



LAND USE HEARING OFFICER VARIANCE REPORT

APPLICATION NUMBER: VAR 23-0276	
LUHO HEARING DATE: May 22, 2023	CASE REVIEWER: Israel Monsanto

REQUEST: The applicant is requesting variances from the requirements found in Land Development Code (LDC) Part 3.10.00, Citrus Park Village Development Regulations. The site is located at 7403 Ardenwood St. in Tampa and is approximately 0.13 acres in size. The site is within the CPV I-1 subdistrict. The applicant is currently developing a single-family home on the parcel. According to County records, a building permit was approved and issued on 10/31/2022. After approval of the permit, and while the single-home was being constructed, staff found that the project had not been reviewed for compliance with the Citrus Park Village single-home design standards. The CPV Development Regulations requires specific site and building design standards for single family homes, including garage door placement, facade design, foundation height and window placement. Per the submitted single-family home floor and elevation plans, the project is not meeting a number of these CPV standards.

The applicant requests the following variances:

VARIANCE(S):

SUMMARY OF VARIANCES	REQUIREMENTS	VARIANCE	RESULT	APPLICABLE LDC SECTION
Variance to the Single-family home foundation	Finished elevation of the first floor of each principal dwelling shall be elevated a minimum of 18 inches above grade at the front of the house. Minimum flood plain elevations shall also be met. Exposed foundation walls and piers shall be clad in brick, stucco or stone.	To eliminate the requirement of the 18-inch foundation elevation height.	The single-family home would not have a foundation elevation of 18 inches.	3.12.12.A Foundation
Variance to the provision of Stoops and Porches	Each principal dwelling shall have a front stoop and/or front porch. The stoop landing shall be a minimum of four feet in width and three feet in depth. The porch shall be a minimum of eight feet in width and six feet in depth. The porch shall be covered with a solid roof but shall not be screened or otherwise enclosed. Railings, if provided, shall be consistent with the architectural style of the structure.	To reduce the depth of the front porch by one foot.	The front porch would have a depth of 5 feet.	3.10.12.B Stoops and Porches
Variance to the Single-family home Entryway requirement	The front entryway to each principal dwelling shall be defined with architectural enhancements such as, but not limited to, recessed doors, arches, transoms, sidelights or porticos consistent with the architectural style of the structure.	To eliminate the architectural enhancements of the principal dwelling front entryway.	The principal dwelling will not have architectural enhancements in its front entryway.	3.10.12.C Entryways
Variance to the Single-family home Façade requirements.	All structures on a lot shall be architecturally uniform. Façades shall be scaled proportionately on all sides of each structure. Architectural elements shall be applied in a universal and consistent manner on all sides. At least 60 percent of the area of the front façade shall be comprised of windows, window treatments, shutters, transoms, awnings, porches, doors, doorway treatments, recessed entryways, porticos, pilasters or other similar architectural enhancements. This minimum percentage shall not apply to one-story, non-residential accessory structures located behind the principal dwelling	To eliminate the 60 percent requirement of the area of the front façade to be comprised of windows, window treatments, shutters, transoms, awnings, porches, doors, doorway treatments, recessed entryways, porticos, pilasters or other similar architectural enhancements.	The front façade will not have 60 percent of its area comprised of windows, window treatments, shutters, transoms, awnings, porches, doors, doorway treatments, recessed entryways, porticos, pilasters or other similar architectural enhancements.	3.10.12.F Facades

SUMMARY OF VARIANCES	REQUIREMENTS	VARIANCE	RESULT	APPLICABLE LDC SECTION
Variance to the Single-family home Garage placement	Garages shall be placed at least five feet further from the street than the front plane of the principal building, excluding covered porch if present.	To eliminate the requirement of the placement of the garage to be placed no closer to the street than the front plane of the building.	The single-family home would have the garage placed closer to the street than the front plane of the building.	3.10.12.G Garages
Variance to the windows requirements	Windows shall be provided on all sides of each structure at a minimum rate of one window per 20 feet of exterior wall length or fraction thereof. This requirement shall be met per individual story on each wall. The bottom edge of window headers shall be at least eight feet above the finished floor. Windows larger than four square feet in size shall have muntins consistent with the architectural style of the structure. All windows shall have casings or trim consistent with the architectural style of the structure.	To eliminate the rate of one window per 20 feet of exterior wall length or fraction thereof in the first floor. To eliminate the provision of muntins consistent with the architectural style of the structure on windows larger than four square feet in size.	The single-family home would not have one window 20 feet of exterior wall length or fraction thereof in the first floor and windows larger than four sq ft will not have muntins.	3.10.12.J Windows

FINDINGS:

The current single-family home is being constructed under building permit # HC-BLD-22-0039170. After staff discovered the permit being issued in non-compliance with the CPV zoning standards from LDC Sec. 3.10.12, a stop work order was placed on 2/22/2023. This home was about 50% complete at the time the stop work order was issued.

During the building permitting review, Building Services staff sends building permit applications for zoning review to Zoning staff when a residential or commercial project is located within one of the Special Districts found in the LDC Article III, or in Planned Development zoning districts requiring specific architectural design standards. Zoning staff review the permits for zoning compliance against the architectural design standards stipulated in the applicable Special District LDC Section or Condition of Approvals in a PD district, prior to final Building permit approval. Permit HC-BLD-22-0039170 was not transmitted to Zoning staff for review and consequently was issued final building permit approval without zoning compliance. Although the single-family home is zoned CPV I-1, one of the Special Districts listed in Article III of the LDC, the single-family home was not designed in compliance with the design standards of the CPV district.

DISCLAIMER:

The variances listed above are based on the information provided in the application by the applicant. Additional variances may be needed after the site has applied for development permits. The granting of these variances does not obviate the applicant or property owner from attaining all additional required approvals including but not limited to: subdivision or site development approvals, road design and building permit approvals.

ADMINISTRATOR'S SIGN-OFF



Wed May 10 2023 14:32:18

Attachments: Application
Site Plan
Petitioner's Written Statement
Current Deed

HC-BLD-22-0039170

PLANS REVIEWED FOR CODE COMPLIANCE

7403 Ardenwood St, Tampa FL 33625

10/31/2022 2:04:24 PM

10/31/2022 2:04:24 PM

JOB SITE AT ALL TIMES

IT IS ENVIABLE TO HAVE COMMENTS

IF YOU HAVE ANY COMMENTS OR

QUESTIONS, PLEASE CONTACT THE ENGINEER

OR THE ISSUANCE OF THIS PERMIT SHALL NOT BE HELD

INDEFINITELY

General Conditions

Discipline: SITE-ENGINEERING-ROW

Driveway and Culvert Comments

condition

A copy of the approved permit must always be on the job site and is subject to inspection by county personnel. In cases where severe weather is imminent, the Project Manager and contractor(s) must have a comprehensive emergency action plan to prepare and to secure the job site according with the Hillsborough County Standard Operating Procedures and Guidelines. See attached.

All work is to be done in accordance with the Hillsborough County Utility Accommodation Guide and Rights-of-Way Use Procedures Manual, latest edition.

Document online at https://www.hillsboroughcounty.org/enhancement/county_projects/consultant-cp-project-resources/utilities-works-publications

4. Minimum 2 inspectors will be required (during construction-801 and a final-803). To schedule a ROW inspection or notification online, please go to https://www.hillsboroughcounty.org/enhancement/county_projects/consultant-cp-project-resources/utilities-works-publications

4. Upon completion of the permitted work, the closure section of the permit must be signed and submitted back to Hillsborough County including the records drawings.

Once the final inspection is completed/approved, the work will be subject to a one-year warranty period.

No adjacent existing utilities in conflict with the new facility however field verification is required prior to construction to avoid unanticipated conflicts.

The Permittee must obtain and provide a letter of "No conflict or Non involvement" from all applicable private utilities or governmental agency facilities that might be located within the area of concern. Contact Sunshine State One Call (800) 432-4770 before digging.

The applicant is required to obtain a Temporary Traffic Control (TTC) Permit from Public Works Traffic (WEB application) prior to construction. A TTC permit is required when traffic is impeded in any way, any work done within 15ft from the edge of the roadway and any work lasting longer than two hours.

It is the permittee's responsibility to make the homeowner aware of this comments.

The driveway must have minimum of 3' setback from property line at the edge of pavement.

Utilities are permitted and shall be installed in the location of the low and stock trench elevations of the upstream & downstream culvert; drainage system to permit and make suitable for the proposed driveway.

Minimum length of pipe = width of driveway / (10' min. - 24' max.) + 10' shoulder (5' each side) + marked ends. Minimum pipe cover per FDOT Drainage Manual Appendix C.

Install an 18" diameter Compigrid Metal Pipe (CMP) or an 18" diameter Reinforced Concrete Pipe (RCP) with precast metered ends per FDOT Standard Index 330-001 & 430-022. The 18" culvert pipe can be substitute by a 21" x 15" CMP (Arch) or a 14" x 23" RCP (E-Flat).

No wire or rebar within County Right of Way. Install 6" shall crushed concrete or limestone base, compacted to 88% of the Modified Proctor maximum dry density (ASTM D 1557).

Asphalt & driveway must be constructed of 6" structural base with 1.75" asphalt overlay or 6" class 1 concrete per FDOT Standard Index 515.

The driveway must be 1' min. from the water meter.

The proposed driveway must maintain the existing drainage patterns to allow stormwater to continue its natural flow.

8. The proposed driveway must be constructed in accordance with the Florida Department of Transportation (FDOT) Standard Index 330-001 and Final Design Manual Appendix D.

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PLANS RELEASED FOR CONSTRUCTION

HC-BLD-22-0039170

10/31/2022

Hillsborough County

Development Services

Project reviewed for general compliance with standards applicable to this project. Design has not necessarily been reviewed or checked regarding specific design elements or calculations. The engineer of record is fully responsible for the final decision, signed and sealed plans and documents.

Hillsborough County
Natural Resources

APPROVED SITE PLAN

Natural Resources Single Family/Duplex

Expires: 9/24/2025

Any deviations from the approved plans will require a revision to this permit.

HILLSBOROUGH COUNTY
PLANS REVIEWED FOR CODE COMPLIANCE

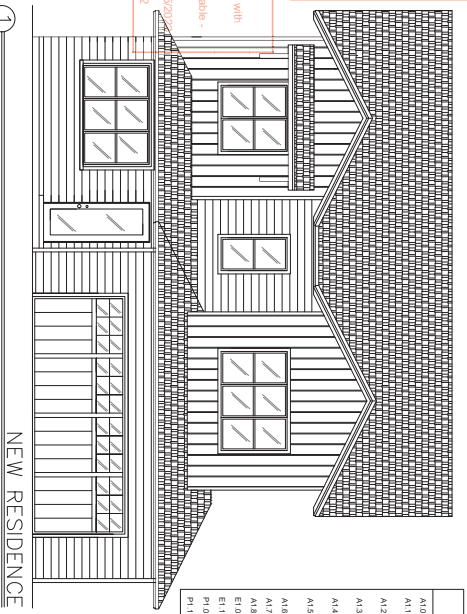
APPROVED

HC-BLD-23-009170 - 10/31/2022

THIS SET OF PLANS MUST BE KEPT ON THE JOB SITE AT ALL TIMES

IF A CHANGE TO THE PLANS IS REQUIRED, THE SUBMITTER SHALL NOTIFY THE DESIGN PROFESSIONAL IN WRITING AND OBTAIN APPROVAL FROM THE DESIGN PROFESSIONAL BEFORE ANY CONSTRUCTION BEGINS.

- Bulding - Stephen Kadaga - Approved - 10/28/2022
- Site Engineering - Ryan Joyce - Approved - 10/25/2022
- Site Comments - 10/31/2022
- 4th Dredging Review - Stephen Kadaga - Not Applicable - 10/31/2022
- Natural Resources - Ryan Joyce - Approved - 10/25/2022
- Soil Erosion - Chris Ramer - Approved - 10/31/2022

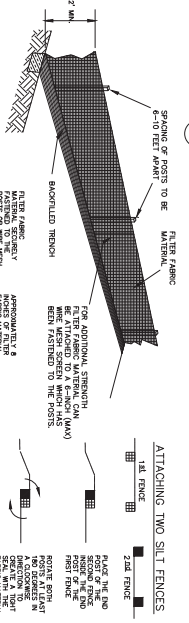


SHEET INDEX

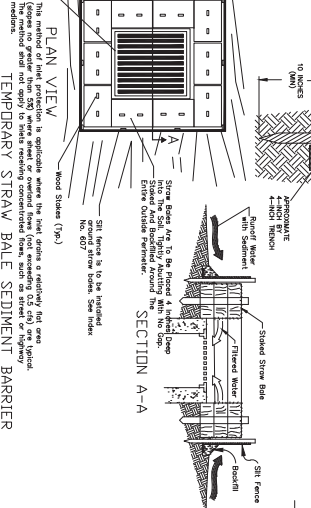
- A10 TREE BARRIER INSTALLATION AND SITE PLAN
- A11 GENERAL NOTES, AREA CALCULATIONS, COMPONENT & SCHEDULE
- A12 GENERAL NOTES, WALL, WINDOW AND DOORS
- A13 FOUNDATION, MASONRY WALL AND W/ BEAM PLANS, NOTES
- A14 FIRST FLOOR FINISHES, ROOF FINISHES, STAIRS & LANDING
- A15 MAIN FLOOR FINISHES, SECOND FLOOR FINISHES, STAIRS & LANDING
- A16 SECOND FLOOR FINISHES, OTHER FINISHES PLAN
- A17 DETAILS
- A18 BEARING PLAN
- A19 BEARING PLAN
- A20 BEARING PLAN
- A21 WATER SUPPLY PLAN
- A22 SANITARY PLAN

OBJECTIVE OF THIS PROJECT

THE OBJECTIVE OF THIS PROJECT IS TO PROVIDE A COMPLETE SET OF PLANS FOR THE CONSTRUCTION OF A TWO STORY RESIDENCE WITH MONOLITHIC FOUNDATION, 3 BEDROOMS, 2 BATHS, 2 CAR GARAGE. ESSENTIALS WILL BE ON A SEPTIC SYSTEM.



INSTALLING A FILTER FABRIC SILT FENCE



BARBICADES

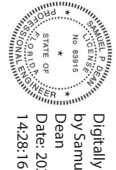
1. ANCHORS SHALL BE 1/2" DIAMETER U-BOLTS WITH 1/2" THICK PLATES.
2. UPRIGHTS - NO LESS THAN 4" X 4" LUMBER.
3. HORIZONTALS - NO LESS THAN 1" X 4" LUMBER.
4. BARBICADES SHALL BE ERECTED AROUND ALL PROTECTED AREAS AND SHALL BE CONSIDERED PERMANENT.
5. UPRIGHT POSTS ARE TO BE AT LEAST 4 FEET IN LENGTH WITH A MINIMUM OF 1 FOOT ANCHORED IN CONCRETE AND 3 FEET ABOVE GROUND.
6. CONSTRUCTION AND HEAVY EQUIPMENT IS NOT TO BE ALLOWED IN THE PROTECTED AREA.

PLANS RELEASED FOR CONSTRUCTION

THESE PLANS HAVE BEEN REVIEWED AND APPROVED BY THE DESIGN PROFESSIONAL FOR CONSTRUCTION. THE DESIGN PROFESSIONAL IS NOT RESPONSIBLE FOR ANY CHANGES OR MODIFICATIONS TO THESE PLANS AFTER THEY HAVE BEEN RELEASED FOR CONSTRUCTION. THE SUBMITTER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES BEFORE COMMENCING CONSTRUCTION. THE SUBMITTER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES BEFORE COMMENCING CONSTRUCTION.

LEGAL DESCRIPTION:
LOT 11, BLOCK 13, OF TOWN OF CITRUS PARK, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 11, PAGE 100, OF HILLSBOROUGH COUNTY, FLORIDA.

