

# PD Modification Application:

**PRS 21-1184**

**BOCC Land Use Meeting Date:  
02/08/2022**



**Hillsborough  
County Florida**

Development Services Department

## 1.0 APPLICATION SUMMARY

Applicant: BBE-Boggs Engineering, LLC

FLU Category: R-2 (Residential-4)

Service Area: Urban

Site Acreage: 2.69 acres

Community Plan Area: Valrico

Overlay: None

Request: Minor Modification to PD



### Existing Approvals:

The Planned Development (PD) 93-0124, as most recently modified by MM 18-0099, is approved for a maximum 16-unit mobile home park. Approval of a mobile home park with a density of up to 4 dwelling units per acre for a maximum of 10.76 mobile homes.

The most recent approval provided reductions in the 50-foot perimeter setback as provided for in LDC Section 6.11.39, Farm Worker Housing, to allow for minor setback reductions of the eastern, western and northern project boundaries, and allow a 12.75 setback from the southern project boundary.

### Proposed Modification(s):

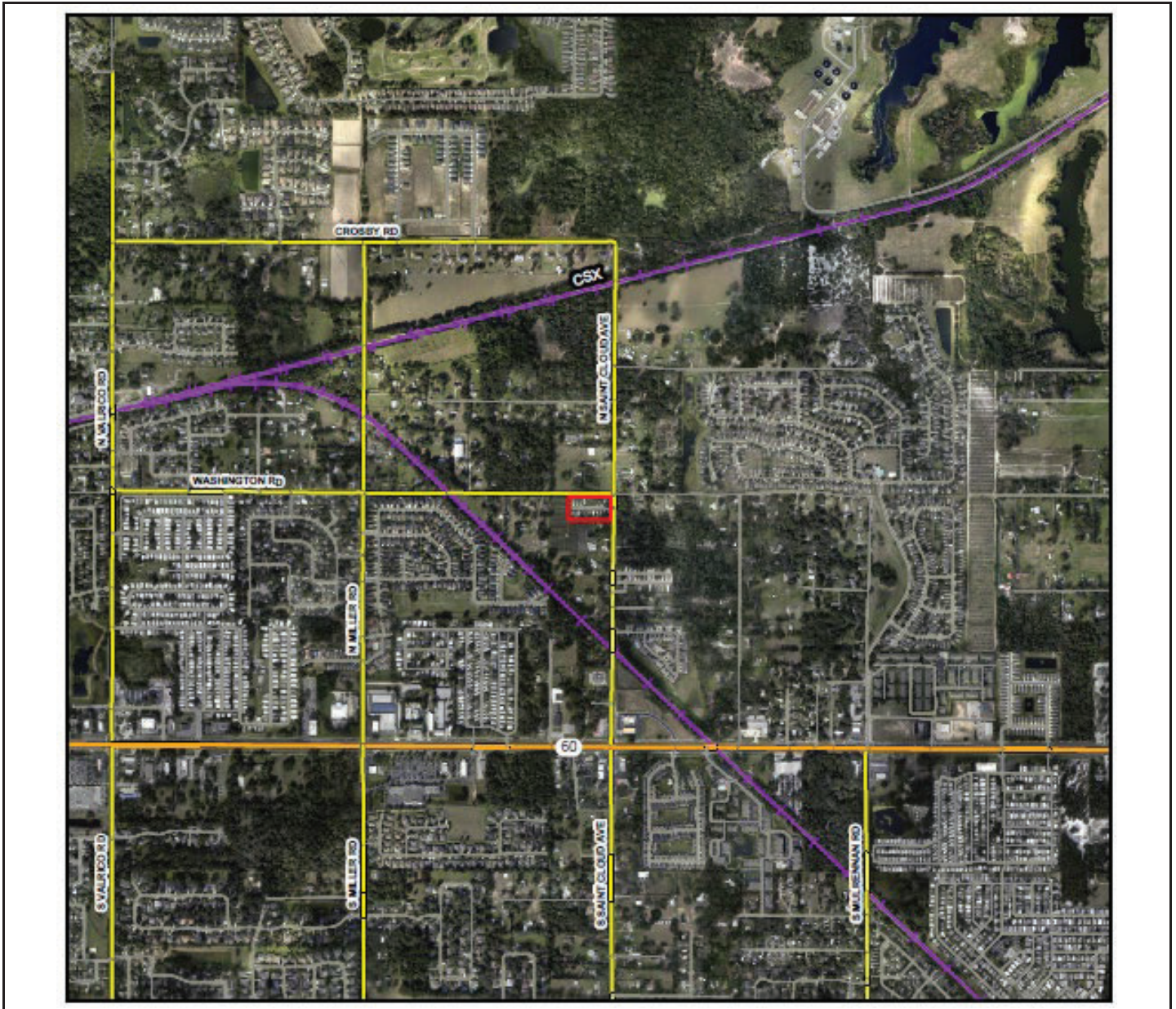
The request is for a minor modification to a planned development (PD 93-0124). The purpose of the modification is to allow a 46.18-foot waiver of the required 50-foot setback per LDC Section 6.11.39, to place a roof over the existing water treatment system with a 3.82-foot setback.

