> ZIP <u>33598</u> PHONE _____</p>
<p>APPLICATION # 22-1387</p>	<p>PLEASE PRINT NAME <u>Steve Henry</u></p> <p>MAILING ADDRESS <u>5023 W. LAUREL ST</u></p> <p>CITY <u>TPA</u> STATE <u>FL</u> ZIP <u>33607</u> PHONE <u>813-289-0039</u></p>
<p>APPLICATION # 22-1499</p>	<p>PLEASE PRINT NAME <u>Addie Clark</u></p> <p>MAILING ADDRESS <u>400 N. Ashley Dr.</u></p> <p>CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33603</u> PHONE <u>561-319-9759</u></p>
<p>APPLICATION #</p>	<p>PLEASE PRINT NAME _____</p> <p>MAILING ADDRESS _____</p> <p>CITY _____ STATE _____ ZIP _____ PHONE _____</p>

HEARING TYPE: **ZHM**, PHM, VRH, LUHO

DATE: January 17, 2022

HEARING MASTER: Susan Finch

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APPLICATION #	SUBMITTED BY	EXHIBITS SUBMITTED	HRG. MASTER YES OR NO
RZ 22-0075	James Anderson	1. Opposition Presentation Packet	No
RZ 22-0075	Ethel Hammer	2. Opposition Presentation Packet	No
RZ 22-0075	Gary Gibbons	3. Opposition Presentation Packet	No
RZ 22-0075	Ryan Brooks	4. Opposition Presentation Packet	No
RZ 22-0075	Jennifer Miller	5. Opposition Presentation Packet	No
RZ 22-0075	Kami Corbett	6. Applicant Presentation Packet	No
RZ 22-0075	Steve Henry	7. Applicant Presentation Packet	No
RZ 22-1591	Todd Pressman	1. Applicant Presentation Packet	No
RZ 22-0719	Grace McComas	1. Opposition Presentation Packet	No
RZ 22-0719	Sunny Sia	2. Applicant Presentation Packet	No
RZ 22-0866	Kami Corbett	1. Applicant Presentation Packet	No
RZ 22-1226	Brian Grady	1. Staff Report	Yes (copy)
RZ 22-1226	Kami Corbett	2. Applicant Presentation Packet	No
MM 22-1228	Brian Grady	1. Staff Report	No
MM 22-1228	Sherri Southwell	2. Opposition Presentation Packet	No
MM 22-1228	David Smith	3. Applicant Presentation Packet	No
RZ 22-1229	Stephen Sposato	1. Applicant Presentation Packet	No
RZ 22-1229	Steve Henry	2. Applicant Presentation Packet	No
RZ 22-1229	Todd Pressman	3. Opposition Presentation Packet	No
RZ 22-1229	Wendy Oliverio	4. Opposition Presentation Packet	No
RZ 22-1229	Lisa Knox	5. Opposition Presentation Packet	No
RZ 22-1229	Kami Corbett	6. Applicant Presentation Packet	No
RZ 22-1338	Elise Batsel	1. Applicant Presentation Packet	No
RZ 22-1338	Brian Grady	2. Staff Report	No
RZ 22-1387	Kami Corbett	1. Applicant Presentation Packet	No
RZ 22-1387	Brian Grady	2. Staff Report	No
RZ 22-1387	Steve Henry	3. Applicant Presentation Packet	No
RZ 22-1499	Brian Grady	1. Staff Report	No

JANUARY 17, 2023 - ZONING HEARING MASTER

The Zoning Hearing Master (ZHM), Hillsborough County, Florida, met in Regular Meeting, scheduled for Tuesday, January 17, 2023, at 6:00 p.m., in the Boardroom, Frederick B. Karl County Center, Tampa, Florida, and held virtually.

▶ Susan Finch, ZHM, calls the meeting to order, leads in the pledge of allegiance to the flag, and introduces Development Services.

A. WITHDRAWALS AND CONTINUANCES

▶ Brian Grady, Development Services, introduces staff and reviews changes/withdrawals/continuances.

▶ Susan Finch, ZHM, overview of ZHM process.

▶ Cameron Clark, Senior Assistant County Attorney, overview of oral argument/ZHM process.

▶ Susan Finch, ZHM, Oath.

B. REMANDS

B.1. RZ 22-0075

▶ Brian Grady, Development Services, calls RZ 22-0075.

▶ Cameron Clark, Senior Assistant County Attorney, statement for record.

▶ Kami Corbett, applicant rep, presents testimony.

▶ Israel Monsanto, Development Services, staff report.

▶ Jillian Massey, Planning Commission, staff report.

▶ Susan Finch, ZHM, calls proponents/opponents

▶ Jane Graham, opponent, presents testimony.

▶ James Anderson, opponent, presents testimony.

▶ Ethel Hammer, opponent, presents testimony.

▶ Gary Gibbons, opponent, presents testimony.

▶ Ryan Brooks, opponent, presents testimony.

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- ▶ Sabine Prather, opponent, technical difficulties.
- ▶ Jennifer Miller, opponent, presents testimony.
- ▶ Susan Finch, ZHM, questions to opponent and County Attorney.
- ▶ Cameron Clark, Senior Assistant County Attorney, answers ZHM questions.
- ▶ Sabine Prather, opponent, technical difficulties.
- ▶ Jane Graham, opponent, questions to County Attorney.
- ▶ Cameron Clark, Senior Assistant County Attorney, answers opponent questions.
- ▶ Jane Graham, opponent, questions to ZHM.
- ▶ Susan Finch, ZHM, answers opponent questions.
- ▶ Sabine Prather, opponent, presents testimony.
- ▶ Susan Finch, ZHM, calls Development Services/applicant rep.
- ▶ Kami Corbett, applicant rep, provides rebuttal
- ▶ Steve Henry, applicant rep, provides rebuttal.
- ▶ Abbey Naylor, applicant rep, provides rebuttal.
- ▶ Trent Stephenson, applicant rep, provides rebuttal.
- ▶ Kami Corbett, applicant rep, continues rebuttal.
- ▶ Susan Finch, ZHM, closes RZ 22-0075.

C. REZONING STANDARD (RZ-STD):

C.1. RZ 22-1591

- ▶ Brian Grady, Development Services, calls RZ 22-1591.
- ▶ Todd Pressman, applicant rep, presents testimony.
- ▶ Susan Finch, ZHM, questions to applicant rep and Development Services.