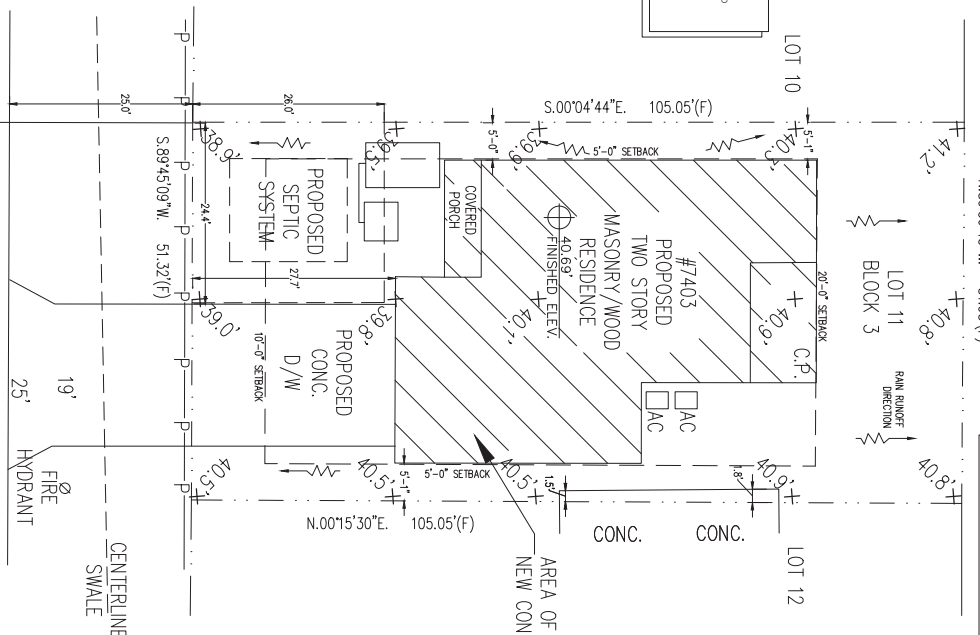
Digitally signed
by Samuel P. Dean
Date: 2022.08.23 14:28:16 -0400



Stephen Michael Designs
380 72nd Street North
St. Petersburg, FL 33710
Steph@michaeldesigns.com
813.528.5831

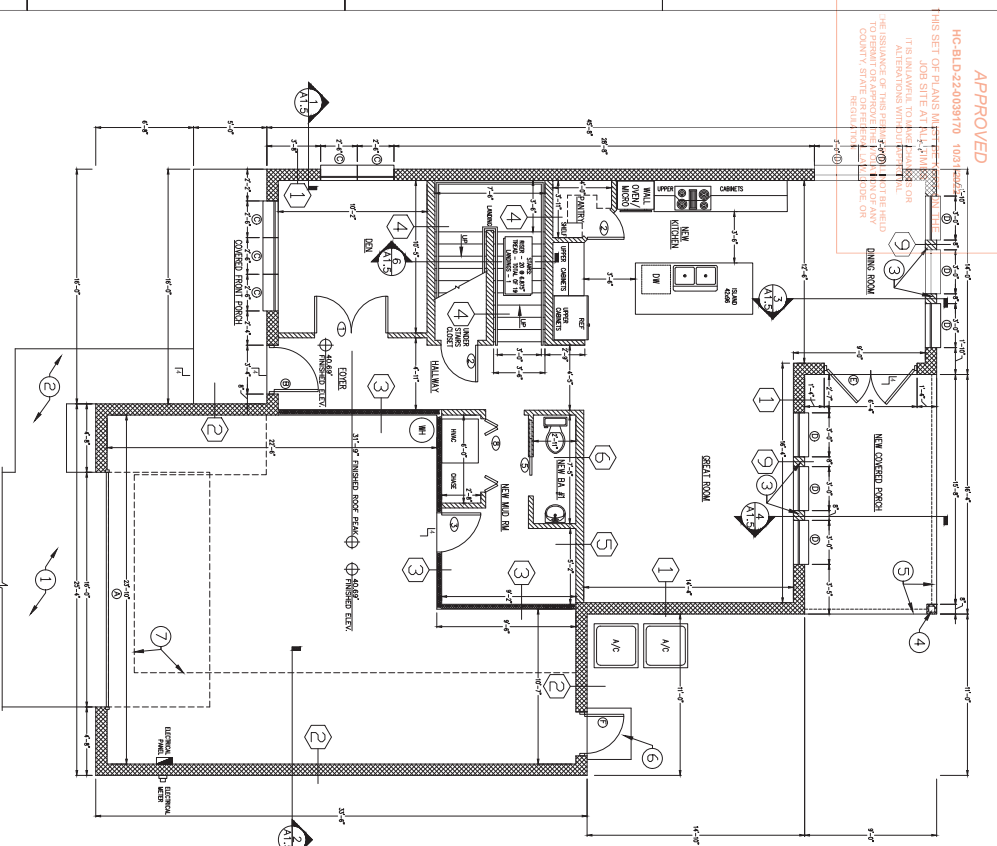
G.J. Gardner, Inc.
18948 N. DALE MARBY STE #101
Tampa, FL 33625
Lic. # CFC1254810
"We Build Joy"

NEW RESIDENCE
THE BISHOP RESIDENCE
7403 ARDENWOOD STREET
TAMPA, FL 33625

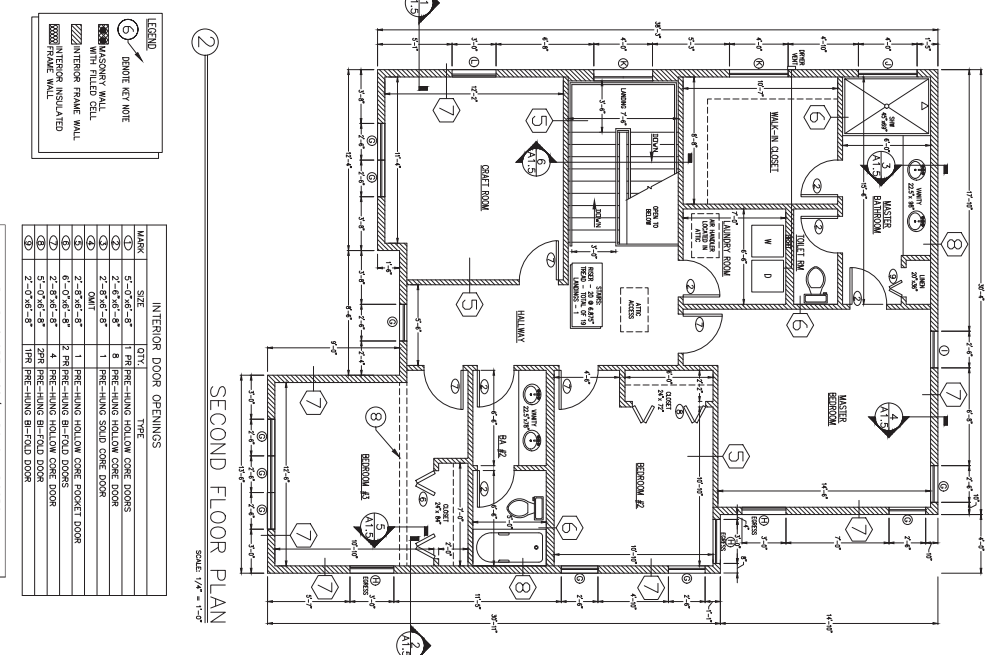


A1.0

HC-BLD-23-009170 - 1003
THIS SET OF PLANS MATTER...
JOB SITE AT 7403 ARDENWOOD STREET, TAMPA, FL 33625
IF AN OWNER, CONTRACTOR, OR ARCHITECT HAS ANY
QUESTIONS OR NEEDS TO MAKE ANY
CHANGES TO THESE PLANS, THEY MUST CONTACT THE
DESIGNER AT THE ADDRESS LISTED BELOW.



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

PLANS RELEASED FOR CONSTRUCTION

Project reviewed for general compliance with the standards applicable to the general building code. The standards are not intended to be a substitute for the professional judgment of the architect or engineer. The standards are not intended to be a substitute for the final decision, signed and sealed documents.

APPROVED SITE PLAN

Natural Resources
Hillsborough County
Resources Single Family/Duplicate
Expires: 9/24/2025

MARK	SIZE	QTY	TYPE
1	12'-0" x 6'-0"	1	GLASS DOOR
2	2'-6" x 6'-6"	5	SH WINDOW
3	3'-0" x 6'-0"	8	SH WINDOW
4	6'-0" x 6'-6"	8	EXTERIOR DOORS
5	2'-6" x 6'-6"	10	SH WINDOW
6	2'-6" x 6'-6"	3	SH WINDOW - EGRESS
7	2'-6" x 3'-0"	2	SH WINDOW - EGRESS
8	2'-6" x 3'-0"	2	SH WINDOW - EGRESS
9	2'-6" x 3'-0"	1	SH WINDOW

MARK	SIZE	QTY	TYPE
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5	2'-6" x 6'-6"	10	SH WINDOW
6	2'-6" x 6'-6"	3	SH WINDOW - EGRESS
7	2'-6" x 3'-0"	2	SH WINDOW - EGRESS
8	2'-6" x 3'-0"	2	SH WINDOW - EGRESS
9	2'-6" x 3'-0"	1	SH WINDOW

A1.2

- 1.00% NEW WINDOW PLAN NOTES:**
1. LOCATION OF CONCRETE DRIVEWAY.
 2. LOCATION OF CONCRETE WALKWAY.
 3. LOCATION OF 1/2" x 6" x 8" WOOD MILLION (TYP).
 4. LOCATION OF 2" x 4" MASONRY COLUMN WITH DECORATIVE FINISH AT REAR COVERED PORCH.
 5. LOCATION OF WOOD BEAM WITH DECORATIVE FINISH (TYP).
 6. LOCATION OF 2" x 4" CONCRETE LANDING.
 7. FINISHER OF SECOND FLOOR.
 8. LOCATION OF NEW 1/2" x 6" x 8" M BRK M BEDROOM #4.

THIS SET OF PLANS IS ELECTRONICALLY PRODUCED AND SHALL BE PRINTED AT SCALE. IT IS THE RESPONSIBILITY OF THE ARCHITECT/ENGINEER TO VERIFY THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE ARCHITECT/ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE ARCHITECT/ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

STEPHEN MICHAEL CONSULTING ENGINEER
Professional Engineer
No. 12345
1234 Main Street
Tampa, FL 33601
Phone: (813) 555-1234
Fax: (813) 555-5678
www.stephenmichael.com

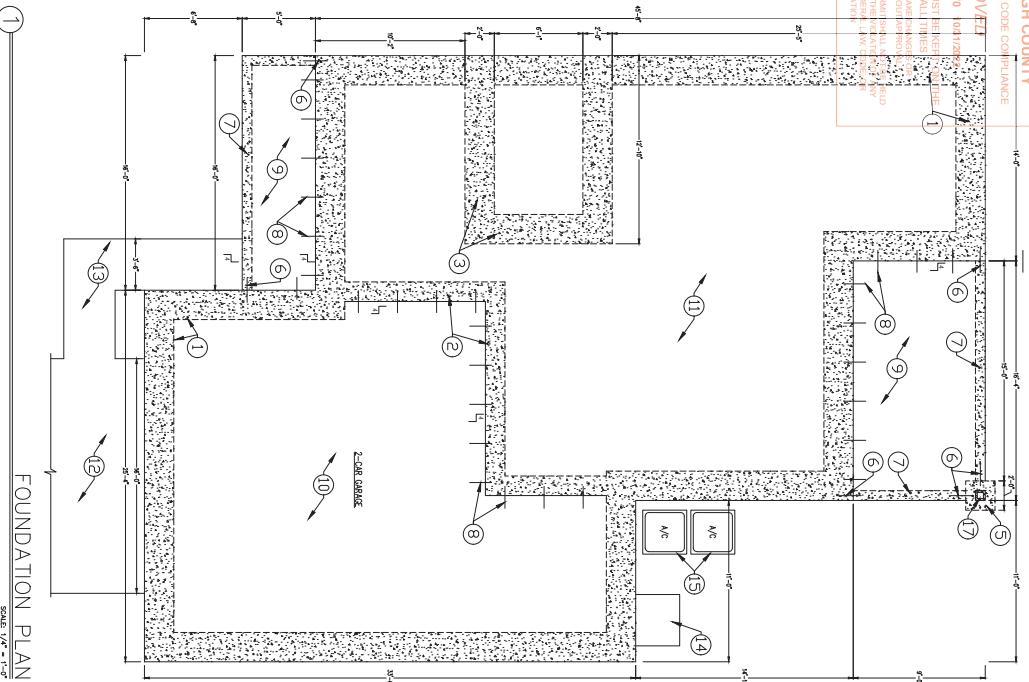
G.J. Gardner, TORRES
18948 N. DALE MARBY STE #101
(813) 328-5581
L.C. # CEC1254810
"We Build Joy"

THE BISHOP RESIDENCE
7403 ARDENWOOD STREET
TAMPA, FL 33625

REVIEWED FOR CODE COMPLIANCE
SIGNATURE: [Signature]
DATE: 08/22/23

NO.	REVISION	DATE

HC-BLD-23-0081970 1031 (2023)
 THIS SET OF PLANS MUST BE KEPT ON THE JOB SITE AT ALL TIMES.
 IF AS PART OF A COMPLAINT OR OTHER ACTION, THESE PLANS ARE MADE PUBLIC, THE ISSUANCE OF THIS PERMIT SHALL BE VOID AND THE COUNTY SHALL BE NOTIFIED.
 THE ISSUANCE OF THIS PERMIT SHALL BE VOID AND THE COUNTY SHALL BE NOTIFIED.



- 1.1 FOUNDATION REINFORCEMENT NOTES:**
- 1. 2x4x6 MONOLITHIC FOUNDATION WITH (1) 12# TOP BAR - (1) 12# BOTTOM BAR - LOTS CONCRETE.
 - 2. 1.5x7.2 MONOLITHIC FOUNDATION WITH (1) 12# TOP BAR - (1) 12# BOTTOM BAR - LOTS CONCRETE.
 - 3. 2x4x12 HAUNCH FOOTING WITH (3) #5 BARS CONT. (TP).
 - 4. O.M.T.
 - 5. 3x4x12x12 FOOTING PAD WITH (3) #5 EACH WAY.
 - 6. 4\"/>

FOUNDATION AND CONCRETE NOTES:

1. REMOVE ALL EXISTING REINFORCEMENT AND FRESH CONCRETE FROM AREA UNDER BUILDING OR UNDER PAVED AREAS.
2. ALL FOOTINGS TO BE ON FIRM UNDISTURBED SOIL OR APPROVED COMPACTED FILL. MINIMUM BERTH UNDER FOOTINGS SHALL BE 18\"/>

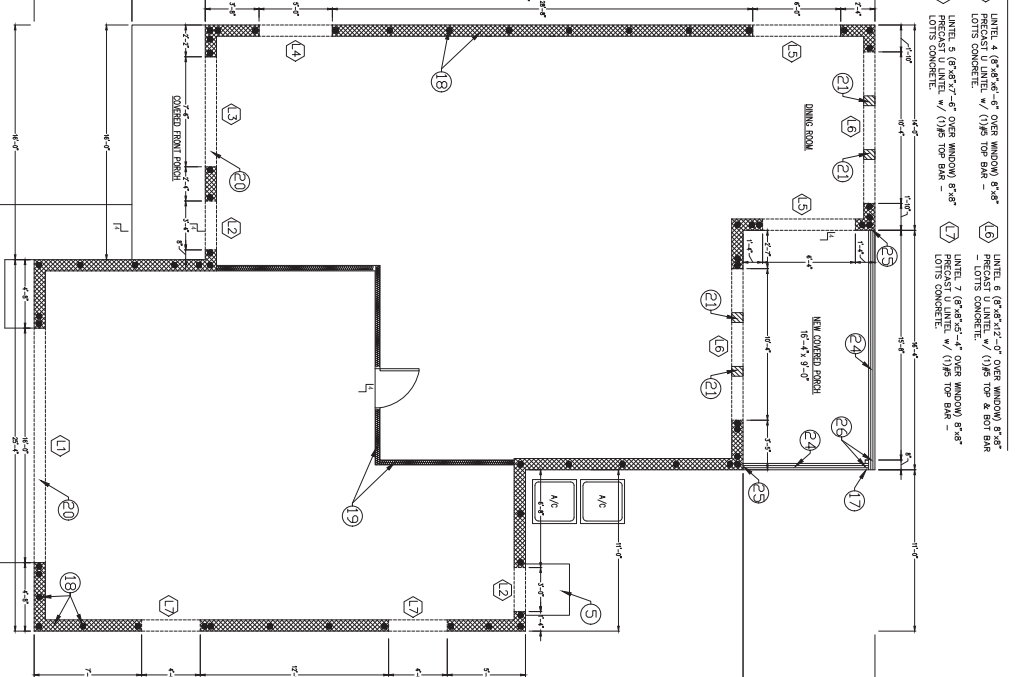
SECTION 318 REINFORCEMENT AGAINST BEARINGS:

8. UNLESS NOTED OTHERWISE ON THE DRAWINGS, ALL NEW REINFORCEMENT SHALL BE PLACED AT THE CENTER OF EACH WAY OF EACH W/2 ON CLEAN COMPACTED SAND.