### Additional Information:

PD Variations	None
Waiver(s) to the Land Development Code	Waiver to Section 6.11.39 of the required 50-foot setback to allow a 3.82-foot setback for a water treatment structure.
Planning Commission Recommendation	The Planning Commission has no comments.
Development Services Department Recommendation	Approvable, with conditions.

## 2.0 LAND USE MAP SET AND SUMMARY DATA

### 2.1 Vicinity Map



#### Context of Surrounding Area:

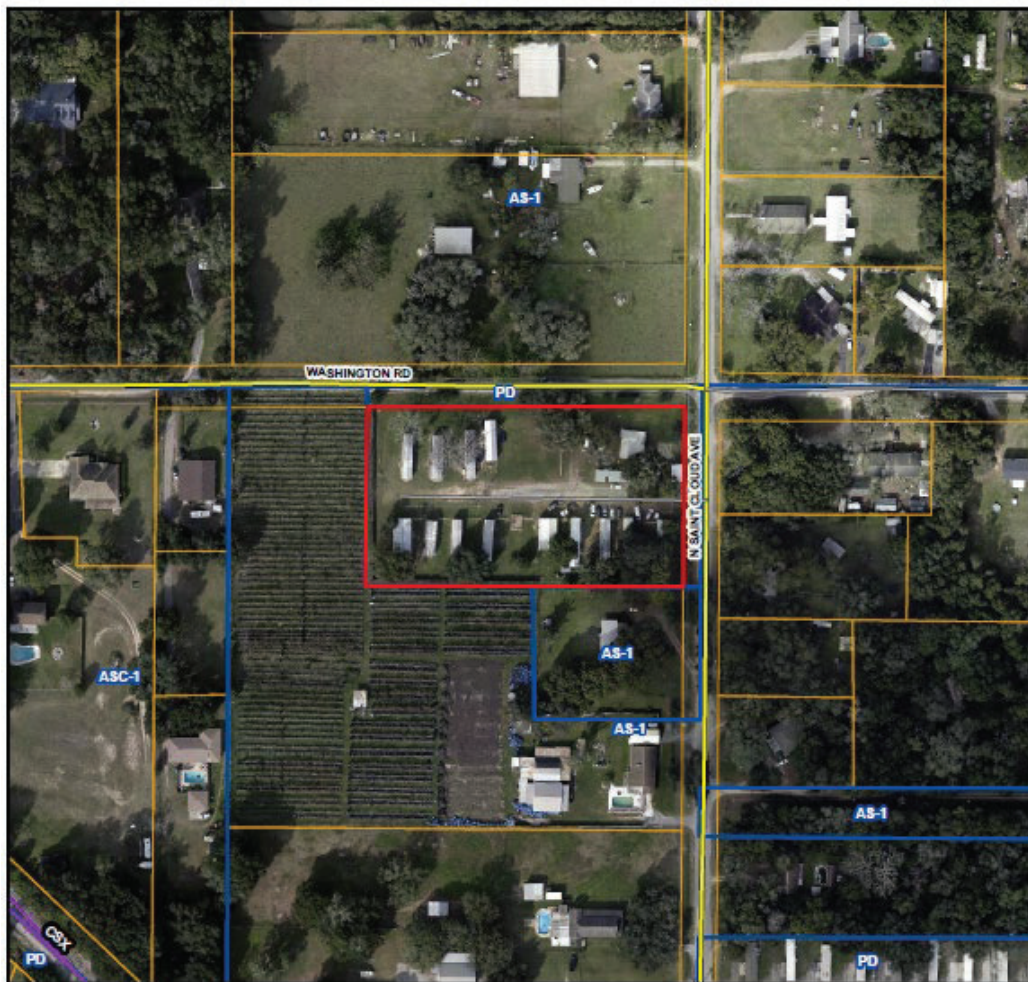
The proposed minor modification consists of a 2.69-acre property that is developed with farm worker housing.

Located to the west and south of the subject property is a 5-2-acre property (folio 85553.0000) developed with a farmhouse and crops. To the north across Washington Road, is a 4.3-acre property zoned AS-1 (Agricultural, Single family). The subject property is bordered on the east by N. Saint Cloud Avenue. East across N. Saint Cloud Avenue is designated AS-1 zoning and developed with single-family homes.



