

**PD Modification Application:** PRS 22-1041

**Zoning Hearing Master Date:** N/A

**BOCC Land Use Meeting Date:** November 3, 2022

**1.0 APPLICATION SUMMARY**

**Applicant:** AMQ International Corp.

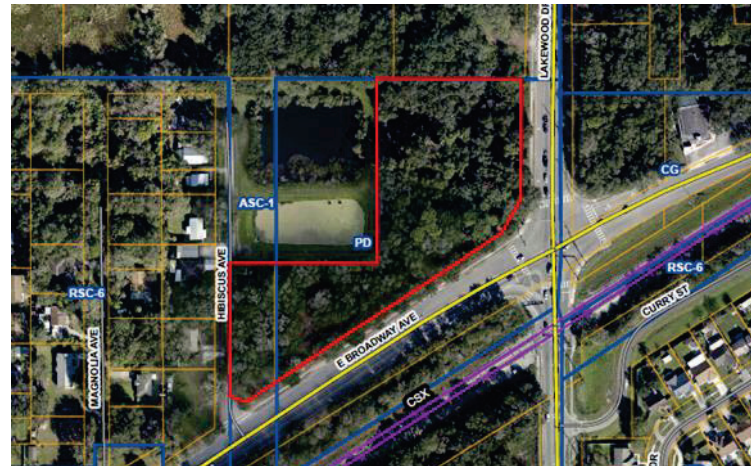
**FLU Category:** Residential - 9 (RES-9)

**Service Area:** Urban

**Site Acreage:** 3.27

**Community  
Plan Area:** Seffner Mango

**Overlay:** None



**Introduction Summary:**

The subject site is located within PD 86-0193 which consists of two properties a northwest parcel and a northeast parcel. PD 86-0193 was approved in 1987 to allow for 50,000 square feet of commercial use along County Road 574. The northeast parcel is proposed to be rezoned through standard rezoning request 22-0697 to CG (Commercial – General). If approved, this modification will adjust PD 86-0193 to include only the northwest parcel.

Existing Approval(s):	Proposed Modification(s):
The PD is approved 50,000 square feet (maximum Floor Area Ratio of 0.18) of PD-C (N) zoning district	Remove folios 65719.0000 and 65720.0000 from PD and maintain maximum Floor Area Ratio of 0.18 for parcel to remain in PD.

**Additional Information:**

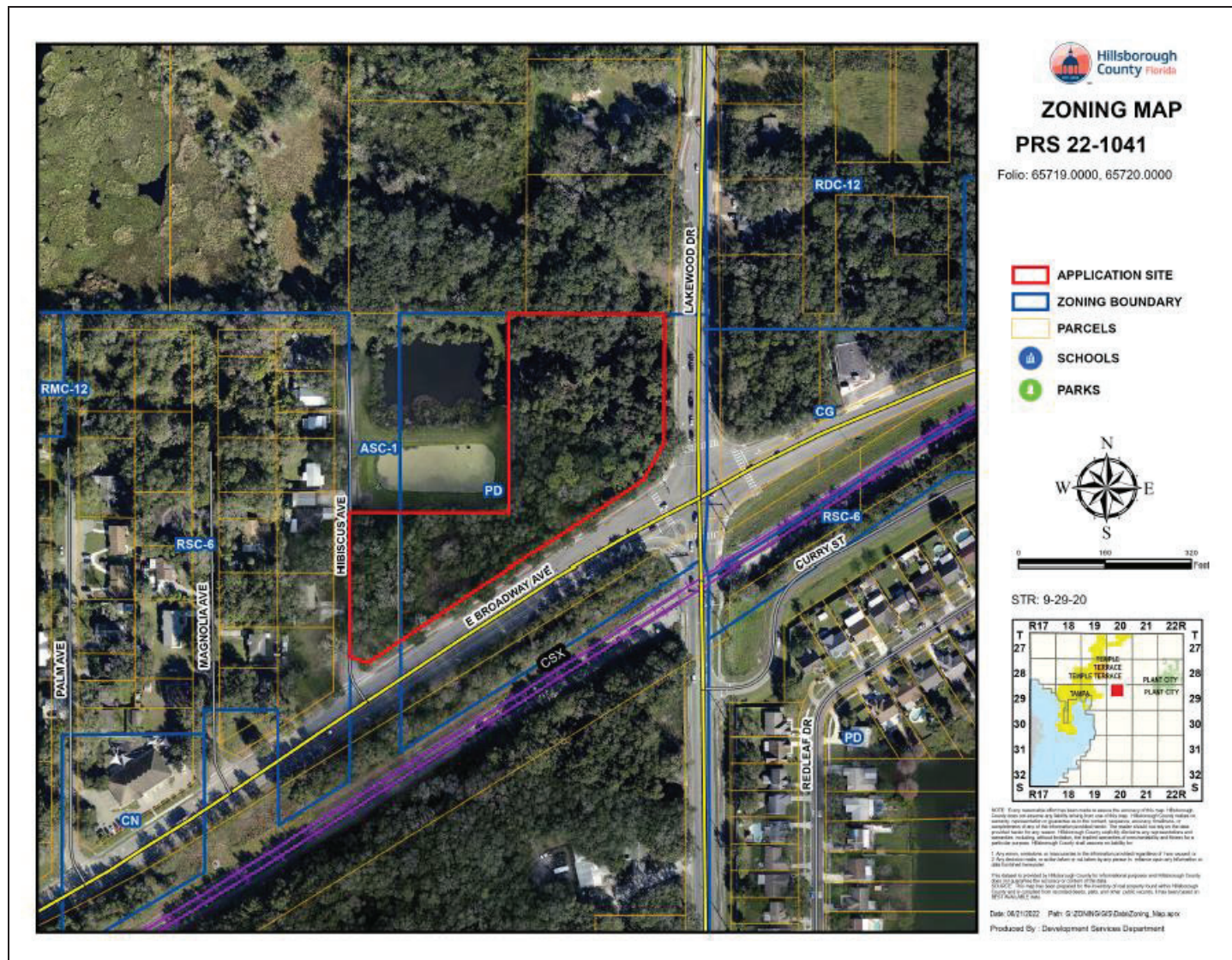
PD Variation(s):	None Requested as part of this application
Waiver(s) to the Land Development Code:	None Requested as part of this application

<b>Planning Commission Recommendation:</b> N/A	<b>Development Services Recommendation:</b> Approvable, subject to proposed conditions
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2.0 LAND USE MAP SET AND SUMMARY DATA

