

PD Modification Application: PRS 23-0375

Zoning Hearing Master Date: NA

BOCC Land Use Meeting Date: 06-13-23



Hillsborough County Florida

Development Services Department

1.0 APPLICATION SUMMARY

Applicant: HBWB Development Services, LLC

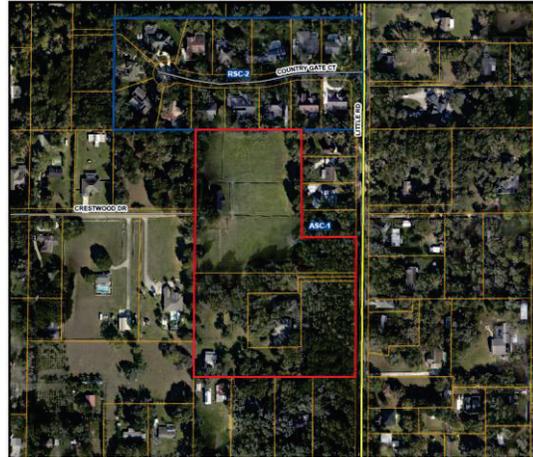
FLU Category: Residential-4

Service Area: Urban

Site Acreage: 12.1 acres

Community Plan Area: Riverview

Overlay: None



Introduction Summary:

PD 22-0685 was approved on August 15, 2022, to allow for the development of 25 single-family homes. This approval conditioned lot dimensions including requiring a minimum lot size of 9,100 square feet and further increased the minimum lot size to 10,000 square feet for lots along the southern boundary.

The applicant requests a **Minor Modification to the PD 22-0685 conditions of approval, to remove Condition 4 regarding the construction of a sidewalk along Crestwood Drive.** Condition 4 was added at the BoCC August 15, 2022, public hearing pursuant to the applicant’s request and subsequent discussion during the BoCC with the applicant. No additional revisions are requested by the applicant.

Existing Approval(s):

Condition 4 requires:
The developer shall construct a **5-foot sidewalk along one side of Crestwood Drive** from the project entrance to Pearson Rd. with the initial increment of development.

Proposed Modification(s):

Remove Condition 4 to allow development to commence with **no off-site sidewalk along Crestwood Drive.**

Additional Information:

PD Variation(s):

None Requested

Waiver(s) to the Land Development Code:

None Requested.

Planning Commission Recommendation:

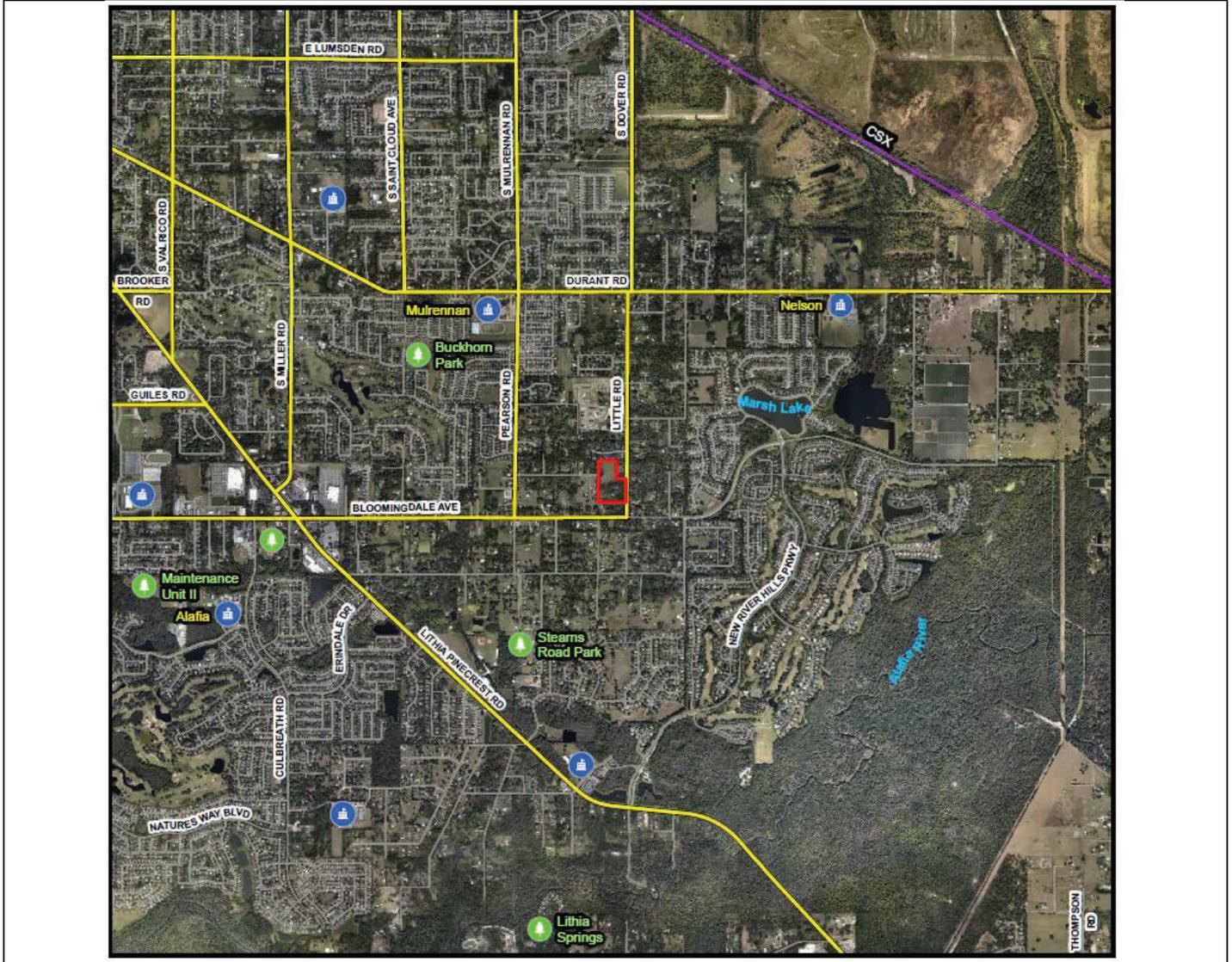
N/A

Development Services Recommendation:

Not Supportable.

2.0 LAND USE MAP SET AND SUMMARY DATA

2.1 Vicinity Map

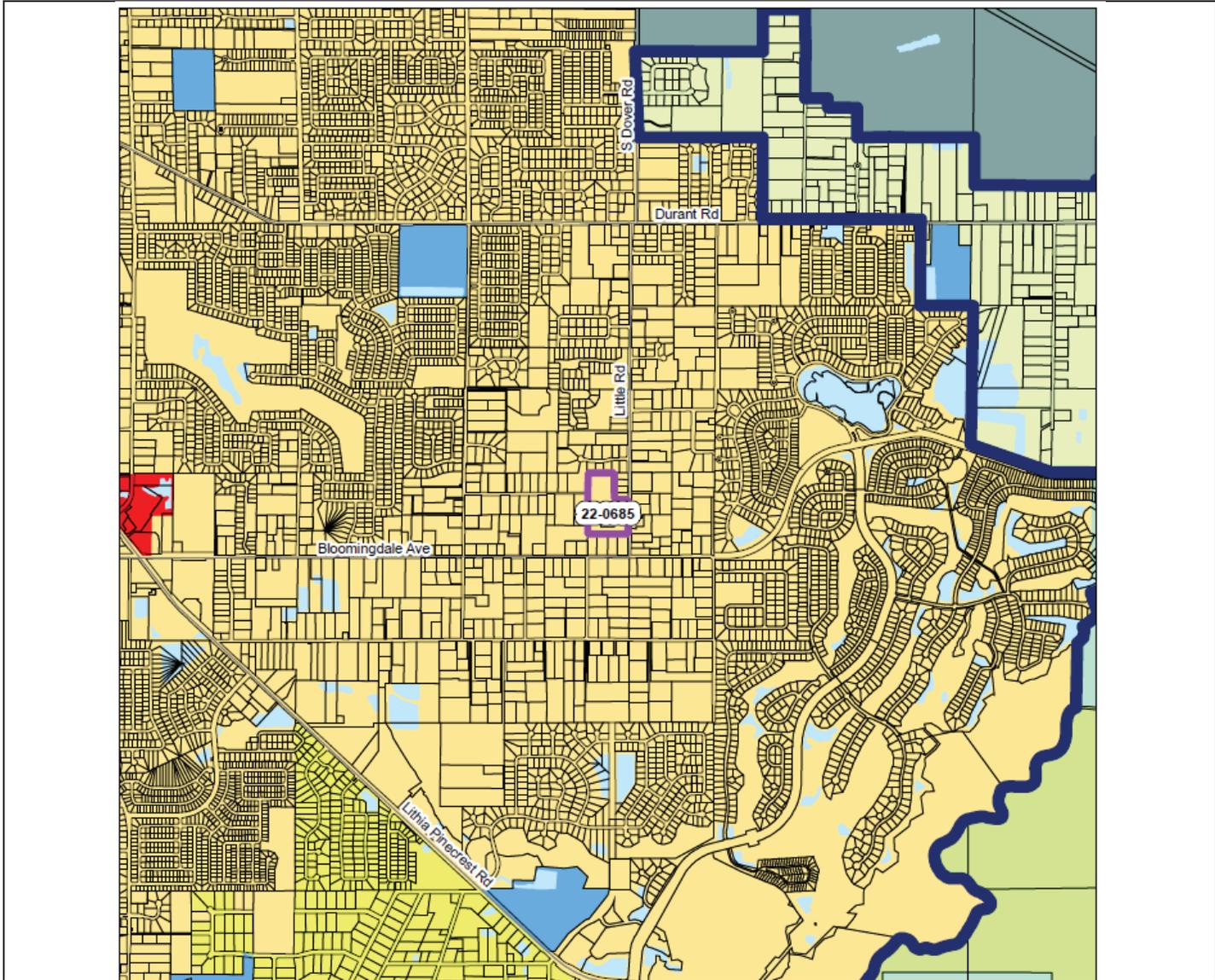


Context of Surrounding Area:

The approximately 12.1 +/- acre subject property is located is West of Little Road, north of Bloomingdale Avenue, and east of Crestwood Drive and within the Urban Service Area. The subject property is zoned Agricultural - Single-Family Conventional (ASC-1). The properties immediately to the south, east, and west are zoned ASC-1 and are developed with single family residential and vacant residential. North of the site is zoned RSC-2 developed with single family residential.