**2.0 LAND USE MAP SET AND SUMMARY DATA**

**2.2 Immediate Area Map**

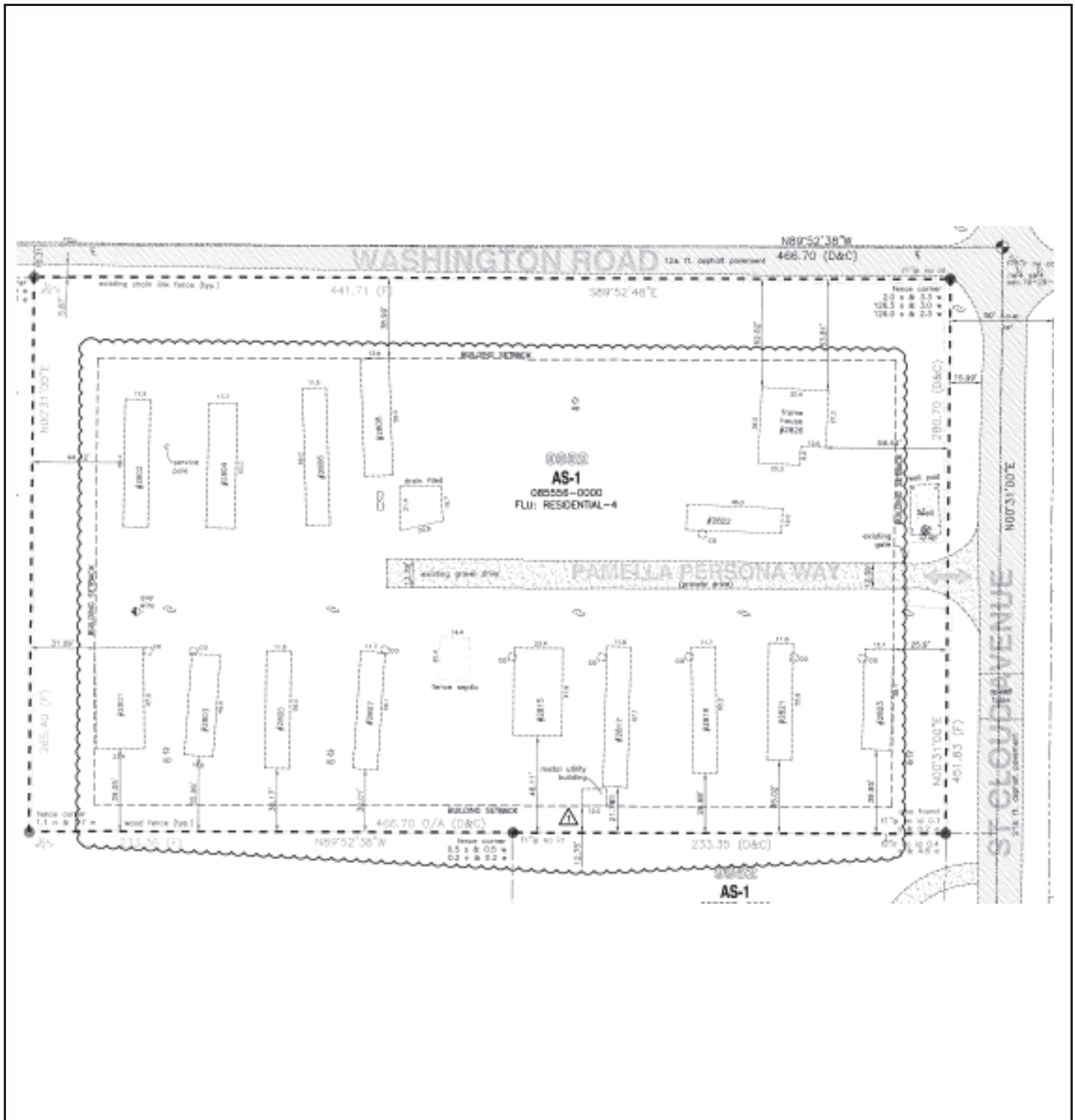


**Adjacent Zonings and Uses**

Location:	Zoning:	Maximum Density/F.A.R. Permitted by Zoning District:	Allowable Use:	Existing Use:
North	AS-1	Min. 43,560 sq. ft. (1 acre)	Residential and agricultural	Single-family home
South	AS-1	Min. 43,560 sq. ft. (1 acre)	Residential and agricultural	Approximately 5.2-acre farm with house and accessory structures and single-family house.
East	AS-1	Min. 43,560 sq. ft. (1 acre)	Residential and agricultural	Single-family homes
West	AS-1	Min. 43,560 sq. ft. (1 acre)	Residential and agricultural	Approximately 5.2-acre farm with house and accessory structures.