2.2 Immediate Area Map

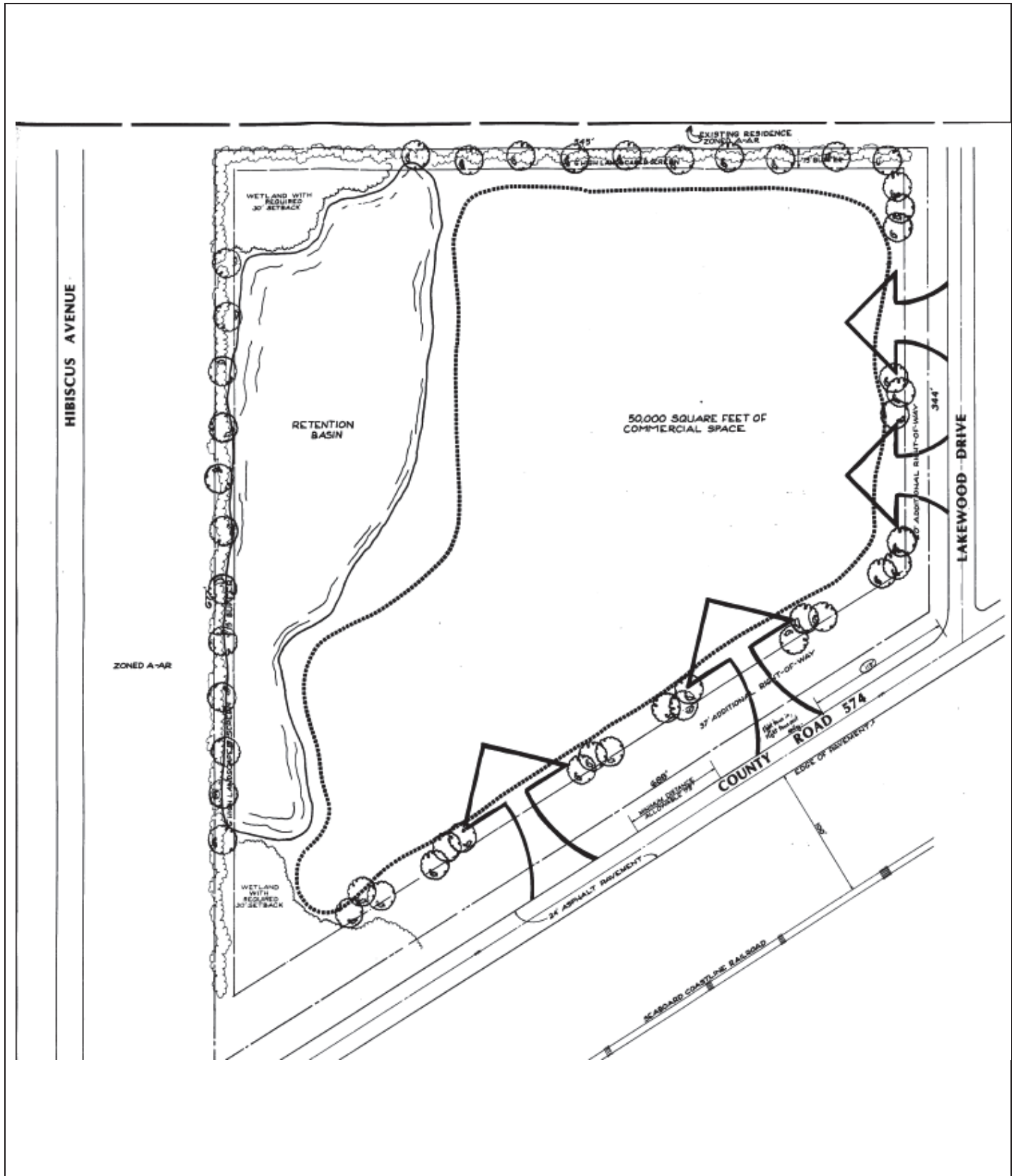


Adjacent Zonings and Uses

Location:	Zoning:	Maximum Density/F.A.R. Permitted by Zoning District:	Allowable Use:	Existing Use:
North	ASC-1	1 du per ga	Single-Family Residential/Agricultural	Vacant
South	ASC-1	ASC-1: 1 du per ga	Single-Family Residential/Agricultural	Single-Family Residential Mixed Use
East	CG, RDC-12	CG: 0.27 F.A.R., RDC-12: 12 du per 5 acres	General Commercial, Office and Personal Services, Single-Family and Two-Family (Conventional)	Vacant
West	RSC-6	RSC-6: 6 du per ga	Single-Family Residential (Conventional Only)	Single-Family Residential

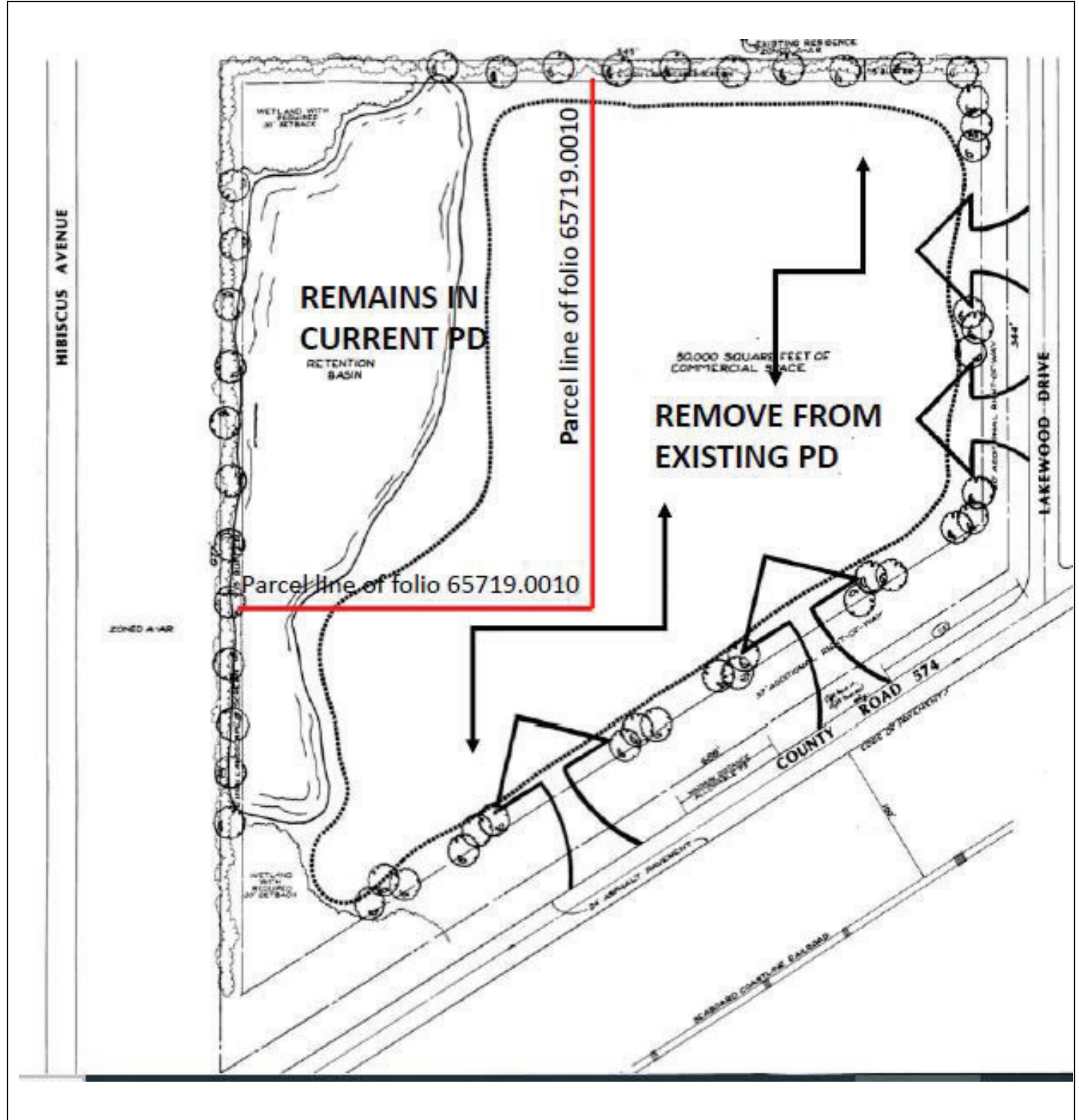
## 2.0 LAND USE MAP SET AND SUMMARY DATA

### 2.3 Approved Site Plan (partial provided below for size and orientation purposes. See Section 7.1 for full site plan)



2.0 LAND USE MAP SET AND SUMMARY DATA

2.4 Proposed Site Plan (partial provided below for size and orientation purposes. See Section 7.2 for full site plan)



**3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)**

**Adjoining Roadways (check if applicable)**

Road Name	Classification	Current Conditions	Select Future Improvements
Lakewood Drive	County Collector - Urban	2 Lanes <input type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
Broadway Ave	County Collector - Urban	2 Lanes <input type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input checked="" type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other

**Project Trip Generation**  Not applicable for this request

	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	16,442	1,278	1,098
Proposed	3,228	128	91
Difference (+/-)	<b>-13,214</b>	<b>-1,150</b>	<b>-1,007</b>

\*Trips reported are based on net new external trips unless otherwise noted.

**Connectivity and Cross Access**  Not applicable for this request

Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North		None	None	Meets LDC
South	X	None	None	Meets LDC
East	X	None	None	Meets LDC
West		None	None	Meets LDC

Notes: Access will be via a shared access facility through folio 65719.0000

**Design Exception/Administrative Variance**  Not applicable for this request

Road Name/Nature of Request	Type	Finding
	Choose an item.	Choose an item.
	Choose an item.	Choose an item.

