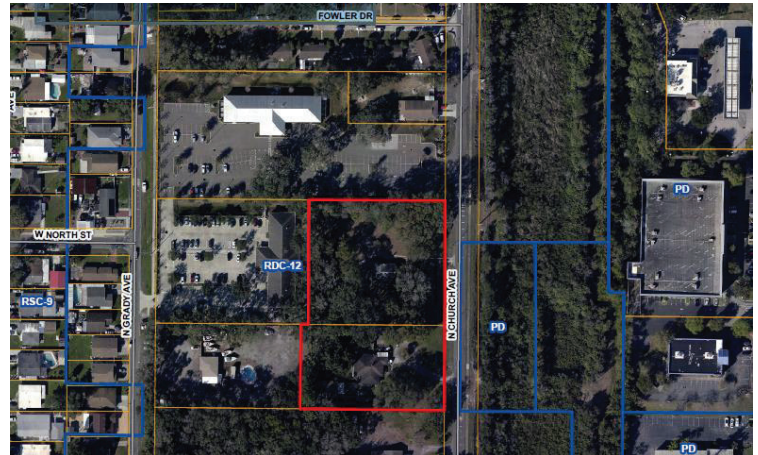


Rezoning Application: PD 22-1499
Zoning Hearing Master Date: January 17, 2023
BOCC Land Use Meeting Date: March 7, 2023

1.0 APPLICATION SUMMARY

Applicant: Shrute Fern, LLC
FLU Category: RES-12
Service Area: Urban
Site Acreage: 2.59
Community Plan Area: None
Overlay: None



Introduction Summary:

The applicant seeks to rezone two parcels from RDC-12 (Residential – Duplex Conventional) to PD (Planned Development) to allow the development of a 31-unit multi-family project.

Zoning:	Existing	Proposed
District(s)	RDC-12	PD 22-1499
Typical General Use(s)	Single-Family and Two-Family (Conventional)	Multi-Family Residential
Acreage	2.59	2.59
Density/Intensity	12 du/gross acre	12 du/gross acre
Mathematical Maximum*	31 units	31 units

*number represents a pre-development approximation

Development Standards:	Existing	Proposed
District(s)	RDC-12	PD 22-1499
Lot Size / Lot Width	3,500 sf / 40'	N/A
Setbacks/Buffering and Screening	20' Front 20' Rear 5' Sides	51.7' East Front 20' West Rear 10' North Side 8.8' South Side 10'/Type A buffering and screening along north 10'/Type A buffering and screening along northwest 5'/Type A buffering and screening along southwest 5'/Type A buffering and screening along south
Height	35'	33'-3"

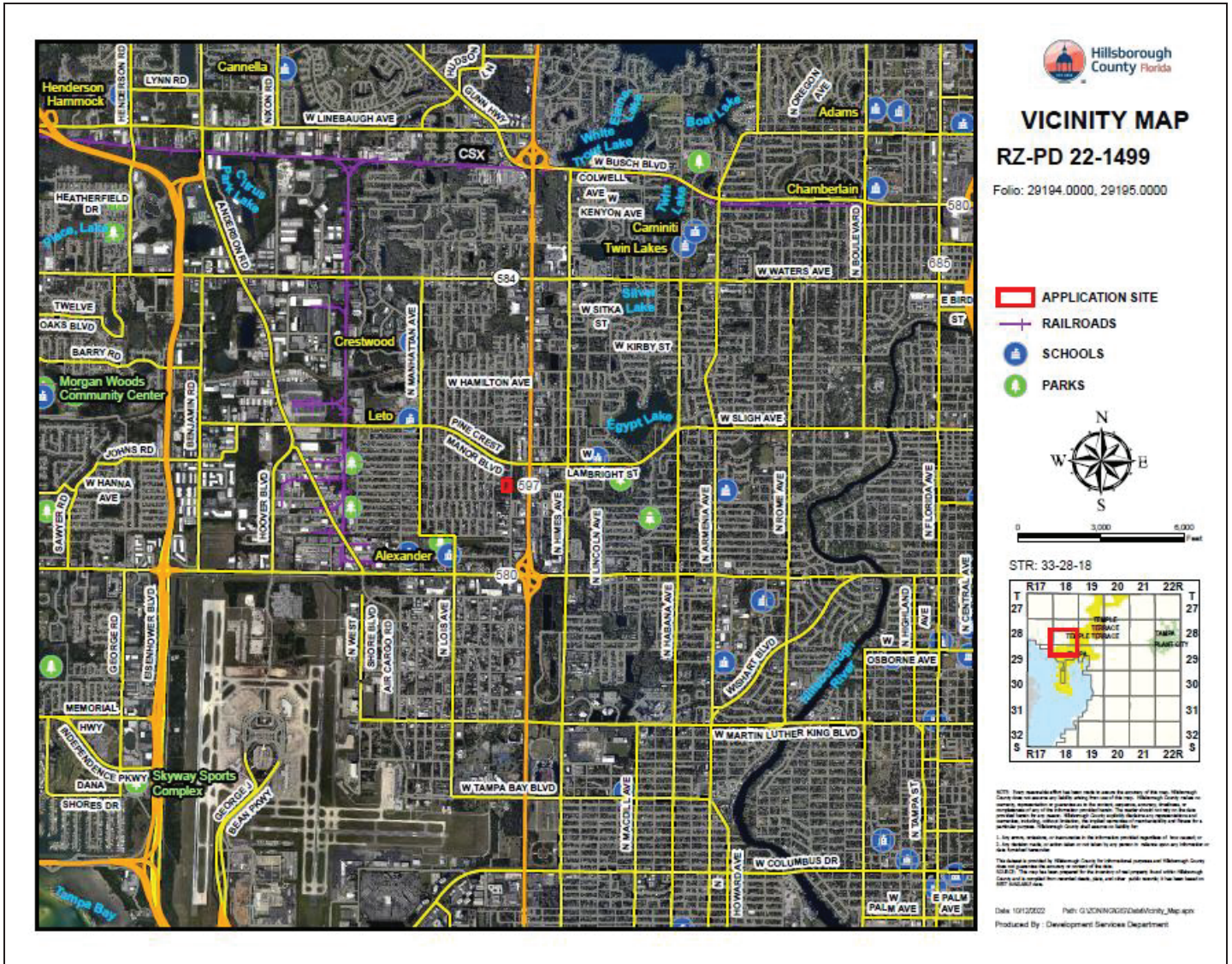
Additional Information:

PD Variation(s)	None requested as part of this application
Waiver(s) to the Land Development Code	6.01.01:additional 2 foot setback for each foot of structure height of 20ft

Planning Commission Recommendation: Consistent	Development Services Recommendation: Approvable, subject to proposed conditions
--	---

2.0 LAND USE MAP SET AND SUMMARY DATA

2.1 Vicinity Map

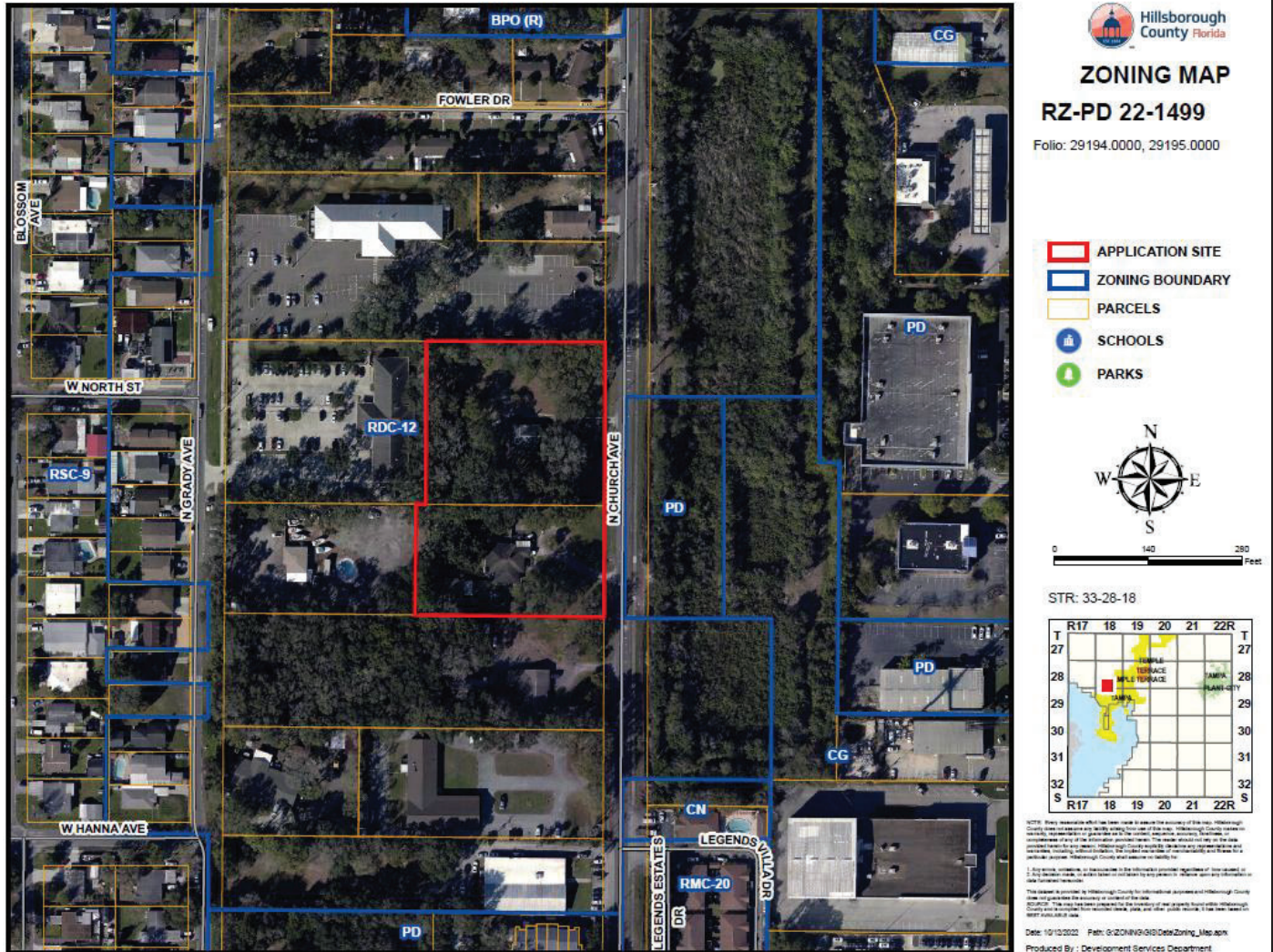


Context of Surrounding Area:

The site is located at 6212 & 6216 North Church Avenue. The general area is developed with residential (single-family and multi-family), religious institutions and commercial uses.