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- ▶ Brian Grady, Development Services, answers ZHM questions.
- ▶ Todd Pressman, applicant rep, answers ZHM questions and continues testimony.
- ▶ Susan Finch, ZHM, questions to applicant rep.
- ▶ Todd Pressman, applicant rep, answers ZHM questions.
- ▶ Isis Brown, Development Services, staff report.
- ▶ Susan Finch, ZHM, questions to Development Services.
- ▶ Isis Brown, Development Services, answers ZHM questions.
- ▶ Brian Grady, Development Services, statement for record.
- ▶ Jillian Massey, Planning Commission, statement for record.
- ▶ Susan Finch, ZHM, questions to Planning Commission.
- ▶ Jillian Massey, Planning Commission, answers ZHM questions and staff report.
- ▶ Susan Finch, ZHM, calls proponents/opponents.
- ▶ Susan Finch, ZHM, questions to Development Services.
- ▶ Brian Grady, Development Services, answers ZHM questions.
- ▶ Susan Finch, ZHM, questions to applicant rep.
- ▶ Todd Pressman, applicant rep, answers ZHM questions and provides rebuttal.
- ▶ Susan Finch, ZHM, closes RZ 22-1591.

C.2. RZ 22-1642

- ▶ Brian Grady, Development Services, calls RZ 22-1642.
- ▶ Jeff Cathey, applicant rep, presents testimony.
- ▶ Isis Brown, Development Services, staff report.

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▶ Jillian Massey, Planning Commission, staff report.

▶ Susan Finch, ZHM, calls proponents/opponents/Development Services/applicant rep/closes RZ 22-1642.

D. REZONING-PLANNED DEVELOPMENT (RZ-PD) & MAJOR MODIFICATION (MM):

D.1. RZ 22-0719

▶ Brian Grady, Development Services, calls RZ 22-0719.

▶ Sunny Sia, applicant rep, presents testimony.

▶ Tim Lampkin, Development Services, staff report.

▶ Jillian Massey, Planning Commission, staff report.

▶ Susan Finch, ZHM, calls proponents/opponents.

▶ Grace McComas, opponent, presents testimony.

▶ Elizabeth Belcher, opponent, presents testimony.

▶ Susan Finch, ZHM, calls Development Services/applicant rep.

▶ Sunny Sia, applicant rep, provides rebuttal.

▶ Susan Finch, ZHM, closes RZ 22-0719.

D.2. RZ 22-0857

▶ Brian Grady, Development Services, calls RZ 22-0857.

▶ Marla Frazer, applicant rep, presents testimony.

▶ Roger Grunke, applicant rep, presents testimony.

▶ Michelle Heinrich, Development Services, staff report.

▶ Jillian Massey, Planning Commission, staff report.

▶ Susan Finch, ZHM, calls proponents.

▶ Florence Hancock, proponent, presents testimony.

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- ▶ Susan Finch, ZHM, calls opponents.
- ▶ Theresa Maida, opponent, presents testimony.
- ▶ Susan Finch, ZHM, questions to opponent.
- ▶ Theresa Maida, opponent, answers ZHM questions and continues testimony.
- ▶ Susan Finch, ZHM, calls Development Services.
- ▶ Brian Grady, Development Services, statement for record.
- ▶ Susan Finch, ZHM, questions to Development Services.
- ▶ Michelle Heinrich, Development Services, answers ZHM questions.
- ▶ Susan Finch, ZHM, calls applicant rep.
- ▶ Marla Frazer, applicant rep, provides rebuttal.
- ▶ Roger Grunke, applicant rep, provides rebuttal.
- ▶ Susan Finch, ZHM, closes RZ 22-0857.

D.3. RZ 22-0866

- ▶ Brian Grady, Development Services, calls RZ 22-0866.
- ▶ Kami Corbett, applicant rep, presents testimony.
- ▶ Tim Lampkin, Development Services, staff report.
- ▶ Jillian Massey, Planning Commission, staff report.
- ▶ Susan Finch, ZHM, calls proponents/opponents/Development Services /applicant rep/closes RZ 22-0866.

D.4. RZ 22-1226

- ▶ Brian Grady, Development Services, calls RZ 22-1226.
- ▶ Kami Corbett, applicant rep, presents testimony.
- ▶ Susan Finch, ZHM, questions to Development Services.

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- ▶ Brian Grady, Development Services, answers ZHM.
- ▶ Susan Finch, ZHM, requests information to be added to staff report.
- ▶ Tania Chapela, Development Services, staff report.
- ▶ Susan Finch, ZHM, questions to Development Services.
- ▶ Tania Chapela, Development Services, answers ZHM questions.
- ▶ Alex Steady, Development Services Transportation, answers ZHM questions.
- ▶ Susan Finch, ZHM, requests additional information to be added to staff report.
- ▶ Brian Grady, Development Services, statement for record.
- ▶ Jillian Massey, Planning Commission, staff report.
- ▶ Susan Finch, ZHM, calls proponents/opponents/Development Services/applicant rep.
- ▶ Kami Corbett, applicant rep, provides rebuttal.
- ▶ Steve Henry, applicant rep, provides rebuttal.
- ▶ Susan Finch, ZHM, closes RZ 22-1226.

D.5. MM 22-1228

- ▶ Brian Grady, Development Services, calls MM 22-1228.
- ▶ Elise Batsel, applicant rep, presents testimony.
- ▶ David Smith, applicant rep, presents testimony.
- ▶ Steve Henry, applicant rep, presents testimony.
- ▶ Elise Batsel, applicant rep, continues testimony.
- ▶ Susan Finch, ZHM, questions to applicant rep.
- ▶ Elise Batsel, applicant rep, answers ZHM questions.

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- ▶ Steve Henry, applicant rep, answers ZHM questions.
- ▶ Sam Ball, Development Services, staff report.
- ▶ Susan Finch, ZHM, questions to Development Services.
- ▶ James Ratliff, Development Services Transportation, answers ZHM questions.
- ▶ Elise Batsel, applicant rep, answers ZHM questions.
- ▶ Jillian Massey, Planning Commission, staff report.
- ▶ Susan Finch, ZHM, calls proponents.
- ▶ Katie Russo, proponent, presents testimony.
- ▶ Susan Finch, ZHM, calls opponents.
- ▶ Sherri Southwell, opponent, presents testimony.
- ▶ Jeanine Lussier, opponent, presents testimony.
- ▶ Steven Finley, opponent, presents testimony.
- ▶ Kim Plant, opponent, presents testimony.
- ▶ Laura Shepherd, opponent, presents testimony.
- ▶ Nicole Cameron, opponent, presents testimony.
- ▶ Susan Finch, ZHM, calls Development Services.
- ▶ Elise Batsel, applicant rep, questions to Development Services.
- ▶ Susan Finch, ZHM, questions to applicant rep.
- ▶ Brian Grady, Development Services, answers applicant rep and ZHM questions.
- ▶ Elise Batsel, applicant rep, provides rebuttal.
- ▶ Susan Finch, ZHM, closes MM 22-1228.