2.0 LAND USE MAP SET AND SUMMARY DATA

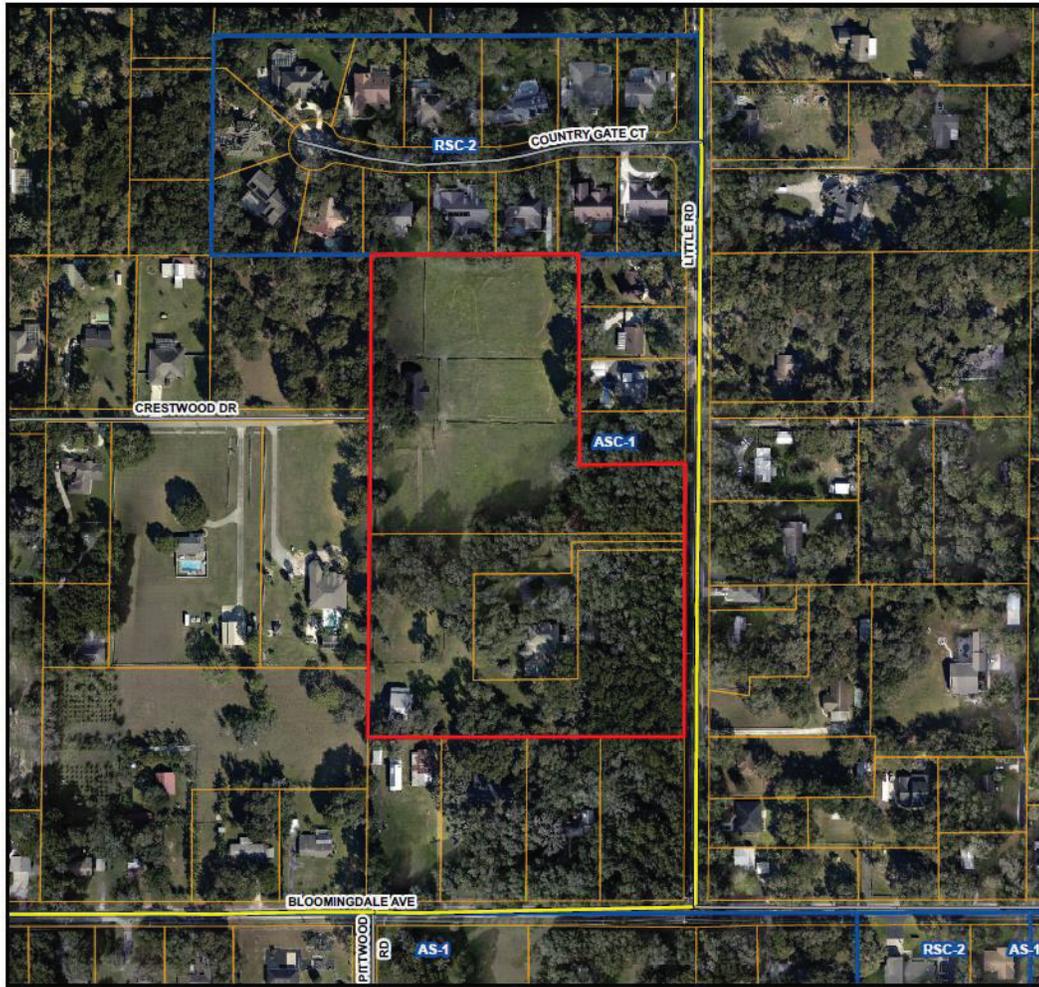
2.2 Future Land Use Map



Subject Site Future Land Use Category:	Residential - 4
Maximum Density/F.A.R.:	4 du per acre / Max. FAR: 0.25
Typical Uses:	Typical allowable uses in the RES-4 Future Land Use category include residential, suburban scale neighborhood commercial, office uses, multi-purpose projects.

2.0 LAND USE MAP SET AND SUMMARY DATA

2.3 Immediate Area Map

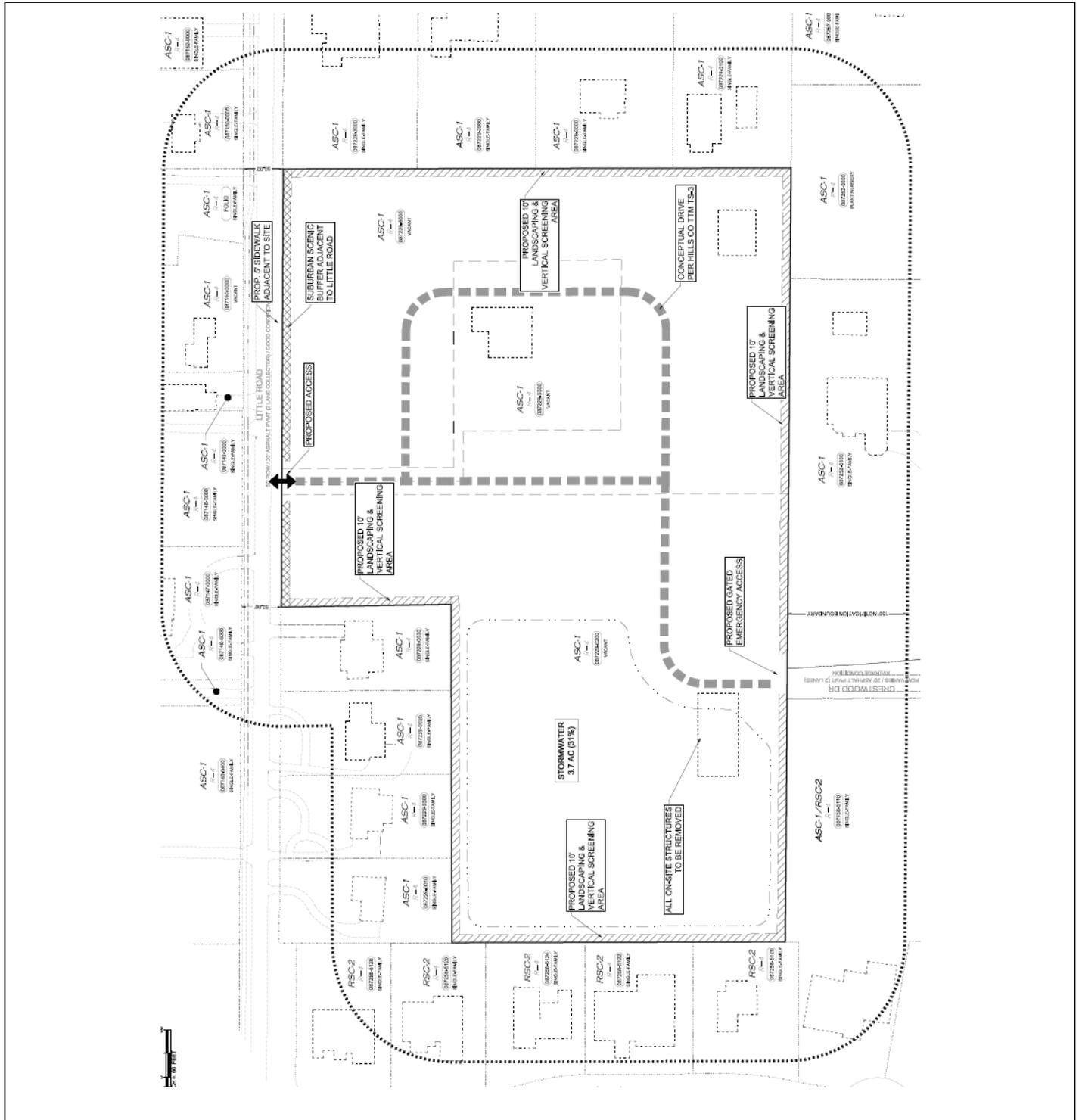


Adjacent Zonings and Uses

Location:	Zoning:	Maximum Density/F.A.R. Permitted by Zoning District:	Allowable Use:	Existing Use:
North	RSC-2	21,780 sq. ft.— Min. lot size	Residential, Single Family	SF Residential
South	ASC-1	Min. 1 ac. lot size	Residential, Single Family	SF Residential/Vacant
West	ASC-1	Min. 1 ac. lot size	Residential, Single Family	SF Residential/Vacant
East	ASC-1	Min. 1 ac. lot size	Residential, Single Family	Hillsborough County Dog Park

2.0 LAND USE MAP SET AND SUMMARY DATA

2.5 Proposed Site Plan (partial provided below for size and orientation purposes. See Section 8.2 for full site plan)



3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)

Adjoining Roadways (check if applicable)

Road Name	Classification	Current Conditions	Select Future Improvements
Little Rd	County Collector - Rural	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input checked="" type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
Crestwood Dr.	County Local - Urban	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input checked="" type="checkbox"/> Other

Project Trip Generation Not applicable for this request

	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	113	9	12
Proposed	236	19	25
Difference (+/-)	+123	+10	+13

*Trips reported are based on net new external trips unless otherwise noted.