9. STAIRS, PERIS OR CORNERS OF ALUMINUM OR COPPER SHALL NOT BE REINFORCED WITH CONCRETE UNLESS EFFECTIVELY COATED.

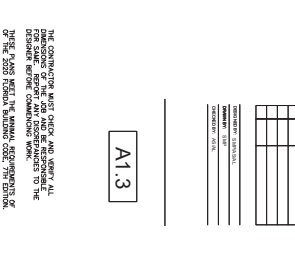
2.1.3 MASONRY WALL LAYOUT PLAN KEY NOTES:

1. NEW MASONRY WALL WITH FILL CELL AND (1) VERTICAL #4 AT 4\"/>



2.1.3 SECOND FLOOR LVL BEAM PLAN KEY NOTES:

26. AT BEAR FOOTING FABRICATE BEAM TO MASONRY COLUMN WITH (1) HORIZONTAL REBAR ANCHORED BY SWAGER PER APPROVED DETAIL.
27. EXTERIOR WOOD FRAME FIRST FLOOR BEARING WALL - SEE WALL SCHEDULE SHEET A.12 (TP).
28. IN WALLS REBAR SHALL BE 12\"/>



APPROVED SITE PLAN:

10. LOCATION OF THE BEARINGS FOR THE FOUNDATION SHALL BE AS SHOWN ON THE APPROVED SITE PLAN. THE FOUNDATION SHALL BE PLACED AS SHOWN ON THE APPROVED SITE PLAN. ANY DEVIATIONS FROM THE APPROVED PLANS WILL REQUIRE A REVISION TO THIS PERMIT.

LINTEL SCHEDULE

- | | |
|----|------------------|
| 16 | UNLTEL 1 (6\"/> |
| 17 | UNLTEL 2 (6\"/> |
| 18 | UNLTEL 3 (6\"/> |
| 19 | UNLTEL 4 (6\"/> |
| 20 | UNLTEL 5 (6\"/> |
| 21 | UNLTEL 6 (6\"/> |
| 22 | UNLTEL 7 (6\"/> |
| 23 | UNLTEL 8 (6\"/> |
| 24 | UNLTEL 9 (6\"/> |
| 25 | UNLTEL 10 (6\"/> |
| 26 | UNLTEL 11 (6\"/> |
| 27 | UNLTEL 12 (6\"/> |

STAMPA, P. BEAM P.E.
 CONSULTING ENGINEER
 1000 W. PALM BEACH BLVD., SUITE 100
 WEST PALM BEACH, FL 33411
 (561) 833-8888
 stampa@stampape.com

THIS SEAL HAS BEEN ELECTRONICALLY SIGNED AND
 I, THE SEALER, HEREBY CERTIFY THAT I AM THE REGISTERED
 PROFESSIONAL ENGINEER WHOSE NAME AND NUMBER ARE
 SHOWN ON THIS SEAL. ANY CHANGES TO THE SEAL OR
 THIS DOCUMENT MUST BE MADE BY THE REGISTERED PROFESSIONAL
 ENGINEER WHOSE NAME AND NUMBER ARE SHOWN ON THIS SEAL.

Stephen Michael
 Designs
 380 72ND STREET NORTH
 S1, TR 0221 433-1559
 stephenmichaelsdesigns@proton.com

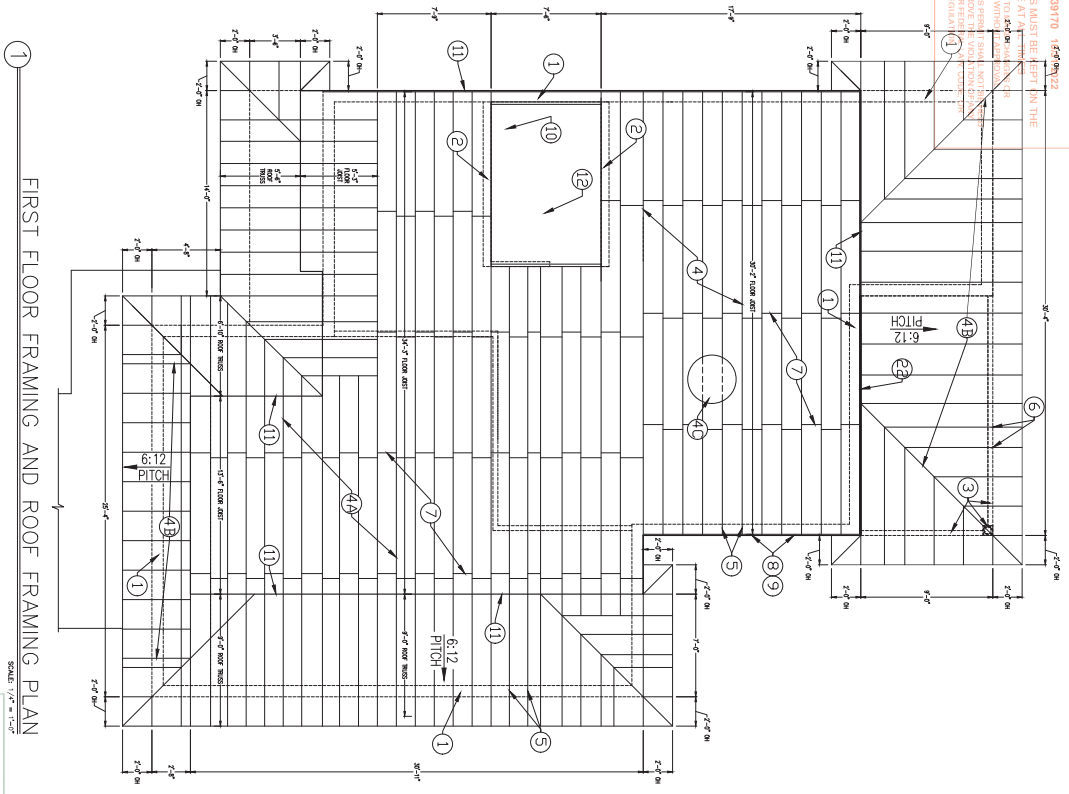
G.J. Gardner, LICENSED
 18948 N. DALE HARRY STE #101
 TAMPA, FL 33618
 (813) 528-5581
 L.C. # CR0725810
 "We Build Joy"

NEW RESIDENCE
 THE BISHOP
 RESIDENCE
 7403 ARDENWOOD STREET
 TAMPA, FL 33625

REVIEWED FOR CODE COMPLIANCE

SENITTENTER
 13400 W. GULF BLVD. SUITE 2000
 TAMPA, FL 33634
 (813) 882-2222

HC-BLD-23-009170 - 1st FLOOR
 THIS SET OF PLANS MUST BE KEPT IN THE JOB SITE AT ALL TIMES.
 IF ANY CHANGES ARE MADE TO THESE PLANS, THE ENGINEER MUST BE NOTIFIED IMMEDIATELY.
 THE ISSUANCE OF THIS PERMIT DOES NOT CONSTITUTE AN ENDORSEMENT OF THE QUALITY OF THE WORK OR THE DESIGNER'S ABILITY TO PREPARE OR APPROVE THE WORK. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPLICABLE AGENCIES.



- 1.2A.1 FLOOR JOIST & BEAM FRAMING SET NOTES:**
1. MASONRY WALL (BELOW) (TYP).
 2. INTERIOR BEARING FRAME WALL AT STAIR WELL (BELOW).
 3. BEAM COVERED PORCH MASONRY COLUMN AND LIVE BEAM LOCATION. SEE SECTION DETAIL 4/4.1.5 FOR SPECIFICS.
 4. 2x4 OPEN WEB FLOOR TRUSS AT 16" O.C. (MAX) (TYP), SEE DETAIL ON SHEET A1.2.
 - 4A. 2x4 OPEN WEB FLOOR JOIST TRUSS AT 16" O.C. (MAX) (TYP), SEE DETAIL ON SHEET A1.2.
 - 4B. PRE-ENGINEERED ROOF TRUSS AT 24" O.C. (TYP). (MAX) (TYP), SEE DETAIL ON SHEET A1.2.
 - NOTE: ALL FLOOR AND ROOF SYSTEMS TO BE DESIGNED BY TRUSS MANUFACTURER.
 - 4C. 3/8" COR. STRIKE W/ FINISH FLOOR TO BE DETERMINED (TYP).
 5. FASTEN FLOOR JOIST/ROOF TRUSS TO MASONRY WALL WITH HEAVY DUTY EMBED TRUSS ANCHOR BY 3/8" DIA. ANCHOR NUTS TO BE INSTALLED WITH ANCHOR BEARING INTO MASONRY TO BE DETERMINED BY SWISS MANUFACTURER TO BE DOWN BY SWISS (TYP).
 7. 2x6 CROSS BRACING AT 16" O.C. BETWEEN RIMS OF CROSS BRACING (TYP).
 8. 3/4" COX. PLYWOOD AT FACE OF JOIST/FASTEN TO SIDE OF JOIST WITH 100 NAILS AT 6" (TYP).
 9. ANCHOR STRAP TO BE FROM LOWER LEVEL MASONRY WALL TO UPPER LEVEL STUDS AT ELEV. JAMB AND AT 32" O.C. (TYP).
 10. STAIR CASE - SEE DETAIL 2/4.1.2 FOR SPECIFICS.
 11. FRAMER OF SECOND FLOOR (TYP).
 12. 3/4" NON-BEARING FRAME WALL.
- DETAIL #2
13. 2x8 EDGE JOIST FASTEN 2x6 PT TO MASONRY WALL WITH 3/8" ANCHORS IN 24" O.C. (SPACED) 1/2" ASH IN 10" DIA. HOLE DRILL THROUGH MASONRY TO BE DETERMINED BY SWISS (TYP).
 14. 1/2" DIA. BEAM FASTEN TOGETHER WITH 1/2" HORIZONTAL ROWS OF 10# NAILS AT 16" O.C. (TYP).
 15. 2x8 FLOOR JOIST AT 16" O.C. (MAX) (TYP).
 16. 2x4 STAIR STRINGER (TYP).
 17. 2x6 FASTENED TO EDGE OF FLOOR TRUSS.
 18. FASTEN 1/2" DIA TO 2x8 LENGTH WITH HIC-20 CONCEALED FACE HANGER (TYP).
 19. FASTEN FLOOR JOIST TO BEAM WITH 1/2" FACE MODIFIED HANGER BY SWISS (TYP).
 20. FASTEN STRINGER TO LANDING WITH 1/2" ADJUSTABLE STRINGER CONNECTOR BY SWISS (TYP).
 21. 1/2" DIA. GUARD AND HAND RAIL BY OTHERS.
 22. 2x8 EDGE JOIST TRUSS BEARING FASTEN USING 2# ROWS OF 3/8" DIA ANCHORS AT 16" O.C. FASTEN TO BE DETERMINED BY SWISS (TYP).

Hillsborough County
 Natural Resources
APPROVED SITE PLAN
 Natural Resources Single Family/Duplex
 Expires: 9/24/2025

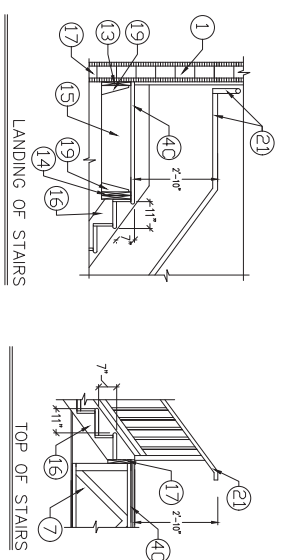
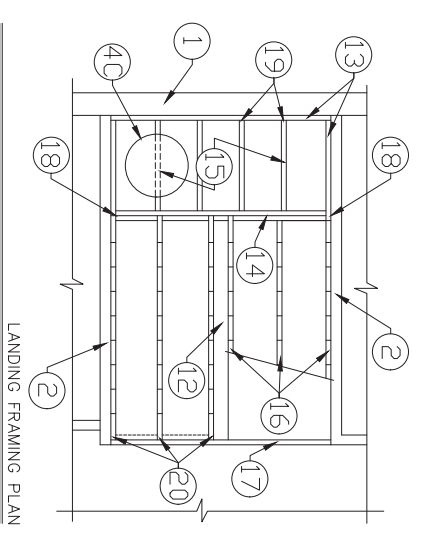
Any deviations from the approved plans will require a revision to this permit.

FLOOR FRAMING NOTES

1. TRUCK FLOOR SHEATHING SHALL BE 3/4" O.G. 3/4" MIN. EDG. BLD GYPSUM BOARD SHALL BE PRESSURE TREATED AND ATTACHED WITH 10# NAILS AT 6" O.C. EDGES AND 12" O.C. INTERIORS. UNLESS NOTED OTHERWISE.
2. ALL FLOOR JOISTS SHALL BE 2x8 @ 16" O.C. UNLESS NOTED OTHERWISE.
3. REVISIONS TO THIS PLAN SHALL BE MADE BY THE ENGINEER. ANY CHANGES TO THIS PLAN SHALL BE MADE BY THE ENGINEER. ANY CHANGES TO THIS PLAN SHALL BE MADE BY THE ENGINEER.

PLANS RELEASED FOR CONSTRUCTION

These plans were prepared for general reference only and are not intended to be used for construction. The engineer of record is fully responsible for the final design, signed and sealed plans and documents.



- 2. STAIR AND LANDING FRAMING PLAN**
- SCALE: 1/8" = 1'-0"
- GENERAL NOTES**
1. ALL STAIRS SHALL BE 2x12 TREADS AND 2x12 RISERS.
 2. ALL STAIRS SHALL BE 2x12 TREADS AND 2x12 RISERS.
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 21. ALL STAIRS SHALL BE 2x12 TREADS AND 2x12 RISERS.

3. GUARD RAIL NOTES

SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. ALL GUARD RAILS SHALL BE 4" DIA. PIPES.
2. ALL GUARD RAILS SHALL BE 4" DIA. PIPES.
3. ALL GUARD RAILS SHALL BE 4" DIA. PIPES.
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20. ALL GUARD RAILS SHALL BE 4" DIA. PIPES.
21. ALL GUARD RAILS SHALL BE 4" DIA. PIPES.

STEPHEN MICHAEL DESIGN
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 stephenmichaeldesign@yahoo.com

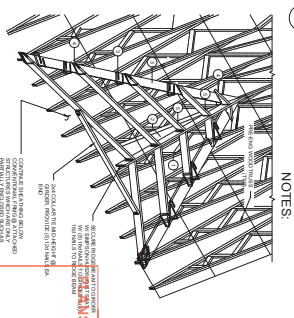
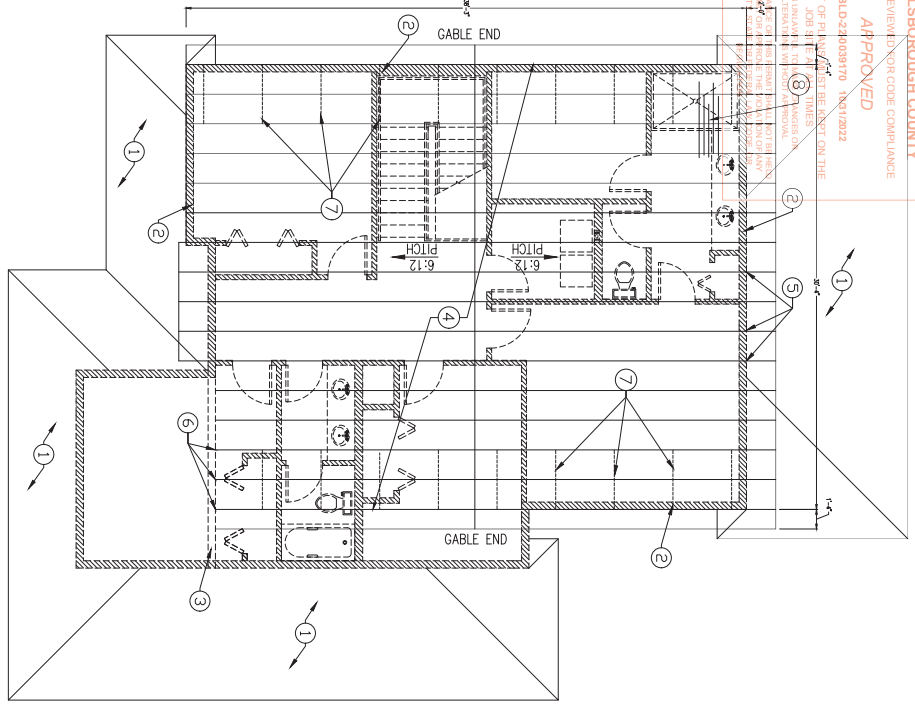
G.J. Gardner, INCORPORATED
 18948 N. DALE MARRY STE #101
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 L.C. # CHC1254810
 "We Build Joy"

NEW RESIDENCE
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 RESIDENCE
 7403 ARDENWOOD STREET
 TAMPA, FL 33625

REVIEWED FOR CODE COMPLIANCE
 SIGNATURE: [Signature]
 DATE: 08/22/22

A1.4

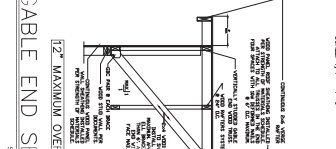
THIS SET OF PLANS MUST BE KEPT ON THE JOB SITE AT ALL TIMES.
 IF ANY PART OF THE PLANS IS TO BE CHANGED, THE ORIGINAL DRAWING MUST BE REFERENCED TO PREPARE ANY CHANGES TO BE MADE TO THE PLANS.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.