Notes:

## 4.0 ADDITIONAL SITE INFORMATION &amp; AGENCY COMMENTS SUMMARY

INFORMATION/REVIEWING AGENCY				
Environmental:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Environmental Protection Commission	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Natural Resources	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Conservation & Environ. Lands Mgmt.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Check if Applicable: <input type="checkbox"/> Wetlands/Other Surface Waters <input type="checkbox"/> Use of Environmentally Sensitive Land Credit <input type="checkbox"/> Wellhead Protection Area <input type="checkbox"/> Surface Water Resource Protection Area <input type="checkbox"/> Potable Water Wellfield Protection Area <input type="checkbox"/> Significant Wildlife Habitat <input type="checkbox"/> Coastal High Hazard Area <input type="checkbox"/> Urban/Suburban/Rural Scenic Corridor <input type="checkbox"/> Adjacent to ELAPP property <input checked="" type="checkbox"/> Other: Airport Height Restriction: 170' AMSL				
Public Facilities:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
<b>Transportation</b> <input type="checkbox"/> Design Exc./Adm. Variance Requested <input type="checkbox"/> Off-site Improvements Provided	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	See Staff Report.
<b>Service Area/ Water &amp; Wastewater</b> <input checked="" type="checkbox"/> Urban <input type="checkbox"/> City of Tampa <input type="checkbox"/> Rural <input type="checkbox"/> City of Temple Terrace	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<b>Hillsborough County School Board</b> Adequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input checked="" type="checkbox"/> N/A Inadequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<b>Impact/Mobility Fees</b>				
Comprehensive Plan:	Comments Received	Findings	Conditions Requested	Additional Information/Comments
<b>Planning Commission</b> <input type="checkbox"/> Meets Locational Criteria <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Locational Criteria Waiver Requested <input type="checkbox"/> Minimum Density Met <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Inconsistent <input type="checkbox"/> Consistent	<input type="checkbox"/> Yes <input type="checkbox"/> No	

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## **5.0 IMPLEMENTATION RECOMMENDATIONS**

### **5.1 Compatibility**

The subject application involves the adjustment of an approved PD to recognize the removal of acreage into a standard district. No changes to the remaining use in the PD are proposed. The new property lines will continue to provide required setbacks and allow use of the parcel. Staff has not identified any compatibility issues related to the request.

The parcel to remain in the Planned Development (PD) is owned by Hillsborough County and contains stormwater retention ponds. The parcel was acquired via eminent domain. A portion of the county-owned parcel (to the west) is not within the boundaries of the PD and is zoned ASC-1. Access to both portions of the parcel is via Hibiscus Avenue to the west. Although the PD site plan does not provide for access point along the western boundary for cross access between the ASC-1 and PD zoned portions of the County owned property, said cross access is permitted without need to further modify the PD to allow said cross access pursuant to Determination of Non-Conformity (DNC) 22-1367. In accordance with LDC Section 11.03.02.G. Nonconformities by Public Order, the acquisition of the parcel via eminent domain allows recognition of non-conformities created as the result of lawful public takings. In this instance, the County's acquisition of the parcel via eminent domain for use as stormwater ponds which traverse both zoning districts established a legal non-conforming cross access between the PD and ASC-1 zoned portions of the parcel.

### **5.2 Recommendation**

Based on the above considerations, staff recommends approval subject to the proposed conditions.



## 6.0 PROPOSED CONDITIONS

### Requirements for Certification:

1. Prior to certification, the developer shall revise the site plan to remove 50,000 square feet of Commercial Gross leasable area from site plan note #1 and modify the acreage to 3.27 in site plan note #3. The developer also shall change the Legal Description of the PD to the updated property boundaries.

2. Site Plan to change 50,000 square feet of commercial to Floor Area Ratio of 0.18 of commercial.

A. Approval with Conditions – Approval is based on the General Development Site Plan received ~~April 2, 1987~~ August 1, 2022, and all data shown, defined, described, noted, referenced, and listed thereon.

1. The maximum Floor Area Ratio for the proposed PD-C project shall be 0.18.
2. The development in the commercial portion of the project shall be limited to the uses shown in the use list under PD-C (N). If a convenience store, bank or fast-food restaurant is proposed, the developer shall submit a revised traffic analysis to the Traffic Operations Services Section through the Department of Development Coordination in order to ensure that the length of the left turn lanes required under Condition 9 will be satisfactory to accommodate this use. Further, the developer shall install what ever improvements warranted by the additional traffic.
3. The maximum height of the PD-C project shall be 35 feet. Along the project boundaries, an additional two feet of setback, added to the requirements of Section 7.12, shall be required for every one foot of structure height over 20 feet.
4. The required front yard shall be 35 feet.
5. Buffering and screening shall be provided in accordance with Section 7.12 of the Hillsborough County ~~Zoning Code~~ Land Development Code.
6. An area equal to at least .20 times the land area of the district shall be reserved for landscaping and permeable open areas, and shall be improved and maintained accordingly. One or a combination of the following shall be provided: landscaped buffers, open vegetated yards, retention areas, landscaped islands, mulched or vegetated play or seating areas, or areas paved with permeable blocks. No more than 25 percent of the required landscaped and pervious area shall be composed of permeable paving blocks.
7. The developer shall provide illumination for all project access points sufficient to provide safe ingress and egress. The access point shall be visible at night from a distance of 200 feet in all directions which vehicles travel. However, no lighting shall adversely affect adjacent properties.
- ~~8. The developer shall provide, prior to the issuance of Certificates of Zoning Compliance, sidewalks external to the project along Lakewood Drive and C.R. 574. The exact location of said sidewalks shall be determined by the County Department of Development Coordination prior to Detailed Site Plan approval.~~
- ~~9. Prior to the issuance of Certificates of Zoning Compliance, the developer shall provide the following traffic improvements.~~
  - ~~a. A 125 foot left turn lane is required on C.R. 574 for eastbound to north left turns into the west site access.~~

- b. ~~A 125-foot left-turn lane is required on Lakewood Drive for northbound-to-west left turns into the north site access.~~
- c. ~~All roadway construction shall be completed with proper transitions from the widened section to the existing roadway pavement.~~
- d. ~~The developer shall be responsible for removing existing pavement markings in the widened section and for restriping the roadway to delineate the left-turn lanes in accordance with Hillsborough County standards.~~
10. ~~The east project access on C.R. 574 shall be restricted to right-turn-in/right-turn-out only.~~
11. ~~The south access on Lakewood Drive shall be restricted to right-turn-in/right-turn-out only.~~
- ~~12.8.~~ Driveway radii shall be a minimum of 40 feet to accommodate single-unit vehicles.
- ~~13.9.~~ Driveway radius returns shall not extend in front of the adjacent property.
14. ~~The developer shall dedicate, prior to the issuance of Zoning Compliance Permits, an additional 20 feet of right-of-way along the west side of Lakewood Drive. This will provide part of the 90 feet of total right-of-way needed ultimately to accommodate a symmetrical four-lane divided roadway section.~~
15. The developer shall dedicate to the County, prior to the issuance of Zoning Compliance Permits, 72 feet of right-of-way on the north side of C.R. 574, measured from the center line of the existing road. Since there is no platted or deeded right-of-way in this area, and the existing right-of-way is approximately 35 feet of maintained right-of-way on the north side of CR 574, the developer would be providing an additional 37 feet of right-of-way. This will provide part of the 118 feet of total right-of-way needed ultimately to accommodate a symmetrical six-lane divided roadway section. It should be noted that most of the right-of-way for the future widening of CR 574 must come off the north side due to an existing railroad on the south side.
16. ~~Parking shall be provided in accordance with Article 10 of the Hillsborough County Zoning Code.~~
- ~~17.10.~~ The developer shall be required to utilize public water and, when available, public sewer, and shall pay all costs to connect for service delivery. The developer shall submit to the County Department of Development Coordination prior to the issuance of Zoning Compliance Permits evidence of commitment from the County Department of Water and Wastewater Utilities to provide public water service, and evidence of agreement to pay necessary costs to enable the County to provide public water service delivery. Until public sewer is available, an interim sewage treatment plant or septic tanks shall be utilized.
- ~~18.11.~~ The interim sewage treatment plant, if approved by the Hillsborough County Utilities Department and Environmental Protection Commission, shall meet the requirements of Subsection 11.13 "Interim Sewage Plant" as well as all applicable federal, state and local regulations.
- ~~19.~~ Stormwater detention/retention pond design requirements for the development shall be as listed below, unless otherwise approved by the Hillsborough County Environmental Protection Commission and the Hillsborough County Drainage Engineer:
- a. ~~The side slopes shall be no greater than 4:1.~~
- b. ~~The banks shall be completely vegetated to the design low water elevation.~~

~~c. The sides and the bottom of each pond shall not be constructed of impervious material.~~

~~20.12.~~ The developer shall provide (a) fire hydrants, and/or (b) a Fire Protection Plan, as determined by the Hillsborough County Fire Department.