Connectivity and Cross Access Not applicable for this request

Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North		None	None	Meets LDC
South		None	None	Meets LDC
East	X	None	None	Meets LDC
West		Emergency & Pedestrian	None	Meets LDC

Notes:

Design Exception/Administrative Variance Not applicable for this request

Road Name/Nature of Request	Type	Finding
Little Rd./Substandard Roadway	Design Exception Requested	Previously Approved
Little Rd./ Access Spacing	Administrative Variance Requested	Previously Approved

Notes:

4.0 Additional Site Information & Agency Comments Summary

Transportation	Objections	Conditions Requested	Additional Information/Comments
<input checked="" type="checkbox"/> Design Exception/Adm. Variance Requested <input type="checkbox"/> Off-Site Improvements Provided	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	See report.

4.0 ADDITIONAL SITE INFORMATION & AGENCY COMMENTS SUMMARY

INFORMATION/REVIEWING AGENCY						
Environmental:	Comments Received	Objections	Conditions Requested	Additional Information/Comments		
Environmental Protection Commission	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
Natural Resources	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
Conservation & Environ. Lands Mgmt.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
Check if Applicable: <table border="0" style="width: 100%;"> <tr> <td style="width: 50%; vertical-align: top;"> <input type="checkbox"/> Wetlands/Other Surface Waters <input type="checkbox"/> Use of Environmentally Sensitive Land Credit <input type="checkbox"/> Wellhead Protection Area <input type="checkbox"/> Surface Water Resource Protection Area </td> <td style="width: 50%; vertical-align: top;"> <input type="checkbox"/> Potable Water Wellfield Protection Area <input type="checkbox"/> Significant Wildlife Habitat <input type="checkbox"/> Coastal High Hazard Area <input checked="" type="checkbox"/> Urban/Suburban/Rural Scenic Corridor <input type="checkbox"/> Adjacent to ELAPP property <input type="checkbox"/> Other _____ </td> </tr> </table>					<input type="checkbox"/> Wetlands/Other Surface Waters <input type="checkbox"/> Use of Environmentally Sensitive Land Credit <input type="checkbox"/> Wellhead Protection Area <input type="checkbox"/> Surface Water Resource Protection Area	<input type="checkbox"/> Potable Water Wellfield Protection Area <input type="checkbox"/> Significant Wildlife Habitat <input type="checkbox"/> Coastal High Hazard Area <input checked="" type="checkbox"/> Urban/Suburban/Rural Scenic Corridor <input type="checkbox"/> Adjacent to ELAPP property <input type="checkbox"/> Other _____
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Public Facilities:	Comments Received	Objections	Conditions Requested	Additional Information/Comments		
Transportation <input checked="" type="checkbox"/> Design Exc./Adm. Variance Requested <input type="checkbox"/> Off-site Improvements Provided	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	See transportation Agency Review Comment Sheet report for complete review.		
Service Area/ Water & Wastewater <input checked="" type="checkbox"/> Urban <input type="checkbox"/> City of Tampa <input type="checkbox"/> Rural <input type="checkbox"/> City of Temple Terrace	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	The subject rezoning includes parcels that are within the Urban Service Area and would require connection to the County's potable water and wastewater systems.		
Hillsborough County School Board Adequate <input checked="" type="checkbox"/> K-5 <input checked="" type="checkbox"/> 6-8 <input checked="" type="checkbox"/> 9-12 <input type="checkbox"/> N/A Inadequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	See Adequate Facilities Analysis: Rezoning PD 22-0685. No change proposed in unit count.		
Impact/Mobility Fees						
No change from PD 22-0685.						
Comprehensive Plan:	Comments Received	Findings	Conditions Requested	Additional Information/Comments		
Planning Commission <input type="checkbox"/> Meets Locational Criteria <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Locational Criteria Waiver Requested <input checked="" type="checkbox"/> Minimum Density Met <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Inconsistent <input type="checkbox"/> Consistent	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	See Planning Commission Report for PD 22-0685.		

5.0 IMPLEMENTATION RECOMMENDATIONS

5.1 Compatibility

The subject property is located on approximately 12.1 acres and is within the Urban Service Area. The property has a future land use designation of Residential-4 (RES-4). The Site is bounded by Little Road and single-family residential uses on the east, and by single-family residential uses on the south, west, and north.

Background of PD 22-0685

PD 22-0685 was approved for 25 single-family homes with a minimum lot size of 9,100 square feet with the exception of lots located along the southern boundary having a minimum lot size of 10,000 square feet. Although this further reduced the overall density to 51.5% of the maximum allowable density, Planning Commission staff found that this reduction in the density (PD 22-0685) met the intent of the exception to the minimum density requirement which permits exceptions to Policy 1.2 when there are compatibility concerns with the surrounding area. Planning Commission staff also found that requiring more units on site would not be compatible with the existing development pattern and the proposed meets the minimum density exception criterion stated in Policy 1.3.

Applicant Proposed Modified Condition at BOCC

At the October 11, 2022, Board of County Commissioner's land use meeting, the applicant proposed a change to condition 4 which dealt with improvements required along Crestwood Drive. The original proposed condition 4 which was removed regarded approval of a Design Exception (dated July 1, 2022) which was found approvable by the County Engineer (on July 7, 2022) for Crestwood Dr. substandard road improvements and required the applicant to pave substandard portions of Crestwood Dr. to 20 feet wide consistent with the Design Exception.

The subject property was originally proposed to make a full access connection to Crestwood Drive; however, at the October 11, 2022, BOCC Land Use meeting, the application was approved with only pedestrian and emergency access with the condition that a sidewalk be constructed along one side of Crestwood Dr., from the project's pedestrian access to Pearson Road. Gated emergency access and pedestrian access is now required on Crestwood Drive. The following applicant proposed condition 4 regarding a 5-foot sidewalk along one side of Crestwood Drive was incorporated into the conditions of approval for PD 22-0685.

CONDITION 4

The developer shall construct a 5-foot sidewalk along one side of Crestwood Drive from the project entrance to Pearson Rd. with the initial increment of development.

For the current request, the applicant is proposing to remove this condition 4 (above) regarding construction of a sidewalk along one side of Crestview Drive and is not proposing any additional changes to the approved conditions or site plan.

The application does not request any variations to Land Development Code Parts 6.06.00 (Landscaping/Buffering). The site will comply with and conform to all other applicable policies and regulations, including but not limited to, the Hillsborough County Land Development Code.

5.2 Recommendation

Transportation Review staff have objected to the request to remove the requirement to construct the sidewalk. As further outlined in the transportation section of this report, the objection is based on the prior record/basis for inclusion of the requirement for construction of the sidewalk as part of the original zoning approval, including

safety, pedestrian connectivity in close proximity to Mulrennan Middle School and feasibility of sidewalk construction. Therefore, staff does not find the request supportable due to the findings found in the transportation section of this report.

Zoning Administrator Sign Off:



J. Brian Grady
Wed May 31 2023 08:54:35

SITE, SUBDIVISION AND BUILDING CONSTRUCTION IN ACCORDANCE WITH HILLSBOROUGH COUNTY SITE DEVELOPMENT PLAN & BUILDING REVIEW AND APPROVAL.

Approval of this re-zoning petition by Hillsborough County does not constitute a guarantee that the project will receive approvals/permits necessary for site development as proposed will be issued, nor does it imply that other required permits needed for site development or building construction are being waived or otherwise approved. The project will be required to comply with the Site Development Plan Review approval process in addition to obtain all necessary building permits for on-site structures.

7.0 ADDITIONAL INFORMATION AND/OR GRAPHICS

9.0 FULL TRANSPORTATION REPORT (see following pages)

AGENCY REVIEW COMMENT SHEET

TO: Zoning Technician, Development Services Department

DATE: 5/30/2023

REVIEWER: Richard Perez, AICP

AGENCY/DEPT: Transportation

PLANNING AREA: VR / CENTRAL

PETITION NO: PRS 23-0375

- This agency has no comments.
- This agency has no objection.
- This agency has no objection, subject to the listed or attached conditions.
- This agency objects for the reasons set forth below.

REQUEST SUMMARY AND RATIONALE FOR OBJECTION

The applicant is requesting a minor modification (PRS) to planned development PD #22-0685 seeking to remove Condition of Approval #4 requiring a sidewalk to be constructed on Crestwood Dr. to serve the project's pedestrian access connection to Pearson Rd. The condition of approval is as follows:

"4. The developer shall construct a 5-foot sidewalk along one side of Crestwood Drive from the project entrance to Pearson Rd. with the initial increment of development."

The subject property consists of three (3) parcels approved for 25 single family residential lots on +/-12.1 acres. The site is located 530 feet north of Bloomingdale Ave. on the west side of Little Rd. The Future Land Use designation of the site is Residential 4 (R-4). The primary vehicle and pedestrian access is located on Little Rd.

Gated emergency access and pedestrian access is required on Crestwood Dr. The subject property was originally proposed to make a full access connection to Crestwood Dr.; however, at the October 11, 2022 BoCC Land Use meeting, the Commission made findings to approve scaling back the connection to only pedestrian and emergency access with the condition that a sidewalk be constructed along one side of Crestwood Dr., from the project's pedestrian access to Pearson Rd. The sidewalk would fill in the existing sidewalk gap and tie into the existing sidewalk network on Pearson Rd, between Crestwood Dr. and Mulrennan Middle School. Mulrennan Middle School.

Staff does not support the current request to remove Condition of Approval # 4 for the reasons outlined below.

Additionally, staff notes that the submitted PD site plan does not show the required pedestrian access on Crestwood Dr., as required by condition of approval #7, explained in greater detail below.