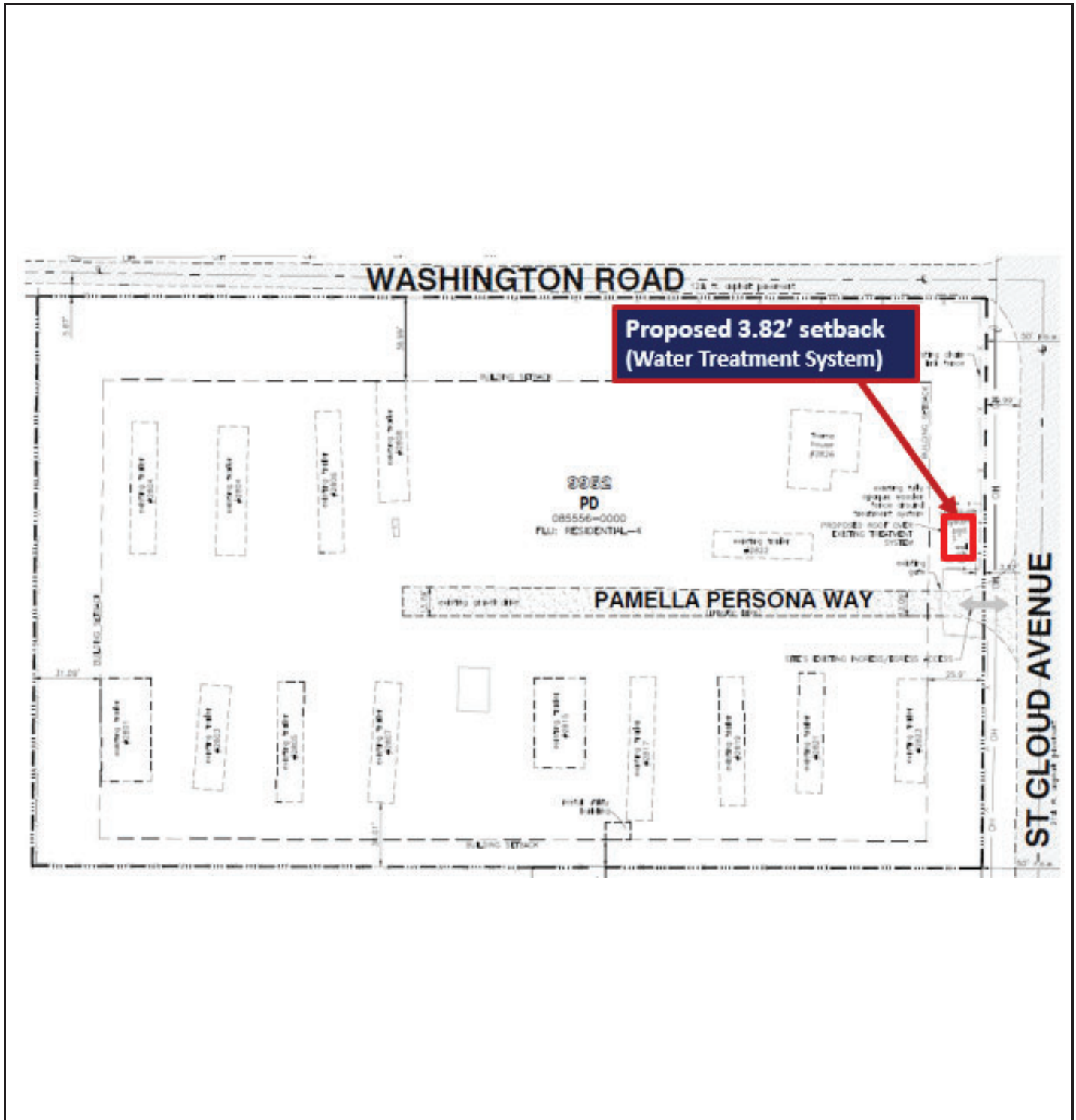
## 2.0 LAND USE MAP SET AND SUMMARY DATA

### 2.3 Approved Site Plan (partial provided below for size and orientation purposes. See Section 8.1 for full site plan)



## 2.0 LAND USE MAP SET AND SUMMARY DATA

### 2.4 Proposed Site Plan (partial provided below for size and orientation purposes. See Section 8.2 for full site plan)



**3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)**

**Adjoining Roadways (check if applicable)**

Road Name	Classification	Current Conditions	Select Future Improvements
N. ST. Cloud Avenue	County Arterial - Urban	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other

**Project Trip Generation**  Not applicable for this request

	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing			
Proposed			
Difference (+/-)			

\*Trips reported are based on net new external trips unless otherwise noted.

**Connectivity and Cross Access**  Not applicable for this request

Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North		None	Choose an item.	Choose an item.
South	X	None	Choose an item.	Choose an item.
East		None	Choose an item.	Choose an item.
West	X	None	Choose an item.	Choose an item.

Notes:

**Design Exception/Administrative Variance**  Not applicable for this request

Road Name/Nature of Request	Type	Finding
N/A	Choose an item.	Choose an item.