(a) If (a) is required, the developer shall install at the developer's expense, prior to the Issuance of Certificates of Zoning Compliance, fire hydrants and, if necessary, water lines of a size necessary to meet minimum fire flow and pressure requirements to provide adequate water resources for firefighting. The location and installation of the hydrants and water lines shall be subject to approval of the County Fire Department and the County Department of water and Wastewater Utilities.

(b) If (b) is required, the developer shall prepare a Fire Protection Plan for the site and development thereof. The Plan shall be submitted to the County Department of Development Coordination prior to the issuance of Zoning Compliance Permits along with evidence of approval, from the County Fire Department, of the Plan submitted.


~~21.13.~~ The developer shall show on the General Development Plan the approximate boundaries of all environmentally sensitive area(s) and shall label them "Conservation Area." Prior to Detailed Site Plan certification, the developer shall submit to the County Department of Development Coordination evidence of approval from the County Environmental Protection Commission of the conservation area boundaries. All on-site conservation area(s) shall be preserved unless a mitigation plan is approved by the Environmental Protection Commission and submitted to the Department of Development Coordination as part of an approved detailed site plan.

~~22.14.~~ All new structures and/or impervious area on site shall be setback a minimum of 30 feet from the boundaries of the on-site conservation area(s) and any adjacent conservation area(s) contiguous to any property boundary of the site.

~~23.15.~~ Development must in accordance with all applicable regulations in the Hillsborough County ~~Zoning Code~~ Land Development Code and in accordance with all other applicable regulations and ordinances.

~~24.16.~~ Up to sixty days subsequent to ~~rezoning approval~~ PRS approval by the Hillsborough County Board of County Commissioners, the developer shall submit to the ~~County Department of Development Coordination~~ Development Services Department a revised General Development Site Plan for certification which shall reflect all the conditions outlined above.

Zoning Administrator Sign Off:



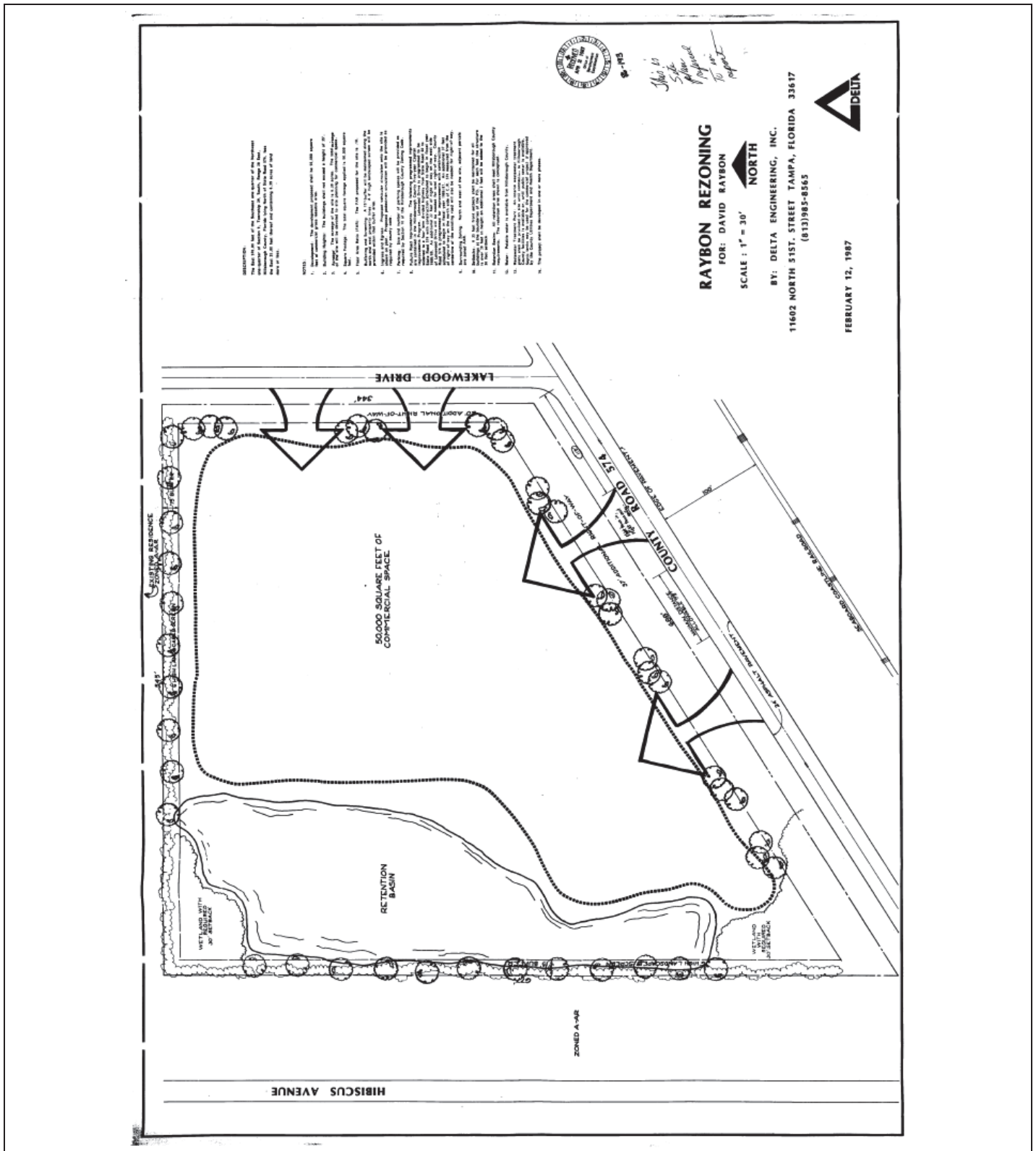
J. Brian Grady  
Wed Oct 19 2022 10:02:04

**SITE, SUBDIVISION AND BUILDING CONSTRUCTION IN ACCORDANCE WITH HILLSBOROUGH COUNTY SITE DEVELOPMENT PLAN & BUILDING REVIEW AND APPROVAL.**

Approval of this re-zoning petition by Hillsborough County does not constitute a guarantee that the project will receive approvals/permits necessary for site development as proposed will be issued, nor does it imply that other required permits needed for site development or building construction are being waived or otherwise approved. The project will be required to comply with the Site Development Plan Review approval process in addition to obtain all necessary building permits for on-site structures.

7.0 SITE PLANS (FULL)

7.1 Approved Site Plan (Full)



7.0 SITE PLANS (FULL)

7.2 Proposed Site Plan (Full)



## 8.0 FULL TRANSPORTATION REPORT (see following pages)

### AGENCY REVIEW COMMENT SHEET

TO: ZONING TECHNICIAN, Development Services Department      DATE: 8/04/2022  
REVIEWER: Alex Steady, Senior Planner      AGENCY/DEPT: Transportation  
PLANNING AREA/SECTOR: Seffner Mango/Northeast      PETITION NO: PRS 22-1041

- This agency has no comments.
- This agency has no objection.
- This agency has no objection, subject to listed or attached conditions.
- This agency objects, based on the listed or attached conditions.

#### REPORT SUMMARY AND CONCLUSIONS

- The proposed minor modification would result in a decrease of trips potentially generated by development of the subject site by 13,214 average daily trips, 1,150 trips in the a.m. peak hour, and 1,007 trips in the p.m. peak hour.
- Transportation Review Section staff has no objection to the proposed request, subject to the listed conditions

#### NEW CONDITION

- Access to PD 86-0193 will be via a shared access facility through folio 65719.0000.