Supporting Statements/Testimony at the October 11, 2022 BoCC Land Use Hearing:

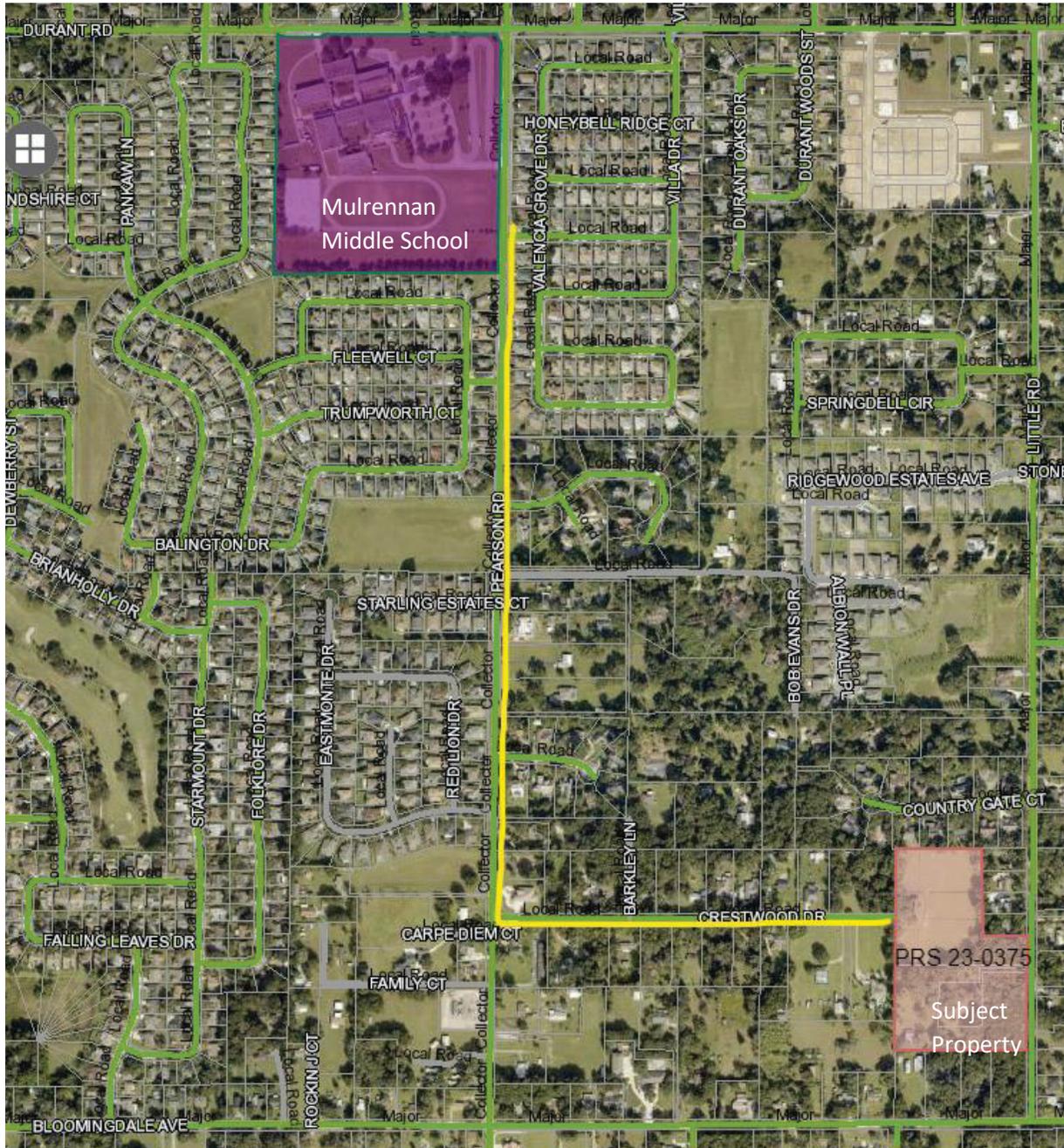
The following statements given by the Commission and the public are relevant to and support Condition #4 requiring the sidewalk on Crestwood Dr.

- Statements from the citizens during public comment as recorded in the hearing transcripts expressed concerns about safety of children walking and bicycling on Crestwood Dr., students walking to school bus stops, increasing safe routes to schools, providing infrastructure for walking and bicycling in the community in general.
 - *“We rely on Crestwood as a safe place to take our children, walk dogs and ride bikes.”*
 - *“Our children walk this road to and from the bus stop. The County is responsible for increasing safe routes to school, not reducing them.”*
 - *“Policy 2.1 says the project is premature if there's a lack of transportation options. We don't even have sidewalks or bike lanes.”*
 - *“We don't have the infrastructure. It will have negative impacts and it will put the safety of our community and children at risk.”*
- Testimony by the applicant’s Traffic Engineer as recorded in the hearing transcripts stated construction of the sidewalk is feasible and will be paid for at the expense of the developer. Additionally, the Traffic Engineer acknowledged that the developer would have to work around existing mailboxes and trees and may have to relocate some of them at the developer’s expense.
 - *“We have also looked at the ability to build sidewalk on there. Based on our review of the roadway, we believe it is feasible to build a sidewalk. That sidewalk will be at the expense of the developer. And he has agreed to do that. So we will have to work around the trees and mailboxes and we will have to relocate, that's what we have to do. But that will be at the expense of the developer to build that sidewalk.”*
- Statements by the County Commission as recorded in the hearing transcripts recognized the need for sidewalks to support the pedestrian connection on Crestwood Dr., the close proximity of Mulrennan Middle School and the safety of children walking to school and in the community in general.

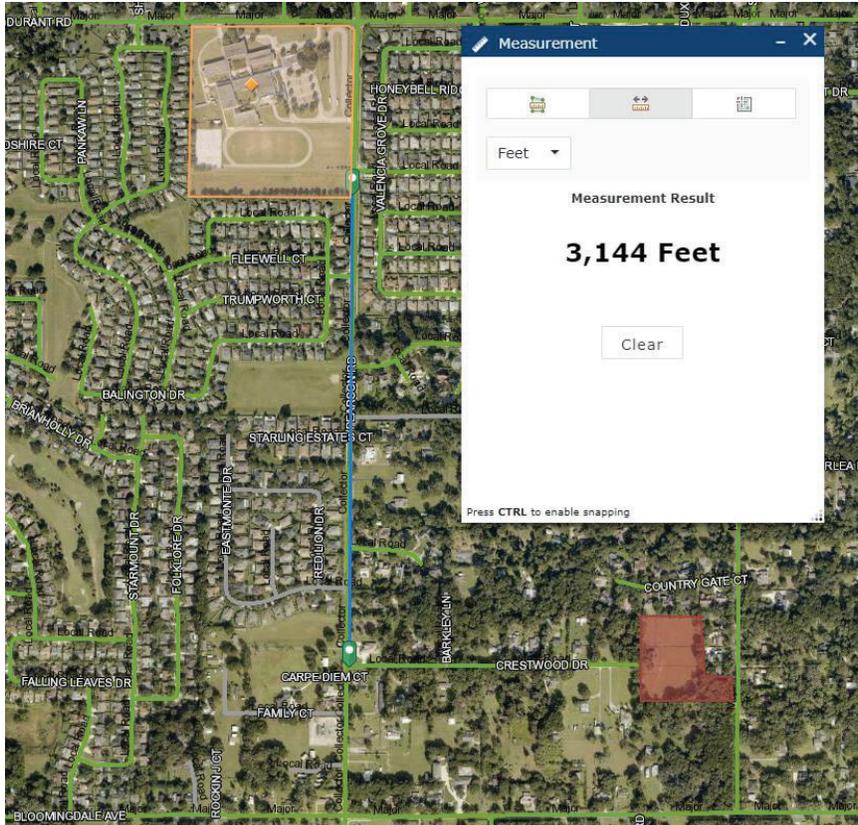
Pedestrian Routes for School Children

The PD proposes 25 residential dwelling units. Based on student generation rates used by Hillsborough County public schools during their evaluation of the #22-0685 rezoning application, staff calculates that approximately 14 school age children could live within the development.

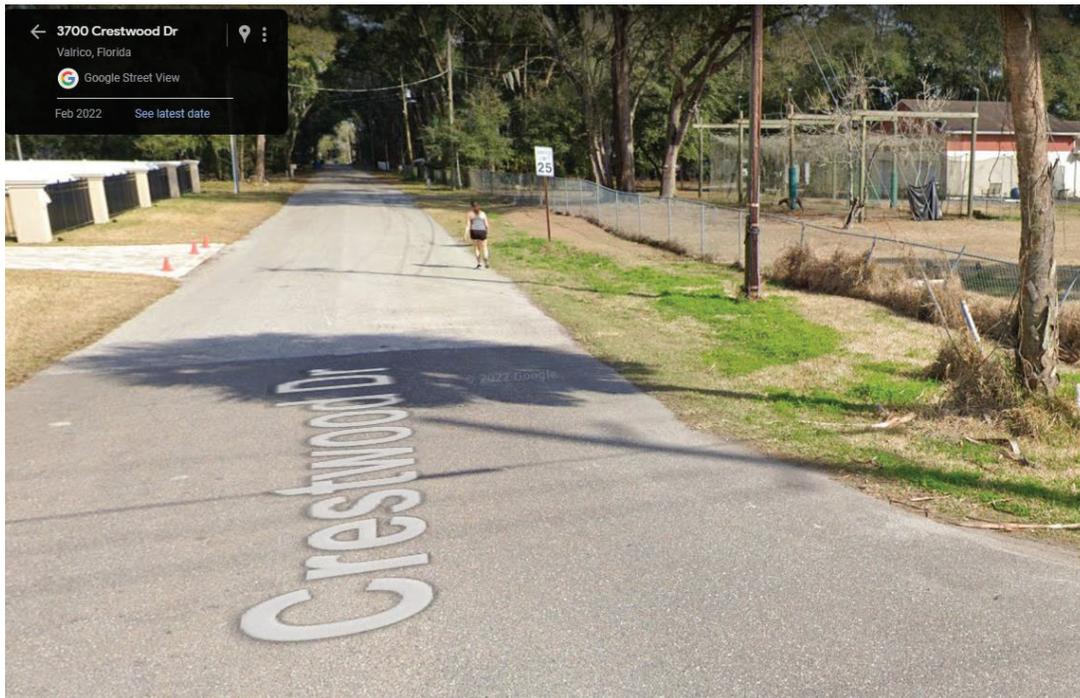
Mulrennan Middle School is the closest school facility to the subject planned development. The location of the subject planned development (PRS 23-0375) and Mulrennan Middle School are shown in the aerial below.