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D.6. RZ 22-1229

- ▶ Brian Grady, Development Services, calls RZ 22-1229.
- ▶ Kami Corbett, applicant rep, presents testimony.
- ▶ Steven Sposato, applicant rep, presents testimony.
- ▶ Steve Henry, applicant rep, presents testimony.
- ▶ Michelle Heinrich, Development Services, staff report.
- ▶ Jillian Massey, Planning Commission, staff report.
- ▶ Susan Finch, ZHM, calls proponents.
- ▶ Alan Daoud, proponent, presents testimony.
- ▶ Susan Finch, ZHM, calls opponents.
- ▶ Todd Pressman, opponent, presents testimony.
- ▶ Wendy Oliviero, opponent, presents testimony.
- ▶ Dina Cagnina, opponent, presents testimony.
- ▶ Lisa Dunsmore, opponent, presents testimony.
- ▶ Lisa Knox, opponent, presents testimony.
- ▶ Susan Finch, ZHM, calls Development Services/applicant rep.
- ▶ Steve Henry, applicant rep, provides rebuttal.
- ▶ Kami Corbett, applicant rep, provides rebuttal.
- ▶ Susan Finch, ZHM, closes RZ 22-1229.

D.7. RZ 22-1338

- ▶ Brian Grady, Development Services, calls RZ 22-1338.
- ▶ Elise Batsel, applicant rep, presents testimony.
- ▶ David Smith, applicant rep, presents testimony.

TUESDAY, JANUARY 17, 2023

- ▶ Susan Finch, ZHM, questions to applicant rep.
- ▶ David Smith, applicant rep, answers ZHM questions and continues testimony.
- ▶ Elise Batsel, applicant rep, continues testimony.
- ▶ Michelle Heinrich, Development Services, staff report.
- ▶ Susan Finch, ZHM, questions to Development Services.
- ▶ Michelle Heinrich, Development Services, answers ZHM questions.
- ▶ Jillian Massey, Planning Commission, staff report.
- ▶ Susan Finch, ZHM, questions to Planning Commission.
- ▶ Jillian Massey, Planning Commission, answers ZHM questions.
- ▶ Susan Finch, ZHM, questions to County Attorney.
- ▶ Cameron Clark, Senior Assistant County Attorney, answers ZHM questions.
- ▶ Jillian Massey, Planning Commission, answers ZHM questions.
- ▶ Susan Finch, ZHM, calls proponents/opponents.
- ▶ Pat Kilker, opponent, presents testimony.
- ▶ Claude-Penrette Conze, opponent, presents testimony.
- ▶ Tim McMurry, opponent, presents testimony.
- ▶ Sara McMurry, opponent, presents testimony.
- ▶ Susan Finch, ZHM, calls Development Services.
- ▶ Alex Steady, Development Services Transportation, statement for record.
- ▶ Susan Finch, ZHM, calls applicant rep.
- ▶ Elise Batsel, applicant rep, provides rebuttal.
- ▶ Jeremy Couch, applicant rep, provides rebuttal.

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▶ Elise Batsel, applicant rep, continues rebuttal.

▶ Susan Finch, ZHM, closes RZ 22-1338.

D.8. RZ 22-1387

▶ Brian Grady, Development Services, calls RZ 22-1387.

▶ Kami Corbett, applicant rep, presents testimony.

▶ Tania Chapela, Development Services, staff report.

▶ Jillian Massey, Planning Commission, staff report.

▶ Susan Finch, ZHM, calls proponents/opponents.

▶ Michael Ball, opponent, presents testimony.

▶ Brian Grady, Development Services, asks opponent to read letter into record.

▶ Michael Ball, opponent, reads letter into record.

▶ Susan Finch, ZHM, calls Development Services/applicant rep.

▶ Steven Henry, applicant rep, provides rebuttal.

▶ Kami Corbett, applicant rep, provides rebuttal.

▶ Steve Henry, applicant rep, continues rebuttal.

▶ Kami Corbett, applicant rep, continues rebuttal.

▶ Susan Finch, ZHM, closes RZ 22-1387.

D.9. RZ 22-1499

▶ Brian Grady, Development Services, calls RZ 22-1499.

▶ Addie Clark, applicant rep, presents testimony.

▶ Chris Grandlienard, Development Services, staff report.

▶ Jillian Massey, Planning Commission, staff report.

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▶ Susan Finch, ZHM, calls proponents/opponents/Development Services/applicant rep/closes RZ 22-1499.

ADJOURNMENT

▶ Susan Finch, ZHM, adjourns meeting.