Notes:

**4.0 Additional Site Information & Agency Comments Summary**

Transportation	Objections	Conditions Requested	Additional Information/Comments
<input type="checkbox"/> Design Exception/Adm. Variance Requested <input type="checkbox"/> Off-Site Improvements Provided	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	See Staff Report

**4.0 ADDITIONAL SITE INFORMATION & AGENCY COMMENTS SUMMARY**

INFORMATION/REVIEWING AGENCY				
Environmental:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Environmental Protection Commission	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	The site inspection revealed that no wetlands or other surface waters exist within the referenced parcel. Please be advised this wetland determination is informal and non-binding.
Natural Resources	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Conservation & Environ. Lands Mgmt.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Check if Applicable:	<input checked="" type="checkbox"/> Potable Water Wellfield Protection Area <input type="checkbox"/> Significant Wildlife Habitat <input type="checkbox"/> Coastal High Hazard Area <input type="checkbox"/> Urban/Suburban/Rural Scenic Corridor <input type="checkbox"/> Adjacent to ELAPP property <input type="checkbox"/> Other _____			
<input type="checkbox"/> Wetlands/Other Surface Waters <input type="checkbox"/> Use of Environmentally Sensitive Land Credit <input type="checkbox"/> Wellhead Protection Area <input type="checkbox"/> Surface Water Resource Protection Area				
Public Facilities:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
<b>Transportation</b>				
<input type="checkbox"/> Design Exc./Adm. Variance Requested <input type="checkbox"/> Off-site Improvements Provided	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<b>Service Area/ Water &amp; Wastewater</b>				
<input checked="" type="checkbox"/> Urban <input type="checkbox"/> City of Tampa <input type="checkbox"/> Rural <input type="checkbox"/> City of Temple Terrace	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<b>Hillsborough County School Board</b>				
Adequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input type="checkbox"/> N/A Inadequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<b>Impact/Mobility Fees</b>				



Comprehensive Plan:	Comments	Findings	Conditions	Additional
<p><b>Planning Commission</b></p> <p><input type="checkbox"/> Meets Locational Criteria    <input checked="" type="checkbox"/> N/A</p> <p><input type="checkbox"/> Locational Criteria Waiver Requested</p> <p><input type="checkbox"/> Minimum Density Met    <input checked="" type="checkbox"/> N/A</p> <p><input type="checkbox"/> Density Bonus Requested</p> <p><input type="checkbox"/> Consistent                      <input type="checkbox"/> Inconsistent</p>	<p><input type="checkbox"/> Yes</p> <p><input checked="" type="checkbox"/> No</p>	<p><input type="checkbox"/> Inconsistent</p> <p><input checked="" type="checkbox"/> Consistent</p>	<p><input type="checkbox"/> Yes</p> <p><input checked="" type="checkbox"/> No</p>	

**5.0 IMPLEMENTATION RECOMMENDATIONS**

**5.1 Compatibility**

The subject property operates as a farm worker housing facility that was originally zoned under PD 93-0124 and re-zoned under MM 18-0099 VR. The owner of the property constructed a roof over the site's existing water treatment system in 2020, which resulted in a Notice of Violation (CE 20013766) because the structure violates the site's designated building setbacks. The approved general site plan showed a well pad where the well and water treatment system is located but did not indicate/provide for a structure covering the equipment. Therefore, the proposed minor modification application requests to allow for the existing treatment system and newly constructed roof to remain in place.

The purpose of the minor modification is to allow a 46.18-foot waiver of the required 50-foot setback per LDC Section 6.11.39, to allow an existing water treatment system within a roofed structure with a maximum height of 10 feet, 6 inches (per item 33 under "Site Notes") to have a 3.82-foot setback. In addition to the updated site plan, condition no. 2 is proposed to be amended to allow the setback reduction from 25 feet to 3.82 feet, and replacing "units" with "sites" to align with Section 6.11.39. No other changes are proposed.

No changes to the entitlements are being requested. As this change will have no impact on the adjacent transportation network, Transportation Review Section staff has no objection to this request. The applicant requests no new PD variations from the routine site development requirements found in LDC Part 6.07.00, Fences and Walls Requirements, LDC Part 6.05.00, Parking and Loading, or LDC Part 6.06.00, Landscaping, Irrigation and Buffering.

The purpose of the Planned Development District is to allow flexibility in certain site development standards in order to achieve creative, innovative development, to be determined on a case-by-case basis. Hillsborough County, Comprehensive Plan Policy 1.4 defines compatibility as the characteristics of different uses or activities or design which allow them to be located near or adjacent to each other in harmony. Some elements affecting compatibility include the following: height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor and architecture. Compatibility refers to the sensitivity of development proposals in maintaining the character of existing development.

**5.2 Recommendation**

Staff finds that the project with the proposed development standards, existing scale and restrictions is compatible with the area. The proposed intensity is comparable with nearby low density and agricultural uses immediately abutting the subject folio. Therefore, based on these considerations, staff finds the minor modification request approvable, with conditions.



## 6.0 PROPOSED CONDITIONS

Approvable, subject to the following conditions.

Approval - Approval of the request, subject to the conditions listed below, is based on the general site plan submitted August 10, 2021. Previous conditions not carried forward are shown as strikethrough, and new conditions are shown as underlined.