#### REVISED CONDITIONS

~~8. The developer shall provide, prior to the issuance of Certificates of Zoning Compliance, sidewalks external to the project along Lakewood Drive and C.R. 574. The exact location of said sidewalks shall be determined by the County Department of Development Coordination prior to Detailed Site Plan approval.~~

*[Transportation Review Section staff is proposing to delete this condition because PD 86-0193 will no longer have frontage Lakewood Drive or CR 574.]*

~~9. Prior to the issuance of Certificates of Zoning Compliance, the developer shall provide the following traffic improvements:~~

- ~~a. A 125-foot left turn lane is required on e. R. 574 for eastbound-to-north left turns into the west site access.~~
- ~~b. A 125-foot left turn lane is required on Lakewood Drive for northbound-to-west left turns into the north site access.~~
- ~~c. All roadway construction shall be completed with proper transitions from the widened section to the existing roadway pavement.~~
- ~~d. The developer shall be responsible for removing existing pavement markings in the widened section and for restriping the roadway to delineate the left turn lanes in accordance with Hillsborough County standards.~~

*[Transportation Review Section staff is proposing to delete this condition because PD 86-0193 will no longer have frontage Lakewood Drive or CR 574.]*

~~10. The east project access on C.R. 574 shall be restricted to right turn in/ right turn out only.~~

*[Transportation Review Section staff is proposing to delete this condition because PD 86-0193 will no longer have frontage Lakewood Drive or CR 574.]*

~~11. The south access on Lakewood Drive shall be restricted to right turn in/right turn out only.~~

*[Transportation Review Section staff is proposing to delete this condition because PD 86-0193 will no longer have frontage Lakewood Drive or CR 574.]*

~~14. The developer shall dedicate, prior to the issuance of Zoning Compliance Permits, an additional 20 feet of right-of-way along the west side of Lakewood Drive. This will provide part of the 90 feet of total right-of-way needed ultimately to accommodate a symmetrical four-lane divided roadway section.~~

~~[Transportation Review Section staff is proposing to delete this condition because PD 86-0193 will no longer have frontage Lakewood Drive.]~~

~~15. The developer shall dedicate to the County, prior to the issuance of Zoning Compliance Permits, 72 feet of right-of-way on the north side of C.R. 574, measured from the center line of the existing road. Since there is no platted or deeded right-of-way in this area, and the existing right-of-way is approximately 35 feet of maintained right-of-way on the north side of CR 574, the developer would be providing an additional 37 feet of right-of-way. This will provide part of the 118 feet of total right-of-way needed ultimately to accommodate a symmetrical six-lane divided roadway section. It should be noted that most of the right-of-way for the future widening of CR 574 must come off the north side due to an existing railroad on the south side.~~

~~[Transportation Review Section staff is proposing to delete this condition because PD 86-0193 will no longer have frontage CR 574.]~~

~~16. Parking shall be provided in accordance with Article 10 of the Hillsborough County Zoning Code.~~

~~[Transportation Staff recommends removing this condition due to outdated language.]~~

**PROJECT SUMMARY AND ANALYSIS**

The applicant is requesting a minor modification, also known as Personal Appearance (PRS) to Planned Development (PD) 86-0193. The PRS request proposes to remove folio 65719.0000 from PD 86-0193. This would remove +/- 3.27 acres from the approved PD, leaving a total of +/- 1.7 acres remaining in PD 86-0193. The proposed minor modification will require access be given to the remaining portion of the PD 86-0193 through folio 65719.0000. The proposed changes will reduce the maximum trip generation of the remaining portion of Planned Development 86-0193 and as such Transportation Staff has no objection to the requested modification, subject to the included condition.

*Trip Generation Analysis*

Staff has prepared a comparison of the trips potentially generated under the previously approved zoning and the proposed planned development including the additional residential units, utilizing a generalized worst-case scenario. Data presented below is based on the Institute of Transportation Engineer's Trip Generation Manual, 10<sup>th</sup> Edition.

**Approved Zoning:**

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
PD 86-0193, 9,000 sf Pharmacy /Drugstore with Drive- Through Window (ITE Code 881)	982	35	93
PD 86-0193, 5,000 fast food sf Fast-Food Restaurant with Drive-Through Window (ITE Code 934)	2,355	201	163
PD 86-0193, 6,000 sf Super Convenience Market/Gas Station (ITE Code 960)	5,025	499	416
PD 86-0193, 7,000 sf Drive in Bank (ITE Code 912)	700	67	143
PD 86-0193, 5,000 fast food sf Fast-Food Restaurant with Drive-Through Window (ITE Code 934)	2,355	201	163
PD 86-0193, 6,000 sf Super Convenience Market/Gas Station (ITE Code 960)	5025	499	416



Subtotal	16,442	1,502	1,394
Less Internal Capture:	Not Available	8	74
Passerby Trips:	Not Available	216	222
Net External Trips:	16,442	1,278	1,098

**Proposed Zoning:**

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
PD 86-0193, 8,000 sf Pharmacy /Drugstore with Drive- Through Window (ITE Code 881)	873	31	82
PD 86-0193, 5,000 fast food sf Fast-Food Restaurant with Drive-Through Window (ITE Code 934)	2355	201	163
Subtotal	3,228	232	245
Less Internal Capture:	Not Available	6	64
Passerby Trips:	Not Available	98	90
Net External Trips:	3,228	128	91

**Trip Generation Difference:**

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
Difference	-13,214	-1,150	-1,007

**TRANSPORTATION INFRASTRUCTURE SERVING THE SITE**

The subject property will have access to Broadway Ave and/or Lakewood Drive. Broadway Ave is a 2-lane undivided, Hillsborough County maintained collector roadway with +/- 12-foot lanes and sidewalks and curb and gutter along the north side within the vicinity of the project. Lakewood Drive is a 2-lane, undivided, Hillsborough County maintained collector roadway with +/- 12-foot lanes and sidewalks and curb and gutter along the north side within the vicinity of the project.

**SITE ACCESS**

Pedestrian and Vehicular access will be via a shared access facility through folio 65719.0000.

**LEVEL OF SERVICE (LOS) INFORMATION**

Level of service information is shown below.

FDOT Generalized Level of Service				
Roadway	From	To	LOS Standard	Peak Hr Directional LOS
E BROADWAY AVE	WILLIAMS RD	M L KING BLVD	D	C

Source: [2020 Hillsborough County Level of Service \(LOS\) Report](#)



**CURRENTLY  
APPROVED**

FINAL CONDITIONS  
OF  
APPROVAL

MEETING OF: County Commissioners  
MEETING DATE: July 21, 1987  
PETITION NUMBER: 86-193  
DATE TYPED: August 3, 1987  
CORRECTED: January 14, 1988

- A. Approval with Conditions - Approval is based on the General Development Site Plan received April 2, 1987, and all data shown, defined, described, noted, referenced, and listed thereon.
1. The maximum Floor Area Ratio for the proposed PD-C project shall be 0.18.
  2. The development in the commercial portion of the project shall be limited to the uses shown in the use list under PD-C (N). If a convenience store, bank or fast-food restaurant is proposed, the developer shall submit a revised traffic analysis to the Traffic Operations Services Section through the Department of Development Coordination in order to ensure that the length of the left turn lanes required under Condition 9 will be satisfactory to accommodate this use. Further, the developer shall install what ever improvements warranted by the additional traffic.
  3. The maximum height of the PD-C project shall be 35 feet. Along the project boundaries, an additional two feet of setback, added to the requirements of Section 7.12, shall be required for every one foot of structure height over 20 feet.
  4. The required front yard shall be 35 feet.
  5. Buffering and screening shall be provided in accordance with Section 7.12 of the Hillsborough County Zoning Code.
  6. An area equal to at least .20 times the land area of the district shall be reserved for landscaping and permeable open areas, and shall be improved and maintained accordingly. One or a combination of the following shall be provided: landscaped buffers, open vegetated yards, retention areas, landscaped islands, mulched or vegetated play or seating areas, or areas paved with permeable blocks. No more than 25 percent of the required landscaped and pervious area shall be composed of permeable paving blocks.
  7. The developer shall provide illumination for all project access points sufficient to provide safe ingress and egress. The access point shall be visible at night from a distance of 200 feet in all directions which vehicles travel. However, no lighting shall adversely affect adjacent properties.
  8. The developer shall provide, prior to the issuance of Certificates of Zoning Compliance, sidewalks external to the project along Lakewood Drive and C.R. 574. The exact location of said sidewalks shall be determined by the County Department of Development Coordination prior to Detailed Site Plan approval.
  9. Prior to the issuance of Certificates of Zoning Compliance, the developer shall provide the following traffic improvements.
    - a. A 125-foot left-turn lane is required on C. R. 574 for eastbound-to-north left turns into the west site access.
    - b. A 125-foot left-turn lane is required on Lakewood Drive for northbound-to-west left turns into the north site access.
    - c. All roadway construction shall be completed with proper transitions from the widened section to the existing roadway pavement.
    - d. The developer shall be responsible for removing existing pavement markings in the widened section and for restriping the roadway to delineate the left-turn lanes in accordance with Hillsborough County standards.