The yellow line is the most direct pedestrian route (+/-5,085ft or 0.96 mile) to Mulrennan Middle School from the subject site and with the sidewalk currently required to be constructed would have a continuous sidewalk network from the project's pedestrian access to the school.



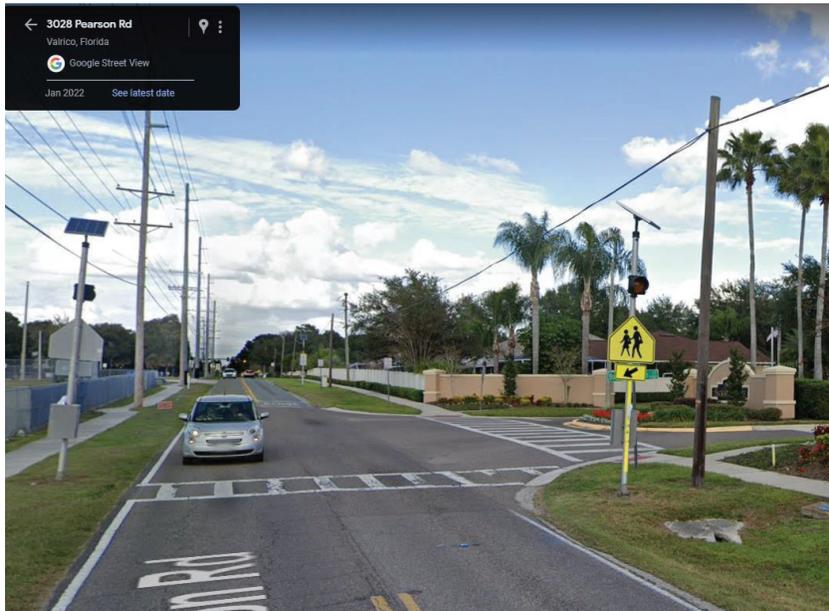
Mulrennan Middle School is approximately 3,144 feet north of Crestwood Dr. on Pearson Rd. There are currently sidewalks on Pearson Rd. from Crestwood Dr. to the entrance of Mulrennan Middle School.



Google StreetView of Crestwood Dr. from the intersection with Pearson Rd.



Google StreetView of the intersection of Crestwood Dr. and Pearson Rd.



Google Streetview of existing pedestrian infrastructure on Pearson Ave. near the entrance of Mulrennan Middle School.

Required PD Site Plan Information

The applicant's proposed PD site plan does not depict the required pedestrian access on Crestwood Dr. as required by the Condition of Approval #7, which states (italics and underline add for emphasis) "An emergency vehicle and *pedestrian access connection shall be constructed to Crestwood Drive*, as shown on the PD site plan.". County Development Procedures Manual (DRPM), Sec. 6.2.1. C. 7. – Transportation Information subsection a. states that proposed points of ingress and egress for pedestrian facilities must be depicted on the site plan. The proposed PD site plan only shows gated emergency access at the Crestwood Dr. connection.

Transportation Comment Sheet

3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)

Adjoining Roadways (check if applicable)			
Road Name	Classification	Current Conditions	Select Future Improvements
Little Rd	County Collector - Rural	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input checked="" type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
Crestwood Dr.	County Local - Urban	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input checked="" type="checkbox"/> Other

Project Trip Generation <input type="checkbox"/> Not applicable for this request			
	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	113	9	12
Proposed	236	19	25
Difference (+/-)	+123	+10	+13

*Trips reported are based on net new external trips unless otherwise noted.

Connectivity and Cross Access <input type="checkbox"/> Not applicable for this request				
Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North		None	None	Meets LDC
South		None	None	Meets LDC
East	X	None	None	Meets LDC
West		Emergency & Pedestrian	None	Meets LDC
Notes:				

Design Exception/Administrative Variance <input type="checkbox"/> Not applicable for this request		
Road Name/Nature of Request	Type	Finding
Little Rd./Substandard Roadway	Design Exception Requested	Previously Approved
Little Rd./ Access Spacing	Administrative Variance Requested	Previously Approved
Notes:		

4.0 Additional Site Information & Agency Comments Summary			
Transportation	Objections	Conditions Requested	Additional Information/Comments
<input checked="" type="checkbox"/> Design Exception/Adm. Variance Requested <input type="checkbox"/> Off-Site Improvements Provided	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	See report.



**CURRENTLY
APPROVED**

Approval of the request, subject to the conditions listed, is based on the revised general site plan submitted July 5, 2022.

1. Development shall be limited to 25 single-family residential units, developed in accordance with the following standards:

Minimum Lot Width:	70 feet
Corner Lot Min. Width:	75 feet
Minimum Lot Size:	9,100 square feet
Minimum Lot Size Along Southern Boundary:	10,000 square feet
Maximum Building Height:	35 feet (2 stories)
Maximum Lot Coverage:	40 percent
Front Setback:	20 feet
	<ul style="list-style-type: none">• Side facing/loading garages shall be allowed a minimum front yard setback of 10 feet.• Front porches shall have a minimum setback of 10 feet.
Rear Setback:	20 feet
Side Setback:	5 feet
Corner Lot (front functioning as side):	10 feet

2. The subject property shall be subject to buffering and screening requirements of Section 6.06.06 of the Hillsborough County Land Development Code. In addition, the following enhanced landscaping and vertical screening requirements apply.

- 2.1 A minimum of 10-foot-wide Landscaping and Vertical Screening Area shall be provided along the perimeter of the property along the north, south and west property boundary, except where vehicular ingress and egress is proposed. The Landscaping and Vertical Screening Easement shall be depicted on the plat. When located on a lot, a Landscaping and Vertical Screening Easement shall be recorded in the Official Records of Hillsborough County prior to the issuance of a building permit for the lot.

- 2.2 The Landscaping and Vertical Screening Area shall be planted with evergreen trees (Yaupon Holly, Loblolly Bay, Southern Magnolia, Laurel Oak, Live Oak, or similar). Planting shall be a minimum of 10 feet at the time of planting with a minimum 2-inch caliper. Trees will be planted no more than 20 feet apart, and existing vegetation, excluding hazardous and non-native species, may be used in lieu of required trees, subject to review and approval by Hillsborough County Development Services. The required Landscaping and Vertical Screening shall be installed during the first increment of development and shall be completed prior to the issuance of the first Certificate of Occupancy for a home.

- 2.3 The Landscaping and Vertical Screening Area shall include a 6-foot solid PVC fence when located adjacent to single-family homes and a 6-foot wrought iron style picket fence when located adjacent to the pond.

3. If PD 22-0685 is approved, the County Engineer will approve a Design Exception (dated July 1, 2022) which was found approvable by the County Engineer (on July 7, 2022) for Little Rd. substandard road improvements. As Little Rd. is a substandard rural collector roadway, the developer will be required to construct +/-1,200 feet of sidewalk on the west side of Little Rd., to tie into the existing sidewalk to the north and the existing sidewalk on Bloomingdale Ave. consistent with the Design Exception.

4. The developer shall construct a 5-foot sidewalk along one side of Crestwood Drive from the project entrance to Pearson Rd. with the initial increment of development.
5. If PD 22-0685 is approved, the County Engineer will approve an Administrative Variance (dated July 1, 2022) to Section 6.04.07 of the LDC Minimum Spacing, which was found approvable by the County Engineer (on July 7, 2022), to allow the project access connection on Little Rd. to be located less than 245 feet from the adjacent existing access connection. More specifically, the proposed project access connection shall be located +/-48 feet from the next closest driveway to the south and +/-82 feet from the driveway to the north.
6. Primary vehicular and pedestrian access to the project shall be provided from Little Rd., as shown on the PD Site Plan.
7. An emergency vehicle and pedestrian access connection shall be constructed to Crestwood Drive, as shown on the PD site plan.
8. Natural Resources staff identified a number of significant trees on the site including potential Grand Oaks. Every effort must be made to avoid the removal of and design the site around these trees. The site plan may be modified from the Certified Site Plan to avoid tree removal.
9. The property may include listed animal species or have restricted activity zones throughout the property. Pursuant to the Land Development Code (LDC), a wildlife survey of any endangered, threatened or species of special concern in accordance with the Florida Fish and Wildlife Conservation Commission Wildlife Methodology Guidelines shall be required. This survey information must be provided upon submittal of the preliminary plans through the Land Development Code's Site Development or Subdivision process. Essential Wildlife Habitat as defined by the LDC must be addressed, if applicable, in consideration with the overall boundaries of this rezoning request.
10. This site contains trees that qualify as Grand Oaks as defined by the Land Development Code (LDC). All trees confirmed as a Grand Oak must be accurately located and labeled as such on the submitted preliminary plan/plat through the Site Development/Subdivision Review process. Design efforts are to be displayed on the submitted preliminary plan to avoid adverse impacts to these trees.
11. Notwithstanding anything shown in the PD site plan or in the PD conditions to the contrary, pedestrian access shall be allowed anywhere along the project boundary.
12. If the notes and/or graphics on the site plan are in conflict with specific zoning conditions and/or the Land Development Code (LDC) regulations, the more restrictive regulation shall apply, unless specifically conditioned otherwise. References to development standards of the LDC in the above stated conditions shall be interpreted as the regulations in effect at the time of preliminary site plan/plat approval.
13. The Development of the project shall proceed in strict accordance with the terms and conditions contained in the Development Order, the General Site Plan, the land use conditions contained herein, and all applicable rules, regulations, and ordinances of Hillsborough County.
14. In accordance with LDC Section 5.03.07.C, the certified PD general site plan shall expire for the internal transportation network and external access points, as well as for any conditions related to the

internal transportation network and external access points, if site construction plans, or equivalent thereof, have not been approved for all or part of the subject Planned Development within 5 years of the effective date of the PD unless an extension is granted as provided in the LDC. Upon expiration, re-certification of the PD General Site Plan shall be required in accordance with provisions set forth in LDC Section 5.03.07.C.