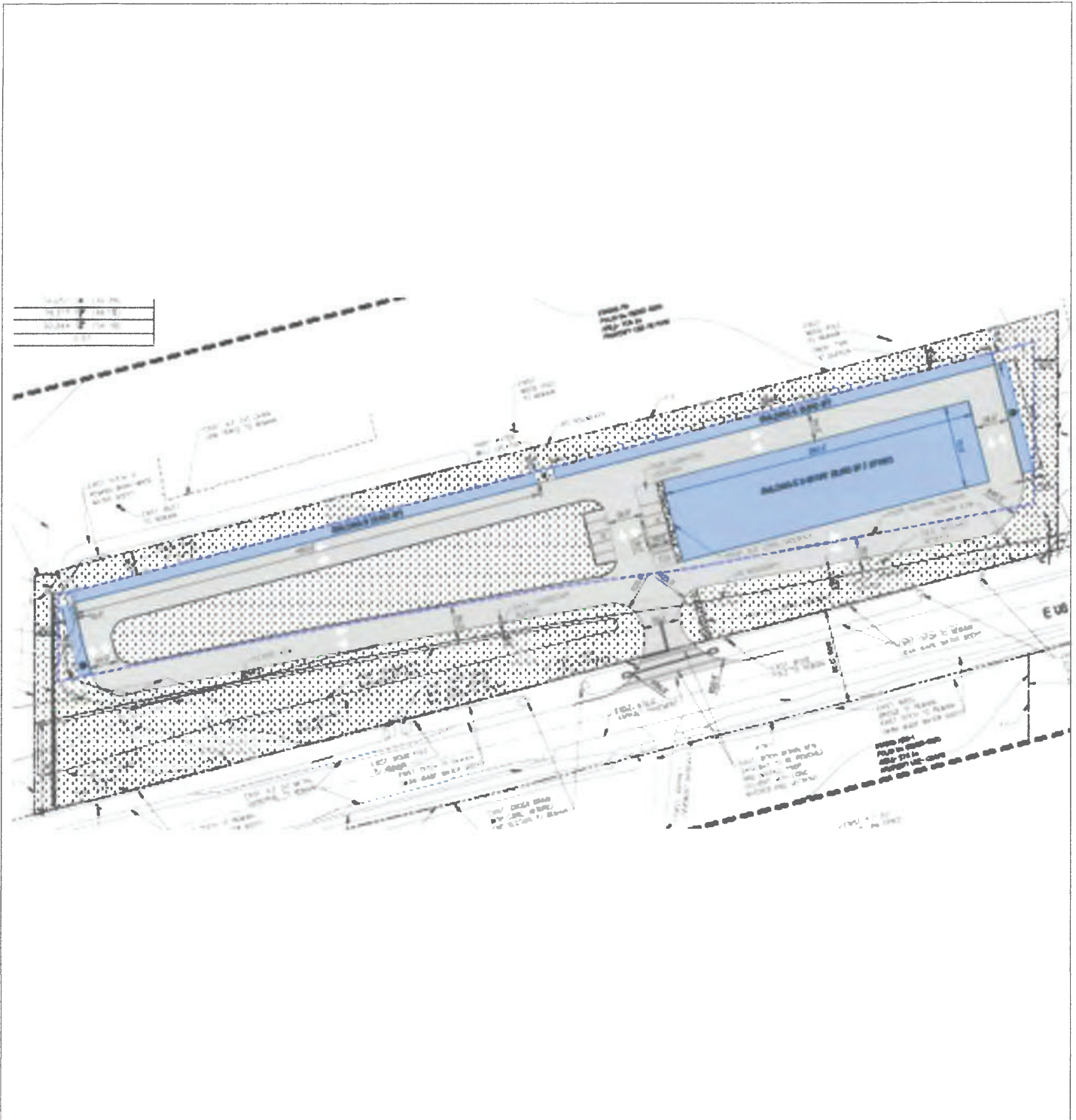


Adjacent Zonings and Uses

Location:	Zoning:	Maximum Density/F.A.R. Permitted by Zoning District:	Allowable Use:	Existing Use:
North	PD 86-0056 / 93-0097	Max. 2 /ac. per 93-0097	RV / MH	RV / MH
South	PD 86-0149 and AR	AR / ASC-1	SF / Agricultural	SF / Agricultural
East	PD 86-0056 / 93-0097	Max. 2 /ac. per 93-0097	RV / MH	RV / MH
West	PD 86-0056 / 93-0097	Max. 2 /ac. per 93-0097	RV / MH	RV / MH

Application No. R2 22-0719
 Name: Grace McComas
 Entered at Public Hearing: ZHM
 Exhibit # 1 Date: 1/17/2023

2.4 Proposed Site Plan (partial provided below for size and orientation purposes. See Section 8.0 for full site plan)



Application No. RZ 22-0179
Name: Sunny Sia
Entered at Public Hearing: ZHM
Exhibit # 2 Date: 1/17/2023

SUNNY SELF STORAGE

REZONING PD 22-0179

ANA Realty LLC

SUNNY SELF STORAGE

PD 22-0719

• Presenter--

Mr.Sunny Sia—MBA, MSN
President, ANA Realty LLC

Planners--

Patricia Bosch, PE
Alejandro Bosch, PE
Bosch Engineering Inc

Traffic analyst--

Michael Yates,
Palm Traffic Inc

Builders--

Trachte INC
BETCo, INC

SUNNY SELF STORAGE

PD 22-0719

Request for rezoning from RSC-4 to PD mini warehouse

- Total sq footage is 65,000 comprising of 1 three-story building and 4 single story bldgs.
 - Initially, we plan to build a strip mall early 2022. We were told that Seffner Mango Community Plan does not allow strip mall retail establishments.
 - After several iteration and abiding by the PC initial comments, we decided on building a self storage facility
 - Mini warehousing is more environmentally friendly (no residential development);
 - less traffic intensive; less impact on water resources and waste management
 - More compatible with the needs of the immediate residences (RV park), agricultural firms, school system and businesses.
 - No Miniwarehouse facility within the 3 mile radius
-

SUNNY SELF STORAGE

PD 22-0719

Transportation Agency has no objection

- Our Mini-Storage Proposal will have peak AM Trip of 7 and PM trip of 10, which are lower than RSC-4 AM trip of 12 and PM trip of 16 (-5 and -6 lower respectively which is 46% lower)
 - 24 hour 2 way traffic volume for RSC-4 is 151 while for our PD mini storage, it is 91.
-

SUNNY SELF STORAGE

PD 22-0719

FDOT comments have no objections

FDOT future widening

- US 92 will be widened to a four lane roadway from east of McIntosh Road to west of Gallagher Rd.
- McIntosh Road will be widened to a four lane road from north of I-4 to south of US 92.
- No timeline yet for this widening

Our site plans will have reservation for future right of way, in addition to the required buffering.

SUNNY SELF STORAGE

PD 22-0719

Environmental (EPC)

- No objections from EPC with conditions which we will abide
 - Wetland is .13 acre out of 3.94 acre
 - Acc to EPC that wetland area is also a historical man-made ditch and therefore qualifies for a noticed of exemption
-

SUNNY SELF STORAGE

PD 22-0719

Development Services Dept comments states “unsupported” due to Planning Commission comments but has no objection per conditions

- We will be abiding by their proposed conditions per their comments on OPTIX

SUNNY SELF STORAGE

PD 22-0719

Our parcel abides by Commercial Locational Criteria

- Our parcel is located within 900 ft per policy from McIntosh and US 92. Easternmost is 514 ft from corner. **56% of our frontage falls under this criteria.**
 - Various parcels adjacent to our land are either PD, CG, or CI
 - 5,000 ft East of our land, is PD 12-0512 approved for a residential subdivision with 90,000 sq ft of commercial general property
 - Refuting their rural definition—US 92 Daily traffic has 11,100 VPD in 2021
 - I-4 daily (half mile from parcel) has 139,000 VPD
 - FDOT future widening to 4 lane main thoroughfare
 - Future Land Use is SMU-6
-

REBUTTAL TO PLANNING COMMISSION

- Pushing that we are in the Seffner-Mango Rural Community Plan.
 - “Our parcel is neither in Seffner, neither in Mango, nor are we located in a Rural area.”
 - Exh A is the Hillsborough County Assessor’s Office having our site address as Dover, Fl
 - For SMU-6, FAR is 0.35 but can be as high as 0.5 for light industry. Exh B
-

SUNNY SELF STORAGE

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- Our parcel is located within 900 ft per policy from McIntosh and US 92. Easternmost is 514 ft from corner. **56% of our frontage falls under this criteria.**
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 - 1.4 daily (half mile from parcel) has 139,000 VPD
 - FDOT future widening to 4 lane main thoroughfare
 - Future Land Use is SMU-6
-

Planning Information Map App (PIMA)

About * Help * Contact

Street View Print

Bird's Eye

Parcel Landuse

Zoom To

Basemaps

Map Layers

Data Layers

Layer Tools

Which Data Set would you like to work with?