1. The maximum density of any new development must not exceed the land use plan category (RES-4) unless otherwise noted.

2. Minimum setbacks for each mobile home or Farm Worker Housing unit shall be:


Front/side/rear:	five feet
Utility easement:	three feet

Setbacks from park boundaries for mobile homes, RVs, or Farm Worker Housing ~~sites~~ units shall be as follows:

West:	25 feet
North:	25 feet
East:	25 feet / <u>3.82 feet for structure covering water treatment equipment</u>
South (abutting folio 85557.0000):	12.75 feet
South (abutting folio 85553.0000):	25 feet

3. The minimum distance between rows of mobile homes used for access shall be 30 ft in width and cul-de-sacs shall have a minimum radius of 35 ft.
4. Landscaping and screening shall be provided in accordance with LDC requirements unless otherwise noted.
  - a. An opaque fence shall be installed along the western and southern project boundaries that abut folio 85553.0000.
5. The following uses shall be permitted on-site:
  - a. All legally permitted principal and accessory mobile home park activities and structures including conventional structures.
  - b. Farm Worker Housing in accordance with LDC Sec. 6.11.39, unless otherwise noted. Farm Worker Housing site, which includes, but is not limited to, housing, parking areas, athletic fields and/or storage structures shall be subject the minimum setbacks as required in condition 2. A Farm Worker Housing site may be developed at a maximum density of six units per acre or 16 units total whichever is less.
  - c. Use of amplified music or sound shall be prohibited. All sound levels from the property shall comply with EPC Chapter 1-10, sound and noise levels.
  - d. Mobile Home Parks, and Mobile Home Park sections.

- e. Management units, Recreational areas and structures, Service buildings and structures, including boat docks, and ramps for use by park residents only.
  - f. Accessory uses and structures which are customarily accessory and clearly incidental to the mobile home park or recreational vehicle park, subject to the Zoning Code, as amended.
  - g. Home Occupations, subject to the Zoning Code, as amended.
  - h. Convenience establishments which are of a commercial nature, including food stores, snack bars, coin-operated laundry, dry cleaning pick up, beauty shops, and barber shops may be allowed in the park. These uses shall be located and designed to serve only residents of the park and present no visible signs from any area outside the park.
6. All conditions of approval shall be met prior to any development activity.
7. Within 90 days of the Zoning Conformance zoning approval by the Hillsborough County Board of County Commissioners, the owners shall submit to the County Development Services Department, seven copies of a Site Plan for certification reflecting all the conditions outlined above.

<b>Zoning Administrator Sign Off:</b>	 <p>J. Brian Grady Fri Jan 21 2022 11:14:49</p>
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**SITE, SUBDIVISION AND BUILDING CONSTRUCTION IN ACCORDANCE WITH HILLSBOROUGH COUNTY SITE DEVELOPMENT PLAN & BUILDING REVIEW AND APPROVAL.**

Approval of this re-zoning petition by Hillsborough County does not constitute a guarantee that the project will receive approvals/permits necessary for site development as proposed will be issued, nor does it imply that other required permits needed for site development or building construction are being waived or otherwise approved. The project will be required to comply with the Site Development Plan Review approval process in addition to obtain all necessary building permits for on-site structures.

## 7.0 ADDITIONAL INFORMATION AND/OR GRAPHICS







**9.0 FULL TRANSPORTATION REPORT (see following pages)**



**CURRENTLY  
APPROVED**



**Hillsborough  
County Florida**

**DEVELOPMENT SERVICES**

PO Box 1110 Tampa, FL 33601-1110

April 11, 2018

**Reference: MM 18-0099 VR  
Three Star Farms  
2800 Pamela Persona/85556.0000**

BBE-Boggs Engineering, LLC  
607 S. Alexander St., #101  
Plant City, FL 33563

Dear Applicant:

At the regularly scheduled public meeting on April 10, 2018, the Board of County Commissioners **approved** your request for a Major Modification to PD 93-0124, with the attached final conditions. Please keep this letter for your records.

If you have any questions regarding this, please feel free to contact Brian Grady at 813-276-8343 or by email at [GradyB@HCFLGov.net](mailto:GradyB@HCFLGov.net).

Sincerely,

Joseph Moreda, AICP,  
Zoning Administrator

**BOARD OF COUNTY  
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Al Higginbotham

Pat Kemp

Lesley "Les" Miller, Jr.

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Michael S. Merrill

**COUNTY ATTORNEY**

Chip Fletcher

**INTERNAL AUDITOR**

Peggy Caskey

**CHIEF DEVELOPMENT &  
INFRASTRUCTURE SERVICES  
ADMINISTRATOR**

Lucia E. Garsys

JM/ml  
Attachment



FINAL CONDITIONS  
OF APPROVAL

PETITION NUMBER: MM 18-0099 VR  
MEETING DATE: April 10, 2018  
DATE TYPED: April 10, 2018

**Approval** - Approval, subject to the conditions listed below, is based on the general site plan submitted December 15, 2017.