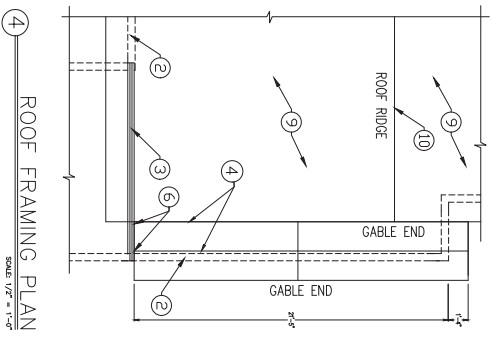
NOTES

1. SEE NOTES ON SHEET 18 FOR OVERBUILD SYSTEM.
2. SEE NOTES ON SHEET 18 FOR OVERBUILD SYSTEM.
3. SEE NOTES ON SHEET 18 FOR OVERBUILD SYSTEM.
4. SEE NOTES ON SHEET 18 FOR OVERBUILD SYSTEM.
5. SEE NOTES ON SHEET 18 FOR OVERBUILD SYSTEM.
6. SEE NOTES ON SHEET 18 FOR OVERBUILD SYSTEM.
7. SEE NOTES ON SHEET 18 FOR OVERBUILD SYSTEM.

OVERBUILD SYSTEM
 DEVELOPMENT SERVICES
 10/31/2022
 HC-BLD-22-0039170
OVERBUILD SYSTEM
 DEVELOPMENT SERVICES
 10/31/2022
 HC-BLD-22-0039170

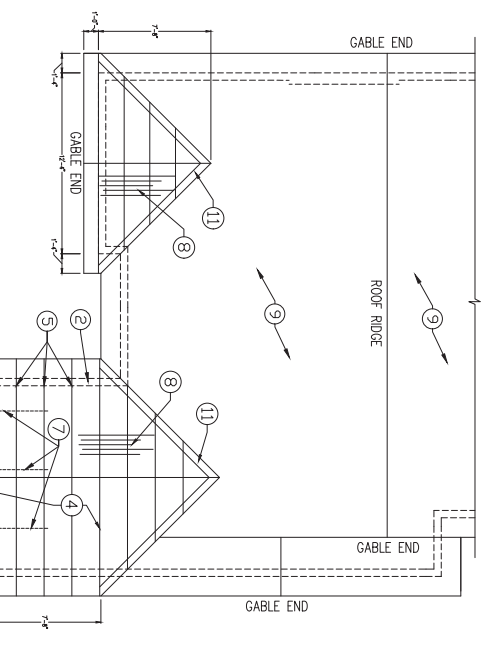


Hillsborough County
 Natural Resources
APPROVED SITE PLAN
 Expires: 9/24/2025
 Natural Resources Single Family/Duplex
 AP-9 revision to this permit.



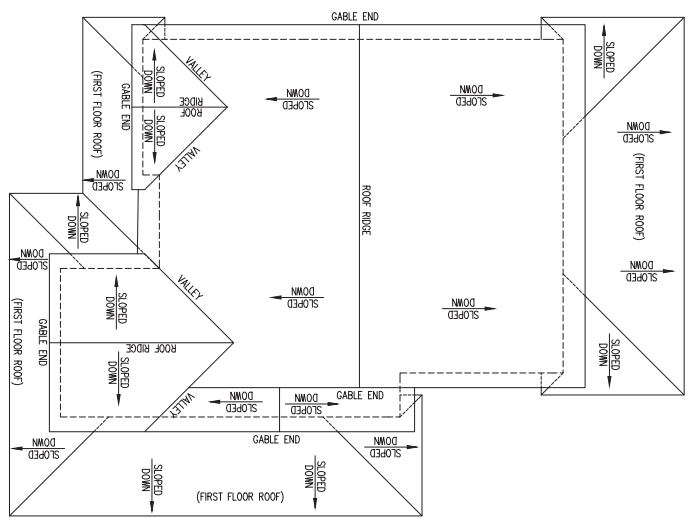
1.5A1.1.1 ROOF FRAMING PER NOTES:

1. FIRST FLOOR PRE-ENGINEERED ROOF SYSTEM (BELOW).
2. NEW SECOND FLOOR 2x4 EXTERIOR FRAME WALL.
3. LOCATION OF R11 2x11 TYP. BEAM, SEE SHEET 2A.1.2 TYP. BEAM PLAN AND 2A.1.1 TYP. BEAM DETAIL FOR SPECIFICS.
4. NEW PRE-ENGINEERED TRUSSES AT 24" O.C. (MAX) TYP.
5. FASTEN NEW TRUSSES TO NEW FRAME WALL WITH HIG HYBRID CONNECT TRUSSES BY SIMPSON (TYP).
6. FASTEN PRE-ENGINEERED TRUSSES TO TYP. BEAM WITH HYBRID CONNECT TRUSSES HANGERS BY SIMPSON (TYP).
7. GABLE END - DIAGONAL BRACING, SEE GABLE END DETAIL ON THIS PAGE FOR SPECIFICS.
8. NEW 30 YEAR DIMENSIONAL SHINKLES ON (1) LAYER OF FELT AND SICK ON OSB SHEATHING (TYP).
9. MAIN ROOF TYP.
10. MAIN ROOF ROOF.
11. REFER TO DETAIL 2A.1.4 OVERBUILD DETAIL FOR SPECIFICS (TYP).



1.5A1.1.2 OVER BUILD FRAMING PER NOTES:

1. NEW PRE-ENGINEERED TRUSSES AT 24" O.C. (MAX) TYP.
2. FASTEN NEW TRUSSES TO NEW FRAME WALL WITH HIG HYBRID CONNECT TRUSSES BY SIMPSON (TYP).
3. FASTEN PRE-ENGINEERED TRUSSES TO TYP. BEAM WITH HYBRID CONNECT TRUSSES HANGERS BY SIMPSON (TYP).
4. GABLE END - DIAGONAL BRACING, SEE GABLE END DETAIL ON THIS PAGE FOR SPECIFICS.
5. NEW 30 YEAR DIMENSIONAL SHINKLES ON (1) LAYER OF FELT AND SICK ON OSB SHEATHING (TYP).
6. MAIN ROOF TYP.
7. MAIN ROOF ROOF.
8. REFER TO DETAIL 2A.1.4 OVERBUILD DETAIL FOR SPECIFICS (TYP).



G.J. Gardner, TORRES
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NEW RESIDENCE
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REVIEWED FOR CODE COMPLIANCE

DATE: 08/22/22

STAMPA, P. BEAN, P.E.
 CONSULTING ENGINEER
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 LIC. # CFC1258810

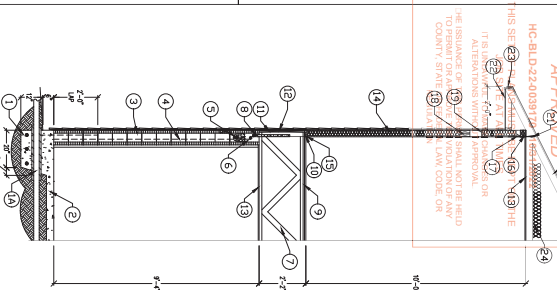
THIS PLAN HAS BEEN ELECTRONICALLY CHECKED AND APPROVED FOR CONFORMANCE WITH THE FLORIDA BUILDING CODE AND ALL APPLICABLE REGULATIONS. I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

NO.	DATE	REVISION

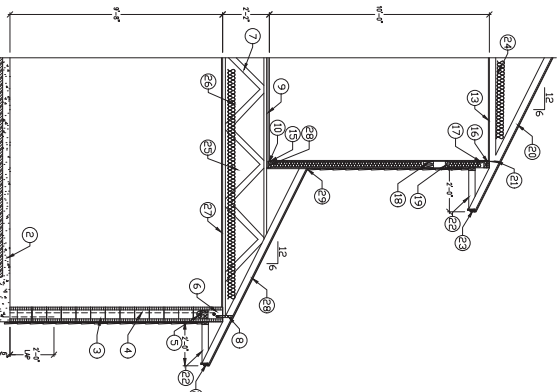
A1.5

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
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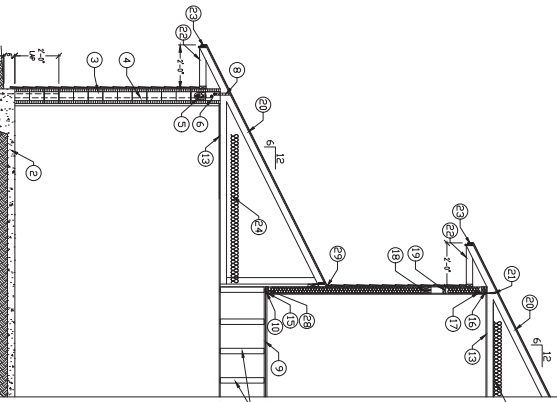
HC-BLD-23-0091
 THIS SET OF PLANS IS APPROVED FOR CONSTRUCTION OF THE INDICATED PROJECT ONLY. THIS APPROVAL IS NOT BE HELD TO PREVAIL FOR ANY OTHER PROJECT OR IN ANY COUNTY OR JURISDICTION OTHER THAN HILLSBOROUGH COUNTY, FLORIDA.



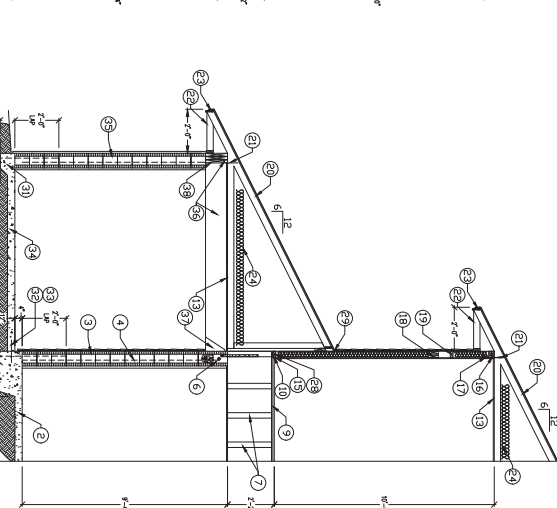
SECTION 1
 SCALE: 3/8" = 1'-0" A1.6



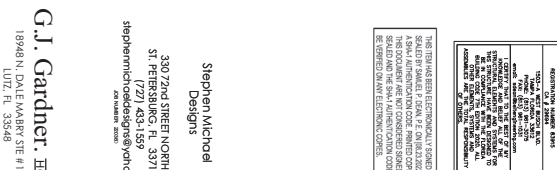
SECTION 2
 SCALE: 3/8" = 1'-0" A1.6



SECTION 3
 SCALE: 3/8" = 1'-0" A1.6



SECTION 4
 SCALE: 3/8" = 1'-0" A1.6

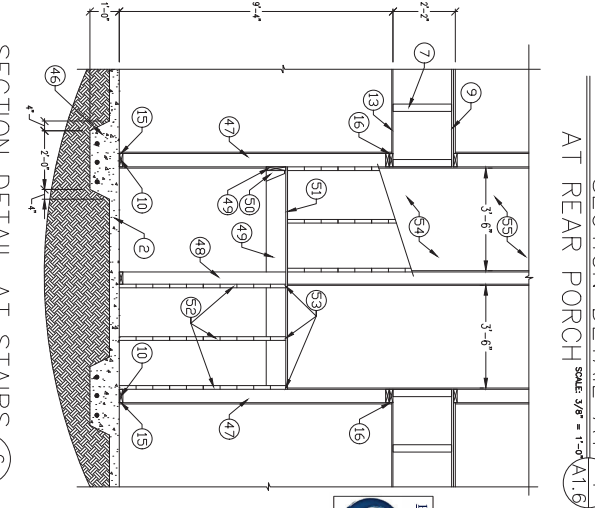


SECTION 5
 SCALE: 1/2" = 1'-0" A1.6

1. NEW 2'x12" KNOCKING FORM WITH IR CONCRETE 4# BARS (TP). 1A. NEW 3" SANDHILL W/8 COAG HOLLOW CHOCOLIC FOAM/DIAPHR. USE A-C-F-P-FC PER F&A FORM. FOR THE SAKE OF THE SCHEDULE, WALL SHALL BE FINISHED WITH 5/8" GYPSUM BOARD OVER 1/2" ROCK WOOL BATT INSULATION. 2. 4" CONCRETE SLAB WITH 4# GY. W/8 1/4" DIA. REBAR WITH H/D HORIZONTAL REBAR. 3. EXTERIOR MASONRY WALL. SEE WALL SCHEDULE ON SHEET A1.1 (TP). 4. EXTERIOR MASONRY WALL. FLEED CELL WITH (I) VERTICAL 4# 4" O.C. (MAX) (TP). 5. PRE-CAST Lintel ABOVE OPENING. SEE SHEET A1.4 LINTEL SCHEDULE SHEET. 6. KNOCK OUT LOCKED BEAM WITH (I) #5 BAR CONG. (TP). 7. 2" WEAR LAYER OVER 1/2" O.C. (MAX) (TP). 8. LAY IN 1/2" GYPSUM BOARD OVER MASONRY WALL. 9. FINISH WITH 5/8" GYPSUM BOARD OVER 1/2" ROCK WOOL BATT INSULATION. 10. 2"X4 OLB AT R.F. (TP). 11. 3" O.C. R/VWOOD AT EXTERIOR FACE OF FLOOR JOIST WITH (SD) W/16 AT 9" O.C. (TP). 12. 1/2" GYPSUM BOARD OVER R/VWOOD AT EXTERIOR FACE OF FLOOR JOIST WITH (SD) W/16 AT 9" O.C. (TP). 13. 3" CLING BOARD (TP). 14. 2"X4 OLB AT R.F. 15. 3/4" TIE PLATE BY SWAMPSON (TP). 16. (I) 2"X4 OLB AT R.F. 17. 3/4" TIE PLATE BY SWAMPSON (TP). 18. 2"X4 OLB AT EXTERIOR CORNER. 19. 2"X4 OLB AT EXTERIOR CORNER. 20. 2"X4 OLB AT EXTERIOR CORNER. 21. 2"X4 OLB AT EXTERIOR CORNER.

19. LOCATION OF BEAM 800" A.T. R./D.F. 20. NEW 20" DIA. DIMENSIONAL SIMPSON SONI (I) LATER PRE-ENGINEERED QUALITY FLOOR TRUSS SYSTEM AT 2'x' O.C. (MAX) (TP). 21. FASTEN NEW TRUSS TO NEW W/8 WALL ANCH BEAM WITH H/D HORIZONTAL REBAR. SWAMPSON (TP). 22. NEW ALUMINUM SUPPORT SHALL BE FASTENED AT BOTH ENDS TO EXISTING CONCRETE SLAB WITH 3/4" DIA. GY. W/8 1/4" DIA. REBAR. SEE DETAIL A.1.4. 23. NEW ALUMINUM FACIA OVER 1" H/DIPE EDGE ON BEAM WITH H/D HORIZONTAL REBAR. SWAMPSON (TP). 24. (I) OPEN CELL SPAN FOLM INSULATION (TP). 25. 2" WEAR LAYER OVER 1/2" O.C. (MAX) (TP). 26. 2"X4 OLB OVER GARAGE AREA (TP). 27. 1/2" TIE PLATE, ONE HOUR RATED (CEMIG DESIGN) U/L (SD) (TP). 28. FASTENORE PLATE TO FLOOR JOIST WITH H/D W/16 AT 9" O.C. (TP). 29. F&A ASH OF R/OOF TO EXTERIOR WALL CONNECTION AT R.F. (TP). 30. NEW 2"X4 OLB HOODING OVER WITH (I) #5 BAR DETAIL A1.1.5.