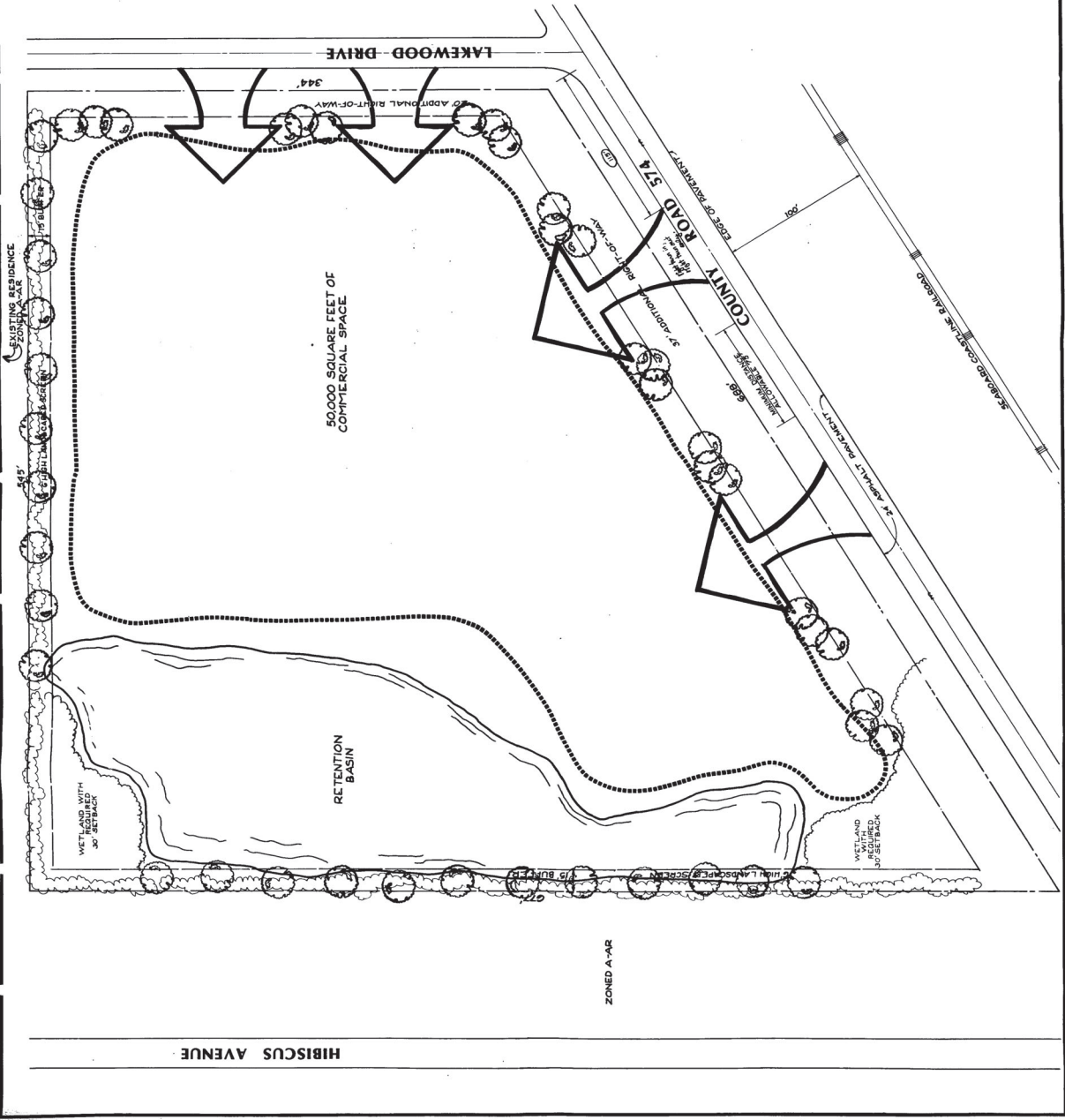
FINAL CONDITIONS OF APPROVAL	MEETING OF:	County Commissioners
	MEETING DATE:	July 21, 1987
	PETITION NUMBER:	86-193
	DATE TYPED:	August 3, 1987
	CORRECTED:	January 14, 1988

10. The east project access on C.R. 574 shall be restricted to right-turn-in/right-turn-out only.
11. The south access on Lakewood Drive shall be restricted to right-turn-in/right-turn-out only.
12. Driveway radii shall be a minimum of 40 feet to accommodate single-unit vehicles.
13. Driveway radius returns shall not extend in front of the adjacent property.
14. The developer shall dedicate, prior to the issuance of Zoning Compliance Permits, an additional 20 feet of right-of-way along the west side of Lakewood Drive. This will provide part of the 90 feet of total right-of-way needed ultimately to accommodate a symmetrical four-lane divided roadway section.
15. The developer shall dedicate to the County, prior to the issuance of Zoning Compliance Permits, 72 feet of right-of-way on the north side of C.R. 574, measured from the center line of the existing road. Since there is no platted or deeded right-of-way in this area, and the existing right-of-way is approximately 35 feet of maintained right-of-way on the north side of CR 574, the developer would be providing an additional 37 feet of right-of-way. This will provide part of the 118 feet of total right-of-way needed ultimately to accommodate a symmetrical six-lane divided roadway section. It should be noted that most of the right-of-way for the future widening of CR 574 must come off the north side due to an existing railroad on the south side.
16. Parking shall be provided in accordance with Article 10 of the Hillsborough County Zoning Code.
17. The developer shall be required to utilize public water and, when available, public sewer, and shall pay all costs to connect for service delivery. The developer shall submit to the County Department of Development Coordination, prior to the issuance of Zoning Compliance Permits evidence of commitment from the County Department of Water and Wastewater Utilities to provide public water service, and evidence of agreement to pay necessary costs to enable the County to provide public water service delivery. Until public sewer is available, an interim sewage treatment plant or septic tanks shall be utilized.
18. The interim sewage treatment plant, if approved by the Hillsborough County Utilities Department and Environmental Protection Commission, shall meet the requirements of Subsection 11.13 "Interim Sewage Plant" as well as all applicable federal, state and local regulations.
19. Stormwater detention/retention pond design requirements for the development shall be as listed below, unless otherwise approved by the Hillsborough County Environmental Protection Commission and the Hillsborough County Drainage Engineer:
  - a. The side slopes shall be no greater than 4:1.
  - b. The banks shall be completely vegetated to the design low water elevation.
  - c. The sides and the bottom of each pond shall not be constructed of impervious material.