2.0 LAND USE MAP SET AND SUMMARY DATA

2.3 Immediate Area Map

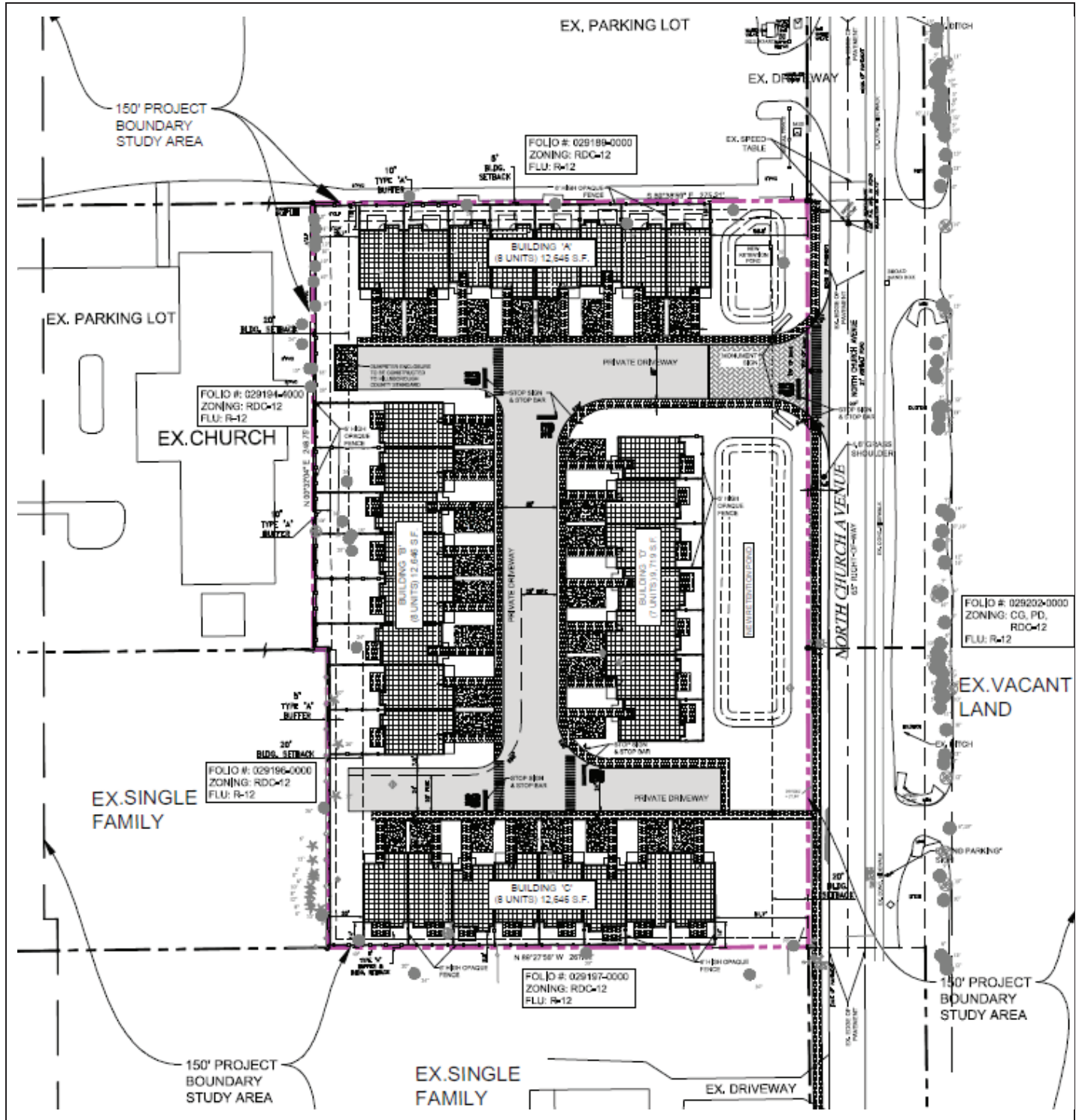


Adjacent Zonings and Uses

Location:	Zoning:	Maximum Density/F.A.R. Permitted by Zoning District:	Allowable Use:	Existing Use:
North	RDC-12	12 du/gross acre	Single-Family and Two-Family (Conventional)	Churches
South	RDC-12	12 du/gross acre	Single-Family and Two-Family (Conventional)	Single-Family Residential
East	CG, PD 80-0080, RDC-12	CG: 0.27 F.A.R. PD: Per PD 80-0080 RDC-12: 12 du/gross acre	CG: General Commercial PD: Various RDC-12: Single-Family and Two-Family	Vacant
West	RDC-12	12 du/gross acre	Single-Family and Two-Family (Conventional)	Single-Family Residential, Church

2.0 LAND USE MAP SET AND SUMMARY DATA

2.4 Proposed Site Plan (partial provided below for size and orientation purposes. See Section 8.0 for full site plan)



3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)

Adjoining Roadways (check if applicable)

Road Name	Classification	Current Conditions	Select Future Improvements
Church Avenue	County Local - Urban	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other

Project Trip Generation Not applicable for this request

	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	293	23	31
Proposed	227	14	17
Difference (+/-)	-66	-9	-14

*Trips reported are based on net new external trips unless otherwise noted.

Connectivity and Cross Access Not applicable for this request

Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North		None	None	Meets LDC
South		None	None	Meets LDC
East	X	Pedestrian	None	Meets LDC
West		None	None	Meets LDC

Notes:

Design Exception/Administrative Variance Not applicable for this request

Road Name/Nature of Request	Type	Finding
Church Avenue/ Substandard Road	Administrative Variance Requested	Approvable
	Choose an item.	Choose an item.

Notes:

4.0 ADDITIONAL SITE INFORMATION & AGENCY COMMENTS SUMMARY

INFORMATION/REVIEWING AGENCY				
Environmental:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Environmental Protection Commission	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	No wetlands present
Natural Resources	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Conservation & Environ. Lands Mgmt.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Check if Applicable: <input type="checkbox"/> Wetlands/Other Surface Waters <input type="checkbox"/> Use of Environmentally Sensitive Land Credit <input type="checkbox"/> Wellhead Protection Area <input type="checkbox"/> Surface Water Resource Protection Area <input type="checkbox"/> Potable Water Wellfield Protection Area <input type="checkbox"/> Significant Wildlife Habitat <input type="checkbox"/> Coastal High Hazard Area <input type="checkbox"/> Urban/Suburban/Rural Scenic Corridor <input type="checkbox"/> Adjacent to ELAPP property <input type="checkbox"/> Other _____				
Public Facilities:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Transportation <input checked="" type="checkbox"/> Design Exc./Adm. Variance Requested <input type="checkbox"/> Off-site Improvements Provided	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	See Staff Report.
Service Area/ Water & Wastewater <input checked="" type="checkbox"/> Urban <input checked="" type="checkbox"/> City of Tampa <input type="checkbox"/> Rural <input type="checkbox"/> City of Temple Terrace	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Hillsborough County School Board Adequate <input checked="" type="checkbox"/> K-5 <input checked="" type="checkbox"/> 6-8 <input checked="" type="checkbox"/> 9-12 <input type="checkbox"/> N/A Inadequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Impact/Mobility Fees (Fee estimate is based on a 1,200 square foot, Multi-Family Units 1-2 story) Mobility: \$6,661 * 31 units = \$206,491 Parks: \$1,555 * 31 units = \$ 48,205 School: \$3,891 * 31 units = \$120,621 Fire: \$249 * 31 units = \$ 7,719 Total Multi-Family (1-2 story) = \$383,036				
Comprehensive Plan:	Comments Received	Findings	Conditions Requested	Additional Information/Comments
Planning Commission <input type="checkbox"/> Meets Locational Criteria <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Locational Criteria Waiver Requested <input checked="" type="checkbox"/> Minimum Density Met <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Inconsistent <input checked="" type="checkbox"/> Consistent	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

5.0 IMPLEMENTATION RECOMMENDATIONS

5.1 Compatibility

The approximate 2.59-acre property is comprised of two parcels zoned RDC-12 (Residential – Duplex Conventional) each with a single-family home. The subject property is located at 6212 & 6216 North Church Avenue. The applicant proposes a 31-unit multi-family project. The general area is developed with single-family and multi-family residential, religious institutions and commercial uses. The subject parcels are directly adjacent to religious institutions to the north and west zoned RDC-12 and single-family residential to the south and west zoned RDC-12. A vacant lot zoned CG (Commercial General), PD 80-0080 (Planned Development) and RDC-12 is located to the east across North Church Avenue. Further north and south on Church Avenue are multi-family apartments.

The applicant requests relief from the land development code section 6.01.01 to remove the additional setback of two feet for every one foot of structure height over 20 feet. Strictly adhering to this standard along with buffering and screening requirements would demand the applicant have a setback of 38 feet to the west and north, and 33 feet to the south which would severely limit the project area. Staff concurs with the applicant's justification for relief from this requirement.

The subject property is designated Residential-12 (R-12) on the Future Land Use map. The Planning Commission finds the proposed use consistent with the Comprehensive Plan. The surrounding uses are similar to the request; residential; which includes single-family, duplex, and multi-family. Therefore, the rezoning of the subject parcel from RDC-12 to PD with a multi-family use would be consistent with the existing zoning pattern of the area.

Based on the above considerations staff finds the requested PD zoning district compatible with the existing zoning and development pattern in the area.

5.2 Recommendation

Approval, subject to proposed conditions.

6.0 PROPOSED CONDITIONS

Requirements for Certification:


1. Building C Courtyards in buffer area to be removed

Approval - Approval of the request, subject to the conditions listed below, is based on the general site plan submitted December 27, 2022.