31. AT REAR PORCH, LOCATION OF (I) 1"X11" I.V. BEAM, FASTEN TO EXISTING WITH (I) BARS OF 1.6D W/16S AT 1' O.C. (R/O) BARS (TP). 32. AT REAR PORCH, FASTEN I.V. BEAM TO MASONRY WALL WITH (I) BARS OF 1.6D W/16S ANCHOR BY SWAMPSON (TP). 33. LOCATION OF (I) 2"X4 STUD FACIA. 34. FASTEN STUD FACIA TO TOP OF MASONRY WALL WITH H/D HORIZONTAL REBAR. SWAMPSON (TP). 35. LOCATION OF (I) 1"X11" I.V. BEAM, FASTEN TO EXISTING WITH (I) HORIZONTAL BARS OF 1.6D W/16S AT 1' O.C. (R/O) BARS (TP). 36. AT REAR PORCH, FASTEN I.V. BEAM TO MASONRY COLUMN WITH (I) H/DIPE HEAVY EMBED ANCHOR BY SWAMPSON (TP). 37. LOCATION OF (I) 2"X4 STUD FACIA. 38. FASTEN STUD FACIA TO TOP OF MASONRY WALL WITH H/D HORIZONTAL REBAR. SWAMPSON (TP). 39. LOCATION OF (I) 1"X11" I.V. BEAM, FASTEN TO EXISTING WITH (I) HORIZONTAL BARS OF 1.6D W/16S AT 1' O.C. (R/O) BARS (TP). 40. FASTEN BEAM TO STUD FACIA WITH (I) H/DIPE HEAVY EMBED ANCHOR BY SWAMPSON (TP). 41. LOCATION OF (I) 1"X11" I.V. BEAM, FASTEN TO EXISTING WITH (I) HORIZONTAL BARS OF 1.6D W/16S AT 1' O.C. (R/O) BARS (TP). 42. FASTEN BEAM TO STUD FACIA WITH (I) H/DIPE HEAVY EMBED ANCHOR BY SWAMPSON (TP). 43. LOCATION OF (I) 2"X4 STUD FACIA. 44. 2"X4 OLB OVER BEAM (TP). 45. 2"X4 OLB OVER BEAM (TP). 46. 2"X4 OLB OVER BEAM (TP). 47. LOCATION OF 2"X4 INTERIOR BEARING WALL. SEE WALL SCHEDULE ON SHEET A1.1 (TP) # 4 (TP). 48. NEW 2"X12" 1/2" HOLLOW FORMING WITH (I) #5 BARS CONG. (TP). 49. 2"X4 OLB OVER BEAM (TP). 50. 2"X4 OLB OVER BEAM (TP). 51. 2"X4 OLB OVER BEAM (TP). 52. 2"X4 OLB OVER BEAM (TP). 53. 2"X4 OLB OVER BEAM (TP). 54. 2"X4 OLB OVER BEAM (TP). 55. 2"X4 OLB OVER BEAM (TP).



SECTION 6
 SCALE: 1/2" = 1'-0" A1.6

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 stephen@stamue.com

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 (813) 383-5531
 L.C. # CFC12548110
 "We Build Joy"

Stephen Michael Designs
 3907 72nd STREET NORTH
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 TAMPA, FL 33610
 stephenmichaelsdesigns@gmail.com

REVIEWED FOR CODE COMPLIANCE
 7403 ARDENWOOD STREET
 TAMPA, FL 33625
 DATE: 08/23/2023

APPROVED SITE PLAN
 Hillsborough County
 Natural Resources
 Approved by: [Signature]
 Expires: 9/28/2025

NO.	REVISION	DATE

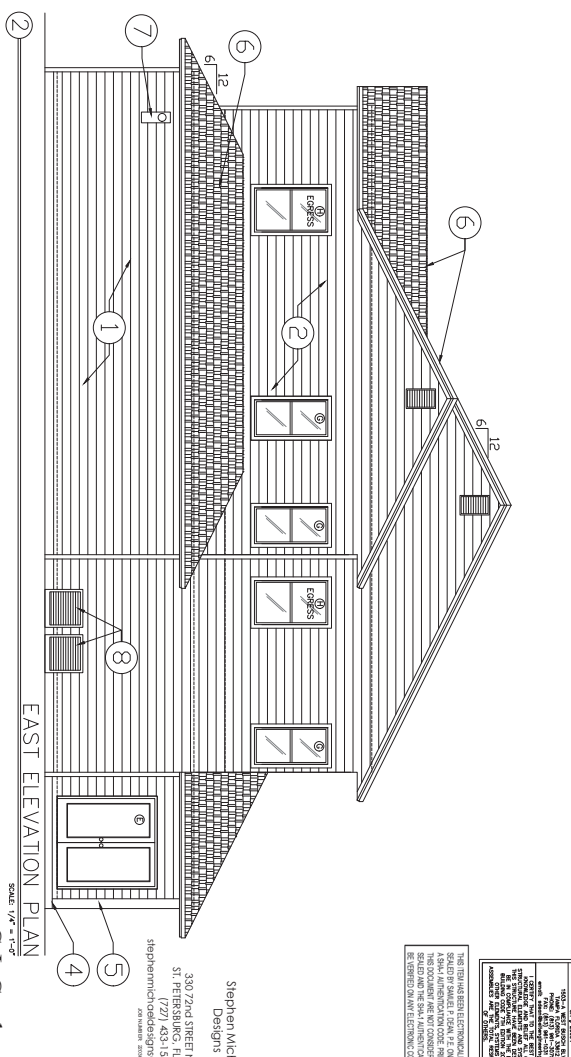
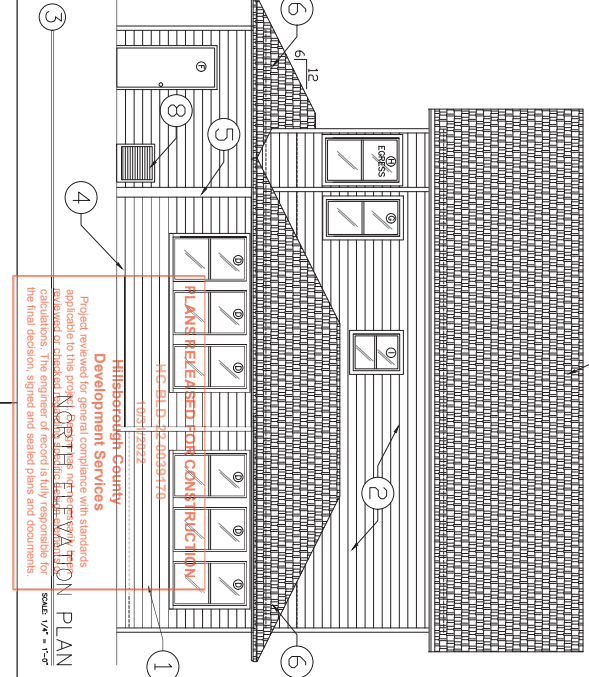
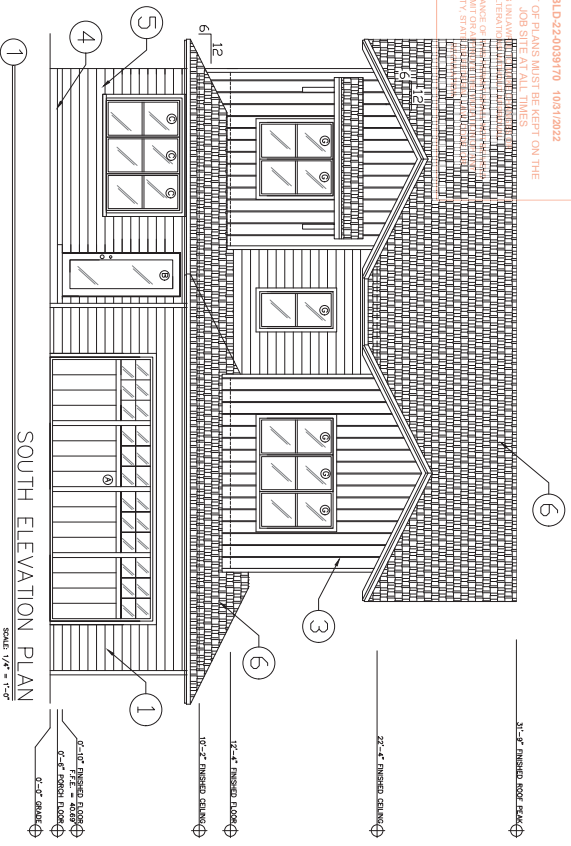
APPROVED SITE PLAN
 Hillsborough County
 Natural Resources
 Approved by: [Signature]
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 Hillsborough County
 Natural Resources
 Approved by: [Signature]
 Expires: 9/28/2025

APPROVED SITE PLAN
 Hillsborough County
 Natural Resources
 Approved by: [Signature]
 Expires: 9/28/2025

23-0276

JOB SITE PLAN: THESE PLANS MUST BE KEPT ON THE JOB SITE AT ALL TIMES.
 IF AN UNLAWFUL ACT IS COMPLETED ON THIS PROJECT, THE ENGINEER OF RECORD WILL BE CONTACTED BY THE INSURANCE COMPANY TO PREPARE FOR A CLAIM AND WILL BE RESPONSIBLE FOR ANY COSTS OF DEFENSE AND DAMAGES TO BE INCURRED BY THE COUNTY OR OTHER PARTIES.



BUILDING OPENINGS, WINDOWS & DOORS

MARK	SIZE	QTY	TYPE
1	16'-0" x 7'-0"	1	GARAGE DOOR - IMPACT
2	3'-0" x 6'-0"	1	ENTRY DOOR - IMPACT
3	2'-4" x 2'-0"	5	1ST WINDOW - IMPACT
4	2'-0" x 6'-0"	1	1ST WINDOW - IMPACT
5	6'-0" x 6'-0"	1	1ST WINDOW - IMPACT
6	2'-8" x 6'-0"	1	1ST WINDOW - IMPACT
7	4'-0" x 2'-0"	2	HORIZONTAL SLIDING GLASS WINDOW - IMPACT
8	2'-4" x 2'-0"	8	1ST GLASS WINDOW - IMPACT
9	2'-4" x 2'-0"	8	1ST GLASS WINDOW - IMPACT
10	4'-0" x 2'-0"	2	HORIZONTAL SLIDING GLASS WINDOW - IMPACT
11	4'-0" x 2'-0"	2	HORIZONTAL SLIDING GLASS WINDOW - IMPACT
12	2'-4" x 6'-0"	1	1ST GLASS WINDOW - IMPACT
13	2'-4" x 6'-0"	1	1ST GLASS WINDOW - IMPACT

APPROVED SITE PLAN
 Natural Resources Single-Family
 Expires: 02/28/2024
 Any deviations from the approved plans will require a re-submission to the jurisdiction.

1.2.3.3.3.2 MATERIAL REVISION NOTES:

- EXTERIOR MASONRY WALL WITH PAINTED LAY FINISH (TYP)
- EXTERIOR WOOD FRAME SECOND FLOOR WALL WITH PAINTED LAY FINISH (TYP)
- EXTERIOR WOOD FRAME SECOND FLOOR WALL WITH PAINTED LAY FINISH (TYP)
- EXTERIOR WOOD FRAME SECOND FLOOR WALL WITH PAINTED LAY FINISH (TYP)
- COVERED FRONT PORCH AREA
- SHINGLED PORCH ROOF SYSTEM (TYP)
- LOCATION OF ELECTRICAL METER
- LOCATION OF AIR CONDITIONING COMPRESSOR

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 Lutz, FL 33548
 (813) 328-5631
 LIC. # CEC1254810
 "We Build Joy"

THE BISHOP RESIDENCE
 7403 ARDENWOOD STREET
 TAMPA, FL 33625

REVIEWED FOR CODE COMPLIANCE

DATE: 09/22/2023

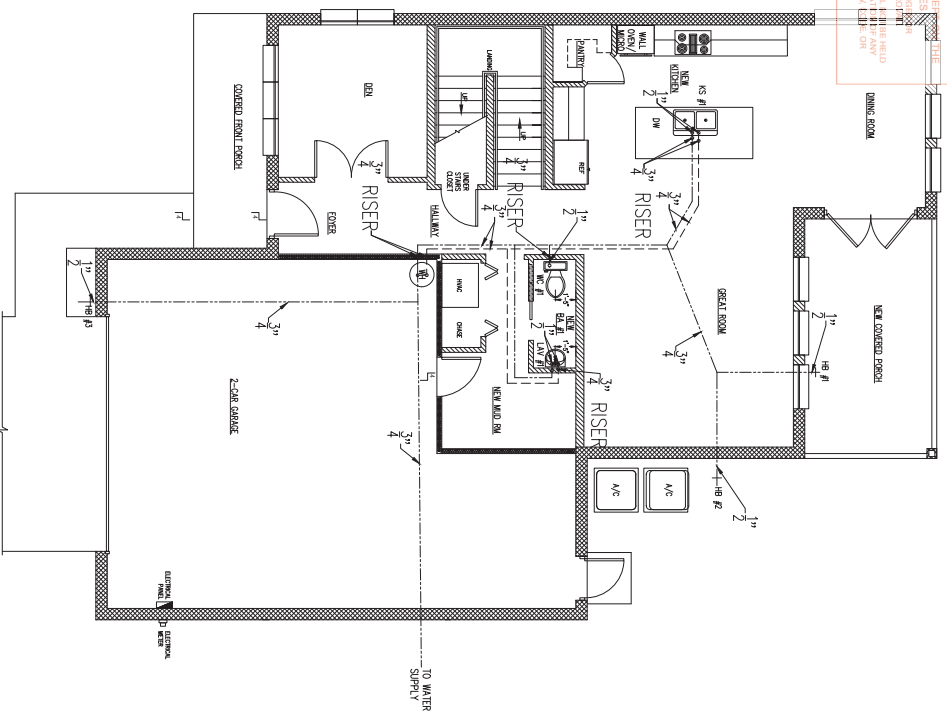
18948 N. DALE HARRY, STE #101

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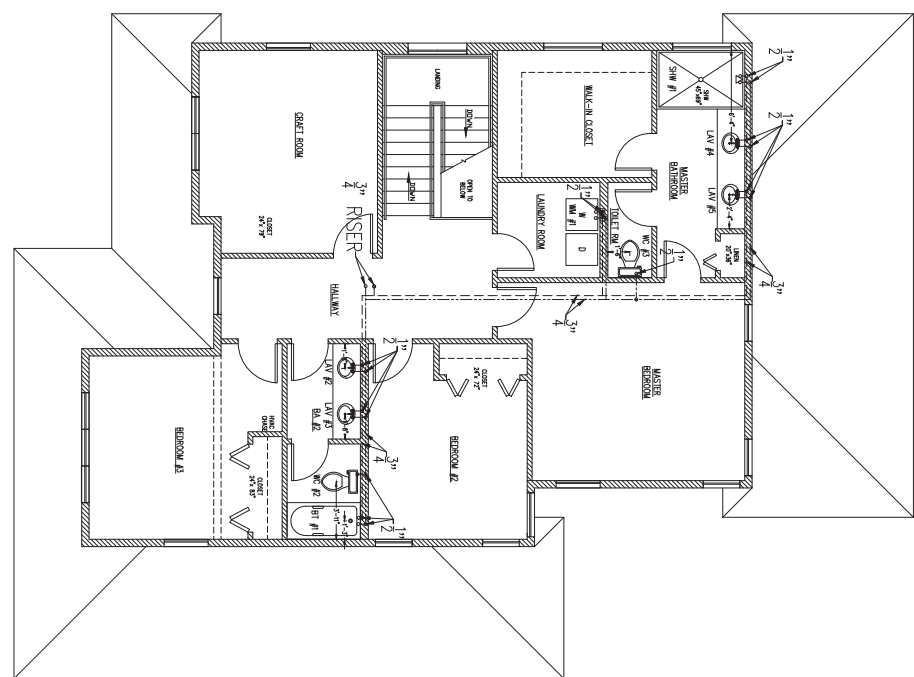
APPROVED

HC-BLD-23-0099170 - 1003110222

THIS SET OF PLANS MUST BE KEPT AT THE JOB SITE AT ALL TIMES.
IF ANY CHANGES TO THE PLANS ARE MADE, THE OWNER MUST SUBMIT A CORRECTED SET OF PLANS TO THE COUNTY FOR REVIEW AND APPROVAL.
THE ISSUANCE OF THIS PERMIT SHALL BE HELD TO PRESENT OR APPROVE THE VOLUME AND COUNTY'S STATE RESOLUTION.



FIRST FLOOR WATER SUPPLY PLAN
SCALE: 1/8" = 1'-0"



SECOND FLOOR WATER SUPPLY PLAN
SCALE: 1/8" = 1'-0"

- PLUMBING**
1. DRAWINGS ARE ENGINEERED. DO NOT SCALE DRAWINGS FOR THE LOCATION OF EQUIPMENT OR FOR THE LOCATION OF RISERS AND PIPING.
 2. ALL PLUMBING WORK SHALL BE PER THE CITY AND COUNTY CODES AND ANY LOCAL CODES OR ORDINANCES.
 3. PLUMBING CONTRACTORS SHALL PAY FOR ALL FEES, TAXES, AND PERMITS.
 4. ALL PIPING AND CONNECTIONS SHALL BE PER THE CITY AND COUNTY CODES AND ANY LOCAL CODES OR ORDINANCES.
 5. THESE DRAWINGS ARE NOT INTENDED TO SHOW THE LOCATION OF RISERS AND PIPING. THE PLUMBING CONTRACTOR SHALL VERIFY THE LOCATION OF RISERS AND PIPING IN THE FIELD AND MAKE ANY NECESSARY ADJUSTMENTS TO THE PLAN.

HILLSBOROUGH COUNTY

PLUMBING SCHEDULE

SYMBOL	DESCRIPTION	REQUIREMENTS	WASTE	VENT	TEST
APPROVED	APPROVED	APPROVED	APPROVED	APPROVED	APPROVED

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(813) 328-5581
stephenmich@deandesign.com

THIS PLAN HAS BEEN ELECTRONICALLY CHECKED AND APPROVED FOR THE CITY OF TAMPA. THE CITY ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLAN AND DOES NOT CONSTITUTE A GUARANTEE OR WARRANTY OF ANY KIND. THE ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION PROVIDED TO HIM.