1. The maximum density of any new development must not exceed the land use plan category (RES-4) unless otherwise noted.
2. Minimum setbacks for each mobile home or Farm Worker Housing unit shall be:

Front/side/rear: five feet  
Utility easement: three feet

Setbacks from park boundaries for mobile homes, RVs, or Farm Worker Housing units shall be as follows:

West: 25 feet  
North: 25 feet  
East: 25 feet  
South (abutting folio 85557.0000): 12.75 feet  
South (abutting folio 85553.0000): 25 feet

3. The minimum distance between rows of mobile homes used for access shall be 30 ft in width and cul-de-sacs shall have a minimum radius of 35 ft.
4. Landscaping and screening shall be provided in accordance with LDC requirements unless otherwise noted.
  - a. An opaque fence shall be installed along the western and southern project boundaries that abut folio 85553.0000.
5. The following uses shall be permitted on-site:
  - a. All legally permitted principal and accessory mobile home park activities and structures including conventional structures.
  - b. Farm Worker Housing in accordance with LDC Sec. 6.11.39, unless otherwise noted. Farm Worker Housing site, which includes, but is not limited to, housing, parking areas, athletic fields and/or storage structures shall be subject the minimum setbacks as required in condition 2. A Farm Worker Housing site may be developed at a maximum density of six units per acre or 16 units total whichever is less.
  - c. Use of amplified music or sound shall be prohibited. All sound levels from the property shall comply with EPC Chapter 1-10, sound and noise levels.
  - d. Mobile Home Parks, and Mobile Home Park sections.
  - e. Management units, Recreational areas and structures, Service buildings and structures, including boat docks, and ramps for use by park residents only.

FINAL CONDITIONS  
OF APPROVAL

PETITION NUMBER: MM 18-0099 VR  
MEETING DATE: April 10, 2018  
DATE TYPED: April 10, 2018

- 
- f. Accessory uses and structures which are customarily accessory and clearly incidental to the mobile home park or recreational vehicle park, subject to the Zoning Code, as amended.
  - g. Home Occupations, subject to the Zoning Code, as amended.
  - h. Convenience establishments which are of a commercial nature, including food stores, snack bars, coin-operated laundry, dry cleaning pick up, beauty shops, and barber shops may be allowed in the park. These uses shall be located and designed to serve only residents of the park and present no visible signs from any area outside the park.
- 6. All conditions of approval shall be met prior to any development activity.
  - 7. Within 90 days of the Zoning Conformance zoning approval by the Hillsborough County Board of County Commissioners, the owners shall submit to the County Development Services Department, seven copies of a Site Plan for certification reflecting all the conditions outlined above.



# **AGENCY COMMENTS**

**AGENCY REVIEW COMMENT SHEET**

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**TO:** Zoning Technician, Development Services Department  
**REVIEWER:** Alex Steady, Senior Planner  
**PLANNING AREA/SECTOR:** Valrico/Central

**DATE:** 10/21/2021  
**AGENCY/DEPT:** Transportation  
**PETITION NO:** PRS 21-1184

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- |                                     |   |
|-------------------------------------|---|
| <input type="checkbox"/>            | This agency has no comments.  |
| <input checked="" type="checkbox"/> | <b>This agency has no objection.</b>  |
| <input type="checkbox"/>            | This agency has no objection, subject to the listed or attached conditions. |
| <input type="checkbox"/>            | This agency objects for the reasons set forth below.                        |

**PROJECT OVERVIEW AND CONCLUSION**

The applicant is requesting a personal appearance (PRS) to modify Planned Development (PD) 18-0099 to allow for the existing treatment system and newly constructed roof to remain in place. No changes to the entitlements are being requested. As this change will have no impact on the adjacent transportation network, Transportation Review Section staff has no objection to this request.



Transportation Comment Sheet

**3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)**

Adjoining Roadways (check if applicable)			
Road Name	Classification	Current Conditions	Select Future Improvements
N. Saint Cloud Avenue	County Collector - Urban	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other

Project Trip Generation <input checked="" type="checkbox"/> Not applicable for this request			
	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing			
Proposed			
Difference (+/-)			

\*Trips reported are based on net new external trips unless otherwise noted.

Connectivity and Cross Access <input checked="" type="checkbox"/> Not applicable for this request				
Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North		Choose an item.	Choose an item.	Choose an item.
South		Choose an item.	Choose an item.	Choose an item.
East		Choose an item.	Choose an item.	Choose an item.
West		Choose an item.	Choose an item.	Choose an item.
Notes:				

Design Exception/Administrative Variance <input checked="" type="checkbox"/> Not applicable for this request		
Road Name/Nature of Request	Type	Finding
	Choose an item.	Choose an item.

4.0 Additional Site Information & Agency Comments Summary

Transportation	Objections	Conditions Requested	Additional Information/Comments
<input type="checkbox"/> Design Exception/Adm. Variance Requested <input type="checkbox"/> Off-Site Improvements Provided	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	See Staff Report.