FINAL CONDITIONS  
OF  
APPROVAL

MEETING OF: County Commissioners  
MEETING DATE: July 21, 1987  
PETITION NUMBER: 86-193  
DATE TYPED: August 3, 1987  
CORRECTED: January 14, 1988

- 
20. The developer shall provide (a) fire hydrants, and/or (b) a Fire Protection Plan, as determined by the Hillsborough County Fire Department.
- (a) If (a) is required, the developer shall install at the developer's expense, prior to the issuance of Certificates of Zoning Compliance, fire hydrants and, if necessary, water lines of a size necessary to meet minimum fire flow and pressure requirements to provide adequate water resources for firefighting. The location and installation of the hydrants and water lines shall be subject to approval of the County Fire Department and the County Department of Water and Wastewater Utilities.
- (b) If (b) is required, the developer shall prepare a Fire Protection Plan for the site and development thereof. The Plan shall be submitted to the County Department of Development Coordination prior to the issuance of Zoning Compliance Permits along with evidence of approval, from the County Fire Department, of the Plan as submitted.
21. The developer shall show on the General Development Plan the approximate boundaries of all environmentally sensitive area(s) and shall label them "Conservation Area." Prior to Detailed Site Plan certification, the developer shall submit to the County Department of Development Coordination evidence of approval from the County Environmental Protection Commission of the conservation area boundaries. All on-site conservation area(s) shall be preserved unless a mitigation plan is approved by the Environmental Protection Commission and submitted to the Department of Development Coordination as part of an approved detailed site plan.
22. All new structures and/or impervious area on site shall be setback a minimum of 30 feet from the boundaries of the on-site conservation area(s) and any adjacent conservation area(s) contiguous to any property boundary of the site.
23. Development must in accordance with all applicable regulations in the Hillsborough County Zoning Code and in accordance with all other applicable regulations and ordinances.
24. Up to sixty days subsequent to rezoning approval by the Hillsborough County Board of County Commissioners, the developer shall submit to the County Department of Development Coordination a revised General Development Site Plan for certification which shall reflect all the conditions outlined above.



**DESCRIPTION:**  
 The East 1/4 of the Southeast quarter of the Northwest quarter of Section 1, Township 26, South, Range 18 East, Meridian 16 West, contains approximately 10.24 acres of land. The East 1/4 of the Northeast and containing 4.75 acres of land more or less.

- NOTES:**
1. Development... The development proposed shall be 10,000 square feet...
  2. Building Height... The buildings shall not exceed a height of 35'...
  3. Access... The access to the site shall be via Lakewood Drive...
  4. Signage... The site shall have signage appropriate to its use...
  5. Wetland... The 1.75-acre wetland shall be maintained along the perimeter with 30' setbacks...
  6. Retention Basin... A 17,500-gallon retention basin shall be constructed...
  7. Stormwater... Stormwater collection shall be installed throughout the site...
  8. Fencing... The site shall be enclosed by a 6-foot high chain-link fence...
  9. Utilities... The site shall be served by water, sewer, and electric utilities...
  10. Easements... All easements shall be shown and recorded for all utility lines...
  11. Easements... All easements shall be shown and recorded for all utility lines...
  12. Wetland... Wetland areas shall be maintained in their natural state...
  13. Wetland... Wetland areas shall be maintained in their natural state...
  14. The project shall be developed in one or more phases.



*Site Approved To be Reported*

**RAYBON REZONING**  
 FOR: DAVID RAYBON

SCALE : 1" = 30'



BY: DELTA ENGINEERING, INC.  
 11602 NORTH 51ST. STREET TAMPA, FLORIDA 33617  
 (813)985-8565



FEBRUARY 12, 1987



# **AGENCY COMMENTS**

## AGENCY REVIEW COMMENT SHEET

TO: ZONING TECHNICIAN, Development Services Department

DATE: 8/04/2022

REVIEWER: Alex Steady, Senior Planner

AGENCY/DEPT: Transportation

PLANNING AREA/SECTOR: Seffner Mango/Northeast

PETITION NO: PRS 22-1041

- This agency has no comments.
- This agency has no objection.
- This agency has no objection, subject to listed or attached conditions.
- This agency objects, based on the listed or attached conditions.

### REPORT SUMMARY AND CONCLUSIONS

- The proposed minor modification would result in a decrease of trips potentially generated by development of the subject site by 13,214 average daily trips, 1,150 trips in the a.m. peak hour, and 1,007 trips in the p.m. peak hour.
- Transportation Review Section staff has no objection to the proposed request, subject to the listed conditions

### NEW CONDITION

- Access to PD 86-0193 will be via a shared access facility through folio 65719.0000.

### REVISED CONDITIONS

~~8. The developer shall provide, prior to the issuance of Certificates of Zoning Compliance, sidewalks external to the project along Lakewood Drive and C.R. 574. The exact location of said sidewalks shall be determined by the County Department of Development Coordination prior to Detailed Site Plan approval.~~

*[Transportation Review Section staff is proposing to delete this condition because PD 86-0193 will no longer have frontage Lakewood Drive or CR 574.]*

~~9. Prior to the issuance of Certificates of Zoning Compliance, the developer shall provide the following traffic improvements:~~

- ~~a. A 125-foot left turn lane is required on c. R. 574 for eastbound to north left turns into the west site access.~~
- ~~b. A 125-foot left turn lane is required on Lakewood Drive for northbound to west left turns into the north site access.~~
- ~~c. All roadway construction shall be completed with proper transitions from the widened section to the existing roadway pavement.~~
- ~~d. The developer shall be responsible for removing existing pavement markings in the widened section and for restriping the roadway to delineate the left turn lanes in accordance with Hillsborough County standards.~~

*[Transportation Review Section staff is proposing to delete this condition because PD 86-0193 will no longer have frontage Lakewood Drive or CR 574.]*

~~10. The east project access on C.R. 574 shall be restricted to right turn in/ right turn out only.~~

*[Transportation Review Section staff is proposing to delete this condition because PD 86-0193 will no longer have frontage Lakewood Drive or CR 574.]*

~~11. The south access on Lakewood Drive shall be restricted to right turn in/right turn out only.~~

*[Transportation Review Section staff is proposing to delete this condition because PD 86-0193 will no longer have frontage Lakewood Drive or CR 574.]*



~~14. The developer shall dedicate, prior to the issuance of Zoning Compliance Permits, an additional 20 feet of right-of-way along the west side of Lakewood Drive. This will provide part of the 90 feet of total right-of-way needed ultimately to accommodate a symmetrical four-lane divided roadway section.~~

*[Transportation Review Section staff is proposing to delete this condition because PD 86-0193 will no longer have frontage Lakewood Drive.]*

~~15. The developer shall dedicate to the County, prior to the issuance of Zoning Compliance Permits, 72 feet of right-of-way on the north side of C.R. 574, measured from the center line of the existing road. Since there is no platted or deeded right-of-way in this area, and the existing right-of-way is approximately 35 feet of maintained right-of-way on the north side of CR 574, the developer would be providing an additional 37 feet of right-of-way. This will provide part of the 118 feet of total right-of-way needed ultimately to accommodate a symmetrical six-lane divided roadway section. It should be noted that most of the right-of-way for the future widening of CR 574 must come off the north side due to an existing railroad on the south side.~~

*[Transportation Review Section staff is proposing to delete this condition because PD 86-0193 will no longer have frontage CR 574.]*

~~16. Parking shall be provided in accordance with Article 10 of the Hillsborough County Zoning Code.~~

*[Transportation Staff recommends removing this condition due to outdated language.]*

### **PROJECT SUMMARY AND ANALYSIS**

The applicant is requesting a minor modification, also known as Personal Appearance (PRS) to Planned Development (PD) 86-0193. The PRS request proposes to remove folio 65719.0000 from PD 86-0193. This would remove +/- 3.27 acres from the approved PD, leaving a total of +/- 1.7 acres remaining in PD 86-0193. The proposed minor modification will require access be given to the remaining portion of the PD 86-0193 through folio 65719.0000. The proposed changes will reduce the maximum trip generation of the remaining portion of Planned Development 86-0193 and as such Transportation Staff has no objection to the requested modification, subject to the included condition.

#### ***Trip Generation Analysis***

Staff has prepared a comparison of the trips potentially generated under the previously approved zoning and the proposed planned development including the additional residential units, utilizing a generalized worst-case scenario. Data presented below is based on the Institute of Transportation Engineer's Trip Generation Manual, 10<sup>th</sup> Edition.