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Designer
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St. Petersburg, FL 33710
stephenmich@deandesign.com

G.J. Gardner, REGISTERED
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L.C. # CFC1256810
"We Build Joy"

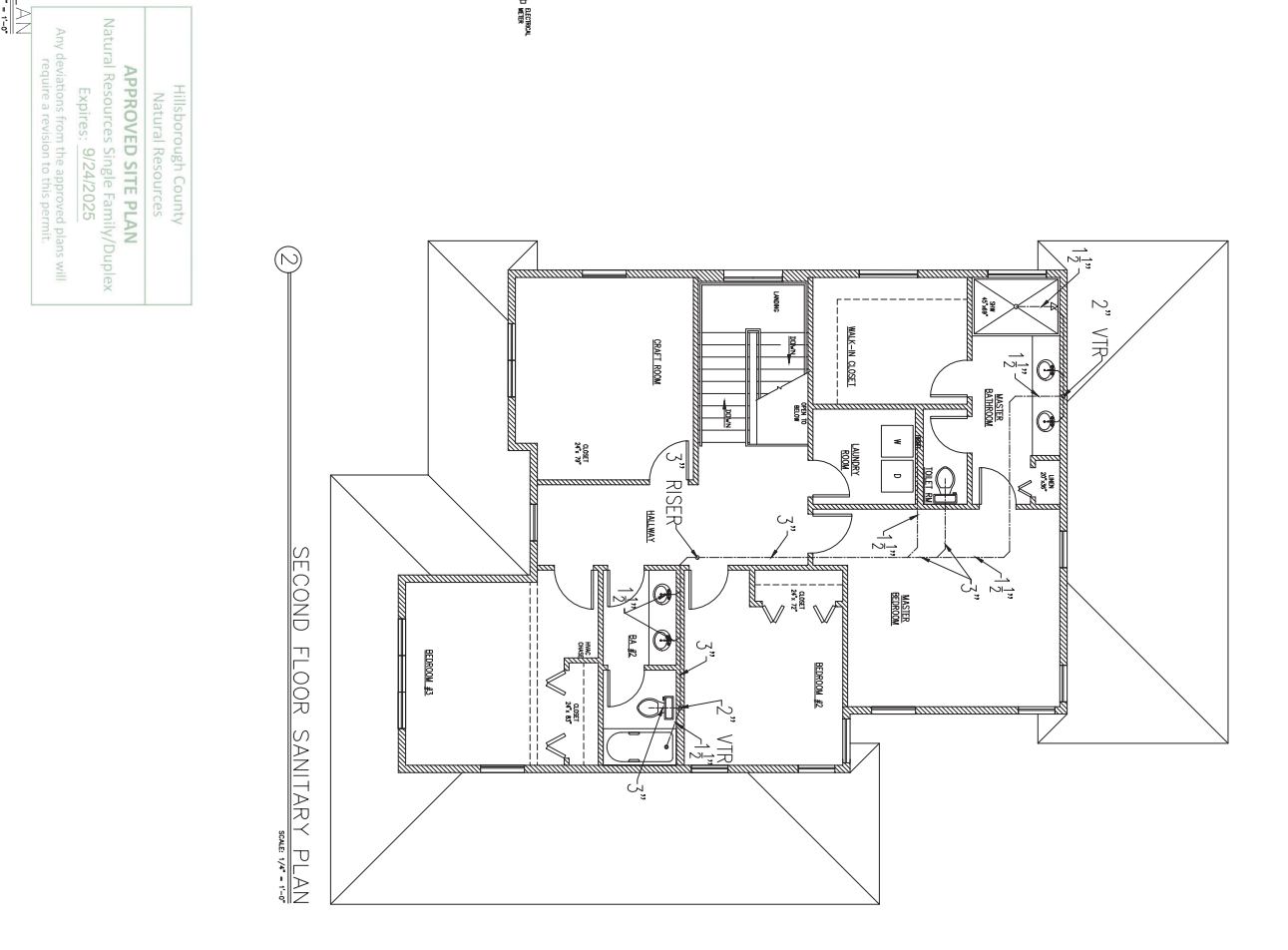
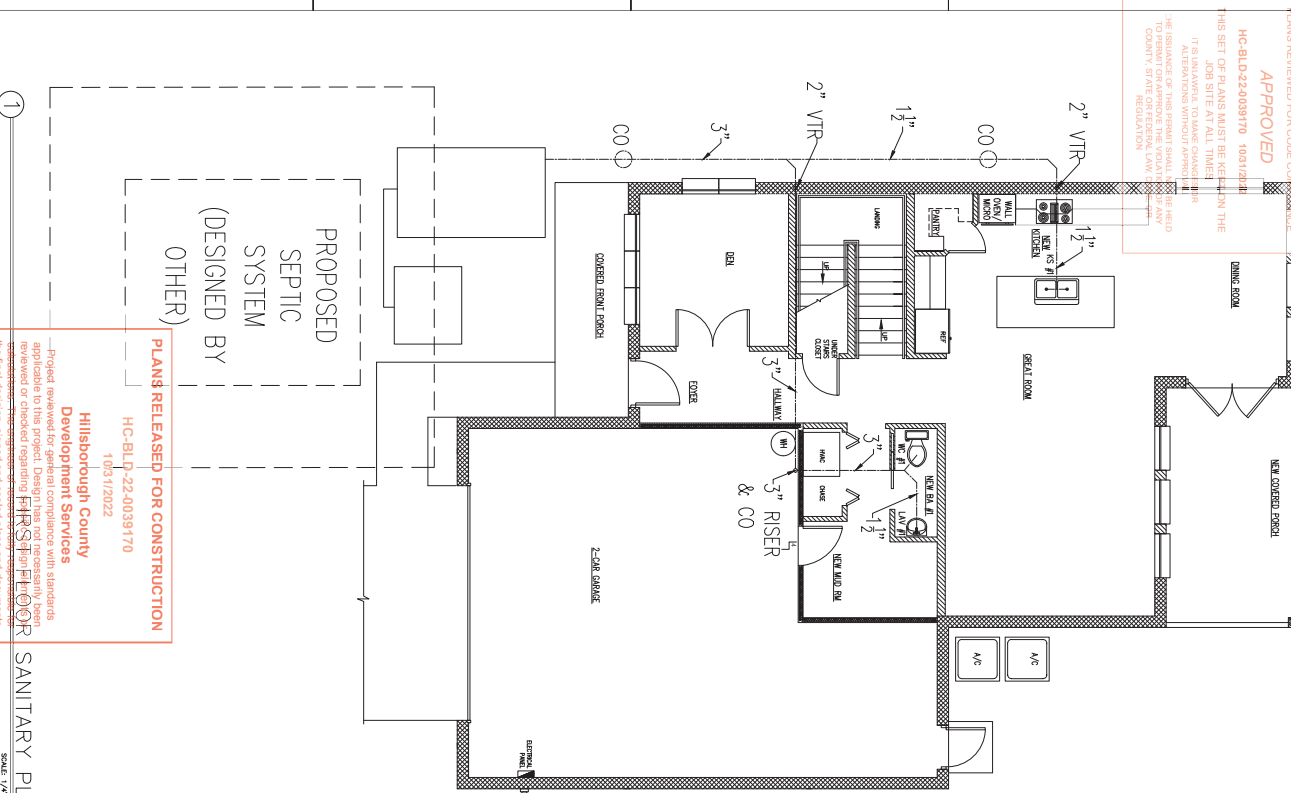
REVIEWED FOR CODE COMPLIANCE
7403 ARDENWOOD STREET
TAMPA, FL 33625

NO.	DATE	REVISION

P.1.0

HILLSBOROUGH COUNTY
 PLANS REVIEWED FOR CODE COMPLIANCE

APPROVED
 HC-BLD-22-0039170 - 10/31/2022
 THIS SET OF PLANS MUST BE KEPT ON THE
 JOB SITE AT ALL TIMES
 IT IS ILLEGAL TO MAKE CHANGES
 TO THESE PLANS WITHOUT THE WRITTEN
 PERMISSION OF THE ENGINEER OF RECORD
 THE ISSUANCE OF THIS PERMIT SHALL NOT BE HELD
 TO PREVENT OR IMPROVE THE VIOLATION OF ANY
 COUNTY, STATE OR FEDERAL
 REGULATIONS



PROPOSED
 SEPTIC
 SYSTEM
 (DESIGNED BY
 OTHER)
 PLANS RELEASED FOR CONSTRUCTION
 HC-BLD-22-0039170
 10/31/2022
 Hillsborough County
 Development Services

APPROVED SITE PLAN
 Natural Resources Single Family/Duplex
 Expires: 9/24/2025
 Any deviations from the approved plans will
 require a revision to this permit.

Hillsborough County
 Natural Resources
 APPROVED SITE PLAN
 Natural Resources Single Family/Duplex
 Expires: 9/24/2025
 Any deviations from the approved plans will
 require a revision to this permit.

STEPHEN MICHAEL
 CONSULTING ENGINEER
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 SUITE 100
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 (813) 528-5581
 stephenmichaelsdesigns.com

THIS PLAN HAS BEEN ELECTRONICALLY VERIFIED AND
 APPROVED FOR CONSTRUCTION. THE ENGINEER OF
 RECORD HAS REVIEWED THE PLAN AND HAS
 FOUND IT TO BE IN COMPLIANCE WITH THE
 APPLICABLE REGULATIONS. THE ENGINEER OF
 RECORD IS NOT PROVIDING ANY GUARANTEE
 OR WARRANTY FOR THE ACCURACY OF THE
 INFORMATION PROVIDED ON THESE PLANS.
 THE ENGINEER OF RECORD IS NOT RESPONSIBLE
 FOR ANY ERRORS OR OMISSIONS THAT MAY
 BE FOUND IN THESE PLANS.

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 L.C. # CRC1256810
 "We build joy"

NEW RESIDENCE
 THE BISHOP
 RESIDENCE
 7403 ARDENWOOD STREET
 TAMPA, FL 33625

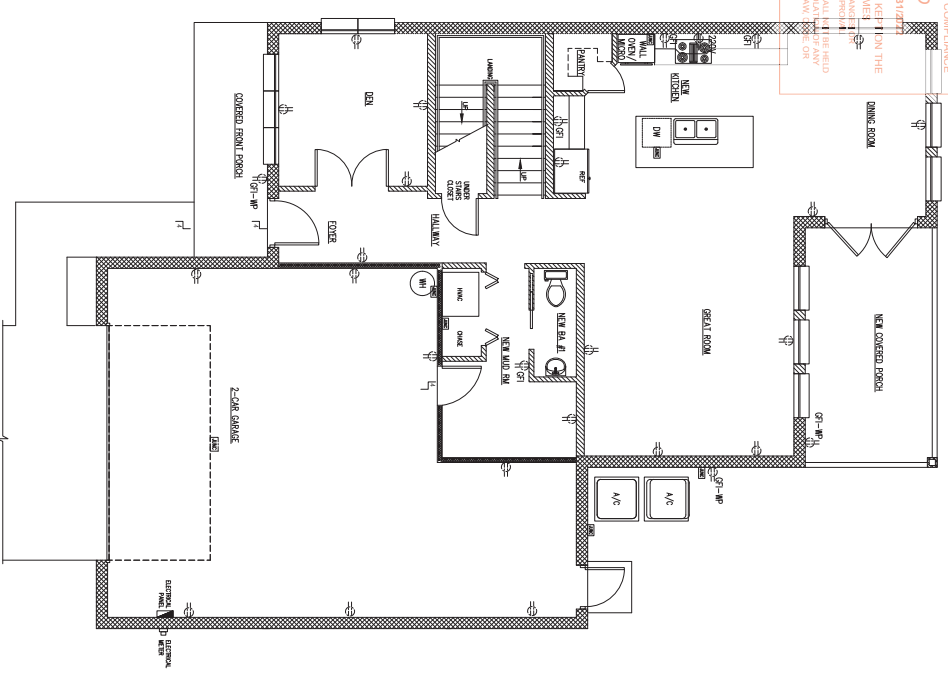


NO.	DATE	REVISION

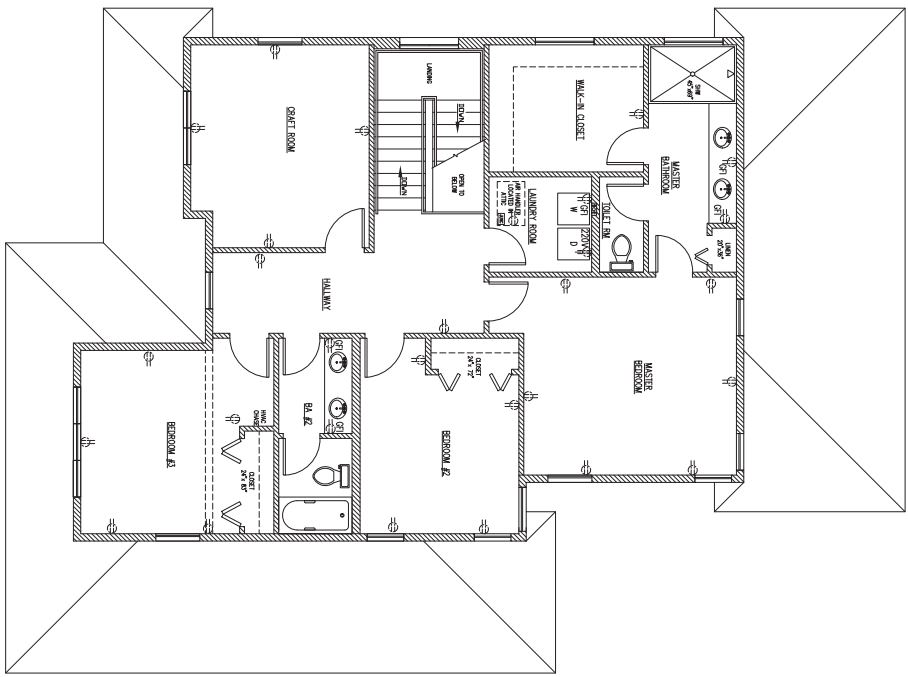
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THE ENGINEER OF RECORD HAS REVIEWED THE PLAN AND HAS FOUND IT TO BE IN COMPLIANCE WITH THE APPLICABLE REGULATIONS. THE ENGINEER OF RECORD IS NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE ACCURACY OF THE INFORMATION PROVIDED ON THESE PLANS. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY BE FOUND IN THESE PLANS.

HILLSBOROUGH COUNTY
 PLANS REVIEWED FOR CODE COMPLIANCE
APPROVED
 HC-BLD-23-0039170 - 10/31/2023
 THIS SET OF PLANS MUST BE KEPT IN THE JOB SITE AT ALL TIMES.
 IF ANY CHANGES TO THESE PLANS ARE REQUIRED, THE ENGINEER MUST BE NOTIFIED IMMEDIATELY. THE ISSUANCE OF THIS PERMIT SHALL BE VOID TO PREVENT OR APPROVE THE VIOLATION OF ANY COUNTY, STATE OR FEDERAL REGULATIONS.



1 FIRST FLOOR ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"



2 SECOND FLOOR REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"

- ELECTRICAL NOTES:**
1. ALL ELECTRICAL SYSTEMS SHALL BE DESIGNED BY A LICENSED ELECTRICAL ENGINEER.
 2. ALL ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL ORDINANCES.
 3. SEE ELECTRICAL LEGEND FOR SYMBOLS AND NOTATION.
 4. ANY CHANGES TO THESE PLANS SHALL BE MADE BY THE ENGINEER AND SHALL BE SUBMITTED WITH A PERMIT APPLICATION TO THE ENGINEER OF RECORD.

5. ALL ELECTRICAL OUTLETS WITHIN 6 FEET OF ANY WATER OUTLET SHALL HAVE GROUND-Fault CIRCUIT INTERRUPTER PROTECTION.

6. NUMBER AND LOCATION OF ALL OUTLETS SHALL BE PER CODE. SEE DRAWINGS FOR SUGGESTED LOCATIONS.

7. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL ORDINANCES.

8. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL ORDINANCES.

9. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL ORDINANCES.

PLANS REVIEWED FOR CODE COMPLIANCE
 Hillsborough County
 APPROVED SITE PLAN
 Natural Resources
 Single Family/Duplex
 Expires: 9/24/2025

Any deviations from the approved plans will require a revision to this permit.

10. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL ORDINANCES.