**APPLICANT
PROPOSED
CONDITIONS**

Proposed Revised PD Conditions – changes in red text.

Approval of the request, subject to the conditions listed, is based on the revised general site plan submitted July 5, 2022.

1. Development shall be limited to 25 single-family residential units, developed in accordance with the following standards:

Minimum Lot Width:	70 feet
Corner Lot Min. Width:	75 feet
Minimum Lot Size:	9,100 square feet
Minimum Lot Size Along Southern Boundary:	10,000 square feet
Maximum Building Height:	35 feet (2 stories)
Maximum Lot Coverage:	40 percent
Front Setback:	20 feet
	<ul style="list-style-type: none">• Side facing/loading garages shall be allowed a minimum front yard setback of 10 feet.• Front porches shall have a minimum setback of 10 feet.
Rear Setback:	20 feet
Side Setback:	5 feet
Corner Lot (front functioning as side):	10 feet

2. The subject property shall be subject to buffering and screening requirements of Section 6.06.06 of the Hillsborough County Land Development Code. In addition, the following enhanced landscaping and vertical screening requirements apply.

- 2.1 A minimum of 10-foot-wide Landscaping and Vertical Screening Area shall be provided along the perimeter of the property along the north, south and west property boundary, except where vehicular ingress and egress is proposed. The Landscaping and Vertical Screening Easement shall be depicted on the plat. When located on a lot, a Landscaping and Vertical Screening Easement shall be recorded in the Official Records of Hillsborough County prior to the issuance of a building permit for the lot.

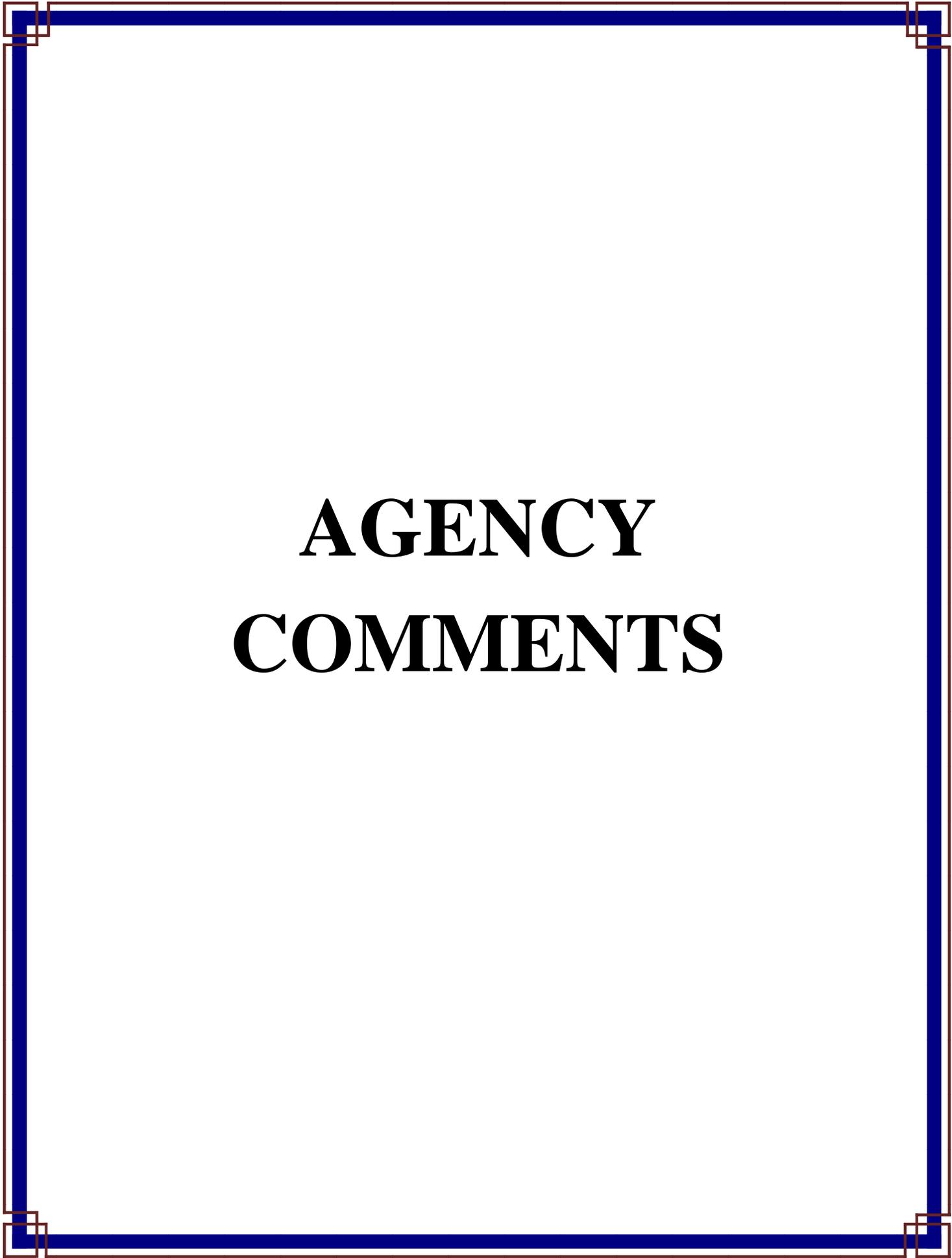
- 2.2 The Landscaping and Vertical Screening Area shall be planted with evergreen trees (Yaupon Holly, Loblolly Bay, Southern Magnolia, Laurel Oak, Live Oak, or similar). Planting shall be a minimum of 10 feet at the time of planting with a minimum 2-inch caliper. Trees will be planted no more than 20 feet apart, and existing vegetation, excluding hazardous and non-native species, may be used in lieu of required trees, subject to review and approval by Hillsborough County Development Services. The required Landscaping and Vertical Screening shall be installed during the first increment of development and shall be completed prior to the issuance of the first Certificate of Occupancy for a home.

- 2.3 The Landscaping and Vertical Screening Area shall include a 6-foot solid PVC fence when located adjacent to single-family homes and a 6-foot wrought iron style picket fence when located adjacent to the pond.

3. If PD 22-0685 is approved, the County Engineer will approve a Design Exception (dated July 1, 2022) which was found approvable by the County Engineer (on July 7, 2022) for Little Rd. substandard road improvements. As Little Rd. is a substandard rural collector roadway, the developer will be required to construct +/-1,200 feet of sidewalk on the west side of Little Rd., to tie into the existing sidewalk to the north and the existing sidewalk on Bloomingdale Ave. consistent with the Design Exception.
- ~~4. The developer shall construct a 5-foot sidewalk along one side of Crestwood Drive from the project entrance to Pearson Rd. with the initial increment of development.~~
5. If PD 22-0685 is approved, the County Engineer will approve an Administrative Variance (dated July 1, 2022) to Section 6.04.07 of the LDC Minimum Spacing, which was found approvable by the County Engineer (on July 7, 2022), to allow the project access connection on Little Rd. to be located less than 245 feet from the adjacent existing access connection. More specifically, the proposed project access connection shall be located +/-48 feet from the next closest driveway to the south and +/-82 feet from the driveway to the north.
6. Primary vehicular and pedestrian access to the project shall be provided from Little Rd., as shown on the PD Site Plan.
7. An emergency vehicle and pedestrian access connection shall be constructed to Crestwood Drive, as shown on the PD site plan.
8. Natural Resources staff identified a number of significant trees on the site including potential Grand Oaks. Every effort must be made to avoid the removal of and design the site around these trees. The site plan may be modified from the Certified Site Plan to avoid tree removal.
9. The property may include listed animal species or have restricted activity zones throughout the property. Pursuant to the Land Development Code (LDC), a wildlife survey of any endangered, threatened or species of special concern in accordance with the Florida Fish and Wildlife Conservation Commission Wildlife Methodology Guidelines shall be required. This survey information must be provided upon submittal of the preliminary plans through the Land Development Code's Site Development or Subdivision process. Essential Wildlife Habitat as defined by the LDC must be addressed, if applicable, in consideration with the overall boundaries of this rezoning request.
10. This site contains trees that qualify as Grand Oaks as defined by the Land Development Code (LDC). All trees confirmed as a Grand Oak must be accurately located and labeled as such on the submitted preliminary plan/plat through the Site Development/Subdivision Review process. Design efforts are to be displayed on the submitted preliminary plan to avoid adverse impacts to these trees.
11. Notwithstanding anything shown in the PD site plan or in the PD conditions to the contrary, pedestrian access shall be allowed anywhere along the project boundary.
12. If the notes and/or graphics on the site plan are in conflict with specific zoning conditions and/or the Land Development Code (LDC) regulations, the more restrictive regulation shall apply, unless specifically conditioned otherwise. References to development standards of the LDC in the above stated

conditions shall be interpreted as the regulations in effect at the time of preliminary site plan/plat approval.