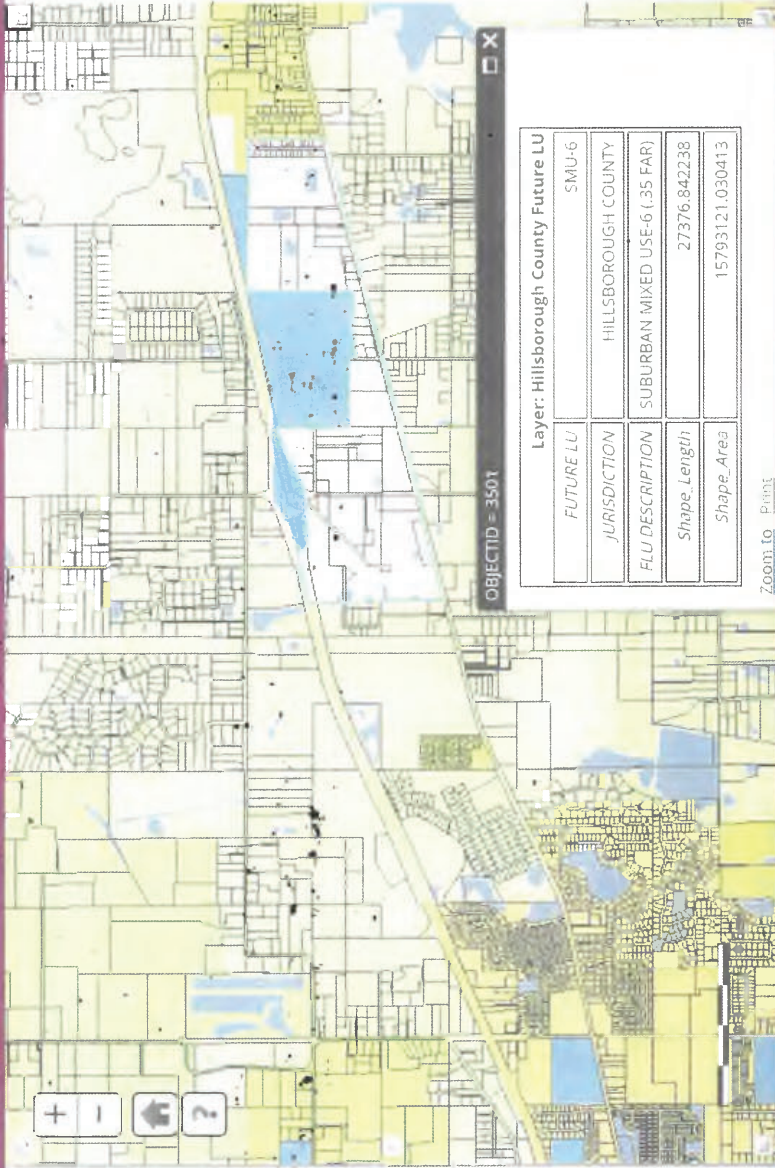
Choose one:

Uninc Hills, Future Land Use

Identify Features in this Data Set:

Adjust Transparency:

Zoom to Data Set



OBJECTID = 3501

Layer: Hillsborough County Future LU	
FUTURE LU	SMU-6
JURISDICTION	HILLSBOROUGH COUNTY
FLU DESCRIPTION	SUBURBAN MIXED USE-6 (35 FAR)
Shape_Length	27376.842238
Shape_Area	15793121.030413

Zoom to Print

- Find Parcels
- Select/Buffer Parcels
- Search Plan Amendments
- Search Transp Improvement Pgm
- Draw/Buffer Shapes
- Measure

Links to Data Sources, Downloadable Data/Maps, and Other GIS Resources

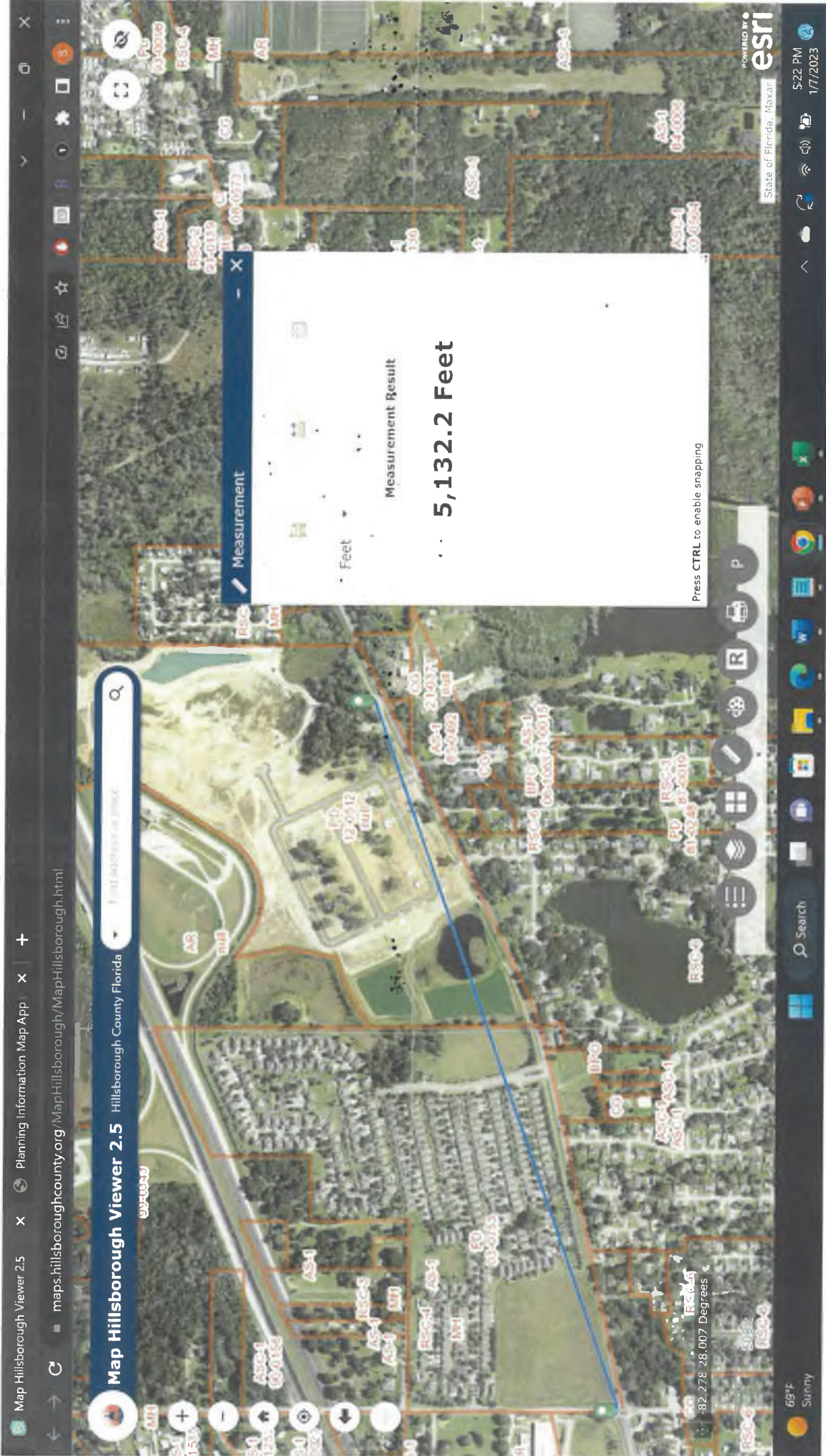
Copyright © 2013-2023, Hillsborough County City-County Planning Commission, Tampa, FL

REBUTTAL TO PLANNING COMMISSION

- PD 12-0512—was approved for residential subdivision with 90,000 sq ft of commercial space