1. The project shall be limited to a maximum of 31 multi-family residential units.
2. Development shall be in compliance with the following:
Northern PD boundary minimum setback: 10 feet
Western PD boundary minimum setback: 20 feet
Eastern PD boundary minimum setback: 51.7 feet
Southern PD boundary minimum setback: 8.8 feet
Maximum building height: 33 feet 3 inches
3. A minimum 5-foot-wide buffer with Type A screening shall be provided along the southern and southwestern PD boundaries toward residential. A minimum 10-foot-wide buffer with Type A screening shall be provided along the northern and northwestern PD boundaries toward the church. A 6-foot-high opaque fence shall be utilized as the Type A screening, as depicted on the site plan.
4. Building, parking, and stormwater areas shall be developed where generally depicted on the site plan.
5. If PD 22-1499 is approved, the County Engineer will approve a Design Exception (dated December 22, 2022) which was found approvable by the County Engineer (on December 29, 2022) for Church Ave. substandard road improvements. As Church Ave. is a substandard local roadway, the developer shall make certain improvements to Church Ave. consistent with the Design Exception or as otherwise specified herein these conditions. Specifically, prior to or concurrent with the initial increment of development, the developer shall construct the following improvements along the project's Church Ave. frontage or as otherwise specified herein these conditions:
 - a. The developer shall construct 5-foot sidewalk on the west side of Church Avenue along the property and build +/- 170 additional feet of sidewalk south to connect to the existing sidewalk on the west side of Church Ave.
 - b. The developer shall design, fund, and build one pedestrian mid-block crossing per Hillsborough County Standards. The design, location, installation timing, and appropriateness of the midblock crossing to be reviewed and approved by Public Works.
6. Notwithstanding anything herein these conditions or on the PD site plan to the contrary, bicycle and pedestrian access may be permitted anywhere along the project boundaries.
7. In accordance with LDC Section 5.03.07.C, the certified PD general site plan shall expire for the internal transportation network and external access points, as well as for any conditions related to the internal transportation network and external access points, if site construction plans, or equivalent thereof, have not been approved for all or part of the subject Planned Development within 5 years of the effective date of the PD unless an extension is granted as provided in the LDC. Upon expiration, re-certification of the PD General

Site Plan shall be required in accordance with provisions set forth in LDC Section 5.03.07.C.

- 8. If the notes and/or graphics on the site plan are in conflict with specific zoning conditions and/or the LDC regulations, the more restrictive regulation shall apply, unless specifically conditioned otherwise. References to development standards of the LDC in the above stated conditions shall be interpreted as the regulations in effect at the time of preliminary site plan/plat approval.

<p>Zoning Administrator Sign Off:</p>	 <p>J. Brian Grady Tue Jan 17 2023 09:59:16</p>
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SITE, SUBDIVISION AND BUILDING CONSTRUCTION IN ACCORDANCE WITH HILLSBOROUGH COUNTY SITE DEVELOPMENT PLAN & BUILDING REVIEW AND APPROVAL.

Approval of this re-zoning petition by Hillsborough County does not constitute a guarantee that the project will receive approvals/permits necessary for site development as proposed will be issued, nor does it imply that other required permits needed for site development or building construction are being waived or otherwise approved. The project will be required to comply with the Site Development Plan Review approval process in addition to obtain all necessary building permits for on-site structures.

7.0 ADDITIONAL INFORMATION AND/OR GRAPHICS

None.

9.0 FULL TRANSPORTATION REPORT (see following pages)

AGENCY REVIEW COMMENT SHEET

TO: Zoning Technician, Development Services Department
REVIEWER: Alex Steady, Senior Planner
PLANNING AREA/SECTOR: Egypt Lake/ Northwest

DATE: 01/06/2023
AGENCY/DEPT: Transportation
PETITION NO: PD 22-1499

- This agency has no comments.
This agency has no objection.
[X] This agency has no objection, subject to the listed or attached conditions.
This agency objects for the reasons set forth below.

CONDITIONS OF APPROVAL

- If PD 22-1499 is approved, the County Engineer will approve a Design Exception (dated December 22, 2022) which was found approvable by the County Engineer (on December 29, 2022) for Church Ave. substandard road improvements. As Church Ave. is a substandard local roadway, the developer shall make certain improvements to Church Ave. consistent with the Design Exception or as otherwise specified herein these conditions. Specifically, prior to or concurrent with the initial increment of development, the developer shall construct the following improvements along the project's Church Ave. frontage or as otherwise specified herein these conditions:
- The developer shall construct 5-foot sidewalk on the west side of Church Avenue along the property and build +/- 170 additional feet of sidewalk south to connect to the existing sidewalk on the west side of Church Ave.
- The developer shall design, fund, and build one pedestrian mid-block crossing per Hillsborough County Standards. The design, location, installation timing, and appropriateness of the midblock crossing to be reviewed and approved by Public Works.
Notwithstanding anything herein these conditions or on the PD site plan to the contrary, bicycle and pedestrian access may be permitted anywhere along the project boundaries.

PROJECT SUMMARY AND ANALYSIS

The applicant is requesting to rezone two parcels totaling +/- 2.59 acres from Residential Duplex Conventional - 12 (RDC-12) to Planned Development (PD). The proposed Planned Development is seeking entitlements for 31 Multifamily Dwelling Units. The site is generally located on the west side of Church Ave, +/- 525 feet south of the intersection of Pine Crest Manor Blvd and Church Ave. The Future Land Use designation of the site is Residential - 12 (R-12).

Trip Generation Analysis

As required by the Development Review Procedures Manual (DRPM), the applicant submitted a trip generation for the proposed project indicating the proposed project will generate less than 50 peak hour trips and as such a detailed traffic study was not required. Staff has prepared a comparison of the trips potentially generated under the existing and proposed zoning designations, utilizing a generalized worst-case scenario. The information below is based on data from the Institute of Transportation Engineer's Trip Generation Manual, 10th Edition.

Approved Zoning:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
RDC-12, 31 Single Family Dwelling Units (ITE code 210)	293	23	31

Proposed Zoning:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
PD, 31 Multi Family Dwelling Units (ITE code 220)	227	14	17

Trip Generation Difference:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
Difference	-66	-9	-14

The proposed rezoning would result in a decrease of trips potentially generated by development of the subject site by 66 average daily trips, 9 trips in the a.m. peak hour, and 14 trips in the p.m. peak hour.

TRANSPORTATION INFRASTRUCTURE SERVING THE SITE

The subject property has frontage on Church Avenue. Church Avenue is 2-lane, substandard, Hillsborough County maintained, local roadway, characterized by +/-10 ft. travel lanes. Church Ave lies within +/-76 ft of Right of way. There is a sidewalk on the eastern side of Church Avenue but no sidewalk on the western side in the vicinity of the proposed project.

DESIGN EXCEPTION, SUBSTANDARD ROAD – CHURCH AVE.

Given that Church Ave. is a substandard local roadway, the applicant's Engineer of Record (EOR) submitted a Design Exception (DE) request (on December 22, 2022) for Church Ave. to determine the specific improvements that would be required by the County Engineer. Based on factors presented within the Design Exception request, the County Engineer found the DE approvable (on December 29, 2022). The deviations from the TS-7 Typical Section (2-Lane Undivided, Local and Collector Rural Roadways), include:

- The developer shall be permitted to utilize the existing 10 to 11-foot to travel lanes in lieu of the 12-foot wide travel lanes typically required by the Hillsborough County Transportation Technical Manual (TTM) TS-7;
- The developer shall construct 5-foot sidewalk on the west side of Church Avenue along the property and build +/- 170 additional feet of sidewalk south to connect to the existing sidewalk on the west side of Church Ave.
- The developer shall design, fund, and build one pedestrian mid-block crossing per Hillsborough County Standards. The design, location, and installation timing of the midblock crossing to be reviewed and approved by Public Works.

SITE ACCESS

The project is proposing a full access connection on Church Ave. Vehicular and Pedestrian cross access is not required per section 6.04.03.Q of the Hillsborough County Land Development Code.

ROADWAY LEVEL OF SERVICE (LOS)

Church Ave is not a regulated roadway and as such was not included in the Level of Service Report.

Northside

Engineering Inc.

Project: North Church Apartments
Date: December 22nd, 2022

Civil
Land Planning
Due Diligence Reports
Re-Zoning, Land Use, Annexation
Stormwater Management
Utility Design
Traffic
Construction Administration

To: Michael J. Williams, P.E.
Development Review Director
County Engineer
Hillsborough County
601 East Kennedy Boulevard
Tampa, FL 33602

Re: North Church Avenue Design Exception – Modified TS-7 Typical Section
Folio # 29194.0000
Zoning Case # RZ PD 22-1499

The purpose of this letter is to provide justification for the request for a Design Exception to Section 1.7 of the Hillsborough County Transportation Technical Manual (TTM), to meet the requirements of Section 6.04.03.L of the Land Development Code (LDC). The request stems from the current application to rezone a ±2.59 acre tract located at 6212 and 6216 N. Church Avenue, from Residential, Duplex Conventional (RDC-12) to Planned Development (PD) to allow the development of up to 31 multi-family dwelling units.

The project proposes to have one (1) full-access connection to N. Church Avenue. N. Church Avenue is a two-lane, local roadway with a posted speed of 30 miles per hour (mph). Within the existing 65 feet of right-of-way, there are currently 10 to 11-foot travel lanes, a 5-foot sidewalk on the east side of the roadway, and approximately 5 to 10 feet of open drainage ditch on the east side of the roadway.

As indicated in the Trip Generation Memorandum, submitted as part of the initial application package for PD 22-1499, the development is anticipated to generate fewer than fifty (50) peak-hour trips.

Due to existing right-of-way constraints including the wide ditch on the east side of the roadway, the proposed improvements to the western portion of N. Church Avenue adjacent to the property include the following modifications to the TS-7 Typical Section:

TS-7 requires 12-foot travel lanes, 5-foot paved shoulders, 5-foot sidewalk, and open drainage within a minimum right-of-way of 96 feet.

The request is to maintain the existing 10 to 11-foot travel lanes, 5-foot sidewalks (existing and proposed), and open drainage within the existing right-of-way of 65 feet.

Exhibit A illustrates the proposed cross section adjacent to the project site as a modification of **Exhibit B** (TS-7). **Exhibit C** provides a plan view of a proposed 5-foot sidewalk on the west side of the roadway adjacent to the project as well as an additional 170-feet of sidewalk on the west side of the roadway south of the project to connect to an existing sidewalk. In addition, the developer is committed to design, fund, and build one (1) pedestrian mid-block crossing per Hillsborough County standards and

specifications. The design, location, and installation timing of the mid-block crossing to be reviewed and approved by the Public Works Department during permitting.

The pedestrian mid-block crossing will be a pedestrian amenity that connects the western side of N. Church Avenue to the existing sidewalk on the eastern side of the roadway. The existing sidewalk extends from Pine Crest Manor Boulevard to the north to Henry Avenue to the south.

Based on the information above, it is anticipated that the proposed improvements to N. Church Avenue will improve the pedestrian experience along the local roadway and meet the intent of the Transportation Technical Manual to the extent feasible.