**COMMISSION**

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 Pat Kemp VICE-CHAIR  
 Harry Cohen  
 Ken Hagan  
 Gwendolyn "Gwen" W. Myers  
 Kimberly Overman  
 Stacy White



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 Steffanie L. Wickham WASTE DIVISION  
 Sterlin Woodard, P.E. AIR DIVISION

**AGENCY COMMENT SHEET**

REZONING	
<p><b>HEARING DATE:</b> 11/9/2021</p> <p><b>PETITION NO.:</b> 21-1184</p> <p><b>EPC REVIEWER:</b> Melissa Yanez</p> <p><b>CONTACT INFORMATION:</b> (813) 627-2600 X 1360</p> <p><b>EMAIL:</b> <a href="mailto:yanezm@epchc.org">yanezm@epchc.org</a></p>	<p><b>COMMENT DATE:</b> 10/8/2021</p> <p><b>PROPERTY ADDRESS:</b> 2800 Pamela Persona, Valrico, FL 33594</p> <p><b>FOLIO #:</b> 0855560000</p> <p><b>STR:</b> 19-29S-21E</p>
<p><b>REQUESTED ZONING:</b> Minor Mod to PD</p>	
FINDINGS	
<b>WETLANDS PRESENT</b>	NO
<b>SITE INSPECTION DATE</b>	NA
<b>WETLAND LINE VALIDITY</b>	NA
<b>WETLANDS VERIFICATION (AERIAL PHOTO, SOILS SURVEY, EPC FILES)</b>	NA
<p><b>INFORMATIONAL COMMENTS:</b></p> <p>Wetlands Division staff of the Environmental Protection Commission of Hillsborough County (EPC) inspected the above referenced site in order to determine the extent of any wetlands and other surface waters pursuant to Chapter 1-11, Rules of the EPC. This determination was performed using the methodology described within Chapter 62-340, Florida Administrative Code, and adopted into Chapter 1-11. The site inspection revealed that no wetlands or other surface waters exist within the above referenced parcel.</p> <p>Please be advised this wetland determination is informal and non-binding. A formal wetland delineation may be applied for by submitting a "WDR30 - Delineation Request Application". Once approved, the formal wetland delineation would be binding for five years.</p>	

My/mst

**WATER RESOURCE SERVICES  
REZONING REVIEW COMMENT SHEET: WATER & WASTEWATER**

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PETITION NO.: PRS21-1184    REVIEWED BY: Randy Rochelle    DATE: 9/28/2021

FOLIO NO.: 85556.0000

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**WATER**

- The property lies within the \_\_\_\_\_ Water Service Area. The applicant should contact the provider to determine the availability of water service.
- A 6 inch water main exists  (adjacent to the site),  (approximately 1675 feet from the site) and is located west of the subject property within the north Right-of-Way of Washington Road. This will be the likely point-of-connection, however there could be additional and/or different points-of-connection determined at the time of the application for service. This is not a reservation of capacity.
- Water distribution system improvements will need to be completed prior to connection to the County's water system. The improvements include \_\_\_\_\_ and will need to be completed by the \_\_\_\_\_ prior to issuance of any building permits prior to June 1, 2022, that will create additional demand on the system.

**WASTEWATER**

- The property lies within the \_\_\_\_\_ Wastewater Service Area. The applicant should contact the provider to determine the availability of wastewater service.
- A 4 inch wastewater force main exists  (adjacent to the site),  (approximately 50 feet from the site) and is located within the east Right-of-Way of N. Saint Cloud Avenue. This will be the likely point-of-connection, however there could be additional and/or different points-of-connection determined at the time of the application for service. This is not a reservation of capacity.
- Wastewater collection system improvements will need to be completed prior to connection to the County's wastewater system. The improvements include \_\_\_\_\_ and will need to be completed by the \_\_\_\_\_ prior to issuance of any building permits that will create additional demand on the system.

COMMENTS: The subject rezoning includes parcels that are within the Urban Service Area and would require connection to the County's potable water and wastewater systems



**PARTY OF  
RECORD**

**From:** [Lundgren, Johanna](#)  
**To:** [Lampkin, Timothy](#)  
**Cc:** [Grady, Brian](#); [Moreda, Joe](#); [Gormly, Adam](#)  
**Subject:** PRS 21-1184/citizen inquiry  
**Date:** Monday, January 10, 2022 3:30:02 PM  
**Attachments:** [image001.png](#)

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Tim,

I received a call from Raymond Hancock. He is a neighbor to the property that is the subject of PRS 21-1184 and has questions about the request. I see that you are the staff planner for this application so I am forwarding his contact information:

813-310-2962.

Thanks.

**Johanna M. Lundgren, AICP**  
**Senior Assistant County Attorney**  
Hillsborough County Attorney's Office

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P: (813) 307-3115

E: [LundgrenJ@HillsboroughCounty.org](mailto:LundgrenJ@HillsboroughCounty.org)

W: [HillsboroughCounty.org](http://HillsboroughCounty.org)

### **Hillsborough County**

601 E. Kennedy Blvd., 27<sup>th</sup> Floor, Tampa, FL 33602

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