This commercial parcel is also along US 92 and located +5,130 ft from intersection N Kingsway Ave and +6,100 ft from McIntosh. This clearly is NOT CONSISTENT with the commercial locational clearance but was approved by the Planning commission in 2012

- Hence RZ 21-0371 was also approved by county commissioners
-



Map Hillsborough Viewer 2.5 Hillsborough County Florida

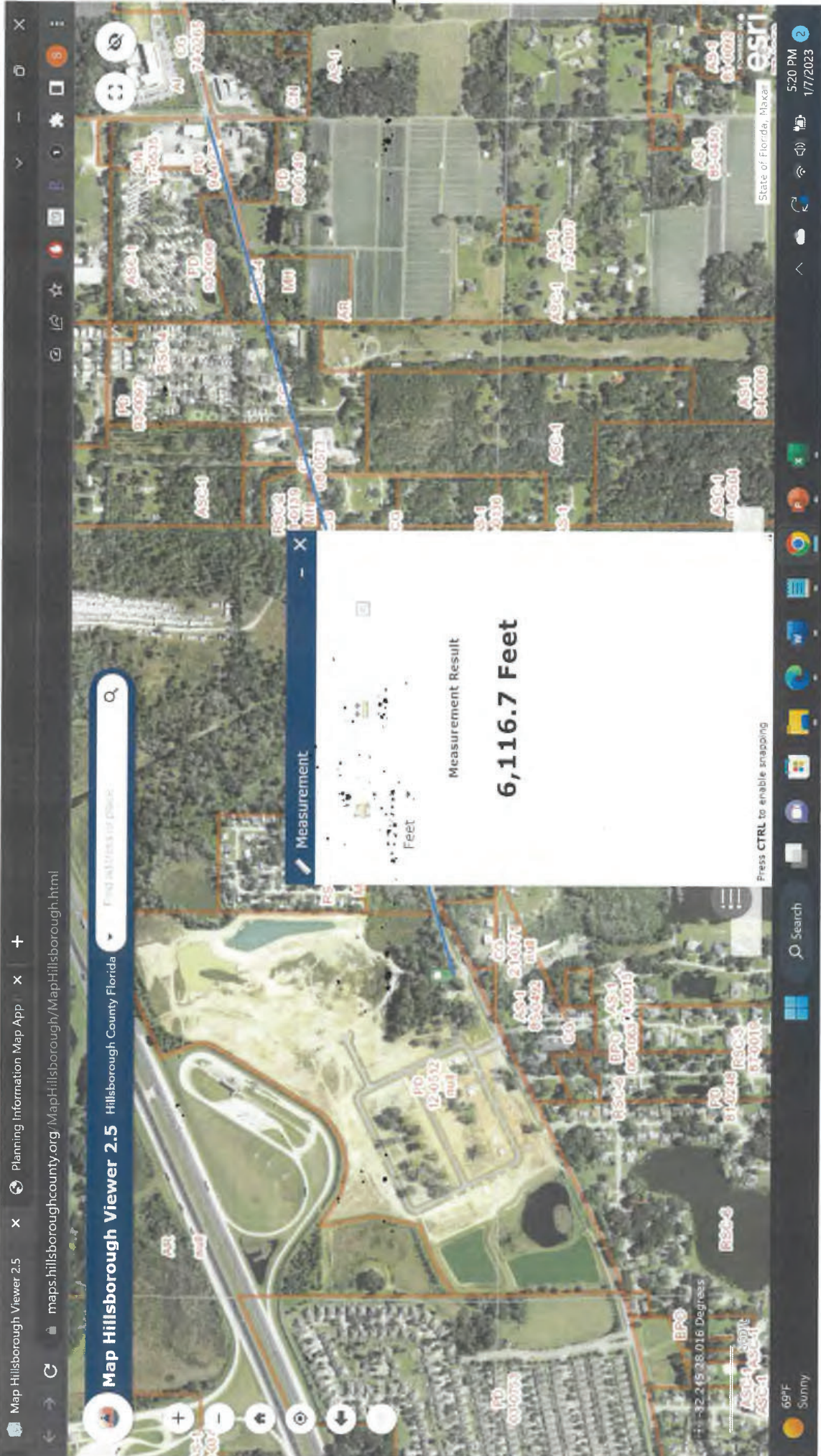
Measurement

Feet

Measurement Result

5,132.2 Feet

Press CTRL to enable snapping



Map Hillsborough Viewer 2.5 Hillsborough County Florida

Measurement

Measurement Result
6,116.7 Feet

5:20 PM
1/7/2023

69°F
Sunny

Press CTRL to enable snapping

SUNNY SELF STORAGE

PD 22-0719

Summary

- Technically our PD is not in Seffner-Mango. It is located in a commercially intensive area, highly suburbanized location and still consistent with plan.
 - Our miniwarehouse facility will be less traffic intensive, less impactful on resources and the environment
 - Compatible with Hillsborough County Future Land Use—SMU-6
 - Beneficial to small businesses, farmers, school systems and residential neighborhood in the community
-