Please reach out if there are any further questions or you need clarification.

Respectfully,



Digitally signed by Daniel E Shockey
DN: C=US, O=Florida,
dnQualifier=A01410D0000017C6029C9
EC00016FEB, CN=Daniel E Shockey
Reason: I am the author of this document
Location: 300 South Belcher Road,
Clearwater, FL., 33765
Date: 2022.12.22 15:13:33-05'00'
Foxit PDF Editor Version: 11.2.3

Daniel E. Shockey, P.E.
727-443-2869

daniel@northsideengineering.net

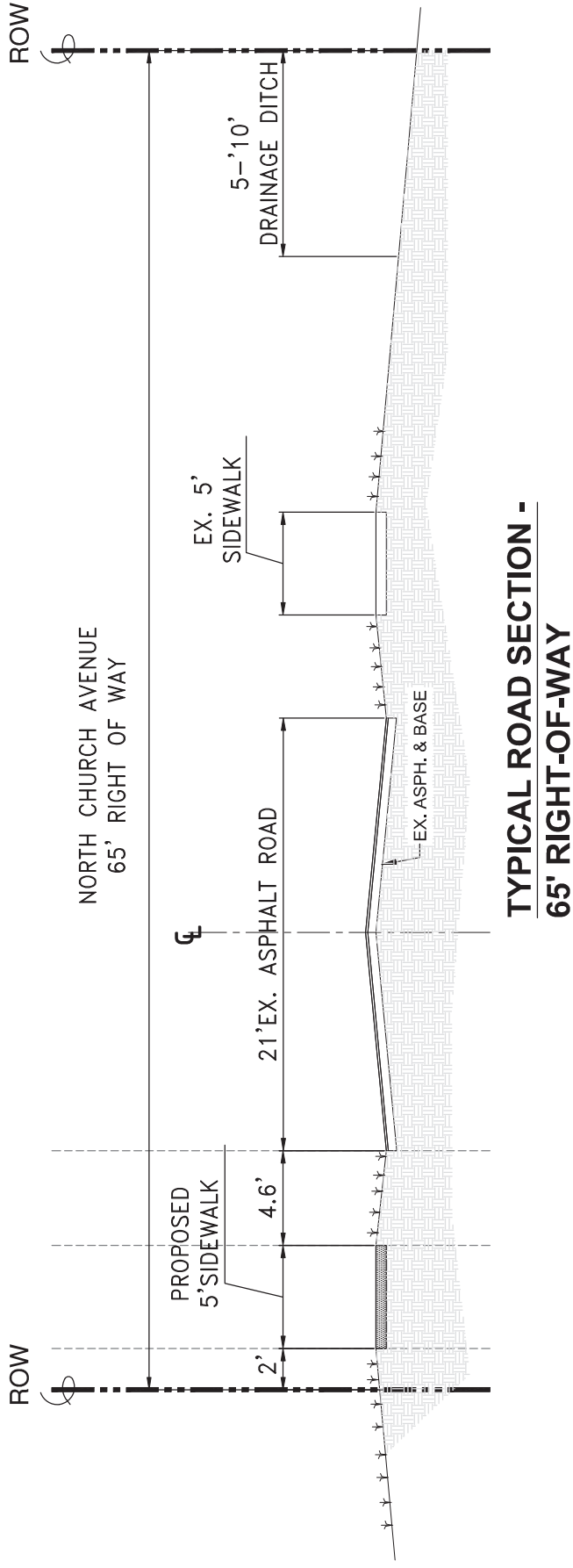
Based on the information provided by the applicant, this request is:

- _____ Disapproved
- _____ Approved
- _____ Approved with Conditions

Exhibits:

- A. Proposed Typical Section
- B. TTM TS-7
- C. Zoning Site Pan with Plan View of Additional Sidewalk South of Property

EXHIBIT A



COUNTY OF HILLSBOROUGH

**RECOMMENDATION OF THE
LAND USE HEARING OFFICER**

APPLICATION NUMBER: RZ PD 22-1499

DATE OF HEARING: January 17, 2023

APPLICANT: Shrute Fern, LLC

PETITION REQUEST: A request to rezone property from RDC-12 to PD to permit 31 multi-family dwelling units

LOCATION: 500 feet Northwest of the intersection of N. Church Ave. and Legends Villa Drive

SIZE OF PROPERTY: 2.59 acres, m.o.l.

EXISTING ZONING DISTRICT: RDC-12

FUTURE LAND USE CATEGORY: RES-12

SERVICE AREA: Urban

COMMUNITY PLAN: N/A

DEVELOPMENT REVIEW STAFF REPORT

***Note:** Formatting issues prevented the entire Development Services Department staff report from being copied into the Hearing Master’s Recommendation. Therefore, please refer to the Development Services Department web site for the complete staff report.

1.0 APPLICATION SUMMARY

Applicant: Shrute Fern, LLC

FLU Category: RES-12

Service Area: Urban

Site Acreage: 2.59

Community Plan Area: None

Overlay: None

Introduction Summary:		
The applicant seeks to rezone two parcels from RDC-12 (Residential – Duplex Conventional) to PD (Planned Development) to allow the development of a 31-unit multi-family project.		
Zoning: Existing		Proposed
District(s)	RDC-12	PD 22-1499
Typical General Use(s)	Single-Family and Two-Family (Conventional)	Multi-Family Residential
Acreage	2.59	2.59

Density/Intensity	12 du/gross acre	12 du/gross acre
Mathematical Maximum*	31 units	31 units

*number represents a pre-development approximation

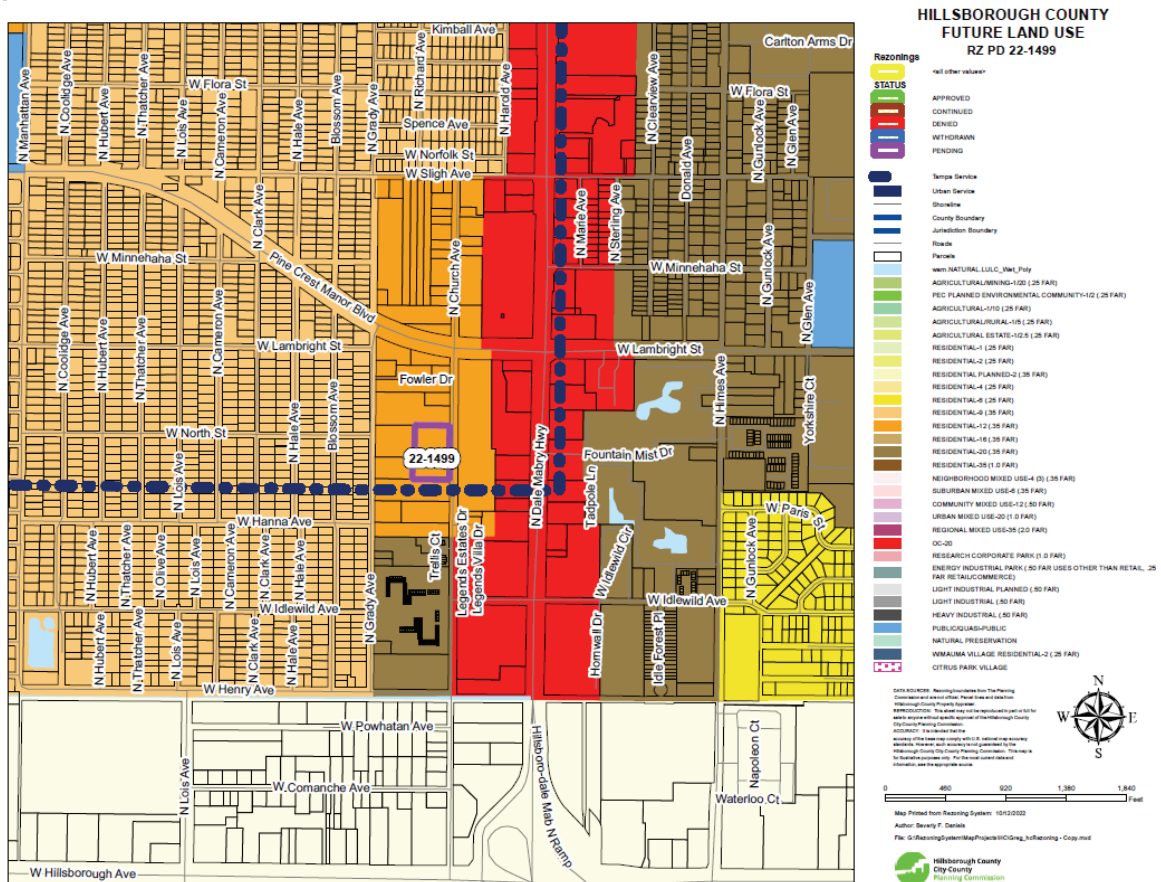
Development Standards: Existing		Proposed
District(s)	RDC-12	PD 22-1499
Lot Size / Lot Width	3,500 sf / 40'	N/A
Setbacks/Buffering and Screening	20' Front 20' Rear 5' Sides	51.7' East Front 20' West Rear 10' North Side 8.8' South Side 10'/Type A buffering and screening along north 10'/Type A buffering and screening along northwest 5'/Type A buffering and screening along southwest 5'/Type A buffering and screening along south
Height	35'	33'-3"

Additional Information:

PD Variation(s) None requested as part of this application

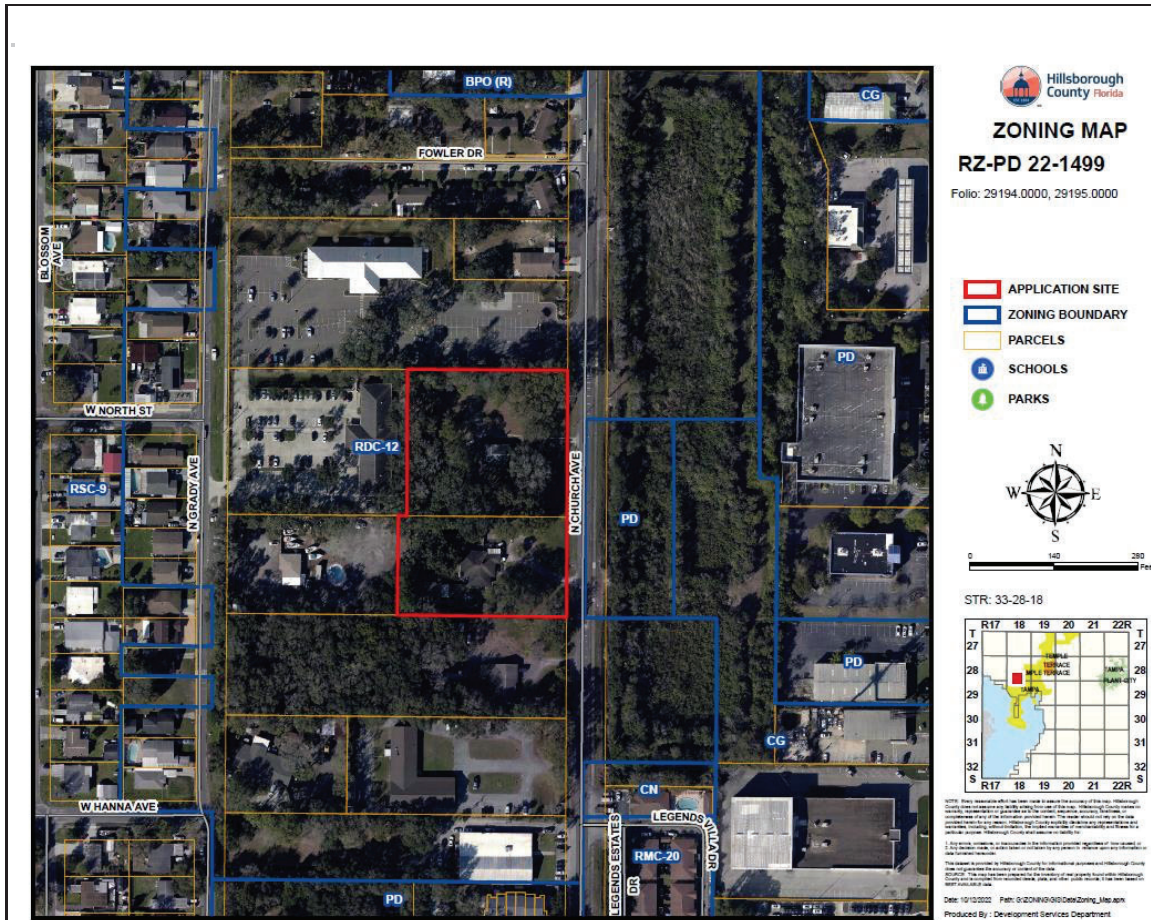
Waiver(s) to the Land Development Code 6.01.01:additional 2 foot setback for each foot of structure height of 20ft

2.0 LAND USE MAP SET AND SUMMARY DATA 2.2 Future Land Use Map



Subject Site Future Land Use Category:	Residential - 12 (RES-12)
Maximum Density/F.A.R.:	12.0 dwelling units/.50 F.A.R.
Typical Uses:	Residential, urban scale neighborhood commercial, office uses, multi- purpose projects and mixed-use development. Non-residential uses shall meet established locational criteria for specific land use.

2.0 LAND USE MAP SET AND SUMMARY DATA 2.3 Immediate Area Map



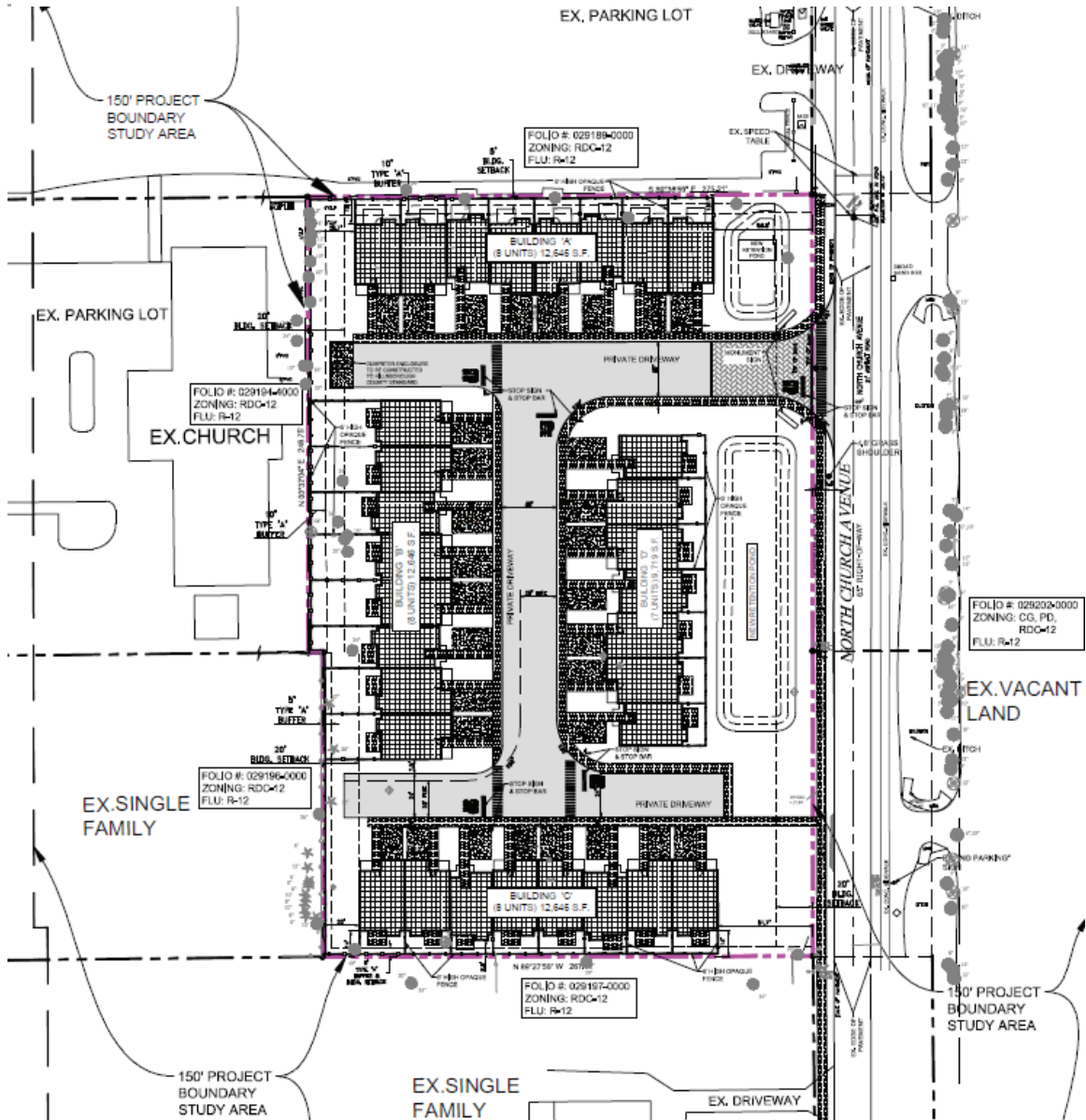
Adjacent Zonings and Uses

Location :	Zoning:	Maximum Density/F.A.R. Permitted by Zoning District:	Allowable Use:	Existing Use:
North	RDC-12	12 du/gross acre	Single-Family and Two-Family (Conventional)	Churches
South	RDC-12	12 du/gross acre	Single-Family and Two-Family (Conventional)	Single-Family Residential

East	CG, PD 80-0080, RDC-12	CG: 0.27 F.A.R. PD: Per PD 80-0080 RDC-12: 12 du/gross acre	CG: General Commercial PD: Various RDC-12: Single-Family and Two-Family	Vacant
West	RDC-12	12 du/gross acre	Single-Family and Two-Family (Conventional)	Single-Family Residential, Church

2.0 LAND USE MAP SET AND SUMMARY DATA

2.4 Proposed Site Plan (partial provided below for size and orientation purposes. See Section 8.0 for full site plan)



3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)

Adjoining Roadways (check if applicable)

Road Name	Classification	Current Conditions	Select Future Improvements
Church Avenue	County Local - Urban	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other

Project Trip Generation Not applicable for this request

	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	293	23	31
Proposed	227	14	17
Difference (+/-)	-66	-9	-14

*Trips reported are based on net new external trips unless otherwise noted.

Connectivity and Cross Access Not applicable for this request

Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North		None	None	Meets LDC
South		None	None	Meets LDC
East	X	Pedestrian	None	Meets LDC
West		None	None	Meets LDC

Notes:

Design Exception/Administrative Variance Not applicable for this request

Road Name/Nature of Request	Type	Finding
Church Avenue/ Substandard Road	Administrative Variance Requested	Approvable
	Choose an item.	Choose an item.

Notes:

4.0 ADDITIONAL SITE INFORMATION & AGENCY COMMENTS SUMMARY

INFORMATION/REVIEWING AGENCY				
Environmental:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Environmental Protection Commission	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	No wetlands present
Natural Resources	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Conservation & Environ. Lands Mgmt.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Check if Applicable: <input type="checkbox"/> Wetlands/Other Surface Waters <input type="checkbox"/> Use of Environmentally Sensitive Land Credit <input type="checkbox"/> Wellhead Protection Area <input type="checkbox"/> Surface Water Resource Protection Area <input type="checkbox"/> Potable Water Wellfield Protection Area <input type="checkbox"/> Significant Wildlife Habitat <input type="checkbox"/> Coastal High Hazard Area <input type="checkbox"/> Urban/Suburban/Rural Scenic Corridor <input type="checkbox"/> Adjacent to ELAPP property <input type="checkbox"/> Other _____				
Public Facilities:	Comments Received	Objections	Conditions Requested	Additional Information/Comments

Transportation <input checked="" type="checkbox"/> Design Exc./Adm. Variance Requested <input type="checkbox"/> Off-site Improvements Provided	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	See Staff Report.
Service Area/ Water & Wastewater <input checked="" type="checkbox"/> Urban <input checked="" type="checkbox"/> City of Tampa <input type="checkbox"/> Rural <input type="checkbox"/> City of Temple Terrace	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Hillsborough County School Board Adequate <input checked="" type="checkbox"/> K-5 <input checked="" type="checkbox"/> 6-8 <input checked="" type="checkbox"/> 9-12 <input type="checkbox"/> N/A Inadequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Impact/Mobility Fees (Fee estimate is based on a 1,200 square foot, Multi-Family Units 1-2 story) Mobility: \$6,661 * 31 units = \$206,491 Parks: \$1,555 * 31 units School: \$3,891 * 31 units Fire: \$249 * 31 units Total Multi-Family (1-2 story) = \$383,036 = \$ 48,205 = \$120,621 = \$ 7,719				
Comprehensive Plan:	Comments Received	Findings	Conditions Requested	Additional Information/Comments
Planning Commission <input type="checkbox"/> Meets Locational Criteria <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Locational Criteria Waiver Requested <input checked="" type="checkbox"/> Minimum Density Met <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Inconsistent <input checked="" type="checkbox"/> Consistent	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

5.0 IMPLEMENTATION RECOMMENDATIONS

5.1 Compatibility

The approximate 2.59-acre property is comprised of two parcels zoned RDC-12 (Residential – Duplex Conventional) each with a single-family home. The subject property is located at 6212 & 6216 North Church Avenue. The applicant proposes a 31-unit multi-family project. The general area is developed with single-family and multi-family residential, religious institutions and commercial uses. The subject parcels are directly adjacent to religious institutions to the north and west zoned RDC-12 and single-family residential to the south and west zoned RDC-12. A vacant lot zoned CG (Commercial General), PD 80-0080 (Planned Development) and RDC-12 is located to the east across North Church Avenue. Further north and south on Church Avenue are multi-family apartments.