#### **Approved Zoning:**

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
PD 86-0193, 9,000 sf Pharmacy /Drugstore with Drive- Through Window (ITE Code 881)	982	35	93
PD 86-0193, 5,000 fast food sf Fast-Food Restaurant with Drive-Through Window (ITE Code 934)	2,355	201	163
PD 86-0193, 6,000 sf Super Convenience Market/Gas Station (ITE Code 960)	5,025	499	416
PD 86-0193, 7,000 sf Drive in Bank (ITE Code 912)	700	67	143
PD 86-0193, 5,000 fast food sf Fast-Food Restaurant with Drive-Through Window (ITE Code 934)	2,355	201	163
PD 86-0193, 6,000 sf Super Convenience Market/Gas Station (ITE Code 960)	5025	499	416

Subtotal	16,442	1,502	1,394
<i>Less Internal Capture:</i>	Not Available	8	74
<i>Passerby Trips:</i>	Not Available	216	222
<b><i>Net External Trips:</i></b>	16,442	1,278	1,098

**Proposed Zoning:**

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
PD 86-0193, 8,000 sf Pharmacy /Drugstore with Drive- Through Window (ITE Code 881)	873	31	82
PD 86-0193, 5,000 fast food sf Fast-Food Restaurant with Drive-Through Window (ITE Code 934)	2355	201	163
Subtotal	3,228	232	245
<i>Less Internal Capture:</i>	Not Available	6	64
<i>Passerby Trips:</i>	Not Available	98	90
<b><i>Net External Trips:</i></b>	3,228	128	91

**Trip Generation Difference:**

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
<b>Difference</b>	<b>-13,214</b>	<b>-1,150</b>	<b>-1,007</b>

**TRANSPORTATION INFRASTRUCTURE SERVING THE SITE**

The subject property will have access to Broadway Ave and/or Lakewood Drive. Broadway Ave is a 2-lane, undivided, Hillsborough County maintained collector roadway with +/- 12-foot lanes and sidewalks and curb and gutter along the north side within the vicinity of the project. Lakewood Drive is a 2-lane, undivided, Hillsborough County maintained collector roadway with +/- 12-foot lanes and sidewalks and curb and gutter along the north side within the vicinity of the project.

**SITE ACCESS**

Pedestrian and Vehicular access will be via a shared access facility through folio 65719.0000.

**LEVEL OF SERVICE (LOS) INFORMATION**

Level of service information is shown below.

FDOT Generalized Level of Service				
Roadway	From	To	LOS Standard	Peak Hr Directional LOS
E BROADWAY AVE	WILLIAMS RD	M L KING BLVD	D	C

Source: [2020 Hillsborough County Level of Service \(LOS\) Report](#)

Transportation Comment Sheet

**3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)**

Adjoining Roadways (check if applicable)			
Road Name	Classification	Current Conditions	Select Future Improvements
Lakewood Drive	County Collector - Urban	2 Lanes <input type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
Broadway Ave	County Collector - Urban	2 Lanes <input type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input checked="" type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other

Project Trip Generation <input checked="" type="checkbox"/> Not applicable for this request			
	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	16,442	1,278	1,098
Proposed	3,228	128	91
Difference (+/-)	<b>-13,214</b>	<b>-1,150</b>	<b>-1,007</b>

\*Trips reported are based on net new external trips unless otherwise noted.

Connectivity and Cross Access <input type="checkbox"/> Not applicable for this request				
Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North		None	None	Meets LDC
South	X	None	None	Meets LDC
East	X	None	None	Meets LDC
West		None	None	Meets LDC

Notes: Access will be via a shared access facility through folio 65719.0000

Design Exception/Administrative Variance <input checked="" type="checkbox"/> Not applicable for this request		
Road Name/Nature of Request	Type	Finding
	Choose an item.	Choose an item.
	Choose an item.	Choose an item.

Notes:

4.0 Additional Site Information & Agency Comments Summary			
Transportation	Objections	Conditions Requested	Additional Information/Comments
<input type="checkbox"/> Design Exception/Adm. Variance Requested <input type="checkbox"/> Off-Site Improvements Provided	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	See Staff Report.

**COMMISSION**

Mariella Smith CHAIR  
 Pat Kemp VICE-CHAIR  
 Harry Cohen  
 Ken Hagan  
 Gwendolyn “Gwen” W. Myers  
 Kimberly Overman  
 Stacy White



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 Rick Muratti, Esq. LEGAL DEPT  
 Reginald Sanford, MPH AIR DIVISION  
 Steffanie L. Wickham WASTE DIVISION  
 Sterlin Woodard, P.E. WETLANDS DIVISION

**AGENCY COMMENT SHEET**

REZONING	
<p><b>HEARING DATE:</b> 8/25/2022</p> <p><b>PETITION NO.:</b> 22-1041</p> <p><b>EPC REVIEWER:</b> Chris Stiens</p> <p><b>CONTACT INFORMATION:</b> (813)627-2600 X1225</p> <p><b>EMAIL:</b> <a href="mailto:stiensc@epchc.org">stiensc@epchc.org</a></p>	<p><b>COMMENT DATE:</b> August 8, 2022</p> <p><b>PROPERTY ADDRESS:</b> E Broadway Ave and Lakewood Dr, Seffner, FL 33584</p> <p><b>FOLIOs #:</b> 065719.0000 &amp; 065720.0000</p> <p><b>STR:</b> 9-29S-20E</p>
<p><b>REQUESTED ZONING:</b> PD to CG</p>	
FINDINGS	
<b>WETLANDS PRESENT</b>	No
<b>SITE INSPECTION DATE</b>	8/8/2022
<b>WETLAND LINE VALIDITY</b>	N/A
<b>WETLANDS VERIFICATION (AERIAL PHOTO, SOILS SURVEY, EPC FILES)</b>	N/A
<p><b>INFORMATIONAL COMMENTS:</b></p> <p>Wetland Division staff of the Environmental Protection Commission of Hillsborough County (EPC) inspected the above referenced site in order to determine the extent of any wetlands and other surface waters pursuant to Chapter 1-11, Rules of the EPC. This determination was performed using the methodology described within Chapter 62-340, Florida Administrative Code, and adopted into Chapter 1-11. The site inspection revealed that no wetlands or other surface waters exist within the above referenced parcel</p> <p>Please be advised this wetland determination is informal and non-binding. A formal wetland delineation may be applied for by submitting a “WDR30 - Delineation Request Application”. Once approved, the formal wetland delineation would be binding for five years.</p>	

cs/cs

ec: [Todd@Pressmaninc.com](mailto:Todd@Pressmaninc.com)

*Environmental Excellence in a Changing World*

**Environmental Protection Commission - Roger P. Stewart Center**  
 3629 Queen Palm Drive, Tampa, FL 33619 - (813) 627-2600 - [www.epchc.org](http://www.epchc.org)

**WATER RESOURCE SERVICES  
REZONING REVIEW COMMENT SHEET: WATER & WASTEWATER**

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PETITION NO.: PRS22-1041    REVIEWED BY: Randy Rochelle    DATE: 7/1/2022

FOLIO NO.: 65719.0000 & 65720.0000

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**WATER**

- The property lies within the \_\_\_\_\_ Water Service Area. The applicant should contact the provider to determine the availability of water service.
- A 12 inch water main exists  (adjacent to the site),  (approximately 100 feet from the site) and is located within the east Right-of-Way of Lakewood Drive. This will be the likely point-of-connection, however there could be additional and/or different points-of-connection determined at the time of the application for service. This is not a reservation of capacity.
- Water distribution system improvements will need to be completed prior to connection to the County's water system. The improvements include \_\_\_\_\_ and will need to be completed by the \_\_\_\_\_ prior to issuance of any building permits that will create additional demand on the system.

**WASTEWATER**

- The property lies within the \_\_\_\_\_ Wastewater Service Area. The applicant should contact the provider to determine the availability of wastewater service.
- A 4 inch wastewater force main exists  (adjacent to the site),  (approximately    feet from the site) and is located within the west Right-of-Way of Lakewood Drive. This will be the likely point-of-connection, however there could be additional and/or different points-of-connection determined at the time of the application for service. This is not a reservation of capacity.
- Wastewater collection system improvements will need to be completed prior to connection to the County's wastewater system. The improvements include \_\_\_\_\_ and will need to be completed by the \_\_\_\_\_ prior to issuance of any building permits that will create additional demand on the system.

COMMENTS: The subject rezoning includes parcels that are within the Urban Service Area and would require connection to the County's potable water systems.