Exh B

Unincorporated Hillsborough County Future Land Uses

Future Land Use	Density*	FAR	Typical Uses
Agricultural/ Mining-1/20	0.05 DU/ GA	0.25	Mining, farms, ranches, feed lots, residential, rural commercial, offices, agricultural industry
Agricultural-1/10	0.1 DU/GA	0.25	Farms, ranches, feed lots, residential, rural commercial, offices, agricultural industry, mining
Agricultural/Rural-1/5	0.2 DU/GA	0.25	Farms, ranches, feed lots, residential, rural commercial, offices, agricultural industry, mining
Agricultural Estate-1/2.5	0.4 DU/GA	0.25	Farms, ranches, residential, rural commercial, offices, multi-purpose projects
Planned Environmental Community -1/2	0.5 DU/GA	0.25	Agricultural, residential, suburban and community commercial, offices, recreation, mixed-use
Residential-1	1 DU/GA	0.25	Farms, ranches, residential, rural commercial, offices, multi-purpose
Residential-2	2 DU/GA	0.25	Residential, suburban commercial, offices, multi-purpose
Residential Planned-2	2 DU/GA ^{2a}	0.25 0.35 ^{2b}	Agriculture, residential, suburban and community commercial, offices, multi-purpose, clustered mixed-use
Residential-4	4 DU/GA	0.25	Residential, suburban commercial, offices, multi-purpose
Residential-6	6 DU/GA	0.25	Residential, suburban commercial, offices, multi-purpose, mixed-use development
Residential-9	9 DU/GA	0.35	Residential, urban commercial, offices, multi-purpose projects, mixed-use development
Residential-12	12 DU/GA	0.50	Residential, urban commercial, offices, multi-purpose projects, mixed-use development
Residential-16	16 DU/GA	0.50	Residential, urban commercial, offices, multi-purpose projects, mixed-use development
Residential-20	20 DU/GA	0.75	Residential, neighborhood commercial, offices, multi-purpose projects, mixed-use development
Residential-35	35 DU/GA	1.0	Residential, neighborhood commercial, offices, multi-purpose projects, mixed-use development
Neighborhood Mixed Use-4(3)	4 DU/GA ^{2a} 3 DU/GA ^{2f}	0.25 ^{2c} 0.35 ^{2d}	Residential, suburban commercial, offices, research parks, multi-purpose, clustered residential, mixed-use
Suburban Mixed Use-6	6 DU/GA ^{2a}	0.25 ^{2c} 0.35 ^{2c} 0.5 ^{2e}	Residential, suburban commercial, offices, research parks, light industrial, multi-purpose, clustered residential, mixed-use
Community Mixed Use-12	12 DU/GA	0.5	Residential, community retail commercial, offices, research park, light industrial, multi-purpose, clustered residential, mixed-use
Urban Mixed Use-20	20 DU/GA	1.0	Residential, regional commercial, offices, business parks, research park, light industrial, multi-purpose, clustered residential, mixed-use
Regional Mixed Use- 35	35 DU/GA	2.0	Residential, regional retail commercial, office, business parks, research parks, light industrial, multi-purpose, clustered residential, mixed-use
Office Commercial-20	20 DU/GA	0.75	Community commercial, offices, mixed-use developments, compatible residential
Research Corporate Park	None	1.0	Research/development, educational, production, light manufacturing, warehousing, offices, headquarters + related uses
Energy Industrial Park	None	0.5 ^{2g}	Industrial, manufacturing, and processing for the purpose of alternative renewable energy production
Energy Industrial Park - USA	None	0.5 ^{2g}	Industrial, manufacturing, and processing for the purpose of alternative renewable energy production
Light Industrial Planned	None	0.5	Light Industrial uses - manufacturing, recycling, storage, support offices, warehousing, rural scale retail
Light Industrial	None	0.5	Processing, manufacturing, assembly of materials, offices, research/corporate parks + related uses
Heavy Industrial	None	0.5	Light & heavy industrial uses including processing, manufacturing, assembly of materials + storage + existing electric plants
Public/Quasi-Public	None	N/A	Government-owned facilities, churches, hospitals, schools, clubs, recreation, attractions, utility, transportation facilities
Wimuama Village Residential-2	2 DU/GA ^{2a}	0.25	Agriculture, residential, multi-purpose, clustered projects
Natural Preservation	None	N/A	Open space or passive nature parks
Citrus Park Village	Varies according to sub-area category.		

2a: Demonstrates requirements

2b: Utilizing Planned Village Concept

2c: Suburban scale neighborhood commercial

2d: Office uses, research corporate park uses, multipurpose, and mixed use

2e: Light Industrial uses

2f: Some areas limited in density to 3 DU/A and have been identified on the FLUM as such

2g: For energy uses. 0.35 FAR for Industrial, Research, Manufacturing, Institutional, Warehousing, and Distribution facilities. 0.25 FAR for ancillary Retail/Commercial and Office facilities.
2h: Not to be applied to processing, storage and other uses

***Expressed as Dwelling Units
Per Gross Acre (DU/GA).**



Bob Henriquez
Hillsborough County Property Appraiser

<https://www.hcpafl.org/>
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 082912-0000

Owner Information

Owner Name ANA REALTY LLC
Mailing Address 9903 MAPLE ST
GIBSONTON, FL 33534
Site Address DOVER
PIN U-30-28-21-ZZZ-000003-78830.0
Folio 082912-0000
Prior PIN
Prior Folio 000000-0000
Tax District U - UNINCORPORATED
Property Use 0000 VACANT RESIDENTIAL
Plat Book/Page /
Neighborhood 220016.00 | SE Area of I4 and Kingsway
Subdivision ZZZ | UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$212,381	\$212,381	\$0	\$212,381
Public Schools	\$212,381	\$212,381	\$0	\$212,381
Municipal	\$212,381	\$212,381	\$0	\$212,381
Other Districts	\$212,381	\$212,381	\$0	\$212,381

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book / Page	Instrument	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
	2021674769	12	2021	WD	Qualified	Vacant	\$360,000
4985 / 1176	86275074	12	1986	FD	Qualified	Vacant	\$60,000
2819 / 0794		01	1973		Qualified	Improved	\$33,000
0000 / 0000		01	1900		Qualified	Improved	\$0

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
996C	Acreage Class 6	RSC-4	0.0	0.0	AC ACREAGE	4.03	\$212,381

Legal Description

FROM NE COR OF SW 1/4 RUN W 345 FT S 743.09 FT TO N R/W OF US 92 SWLY ALG R/W 200 FT FOR BEG N 200 FT S 74 DEG 58 MIN W 878 FT MOL TO W BDRY OF NE 1/4 OF SW 1/4 S ALG BDRY TO NLY R/W OF US 92 N 74 DEG 58 MIN E ALG R/W TO BEG



**PARTY OF
RECORD**

Rome, Ashley

From: Boccrec <boccrec@hillsclerk.com>
Sent: Thursday, August 18, 2022 9:49 AM
To: Elizabeth; bestemor2@aol.com
Cc: Lampkin, Timothy; Boccrec; Timoteo, Rosalina; Mason, Carmen; Rome, Ashley
Subject: RE: [EXTERNAL] Re: RZ PD 22-0719

External email: Use caution when clicking on links, opening attachments or replying to this email.

I have forwarded your email to Development Services. I have also included them in the email.

From: Elizabeth <ejbelcher@att.net>
Sent: Wednesday, August 17, 2022 2:13 PM
To: Lampkin, Timothy <LampkinT@hillsboroughcounty.org>; Boccrec <boccrec@hillsclerk.com>; bestemor2@aol.com
Subject: [EXTERNAL] Re: RZ PD 22-0719

CAUTION: This email is from an external source. Do you know them and are you expecting this? Look again! Phishing is our #1 threat. You are our best defense!!!

Please add me to party of record against this rezoning: PD 22-0719. This proposed development is in the agriculture area, The commercial development would have to be on septic tank and well water. The BOCC is trying to move away from septic tanks. The goal is to infill urban service area/not unregulated sprawl.

Elizabeth Belcher

On Wednesday, August 17, 2022 at 01:29:47 PM EDT, <bestemor2@aol.com> wrote:

RZ PD 22-0719

Sir, I wish to be a party of record on this rezoning.

I AM OPPOSED TO THIS REZONING

The FLU is SMU-6 Currently zoned RSC-4

- 1) inconsistent with the Comprehensive Plan
- 2) It does not meet the intent of the Seffner Mango Community Plan.
Strip Malls are discouraged in the rural areas of our Community
Drive thru restaurants are discouraged in the Rural Areas.
- 3) It does not meet Locational Criteria.