The applicant requests relief from the land development code section 6.01.01 to remove the additional setback of two feet for every one foot of structure height over 20 feet. Strictly adhering to this standard along with buffering and screening requirements would demand the applicant have a setback of 38 feet to the west and north, and 33 feet to the south which would severely limit the project area. Staff concurs with the applicant's justification for relief from this requirement.

The subject property is designated Residential-12 (R-12) on the Future Land Use map. The Planning Commission finds the proposed use consistent with the Comprehensive Plan. The surrounding uses are similar to the request; residential; which includes single-family, duplex, and multi-family. Therefore, the rezoning of the subject parcel from RDC-12 to PD with a multi-family use would be consistent with the existing zoning pattern of the area.

Based on the above considerations staff finds the requested PD zoning district compatible with the existing zoning and development pattern in the area.

5.2 Recommendation

Approval, subject to proposed conditions.

Zoning conditions, which were presented Zoning Hearing Master hearing, were reviewed and are incorporated by reference as a part of the Zoning Hearing Master recommendation.

SUMMARY OF HEARING

THIS CAUSE came on for hearing before the Hillsborough County Land Use Hearing Officer on January 17, 2023. Mr. Brian Grady of the Hillsborough County Development Services Department introduced the petition.

Ms. Addie Clark 400 North Ashley Drive testified on behalf of the applicant. She stated that the developer is the Framework Group and listed the applicant's team. Ms. Clark showed graphics and stated that the property is 2.59 acre and located between Pinecrest Manor Blvd to the north and West Idlewild Avenue to the south. The parcels are zoned RDC-12 and contain a single-family home. She added that the subject parcels are surrounding by a mix of single and multi-family homes. The request to rezone is to develop 31 multi-family dwelling units with personal garages. The structures are a mix of one and two stories and are consistent with the residences in the area. Two retention ponds are proposed and there will be one access point on Church Avenue. Ms. Clark stated that there will also be sidewalks installed to the south of the site and a new midblock crossing will be provided. A design exception was deemed approvable by the County Engineer. Ms. Clark testified that one waiver is requested regarding the required additional 2 to 1 setback for buildings over 20 feet in height. She concluded her presentation by stating that the project will comply with the base setbacks as well as the required screening and buffering which will include a 6-foot high fence around the perimeter of the site.

Mr. Chris Grandlienard, Development Services Department testified regarding the County's staff report. Mr. Grandlienard stated the request is to rezone from RDC-12 to PD to permit 31 multi-family homes. He described the surrounding area and stated that the applicant has requested a waiver of the required 2 to 1 setback for buildings over 20 feet in height. Staff supports the waiver as adherence combined with the required setback and buffering and screening would severely limit the project area. He concluded his presentation by stating that staff finds the request compatible with the surrounding properties and recommends approval. A revised staff report that includes comments from the School Board was submitted.

Ms. Jillian Massey of the Planning Commission staff stated that the property is designated Residential-12 Future Land Use category and located in the Urban Service Area. She discussed the surrounding area and stated that the request meets Policy 1.2 regarding minimum density as well as Objective 16 regarding neighborhood protection. The request is consistent with the development pattern and character of the area. Ms. Massey testified that the Planning Commission staff finds the rezoning is consistent with the Comprehensive Plan.

Hearing Master Finch asked audience members if there were any proponents of the application. None replied.

Hearing Master Finch asked audience members if there were any opponents of the application. None replied.

County staff and Ms. Clark did not have additional comments.

The hearing was then concluded.

EVIDENCE SUBMITTED

Mr. Grady submitted a revised staff report into the record.

PREFACE

All matters that precede the Summary of Hearing section of this Decision are hereby incorporated into and shall constitute a part of the ensuing Findings of Fact and Conclusions of Law.

FINDINGS OF FACT

1. The subject site is 2.59 acres in size and is zoned Residential Duplex Conventional-12 (RDC-12) and designated Residential-12 (RES-12) by the Comprehensive Plan. The property is located in the Urban Service Area.
2. The rezoning to Planned Development (PD) is requested to permit a maximum 100,000 square feet of mini-warehouse and accessory land uses.
3. A waiver is requested to the required additional two feet of setback for every one foot of height for buildings over 20 feet. The applicant justifies the request by stating that when the additional setbacks are combined with the required buffering and screening, the potential buildable area is severely limited.

The waiver is justified by the applicant's commitment to a maximum building height of 33 feet, 3 inches which is less than the maximum height of 35 feet found in standard Euclidean single-family zoning districts. Additionally, the project is conditioned to install the required screening including a six-foot high opaque fence.

4. The Planning Commission staff testified that the request meets Policy 1.2 regarding minimum density as well as Objective 16 regarding neighborhood protection. Staff found the rezoning request is consistent with the development pattern and character of the area and consistent with the Comprehensive Plan.
5. The surrounding parcels are zoned RDC-12, CG and PD and developed with single-family residential and two churches.
6. No testimony in opposition was provided at the Zoning Hearing Master hearing.
7. The developer will install a 5-foot sidewalk on the west side of Church Avenue along the project frontage and also construct approximately 170 feet of sidewalk to the south which will connect to the existing sidewalk on the west side of Church Avenue. Additionally, the developer will design, fund and build

a pedestrian connection mid-block to increase safety for pedestrians accessing the east side of Church Avenue subject to approval by Hillsborough County.

8. The rezoning to Planned Development for 31 multi-family dwelling units is compatible with the surrounding development pattern and meets the intent of the Land Development Code and Comprehensive Plan.

FINDINGS OF COMPLIANCE/NON-COMPLIANCE WITH THE HILLSBOROUGH COUNTY COMPREHENSIVE PLAN

The rezoning request is in compliance with and does further the intent of the Goals, Objectives and the Policies of the Future of Hillsborough Comprehensive Plan.

CONCLUSIONS OF LAW

Based on the Findings of Fact cited above, there is substantial competent evidence to demonstrate that the requested Planned Development rezoning is in conformance with the applicable requirements of the Land Development Code and with applicable zoning and established principles of zoning law.

SUMMARY

The request is to rezone 2.59 acres from Residential Duplex Conventional-12 (RDC-12) to Planned Development is to develop a maximum of 31 multi-family dwelling units.

A waiver is requested to the required additional two feet of setback for every one foot of height for buildings over 20 feet. The applicant justifies the request by stating that when the additional setbacks are combined with the required buffering and screening, the potential buildable area is severely limited. The waiver is justified by the applicant's commitment to a maximum building height of 33 feet, 3 inches which is less than the maximum height of 35 feet found in standard Euclidean single-family zoning districts. Additionally, the project is conditioned to install the required screening including a six-foot high opaque fence.

The Planning Commission staff testified that the request meets Policy 1.2 regarding minimum density as well as Objective 16 regarding neighborhood protection. Staff found the rezoning request is consistent with the development pattern and character of the area and consistent with the Comprehensive Plan.

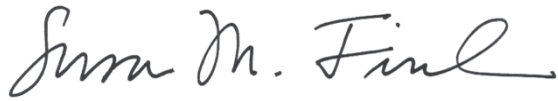
No testimony in opposition was provided at the Zoning Hearing Master hearing.

The developer will install a 5-foot sidewalk on the west side of Church Avenue along the project frontage and also construct approximately 170 feet of sidewalk to the south which will connect to the existing sidewalk on the west side of Church Avenue. Additionally, the developer will design, fund and build a pedestrian connection mid-block to increase safety for pedestrians accessing the east side of Church Avenue subject to approval by Hillsborough County.

The rezoning to Planned Development for 31 multi-family dwelling units is compatible with the surrounding development pattern and meets the intent of the Land Development Code and Comprehensive Plan.

RECOMMENDATION

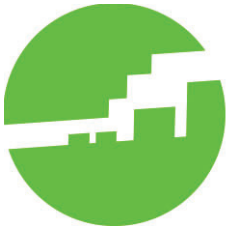
Based on the foregoing, this recommendation is for **APPROVAL** of the Planned Development rezoning request as indicated by the Findings of Fact and Conclusions of Law stated above subject to the proposed zoning conditions prepared by the Development Services Department.



February 7, 2023

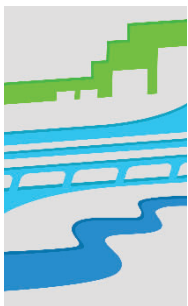
Susan M. Finch, AICP
Land Use Hearing Officer

Date



**Hillsborough County
City-County
Planning Commission**

Unincorporated Hillsborough County Rezoning	
Hearing Date: January 17, 2023	Petition: PD 22-1499
Report Prepared: January 5, 2023	6212 & 6216 N. Church Avenue <i>West side of Church Avenue, south of Pine Crest Manor Blvd and west of Dale Mabry Hwy</i>
Summary Data:	
Comprehensive Plan Finding:	CONSISTENT
Adopted Future Land Use:	Residential-12 (12 du/ga; 0.50 FAR)
Service Area:	Urban
Community Plan:	None
Rezoning Request:	Residential, Duplex Conventional (RDC-12) to Planned Development (PD) to develop 31 townhomes
Parcel Size (Approx.):	2.59 +/- acres (112,820 square feet)
Street Functional Classification:	Church Avenue – Local Pine Crest Manor Boulevard – Arterial
Locational Criteria:	N/A
Evacuation Area:	E



Context

- The subject site is located on approximately 2.59 ± acres on west side of Church Avenue, south of Pine Crest Manor Boulevard and west of Dale Mabry Highway. The site is in the Urban Service Area and not within the limits of a Community Plan.
- The subject site's Future Land Use designation is Residential-12 (RES-12). Typical uses in the RES-12 include residential, urban scale neighborhood commercial, office uses, multi-purpose projects and mixed-use development. Nonresidential uses shall meet established locational criteria for specific land use. Agricultural uses may be permitted pursuant to policies in the agricultural objective areas of the Future Land Use Element.
- The subject site is surrounded by RES-12 on all sides. Further east, Office Commercial-20 (OC-20) is designated along Dale Mabry Highway. Further west is designated as Residential-9 (RES-9). To the south is Residential-20 (RES-20). The subject site is surrounded by a mix of uses including single family residential, multi-family residential, churches, and conservation land. Further east along Dale Mabry Highway there are light commercial uses.
- The subject site is zoned Residential, Duplex Conventional (RDC-12). In the general vicinity, the site is mainly surrounded by RDC-12 zoning, with some Planned Development (PD) and Commercial General (CG) zoning to the east.
- The applicant requests to rezone from Residential, Duplex Conventional (RDC-12) to Planned Development (PD) to develop 31 townhomes.