3 ELECTRIC RISER
 SCALE: N.T.S.

ELECTRICAL LEGEND

SYMBOL	DESCRIPTION
[Symbol]	120V 15 AMP BRN/BLK GFI
[Symbol]	120V 20 AMP BRN/BLK GFI
[Symbol]	120V 30 AMP BRN/BLK GFI
[Symbol]	120V 40 AMP BRN/BLK GFI
[Symbol]	120V 50 AMP BRN/BLK GFI
[Symbol]	120V 60 AMP BRN/BLK GFI
[Symbol]	120V 75 AMP BRN/BLK GFI
[Symbol]	120V 100 AMP BRN/BLK GFI
[Symbol]	120V 150 AMP BRN/BLK GFI
[Symbol]	120V 200 AMP BRN/BLK GFI
[Symbol]	120V 250 AMP BRN/BLK GFI
[Symbol]	120V 300 AMP BRN/BLK GFI
[Symbol]	120V 350 AMP BRN/BLK GFI
[Symbol]	120V 400 AMP BRN/BLK GFI
[Symbol]	120V 450 AMP BRN/BLK GFI
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[Symbol]	120V 600 AMP BRN/BLK GFI
[Symbol]	120V 650 AMP BRN/BLK GFI
[Symbol]	120V 700 AMP BRN/BLK GFI
[Symbol]	120V 750 AMP BRN/BLK GFI
[Symbol]	120V 800 AMP BRN/BLK GFI
[Symbol]	120V 850 AMP BRN/BLK GFI
[Symbol]	120V 900 AMP BRN/BLK GFI
[Symbol]	120V 950 AMP BRN/BLK GFI
[Symbol]	120V 1000 AMP BRN/BLK GFI

11. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL ORDINANCES.

12. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL ORDINANCES.

13. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL ORDINANCES.

14. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL ORDINANCES.

15. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL ORDINANCES.

16. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL ORDINANCES.

17. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL ORDINANCES.

18. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL ORDINANCES.

STEPHEN MICHAEL
 CONSULTING ENGINEER
 LICENSE NO. 21576
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 EXPIRES 09/24/2025

THIS SET OF PLANS HAS BEEN ELECTRONICALLY VERIFIED AND APPROVED FOR CONSTRUCTION. THE ENGINEER OF RECORD IS NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE ACCURACY OR COMPLETENESS OF THESE PLANS. THE ENGINEER OF RECORD IS NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE ACCURACY OR COMPLETENESS OF THESE PLANS.

Stephen Michael
 Designs

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 LIC. # CHC7254810
 "We Build Joy"

NEW RESIDENCE

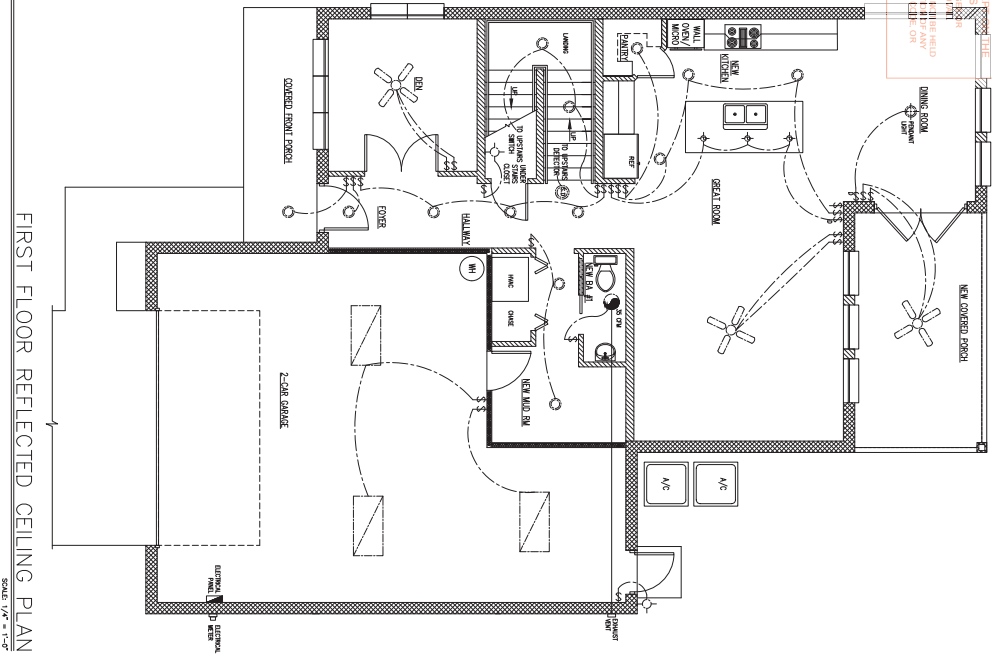
THE BISHOP
 RESIDENCE
 7403 ARDENWOOD STREET
 TAMPA, FL 33625

REVIEWED FOR CODE COMPLIANCE

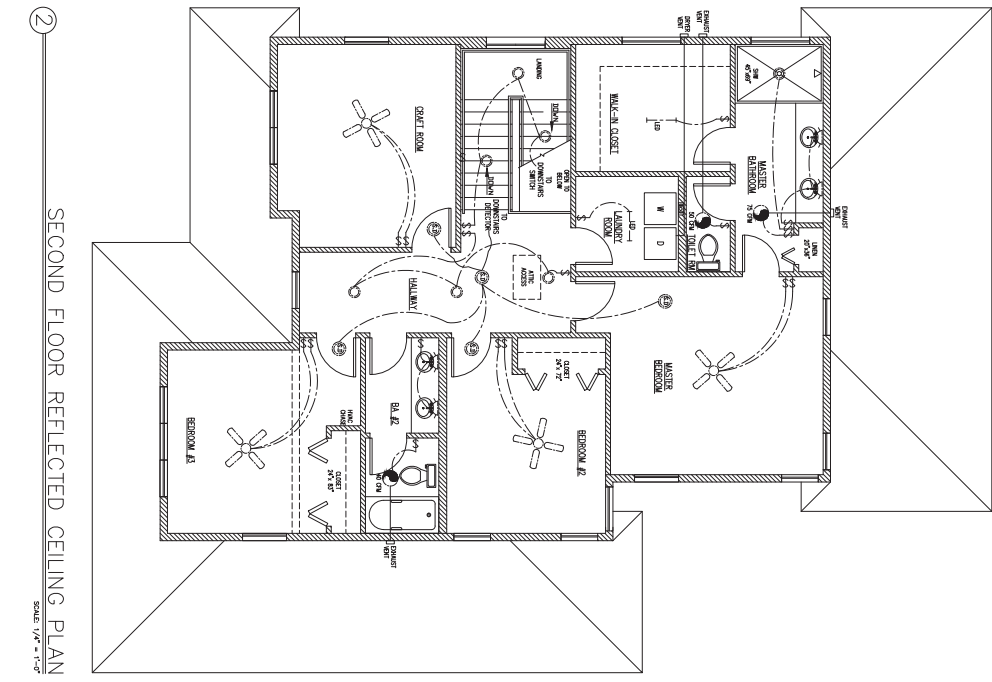
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NO.	DATE	BY	REVISION

HILLSBOROUGH COUNTY
 PLANS REVIEWED FOR CODE COMPLIANCE
APPROVED
 HC-BLD-22-0039170 - 10/31/2022
 THIS SET OF PLANS MUST BE KEPT ON THE JOB SITE AT ALL TIMES AS A CONDITION OF THIS PERMIT. ANY CHANGES TO THESE PLANS MUST BE PRESENT FOR APPROVAL FROM THE COUNTY ENGINEER. THE ISSUANCE OF THIS PERMIT SHALL BE VOID IF IT IS USED FOR ANY OTHER PROJECT OR SITE. THIS PERMIT IS VOID IF ANY COUNTY ENGINEER RESOLUTION IS APPLIED TO THIS PERMIT.



SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

PLANS RELEASED FOR CONSTRUCTION
 HC-BLD-22-0039170
 10/31/2022
 Hillsborough County
 Development Services

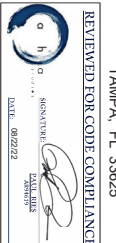
Project reviewed for general compliance with standards applicable to this project. Design has not necessarily been reviewed or checked regarding specific design elements or calculations. The engineer of record is fully responsible for the final design, signed and sealed plans and documents.

Hillsborough County
 Natural Resources
APPROVED SITE PLAN
 Natural Resources Single Family/Duplex
 Expires: 9/24/2025
 Any deviations from the approved plans will require a revision to this permit.

ELECTRICAL LEGEND

- NEW 20 AMP BREAKER
- NEW 15 AMP BREAKER
- NEW 20 AMP BREAKER
- NEW 30 AMP BREAKER
- NEW 40 AMP BREAKER
- NEW 60 AMP BREAKER
- NEW 100 AMP BREAKER
- NEW 150 AMP BREAKER
- NEW 200 AMP BREAKER
- NEW 250 AMP BREAKER
- NEW 300 AMP BREAKER
- NEW 350 AMP BREAKER
- NEW 400 AMP BREAKER
- NEW 450 AMP BREAKER
- NEW 500 AMP BREAKER
- NEW 550 AMP BREAKER
- NEW 600 AMP BREAKER
- NEW 650 AMP BREAKER
- NEW 700 AMP BREAKER
- NEW 750 AMP BREAKER
- NEW 800 AMP BREAKER
- NEW 850 AMP BREAKER
- NEW 900 AMP BREAKER
- NEW 950 AMP BREAKER
- NEW 1000 AMP BREAKER

NEW RESIDENCE
 THE BISHOP
 RESIDENCE
 7403 ARDENWOOD STREET
 TAMPA, FL 33625



STEPHEN MICHAEL
 CONSULTING ENGINEER
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G.J. Gardner, TORRES
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 (813) 328-5581
 L.C.# C02156810
 "We Build Joy"

THIS PLAN HAS BEEN ELECTRONICALLY SIGNED AND
 SEALED. ANY CHANGES TO THIS PLAN MUST BE
 APPROVED BY THE ENGINEER OF RECORD AND
 THE COUNTY ENGINEER. THIS PERMIT IS VOID
 IF IT IS USED FOR ANY OTHER PROJECT OR SITE.
 THE ISSUANCE OF THIS PERMIT SHALL BE VOID
 IF IT IS USED FOR ANY OTHER PROJECT OR SITE.
 THIS PERMIT IS VOID IF ANY COUNTY ENGINEER
 RESOLUTION IS APPLIED TO THIS PERMIT.

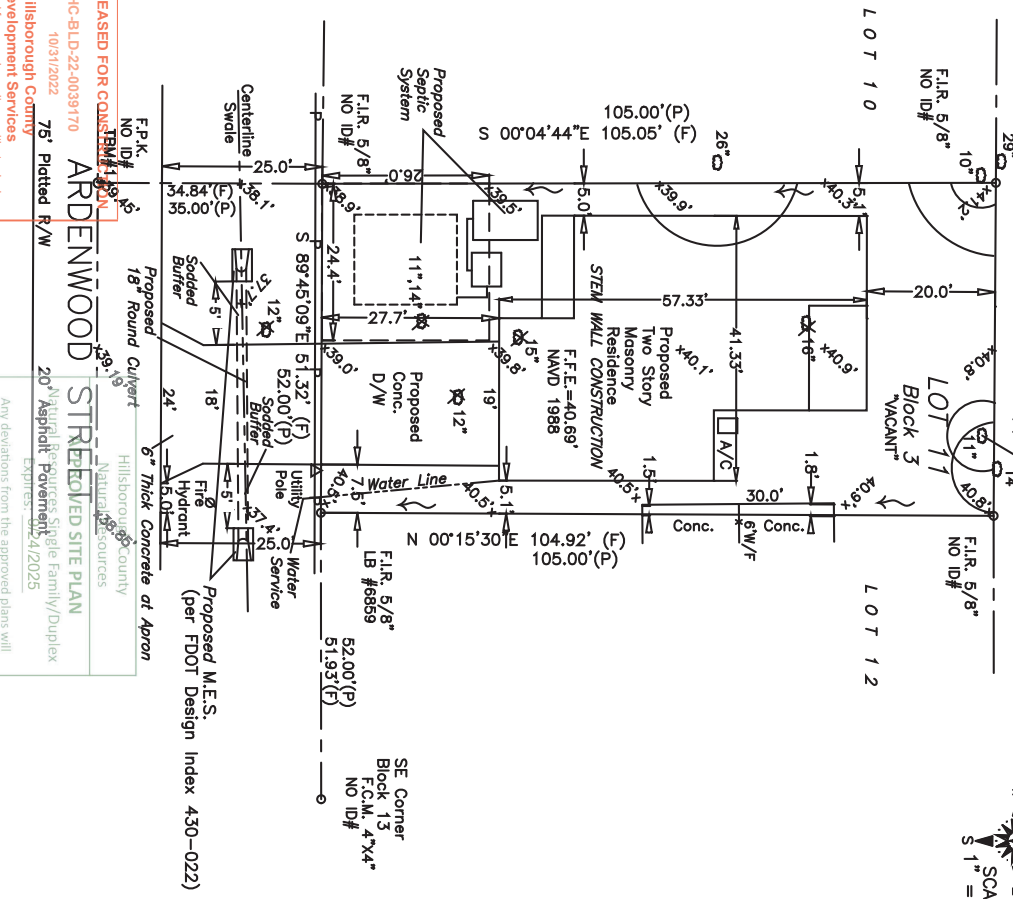
DATE: 10/31/2022
PROJECT: NEW RESIDENCE
DESIGNER: G.J. GARDNER, TORRES
REVIEWER: STEPHEN MICHAEL
APPROVED: STEPHEN MICHAEL
SCALE: 1/4" = 1'-0"

HC-BLD-22-0039170 10/31/2022

DESCRIPTION:
LOT 11, BLOCK 13, of TOWN OF
CITRUS PARK, according to the
map of plot thereof, as recorded
in PLAT BOOK 1, PAGE 130, of
the Public Records of Hillsborough
County, Florida.

Hillsborough County Folio: 003217-0000

Existing tree
to remain &
be protected
as required
(typical)



- = Tree Barricades
for retained trees
- X = To be removed
- = Oak
- Tree Table
- = Existing Elev.
Typical
- ⌋ = Existing Drainage

PLANS RELEASED FOR COMPLYING WITH
ARDENWOOD
Hillsborough County
Development Services
10/31/2022
HC-BLD-22-0039170
75' Platted R/W

STRETTLED SITE PLAN
Natural Resources
Hillsborough County
20' Asphalt Pavement
Expires: 02/24/2025
Any deviations from the approved plans will
require a revision to this permit.

SE Corner
Block 13
N.C.M. 4'x4'
NO ID#

BOUNDARY SURVEY & SITE PLAN

MAP OF: BOUNDARY SURVEY & SITE PLAN

SURVEYOR'S NOTES:
1. This is a Boundary Survey, made on the ground under the operation of a Florida Registered Surveyor
Map of the Survey, recorded on 08/28/2008 in Public Record Book 12057C0179H.
2. Bearings are based on: the Northern R/W line of ARDENWOOD STREET, LOS S. 89°45'09"E, assumed bearing.
3. No underground utilities, underground structures or building foundations were measured or located
as a part of this survey, unless otherwise shown. Trees and shrubs not located, unless otherwise shown.
4. This survey was conducted for the purpose of a Boundary Survey only, and is not intended to
establish, reconfirm, or otherwise affect any boundary line, easement, or other similar right.
5. This survey was conducted without the benefit of this, therefore, there may be other
rights-of-way, easements, reservations, restrictions, or other similar matters of
public record, not depicted on this survey.
6. Attention is directed to the fact that this survey may have been reduced or enlarged in size due to
reproduction. This should be taken into consideration when obtaining scaled data. Verification of size due to
reproduction of this map may without liability to the surveyor. Nothing herein shall be construed to give any
rights or benefits to anyone other than those certified to.
7. Attention is directed to the fact that this survey may have been reduced or enlarged in size due to
reproduction. This should be taken into consideration when obtaining scaled data. Verification of size due to
reproduction of this map may without liability to the surveyor. Nothing herein shall be construed to give any
rights or benefits to anyone other than those certified to.
8. THIS SURVEY NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED
SURVEYOR AND APPROVED BY THE COUNTY CLERK.