As this rezoning effort continues I will add to my opposition reasons as they present.
Thank you,
Grace Mc Comas
805 Old Darby Street.33584

From: [Grady, Brian](#)
To: [Lampkin, Timothy](#)
Subject: FW: RZ PD 22-0719 OPPOSITION please enter into the record
Date: Monday, January 9, 2023 10:41:53 AM
Attachments: [image001.png](#)

fyi

J. Brian Grady

Director, Community Development Division
Development Services Department

P: (813) 276-8343
E: GradyB@HCFLGov.net
W: HCFLGov.net

Hillsborough County

601 E. Kennedy Blvd., Tampa, FL 33602

[Facebook](#) | [Twitter](#) | [YouTube](#) | [LinkedIn](#) | [HCFL Stay Safe](#)

Please note: All correspondence to or from this office is subject to Florida's Public Records law.

From: bestemor2@aol.com <bestemor2@aol.com>
Sent: Monday, January 9, 2023 10:12 AM
To: boccrec@hillsclerk.com; Lampkint@hillsboroughcounty.org; Grady, Brian <GradyB@HillsboroughCounty.ORG>
Subject: RZ PD 22-0719 OPPOSITION please enter into the record

External email: Use caution when clicking on links, opening attachments or replying to this email.

Grace McComas
805 Old Darby St, Seffner, 33584

I am still opposed to the current application RZ PD 22-0719, mini warehouses on Hwy 92. Seffner, nothing has been changed to make it consistent with County requirements.

Reasons for opposition

Inconsistent with the Seffner/Mango Community Plan for the RURAL Service Area.

It does not meet Commercial Locational Criteria.

Applicants Statement indicates a HWY 92 and Air Stream Ave INTERSECTION I am unable to find that on any map or do I see an intersection located there.

Floor area is now over 65,000 sq. ft. which is still over the current allowance in the Rural Area.

EPC states the Wetlands are not delineated on the site plans.

Retention pond is stated to be located in the area for future ROW for Hwy 92

Mr Timothy Lampkin, Mr Grady.

I would appreciate a response from you, advise me if I am incorrect in my reading of the application, on any point.

This Zoning Master Hearing is soon to be held, Jan 17th, and these oppositions and concerns need to be addressed, and have time to be reviewed by staff.

I realize this area of Seffner is far from Tampa, however someone needs to actually see the area and not rely on the applicants description of the area.

Thank you , I am anxious for a response from one of you or direction to the proper planner.

Grace McComas bestemor2@aol.com

From: [Lampkin, Timothy](#)
To: ["bestemor2@aol.com"](mailto:bestemor2@aol.com)
Cc: [Hearings](#)
Subject: RE: RZ PD 22-0719
Date: Wednesday, November 30, 2022 9:37:00 AM
Attachments: [image001.png](#)
[image002.png](#)

Thank you for your e-mail regarding application RZ-PD 22-0719 to be heard at the 1/17/23 Zoning Hearing Master (ZHM) Hearing.

If you wish to submit materials into the record, they must be submitted in person or by proxy at the ZHM meeting, beginning at 6:00pm. Materials cannot be submitted at the hearing through virtual participation.

If you wish to attend the hearing either in person or by virtual participation, please register **one week before the hearing** at the following link <http://hcflgov.net/SpeakUp>. You can register up to 30 minutes prior to the start of the hearing.

PGM Store Instructions:

For your convenience, application records may be viewed directly on our website. We have attached the instructions to access the PGM Store. To review all application records on our website please turn off your Pop-Up Blocker before you log in. Click on the following link <https://www.hillsboroughcounty.org/pgm> to enter the PGM Store. Click on **ENTER PGM STORE**. The username and password are **public**. Double click on **Document Repository**. To access the information, please enter the tracking number in the box that reads **APP/Permit/Tracking #, or by address or folio #**, then click Query. A blue bar will pop up with the Application number, Folio ID, Permit type & Current Status. Double click on the bar to access the documents. Scroll down the page and you will find all the documents you are looking for. **The Tracking, in this case, would be 22-0719.**

Sincerely,

Tim Lampkin, AICP
Senior Planner
Community Development Section
Development Services Department

Mobile: (813) 564-4673
E: LampkinT@hillsboroughcounty.org
W: HCFLGov.net

Hillsborough County
601 E. Kennedy Blvd., Tampa, FL 33602



Visit
CrushCOVIDHC.org

Please note: All correspondence to or from this office is subject to Florida's Public Records law.

From: bestemor2@aol.com <bestemor2@aol.com>
Sent: Wednesday, November 30, 2022 8:05 AM
To: Lampkin, Timothy <LampkinT@hillsboroughcounty.org>; boccrec@hillsclerk.com; Grady, Brian <GradyB@HillsboroughCounty.ORG>
Subject: RZ PD 22-0719

External email: Use caution when clicking on links, opening attachments or replying to this email.

As a party of record on RZ PD 22-0719 I am still in opposition to the application.

I am opposed to the new request and change to " Mini/ Self Storage" units and office

While the applicant refers to the people of Dover, the property is located in Seffner and within the Seffner Mango Community Plan.

I am opposed for the following reasons:
Inconsistent with the comprehensive plan

Inconsistent with the Seffner Mango Community Plan
Our plan still discourages commercial along Hwy 92 in the RURAL Area

The current zoning is RSC-4 as the applicant is aware.

The property does not meet locational criteria.

The building coverage of 70.000 sq.ft does not meet criteria for the Rural area.

The size and appearance, with any architectural design, is not consistent with the surrounding area.

I have lived in the area 33 years and the existing commercial on Hwy

92 was here then.

The citizens of Seffner have worked hard to prevent commercial on HWY 92 in the Rural Service Area.

Grace McComas

805 Old Darby St Seffner 33584

bestemor2@aol.com

Rome, Ashley

From: Boccrec <boccrec@hillsclerk.com>
Sent: Thursday, August 18, 2022 9:50 AM
To: bestemor2@aol.com
Cc: Lampkin, Timothy; Boccrec; Timoteo, Rosalina; Mason, Carmen; Rome, Ashley
Subject: RE: [EXTERNAL] RZ PD 22-0719

External email: Use caution when clicking on links, opening attachments or replying to this email.

I have forwarded your email to Development Services. I have included them in this email.

From: bestemor2@aol.com <bestemor2@aol.com>
Sent: Wednesday, August 17, 2022 1:30 PM
To: Lampkin, Timothy <LampkinT@hillsboroughcounty.org>; Boccrec <boccrec@hillsclerk.com>
Subject: [EXTERNAL] RZ PD 22-0719

CAUTION: This email is from an external source. Do you know them and are you expecting this? Look again! Phishing is our #1 threat. You are our best defense!!!
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Thank you,

Grace Mc Comas

805 Old Darby Street.33584

Rome, Ashley

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Sent: Thursday, August 18, 2022 9:50 AM
To: bestemor2@aol.com
Cc: Lampkin, Timothy; Boccrec; Timoteo, Rosalina; Mason, Carmen; Rome, Ashley
Subject: RE: [EXTERNAL] RZ PD 22-0719

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Sent: Wednesday, August 17, 2022 1:30 PM
To: Lampkin, Timothy <LampkinT@hillsboroughcounty.org>; Boccrec <boccrec@hillsclerk.com>
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