Compliance with Comprehensive Plan:

The following Goals, Objectives and Policies apply to this rezoning request and are used as a basis for a consistency finding.

Future Land Use Element

Urban Service Area

Objective 1: Hillsborough County shall pro-actively direct new growth into the urban service area with the goal that at least 80% of all population growth will occur within the USA during the planning horizon of this Plan. Within the Urban Service Area, Hillsborough County will not impede agriculture. Building permit activity and other similar measures will be used to evaluate this objective.

Policy 1.2: Minimum Density

All new residential or mixed use land use categories within the USA shall have a density of 4 du/ga or greater unless environmental features or existing development patterns do not support those densities.

Within the USA and in categories allowing 4 units per acre or greater, new development or redevelopment shall occur at a density of at least 75% of the allowable density of the land use category, unless the development meets the criteria of Policy 1.3.

Policy 1.4: Compatibility is defined as the characteristics of different uses or activities or design which allow them to be located near or adjacent to each other in harmony. Some elements

affecting compatibility include the following: height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor and architecture. Compatibility does not mean “the same as.” Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development.

Land Use Categories

Objective 8: The Future Land Use Map will include Land Use Categories which outline the maximum level of intensity or density and range of permitted land uses allowed and planned for an area. A table of the land use categories and description of each category can be found in Appendix A.

Policy 8.1: The character of each land use category is defined by building type, residential density, functional use, and the physical composition of the land. The integration of these factors sets the general atmosphere and character of each land use category. Each category has a range of potentially permissible uses which are not exhaustive, but are intended to be illustrative of the character of uses permitted within the land use designation. Not all of those potential uses are routinely acceptable anywhere within that land use category.

Relationship to Land Development Regulations

Objective 9: All existing and future land development regulations shall be made consistent with the Comprehensive Plan, and all development approvals shall be consistent with those development regulations as per the timeframe provided for within Chapter 163, Florida Statutes. Whenever feasible and consistent with Comprehensive Plan policies, land development regulations shall be designed to provide flexible, alternative solutions to problems.

Policy 9.2: Developments must meet or exceed the requirements of all land development regulations as established and adopted by Hillsborough County, the state of Florida and the federal government unless such requirements have been previously waived by those governmental bodies.

Neighborhood/Community Development

Objective 16: Neighborhood Protection – The neighborhood is the functional unit of community development. There is a need to protect existing, neighborhoods and communities and those that will emerge in the future. To preserve, protect, and enhance neighborhoods and communities, all new development must conform to the following policies.

Policy 16.1: Established and planned neighborhoods and communities shall be protected by restricting incompatible land uses through mechanisms such as:

- a) locational criteria for the placement of non-residential uses as identified in this Plan,
- b) limiting commercial development in residential land use categories to neighborhood scale;
- c) requiring buffer areas and screening devices between unlike land uses;

Policy 16.2: Gradual transitions of intensities between different land uses shall be provided for as new development is proposed and approved, through the use of professional site planning, buffering, and screening techniques and control of specific land uses.

Policy 16.3: *Development and redevelopment shall be integrated with the adjacent land uses through:*

- a) *the creation of like uses; or*
- b) *creation of complementary uses; or*
- c) *mitigation of adverse impacts; and*
- d) *transportation/pedestrian connections*

Policy 16.7: *Residential neighborhoods shall be designed to include an efficient system of internal circulation and street stub-outs to connect adjacent neighborhoods together.*

Policy 16.8: *The overall density and lot sizes of new residential projects shall reflect the character of the surrounding area, recognizing the choice of lifestyles described in this Plan.*

Policy 16.10: *Any density increase shall be compatible with existing, proposed or planned surrounding development. Compatibility is defined as the characteristics of different uses or activities or design which allow them to be located near or adjacent to each other in harmony. Some elements affecting compatibility include the following: height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor and architecture. Compatibility does not mean “the same as”. Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development.*

Policy 16.11: *Within residential projects, site planning techniques shall be encouraged to ensure a variety and variation of lot sizes, block faces, setbacks and housing types.*

Policy 17.7: *New development and redevelopment must mitigate the adverse noise, visual, odor and vibration impacts created by that development upon all adjacent land uses.*

Community Design Component (CDC)

5.0 NEIGHBORHOOD LEVEL DESIGN

5.1 COMPATIBILITY

OBJECTIVE 12-1: *New developments should recognize the existing community and be designed in a way that is compatible with the established character of the surrounding neighborhood.*

Policy 12-1.4: *Compatibility may be achieved through the utilization of site design techniques including but not limited to transitions in uses, buffering, setbacks, open space and graduated height restrictions, to affect elements such as height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor and architecture.*

Staff Analysis of Goals Objectives and Policies:

The subject site is located on approximately 2.59 ± acres on west side of Church Avenue, south of Pine Crest Manor Boulevard and west of Dale Mabry Highway. The site is in the Urban Service Area and not within the limits of a Community Plan. The applicant requests to rezone from Residential, Duplex Conventional (RDC-12) to Planned Development (PD) to develop 31 townhomes.

The subject site is in the Urban Service Area and per Objective 1 of the Future Land Use Element (FLUE), 80 percent of the county’s growth is to be directed. Policy 1.4 requires all new developments to be compatible with the surrounding area, noting that “Compatibility does not mean “the same as.” Rather, it refers to the sensitivity of development proposals

in maintaining the character of existing development.” The proposed density in the RES-12 FLU designation is compatible with the existing character of development in the area. The site is surrounded by the RES-9, RES-12, RES-20, and OC-20 designations. The area contains a mix of uses including single-family residential, multi-family residential, churches, conservation land, and light commercial. The proposal is consistent with Policy 1.2 as it meets minimum density expected for the acreage of this site.

The proposed rezoning meets the intent of Objective 16 and policies 16.1, 16.2, 16.3, 16.7, 16.8, 16.10, 16.11 and 17.7. The proposal includes four (4) buildings with 7 to 8 townhomes in each. Each townhome unit has its own driveway access. Type A buffers and 6’ opaque fencing is proposed along the north, west and southern boundaries of the site. There are stormwater retention areas on the east side of the site, providing the residents a buffer from Church Avenue. The proposed housing type is reflective of the surrounding multi-family neighborhoods to the north, east and south. The site plan appears to show an efficient system of internal circulation with main access off Church Avenue. There are adequate pedestrian facilities within the site and sidewalks are proposed along the site’s frontage on Church Avenue.

Objective 12-1 and Policy 12-1.4 of the Community Design Component (CDC) discuss how new development shall be compatible with the established character of the surrounding area. The development pattern and character of this area contains multi-family residential, commercial, and public institutional uses and therefore the proposed residential use is compatible with the surrounding development pattern.

Overall, staff finds that the proposed residential development is consistent with policy direction in the Urban Service Area. The proposed Planned Development would allow for development that is consistent with the Goals, Objectives, and Policies of the Future Land Use Element of the *Unincorporated Hillsborough County Comprehensive Plan*. The request is compatible with the existing development pattern found within the surrounding area.

Recommendation

Based upon the above considerations, Planning Commission staff finds the proposed Planned Development **CONSISTENT** with the *Unincorporated Hillsborough County Comprehensive Plan*, subject to the conditions proposed by the Development Services Department.

HILLSBOROUGH COUNTY FUTURE LAND USE RZ PD 22-1499

Rezonings

STATUS

- APPROVED
- CONTINUED
- DENIED
- WITHDRAWN
- PENDING

Map Symbols:

- Tampa Service
- Urban Service
- Shoreline
- County Boundary
- Jurisdiction Boundary
- Roads
- Parcels

- W/ Natural LULUC, Wet Pdry
- AGRICULTURAL/MINING-120 (.25 FAR)
- PEC PLANNED ENVIRONMENTAL COMMUNITY-1/2 (.25 FAR)
- AGRICULTURAL-1/10 (.25 FAR)
- AGRICULTURAL/RURAL-1/5 (.25 FAR)
- AGRICULTURAL ESTATE-1/2.5 (.25 FAR)
- RESIDENTIAL-1 (.25 FAR)
- RESIDENTIAL-2 (.25 FAR)
- RESIDENTIAL PLANNED-2 (.35 FAR)
- RESIDENTIAL-4 (.25 FAR)
- RESIDENTIAL-6 (.25 FAR)
- RESIDENTIAL-9 (.35 FAR)
- RESIDENTIAL-12 (.35 FAR)
- RESIDENTIAL-16 (.35 FAR)
- RESIDENTIAL-20 (.35 FAR)
- RESIDENTIAL-35 (1.0 FAR)
- NEIGHBORHOOD MIXED USE-4 (3) (.35 FAR)
- SUBURBAN MIXED USE-6 (.35 FAR)
- COMMUNITY MIXED USE-12 (.50 FAR)
- URBAN MIXED USE-20 (1.0 FAR)
- REGIONAL MIXED USE-35 (2.0 FAR)
- OC-20
- RESEARCH CORPORATE PARK (1.0 FAR)
- ENERGY INDUSTRIAL PARK (.50 FAR USES OTHER THAN RETAIL, .25 FAR RETAIL/COMMERCE)
- LIGHT INDUSTRIAL PLANNED (.50 FAR)
- LIGHT INDUSTRIAL (.50 FAR)
- HEAVY INDUSTRIAL (.50 FAR)
- PUBLIC/QUASH-PUBLIC
- NATURAL PRESERVATION
- WIMAUMA VILLAGE RESIDENTIAL-2 (.25 FAR)
- CITRUS PARK VILLAGE