13. The Development of the project shall proceed in strict accordance with the terms and conditions contained in the Development Order, the General Site Plan, the land use conditions contained herein, and all applicable rules, regulations, and ordinances of Hillsborough County.
14. In accordance with LDC Section 5.03.07.C, the certified PD general site plan shall expire for the internal transportation network and external access points, as well as for any conditions related to the internal transportation network and external access points, if site construction plans, or equivalent thereof, have not been approved for all or part of the subject Planned Development within 5 years of the effective date of the PD unless an extension is granted as provided in the LDC. Upon expiration, re-certification of the PD General Site Plan shall be required in accordance with provisions set forth in LDC Section 5.03.07.C.



AGENCY COMMENTS

AGENCY REVIEW COMMENT SHEET

TO: Zoning Technician, Development Services Department

DATE: 5/30/2023

REVIEWER: Richard Perez, AICP

AGENCY/DEPT: Transportation

PLANNING AREA: VR / CENTRAL

PETITION NO: PRS 23-0375

- This agency has no comments.
- This agency has no objection.
- This agency has no objection, subject to the listed or attached conditions.
- This agency objects for the reasons set forth below.

REQUEST SUMMARY AND RATIONALE FOR OBJECTION

The applicant is requesting a minor modification (PRS) to planned development PD #22-0685 seeking to remove Condition of Approval #4 requiring a sidewalk to be constructed on Crestwood Dr. to serve the project's pedestrian access connection to Pearson Rd. The condition of approval is as follows:

"4. The developer shall construct a 5-foot sidewalk along one side of Crestwood Drive from the project entrance to Pearson Rd. with the initial increment of development."

The subject property consists of three (3) parcels approved for 25 single family residential lots on +/-12.1 acres. The site is located 530 feet north of Bloomingdale Ave. on the west side of Little Rd. The Future Land Use designation of the site is Residential 4 (R-4). The primary vehicle and pedestrian access is located on Little Rd.

Gated emergency access and pedestrian access is required on Crestwood Dr. The subject property was originally proposed to make a full access connection to Crestwood Dr.; however, at the October 11, 2022 BoCC Land Use meeting, the Commission made findings to approve scaling back the connection to only pedestrian and emergency access with the condition that a sidewalk be constructed along one side of Crestwood Dr., from the project's pedestrian access to Pearson Rd. The sidewalk would fill in the existing sidewalk gap and tie into the existing sidewalk network on Pearson Rd, between Crestwood Dr. and Mulrennan Middle School. Mulrennan Middle School.

Staff does not support the current request to remove Condition of Approval # 4 for the reasons outlined below.

Additionally, staff notes that the submitted PD site plan does not show the required pedestrian access on Crestwood Dr., as required by condition of approval #7, explained in greater detail below.

Supporting Statements/Testimony at the October 11, 2022 BoCC Land Use Hearing:

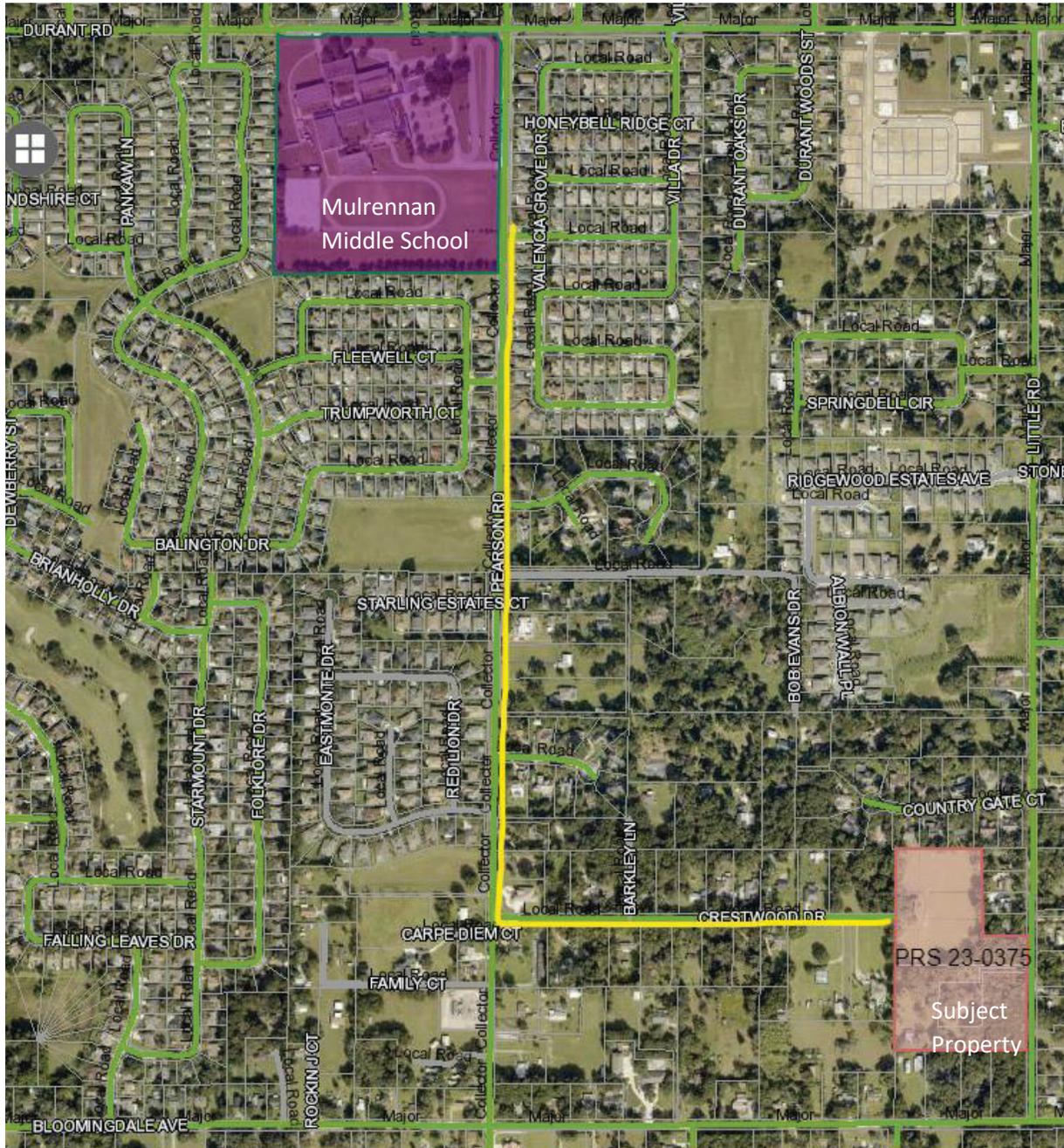
The following statements given by the Commission and the public are relevant to and support Condition #4 requiring the sidewalk on Crestwood Dr.

- Statements from the citizens during public comment as recorded in the hearing transcripts expressed concerns about safety of children walking and bicycling on Crestwood Dr., students walking to school bus stops, increasing safe routes to schools, providing infrastructure for walking and bicycling in the community in general.
 - *“We rely on Crestwood as a safe place to take our children, walk dogs and ride bikes.”*
 - *“Our children walk this road to and from the bus stop. The County is responsible for increasing safe routes to school, not reducing them.”*
 - *“Policy 2.1 says the project is premature if there's a lack of transportation options. We don't even have sidewalks or bike lanes.”*
 - *“We don't have the infrastructure. It will have negative impacts and it will put the safety of our community and children at risk.”*
- Testimony by the applicant’s Traffic Engineer as recorded in the hearing transcripts stated construction of the sidewalk is feasible and will be paid for at the expense of the developer. Additionally, the Traffic Engineer acknowledged that the developer would have to work around existing mailboxes and trees and may have to relocate some of them at the developer’s expense.
 - *“We have also looked at the ability to build sidewalk on there. Based on our review of the roadway, we believe it is feasible to build a sidewalk. That sidewalk will be at the expense of the developer. And he has agreed to do that. So we will have to work around the trees and mailboxes and we will have to relocate, that's what we have to do. But that will be at the expense of the developer to build that sidewalk.”*
- Statements by the County Commission as recorded in the hearing transcripts recognized the need for sidewalks to support the pedestrian connection on Crestwood Dr., the close proximity of Mulrennan Middle School and the safety of children walking to school and in the community in general.