LEGEND AND ABBREVIATIONS:

F.L.P.-FOUND IRON PIPE	F.C.M.-FOUNDATION CONCRETE MONUMENT	R/W-NORTH-OR-WAY	(D)-DEED
F.L.P.-FOUND IRON ROD	F.F.E.-FINISHED FLOOR ELEVATION	P.A.-PLAT BOOK	(F)-FIELD
S.L.P.-SET IRON ROD	F.O.B.-POINT OF BEGINNING	R/W-NORTH-OR-WAY	(P)-PLAT
S.P.L.-SET IRON PIPE	F.O.B.-POINT OF BEGINNING	R/W-NORTH-OR-WAY	(P)-PLAT
A/C-WH/WH CONDUIT	S.P.L.-SET IRON PIPE	C/L-CHAIN LINK	(A)-ASBESTOS
2-2-OVERHEAD POWER	O.R.-OFFICIAL RECORD BOOK	E.L.V.-ELEVATION	(S.O.-SOLID)
M.S.-MASONRY	D.B.-DEED BOOK	R/W-NORTH-OR-WAY	(S.O.-SOLID)
C.O.C.-CONCRETE	P.C.-POINT OF CURVATURE	R/W-NORTH-OR-WAY	(S.O.-SOLID)
X-100'-TYPICAL ELEVATION	P.C.-POINT OF CURVATURE	R/W-NORTH-OR-WAY	(S.O.-SOLID)
R.O.-ROUND CONCRETE	C.A.P.-CORNER	R/W-NORTH-OR-WAY	(S.O.-SOLID)
W/W-WOOD FRAME FENCE	R.O.-ROUND CONCRETE	R/W-NORTH-OR-WAY	(S.O.-SOLID)
W/W-WOOD FRAME FENCE	R.O.-ROUND CONCRETE	R/W-NORTH-OR-WAY	(S.O.-SOLID)
W/W-WOOD FRAME FENCE	R.O.-ROUND CONCRETE	R/W-NORTH-OR-WAY	(S.O.-SOLID)

FLOOD ZONE CERTIFICATE: This is to certify that the property shown hereon falls
with Flood Zone **X** as per the Flood Insurance Rate Map,
Community Panel Number **12057C0179H**, dated **08/28/2008**
CERTIFIED TO:
Deanna A Perez & Steven Scott Shepard
Hancock Whitney Bank
Wolflin & Winkle Title Insurance Agency
First American Title Insurance Company
All State Homes Inc



Eddie P. Jenkins, P.L.S.
PROFESSIONAL SURVEYOR & MAPPER
FLORIDA REGISTRATION NO. 6899
Certificate of Authorization: LB # 6899

Digitally signed by
Eddie P Jenkins
Date: 2022.10.25
10:34:51 -0400

Revisions	Date	By
SITE PLAN	10/24/22	10/24/22
SITE PLAN	09/22/22	09/22/22

Check	Station#	Job #	Sheet
DM	4	2203-16	1 of 1

Eddie P. Jenkins
SURVEYING AND MAPPING, INC.
4030 HIGHWAY 41 NORTH - LAND O LAKES, FL 34639
PHONE (813) 948-2666 FAX (813) 436-1763
jenkins.surveying@verizon.net - www.jenkins-surveying.com



23-0276



Project Description (Variance Request)

1. In the space below describe the variance including any history and/or related facts that may be helpful in understanding the request. This explanation shall also specifically identify what is being requested (e.g. Variance of 10 feet from the required rear yard setback of 25 feet resulting in a rear yard of 15 feet). If additional space is needed, please attach extra pages to this application.

~~We applied for the permit of this single family residential home in September of 2022 with all the necessary documents uploaded to Accela for review. During the county review process there were minor issues that required revisions to the site plan. The revisions were made, submitted and ultimately approved along with the building plans by Hillsborough County on 10/31/2022 by all reviewing departments. All the required construction documents, site and building plans are stamped "Approved" and the permit (HC-BLD-22-0039170) was issued by Hillsborough County. This home has been constructed according to the Hillsborough County Approved plans and is over 50% complete. To have a stop order placed on a job and be required to submit for a variance for supposed code violations is absurd. There is no violation on our part, and the county should claim full responsibility for their errors. We have time constraints on this build as the clients are moving from out of state and will have nowhere to stay if this home isn't completed by May 1. To simply stop work is not an option. We would like to address as many of the concerns as we can, however, there are some that are simply not possible at this stage of the build and would have needed to be addressed and caught by the Hillsborough County building department as the building plans were being reviewed and approved.~~

2. A Variance is requested from the following Section(s) of the Hillsborough County Land Development Code:

Sec. 3.10.12A, 3.10.12B, 3.10.12C, 3.10.12F, 3.10.12G, 3.10.12J

Additional Information

1. Have you been cited by Hillsborough County Code Enforcement? No Yes
If yes, you must submit a copy of the Citation with this Application.
2. Do you have any other applications filed with Hillsborough County that are related to the subject property?
 No Yes If yes, please indicate the nature of the application and the case numbers assigned to the application (s): _____
3. Is this a request for a wetland setback variance? No Yes
If yes, you must complete the Wetland Setback Memorandum and all required information must be included with this Application Packet.
4. Please indicate the existing or proposed utilities for the subject property:
 Public Water Public Wastewater Private Well Septic Tank
5. Is the variance to allow a third lot on well or non-residential development with an intensity of three ERC's?
 No Yes If yes, you must submit a final determination of the "Water, Wastewater, and/or Reclaimed Water – Service Application Conditional Approval – Reservation of Capacity" prior to your public hearing

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Variance Criteria Response

1. Explain how the alleged hardships or practical difficulties are unique and singular to the subject property and are not those suffered in common with other property similarly located?

Hillsborough County Development services should have done their due diligence during the permit review process

As a builder we submit a permit application and revise any issues that come up. There were never any issues noted from Zoning -site review. Now 5 months into the build we are told we are in violation for something we already have approval for.

2. Describe how the literal requirements of the Land Development Code (LDC) would deprive you of rights commonly enjoyed by other properties in the same district and area under the terms of the LDC.

The requirements of the LDC are not in question, it is the point of how it is being handled. We as a builder have done nothing wrong, but yet we are being delayed in our build and forced to submit this variance application for something that is no fault of ours.

3. Explain how the variance, if allowed, will not substantially interfere with or injure the rights of others whose property would be affected by allowance of the variance.

The allowance of the variance will not interfere or injure the rights of any other persons or property.

4. Explain how the variance is in harmony with and serves the general intent and purpose of the LDC and the Comprehensive Plan (refer to Section 1.02.02 and 1.02.03 of the LDC for description of intent/purpose).

A variance will not harm any neighbors of Citrus Park, or Hillsborough County. Any minor non compliances will not negatively impact surrounding areas or the orderly development of Hillsborough County

5. Explain how the situation sought to be relieved by the variance does not result from an illegal act or result from the actions of the applicant, resulting in a self-imposed hardship.

This home has been built per the approved plans, reviewed by Hillsborough County Development Services. Non - Compliance of any code was not purposeful, we would have easily changed any part of the plans if the Building Department had informed us of any non-compliance issues during the review process.

6. Explain how allowing the variance will result in substantial justice being done, considering both the public benefits intended to be secured by the LDC and the individual hardships that will be suffered by a failure to grant a variance.

Currently, the stop work order is preventing the home to be completed, delaying the move in of an out of state buyer on a strict schedule to be in their new home. Hillsborough County's mistake/negligence is causing delays and likely financial hardships for the homeowner and the Home builder

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PREPARED BY & RETURN TO:

FUENTES & KREISCHER, P.A.
1407 W. BUSCH BLVD.
TAMPA, FL 33612

File No. 2022201

Parcel ID # 003217-0000

SPECIAL WARRANTY DEED

THIS INDENTURE made the 22nd day of March, 2022, by **Danva Real Estate LLC, a Florida limited liability company**, hereinafter called the Grantor, whose post office address is 2205 W 9th Avenue, Hialeah, Florida 33010, to **Shane Bishop and Olivia Stein**, whose post office address is 82 North Main Street Apt. 4116, Natick, Massachusetts 01760, hereinafter called the Grantee:

Witnesseth: That the Grantor, for and in consideration of the sum of Ten Dollars, to it in hand paid by the Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to Grantee, their heirs and assigns forever, that certain land situated in County, Florida, to-wit:

Lot 11, Block 13, The Town of Citrus Park, as per plat thereof, recorded in Plat Book 1, Page 130, of the Public Records of Hillsborough County, Florida

Subject, however, to all covenants, conditions, restrictions, reservations, limitations, easements and to all applicable zoning ordinances and/or restrictions and prohibitions imposed by governmental authorities, if any.

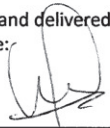
TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same in fee simple forever.

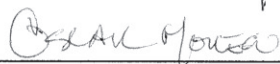
And the Grantor does hereby covenant with the said Grantee that it is lawfully seized of said land in fee simple; that it has good right and lawful authority to sell and convey said land; that it hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under the Grantor, but against none other.

IN WITNESS WHEREOF, the said Grantor has hereunto set its hand and seal the day and year first above written.

Signed, sealed and delivered
in our presence:



Witness Printed Name Lianis Jovero



Witness Printed Name OSCAR MOREAU

Danva Real Estate LLC
a Florida limited liability company

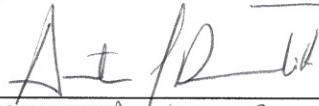


By: Daniele Faciuto, Manager

(Seal)

STATE OF Florida
COUNTY OF Miami-Dade

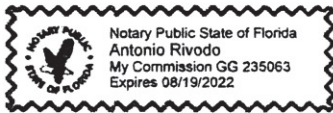
The foregoing instrument was acknowledged before me by means of XX physical presence or ___ online notarization, this 18 day of March, 2022, by Daniele Faciuto, Manager of Danva Real Estate LLC who is personally known to me or who has produced _____ as identification.



NOTARY PUBLIC

Print: Antonio Rivodo

My Commission Expires: 08/19/2022





Submittal Requirements for Applications Requiring Public Hearings

Official Use Only

Application No: VAR 23-0276Intake Date: 08/09/2023Hearing(s) and type: Date: 04/24/2023Type: LUHOReceipt Number: 248772

Date: _____

Type: _____

Intake Staff Signature: Keshia RivasApplicant/Representative: David Gembutis Phone: 813-528-3505Representative's Email: geni.gembutis@gjgardner.com

The following information is used by reviewing agencies for their comments and should remain constant, with very few exceptions, throughout the review process. Additional reviews, such as legal description accuracy, compatibility of uses, agency reviews, etc., will still be conducted separately and may require additional revisions.

The following ownership information must be provided and will be verified upon submission initial submittal. If you are viewing this form electronically, you may click on each underlined item for additional information.

Part A: Property Information & Owner Authorization Requirements

Included	N/A	Requirements
1	<input checked="" type="checkbox"/>	<input type="checkbox"/> <u>Property/Applicant/Owner Information Form</u>
2	<input checked="" type="checkbox"/>	<input type="checkbox"/> <u>Affidavit(s) to Authorize Agent</u> (if applicable) NOTE: All property owners must sign either the Application form or the Affidavit to Authorize Agent. If property is owned by a corporation, submit the Sunbiz information indicating that you are authorized to sign the application and/or affidavit.
3	<input type="checkbox"/>	<input checked="" type="checkbox"/> <u>Sunbiz Form</u> (if applicable). This can be obtained at Sunbiz.org .
4	<input checked="" type="checkbox"/>	<input type="checkbox"/> <u>Property/Project Information Sheet</u> All information must be completed for each folio included in the request.
5	<input checked="" type="checkbox"/>	<input type="checkbox"/> <u>Identification of Sensitive/Protected Information and Acknowledgement of Public Records</u>
6	<input checked="" type="checkbox"/>	<input type="checkbox"/> <u>Copy of Current Recorded Deed(s)</u>
7	<input type="checkbox"/>	<input checked="" type="checkbox"/> <u>Close Proximity Property Owners List</u>
8	<input checked="" type="checkbox"/>	<input type="checkbox"/> <u>Legal Description</u> for the subject site
9	<input type="checkbox"/>	<input checked="" type="checkbox"/> <u>Copy of Code Enforcement/Building Code Violation(s)</u> (if applicable)
10	<input checked="" type="checkbox"/>	<input type="checkbox"/> <u>Fastrack Approval</u> (if applicable)

Additional application-specific requirements are listed in Part B.



**Hillsborough
County Florida**
Development Services

Property/Applicant/Owner Information Form

Official Use Only

Application No: VAR 23-0276 Intake Date: 03/09/2023
 Hearing(s) and type: Date: 04/24/2023 Type: LUHO Receipt Number: 248772
 Date: _____ Type: _____ Intake Staff Signature: Keshia Rivas

Property Information

Address: 7403 Ardenwood St. City/State/Zip: Tampa, Florida 33625
 TWN-RN-SEC: 28S-17E-02 Folio(s): 003217-0000 Zoning: CPV-I-1 Future Land Use: CPV Property Size: 0.13 acre

Property Owner Information

Name: Shane and Olivia Bishop Daytime Phone _____
 Address: 82 N Main St. Apt 4116 City/State/Zip: Natick, Ma. 01760-3482
 Email: shanestephenbishop@gmail.com Fax Number _____

Applicant Information

Name: David Scott Gembutis / Home Pro of Central and Southwest Florida Daytime Phone 813-528-3505
 Address: 22810 Bay Cedar Dr. City/State/Zip: Land O Lakes, Florida 34639
 Email: homepro11@verizon.net Fax Number _____

Applicant's Representative (if different than above)

Name: N/A Daytime Phone _____
 Address: _____ City/State/Zip: _____
 Email: _____ Fax Number _____

I hereby swear or affirm that all the information provided in the submitted application packet is true and accurate, to the best of my knowledge, and authorize the representative listed above to act on my behalf on this application.

Signature of the Applicant

David S. Gembutis
Type or print name

I hereby authorize the processing of this application and recognize that the final action taken on this petition shall be binding to the property as well as to the current and any future owners.

Signature of the Owner(s) - (All parties on the deed must sign)

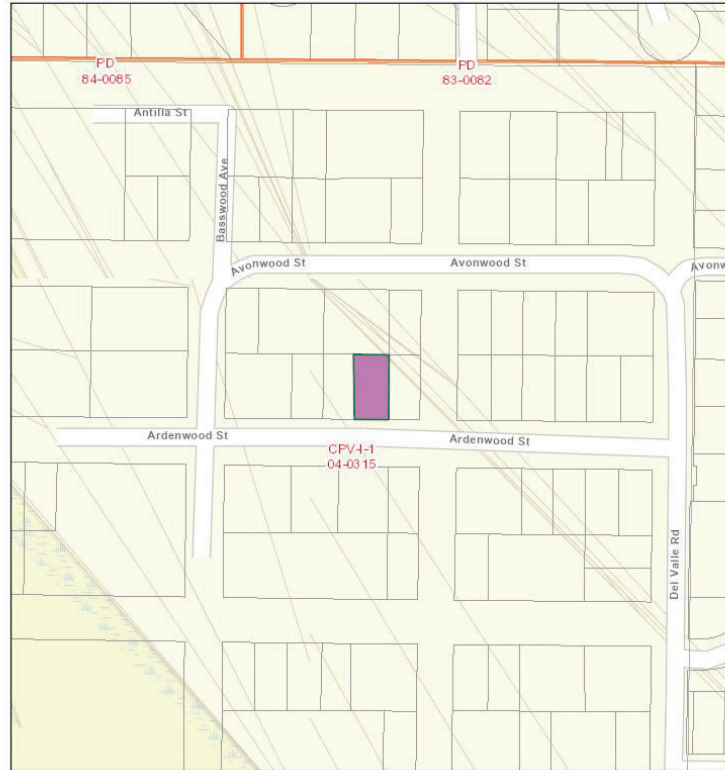
Shane Bishop / Olivia Bishop
Type or print name



PARCEL INFORMATION HILLSBOROUGH COUNTY FLORIDA

Jurisdiction	Unincorporated County
Zoning Category	Community Based
Zoning	CPV-I-1
Description	Citrus Park Village
RZ	04-0315
Flood Zone:X	AREA OF MINIMAL FLOOD HAZARD
FIRM Panel	0179H
FIRM Panel	12057C0179H
Suffix	H
Effective Date	Thu Aug 28 2008
Pre 2008 Flood Zone	X500
Pre 2008 Firm Panel	1201120180F
County Wide Planning Area	Citrus Park Village
Community Base Planning Area	Citrus Park Village
Census Data	Tract: 011410 Block: 3014
Future Landuse	CPV
Future Landuse	CPV
Future Landuse	CPV
Urban Service Area	USA
Mobility Assessment District	Urban
Mobility Benefit District	1
Fire Impact Fee	Northwest
Parks/Schools Impact Fee	NORTHWEST
ROW/Transportation Impact Fee	ZONE 1
Wind Borne Debris Area	140 MPH Area
Overlay District	Citrus Park Village
Aviation Authority Height Restrictions	180' AMSL
Competitive Sites	NO
Redevelopment Area	NO

Folio: 3217.0000



March 10, 2023

RS: Sources: Esri, HERE, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

Hillsborough County Florida

Folio: 3217.0000
PIN: U-02-28-17-03V-000013-00011.0
 Shane Bishop And Olivia Stein
Mailing Address:
 82 N Main St Apt 4116
 null
 Natick, Ma 01760-3482
Site Address:
 0
 Tampa, Fl 33625
SEC-TWN-RNG: 02-28-17
Acreage: 0.133357
Market Value: \$47,611.00
Landuse Code: 0000 Vacant Resident

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1. Any error, omissions, or inaccuracies in the information provided regardless of how caused.
2. Any decision made or action taken or not taken by any person in reliance upon any information or data furnished hereunder.

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