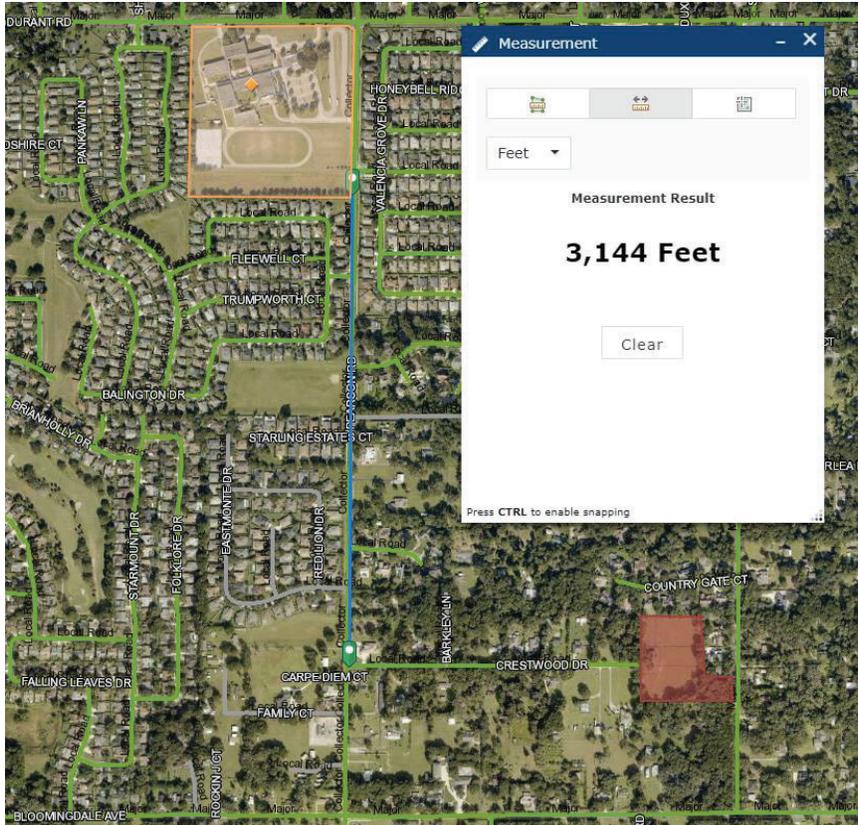
Pedestrian Routes for School Children

The PD proposes 25 residential dwelling units. Based on student generation rates used by Hillsborough County public schools during their evaluation of the #22-0685 rezoning application, staff calculates that approximately 14 school age children could live within the development.

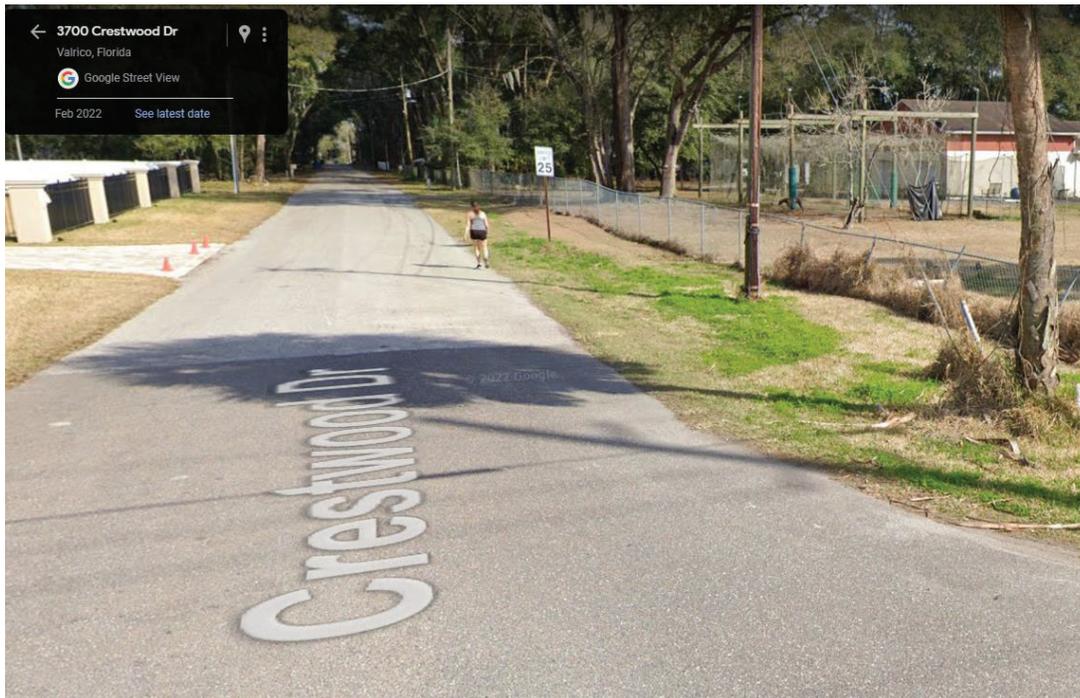
Mulrennan Middle School is the closest school facility to the subject planned development. The location of the subject planned development (PRS 23-0375) and Mulrennan Middle School are shown in the aerial below.



The yellow line is the most direct pedestrian route (+/-5,085ft or 0.96 mile) to Mulrennan Middle School from the subject site and with the sidewalk currently required to be constructed would have a continuous sidewalk network from the project's pedestrian access to the school.



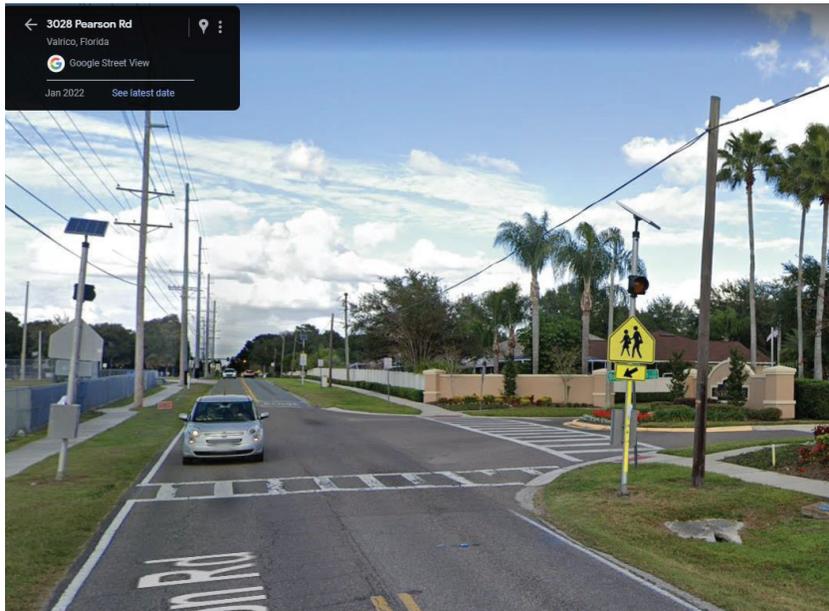
Mulrennan Middle School is approximately 3,144 feet north of Crestwood Dr. on Pearson Rd. There are currently sidewalks on Pearson Rd. from Crestwood Dr. to the entrance of Mulrennan Middle School.



Google StreetView of Crestwood Dr. from the intersection with Pearson Rd.



Google StreetView of the intersection of Crestwood Dr. and Pearson Rd.



Google Streetview of existing pedestrian infrastructure on Pearson Ave. near the entrance of Mulrennan Middle School.

Required PD Site Plan Information

The applicant's proposed PD site plan does not depict the required pedestrian access on Crestwood Dr. as required by the Condition of Approval #7, which states (italics and underline add for emphasis) "An emergency vehicle and *pedestrian access connection shall be constructed to Crestwood Drive*, as shown on the PD site plan.". County Development Procedures Manual (DRPM), Sec. 6.2.1. C. 7. – Transportation Information subsection a. states that proposed points of ingress and egress for pedestrian facilities must be depicted on the site plan. The proposed PD site plan only shows gated emergency access at the Crestwood Dr. connection.

Transportation Comment Sheet

3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)

Adjoining Roadways (check if applicable)			
Road Name	Classification	Current Conditions	Select Future Improvements
Little Rd	County Collector - Rural	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input checked="" type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
Crestwood Dr.	County Local - Urban	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input checked="" type="checkbox"/> Other

Project Trip Generation <input type="checkbox"/> Not applicable for this request			
	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	113	9	12
Proposed	236	19	25
Difference (+/-)	+123	+10	+13

*Trips reported are based on net new external trips unless otherwise noted.

Connectivity and Cross Access <input type="checkbox"/> Not applicable for this request				
Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North		None	None	Meets LDC
South		None	None	Meets LDC
East	X	None	None	Meets LDC
West		Emergency & Pedestrian	None	Meets LDC
Notes:				

Design Exception/Administrative Variance <input type="checkbox"/> Not applicable for this request		
Road Name/Nature of Request	Type	Finding
Little Rd./Substandard Roadway	Design Exception Requested	Previously Approved
Little Rd./ Access Spacing	Administrative Variance Requested	Previously Approved
Notes:		

4.0 Additional Site Information & Agency Comments Summary			
Transportation	Objections	Conditions Requested	Additional Information/Comments
<input checked="" type="checkbox"/> Design Exception/Adm. Variance Requested <input type="checkbox"/> Off-Site Improvements Provided	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	See report.

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AGENCY COMMENT SHEET

REZONING	
<p>HEARING DATE: 6/13/2023</p> <p>PETITION NO.: 23-0375</p> <p>EPC REVIEWER: Melissa Yañez</p> <p>CONTACT INFORMATION: (813) 627-2600 X 1360</p> <p>EMAIL: yanezm@epchc.org</p>	<p>COMMENT DATE: 5/11/2023</p> <p>PROPERTY ADDRESS: 3311, 3322, 3323 Little Rd, Valrico, FL</p> <p>FOLIO #: 0872290200, 0872295000, and 0872296000</p> <p>STR: 05-30-21</p>
<p>REQUESTED ZONING: Minor mod to PD</p>	
FINDINGS	
WETLANDS PRESENT	NO
SITE INSPECTION DATE	N/A
WETLAND LINE VALIDITY	N/A
WETLANDS VERIFICATION (AERIAL PHOTO, SOILS SURVEY, EPC FILES)	N/A
<p>INFORMATIONAL COMMENTS:</p> <p>Wetlands Division staff of the Environmental Protection Commission of Hillsborough County (EPC) reviewed the above referenced parcel in order to determine the extent of any wetlands and other surface waters pursuant to Chapter 1-11, Rules of the EPC. This determination was performed using aerial photography, soil surveys, and reviewing EPC files. Through this review, it appears that no wetlands or other surface waters exist onsite.</p> <p>Please be advised this wetland determination is informal and non-binding. A formal wetland delineation may be applied for by submitting a “WDR30 - Delineation Request Application”. Once approved, the formal wetland delineation would be binding for five years.</p>	

My/cb