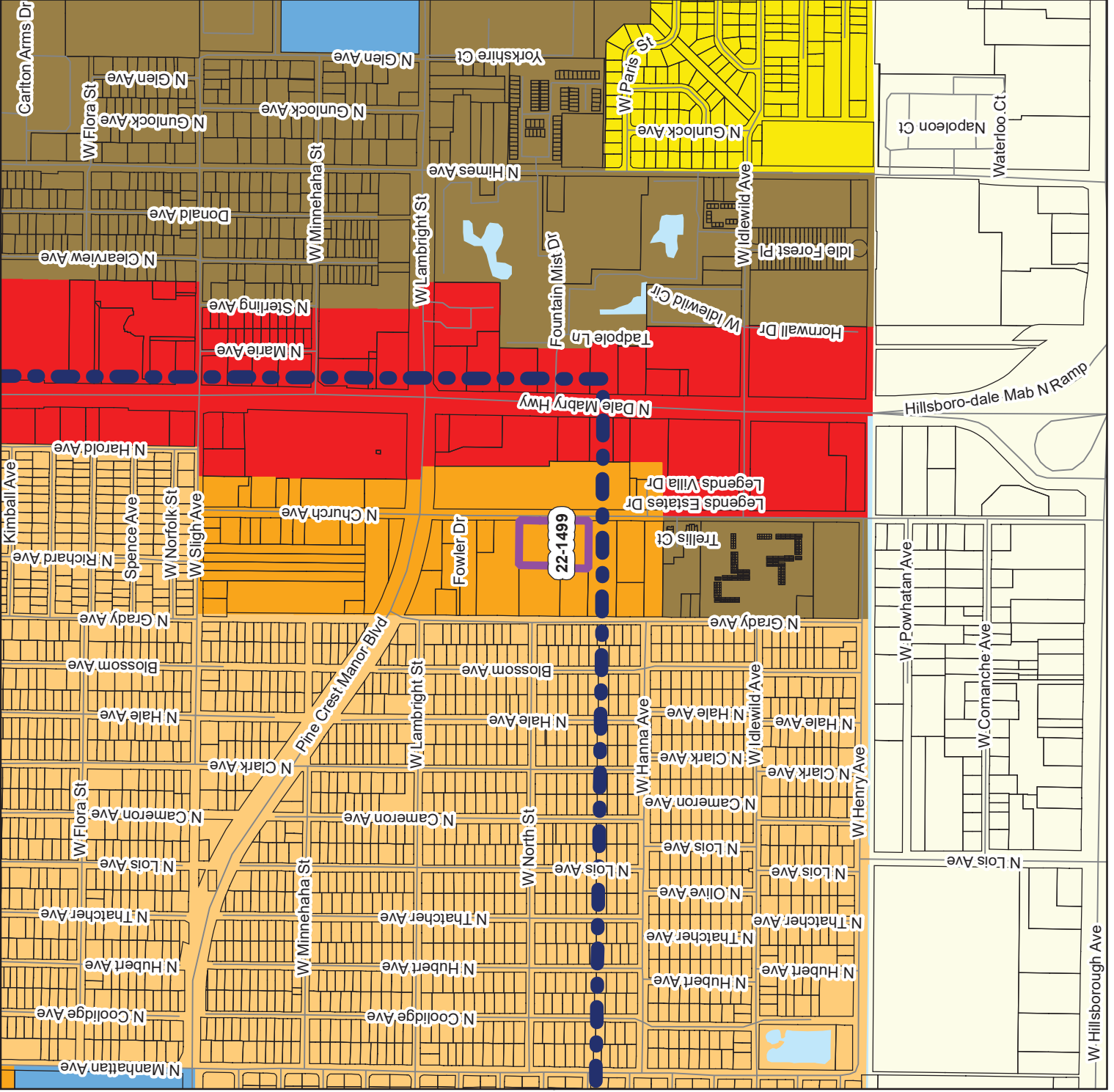
Map Scale: 0 to 1,840 Feet

Map Orientation: North Arrow

Map Printed from Rezoning System: 10/12/2022

Author: Beverly F. Daniels

File: G:\Rezoning\System\MapProjects\HC\Reg_In\Rezoning_Copy.mxd



DATA SOURCES: Rezoning boundaries from The Planning Commission and are not official. Parcel lines and data from Hillsborough County Property Appraiser. The project data is for informational purposes only. No warranty is made as to the accuracy of the information. It is intended that the rezoning be subject to the approval of the Hillsborough County City-County Planning Commission.

ACCURACY: It is intended that the rezoning be subject to the approval of the Hillsborough County City-County Planning Commission. However, such accuracy is not guaranteed by the Hillsborough County City-County Planning Commission. This map is for informational purposes only. For the most current data and information, visit the appropriate website.



**GENERAL
SITE PLAN
FOR
CERTIFICATION**



**Hillsborough
County Florida**

DEVELOPMENT SERVICES

PO Box 1110, Tampa, FL 33601-1110
(813) 272-5600

**HILLSBOROUGH COUNTY
DEVELOPMENT SERVICES DEPARTMENT**

GENERAL SITE PLAN REVIEW/CERTIFICATION

**BOARD OF COUNTY
COMMISSIONERS**

Harry Cohen
Ken Hagan
Pat Kemp

Gwendolyn "Gwen" Myers
Michael Owen
Donna Cameron Cepeda
Joshua Wostal

COUNTY

ADMINISTRATOR Bonnie
M. Wise **COUNTY**

ATTORNEY Christine M.
Beck **INTERNAL AUDITOR**
Peggy Caskey

DEPUTY COUNTY ADMINISTRATOR

Gregory S. Horwedel

Project Name: 6212 & 6216 N. Church Avenue - Multifamily

Zoning File: RZ-PD (22-1499) **Modification:** None

Atlas Page: None **Submitted:** 02/15/23

To Planner for Review: 02/15/23 **Date Due:** ASAP

Contact Person: Tyler Hudson and Gardner Brewer Hudson **Phone:** 813-221-9600/landuse@gardnerbrewer.com

Right-Of-Way or Land Required for Dedication: Yes No

The Development Services Department HAS NO OBJECTION to this General Site Plan.

The Development Services Department RECOMMENDS DISAPPROVAL of this General Site Plan for the following reasons:

Reviewed by: Christopher Grandlienard **Date:** 02/15/2023

Date Agent/Owner notified of Disapproval: _____



AGENCY COMMENTS

AGENCY REVIEW COMMENT SHEET

TO: Zoning Technician, Development Services Department
REVIEWER: Alex Steady, Senior Planner
PLANNING AREA/SECTOR: Egypt Lake/ Northwest

DATE: 01/06/2023
AGENCY/DEPT: Transportation
PETITION NO: PD 22-1499

- | | |
|----------|---|
| | This agency has no comments. |
| | This agency has no objection. |
| X | This agency has no objection, subject to the listed or attached conditions. |
| | This agency objects for the reasons set forth below. |

CONDITIONS OF APPROVAL

- If PD 22-1499 is approved, the County Engineer will approve a Design Exception (dated December 22, 2022) which was found approvable by the County Engineer (on December 29, 2022) for Church Ave. substandard road improvements. As Church Ave. is a substandard local roadway, the developer shall make certain improvements to Church Ave. consistent with the Design Exception or as otherwise specified herein these conditions. Specifically, prior to or concurrent with the initial increment of development, the developer shall construct the following improvements along the project’s Church Ave. frontage or as otherwise specified herein these conditions:
 - The developer shall construct 5-foot sidewalk on the west side of Church Avenue along the property and build +/- 170 additional feet of sidewalk south to connect to the existing sidewalk on the west side of Church Ave.
 - The developer shall design, fund, and build one pedestrian mid-block crossing per Hillsborough County Standards. The design, location, installation timing, and appropriateness of the midblock crossing to be reviewed and approved by Public Works.
- Notwithstanding anything herein these conditions or on the PD site plan to the contrary, bicycle and pedestrian access may be permitted anywhere along the project boundaries.

PROJECT SUMMARY AND ANALYSIS

The applicant is requesting to rezone two parcels totaling +/- 2.59 acres from Residential Duplex Conventional – 12 (RDC-12) to Planed Development (PD). The proposed Planned Development is seeking entitlements for 31 Multifamily Dwelling Units. The site is generally located on the west side of Church Ave, +/- 525 feet south of the intersection of Pine Crest Manor Blvd and Church Ave. The Future Land Use designation of the site is Residential - 12 (R-12).

Trip Generation Analysis

As required by the Development Review Procedures Manual (DRPM), the applicant submitted a trip generation for the proposed project indicating the proposed project will generate less than 50 peak hour trips and as such a detailed traffic study was not required. Staff has prepared a comparison of the trips potentially generated under the existing and proposed zoning designations, utilizing a generalized worst-case scenario. The information below is based on data from the Institute of Transportation Engineer’s Trip Generation Manual, 10th Edition.

Approved Zoning:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
RDC-12, 31 Single Family Dwelling Units (ITE code 210)	293	23	31

Proposed Zoning:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
PD, 31 Multi Family Dwelling Units (ITE code 220)	227	14	17

Trip Generation Difference:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
Difference	-66	-9	-14

The proposed rezoning would result in a decrease of trips potentially generated by development of the subject site by 66 average daily trips, 9 trips in the a.m. peak hour, and 14 trips in the p.m. peak hour.

TRANSPORTATION INFRASTRUCTURE SERVING THE SITE

The subject property has frontage on Church Avenue. Church Avenue is 2-lane, substandard, Hillsborough County maintained, local roadway, characterized by +/-10 ft. travel lanes. Church Ave lies within +/-76 ft of Right of way. There is a sidewalk on the eastern side of Church Avenue but no sidewalk on the western side in the vicinity of the proposed project.

DESIGN EXCEPTION, SUBSTANDARD ROAD – CHURCH AVE.

Given that Church Ave. is a substandard local roadway, the applicant's Engineer of Record (EOR) submitted a Design Exception (DE) request (on December 22, 2022) for Church Ave. to determine the specific improvements that would be required by the County Engineer. Based on factors presented within the Design Exception request, the County Engineer found the DE approvable (on December 29, 2022). The deviations from the TS-7 Typical Section (2-Lane Undivided, Local and Collector Rural Roadways), include:

- The developer shall be permitted to utilize the existing 10 to 11-foot to travel lanes in lieu of the 12-foot wide travel lanes typically required by the Hillsborough County Transportation Technical Manual (TTM) TS-7;
- The developer shall construct 5-foot sidewalk on the west side of Church Avenue along the property and build +/- 170 additional feet of sidewalk south to connect to the existing sidewalk on the west side of Church Ave.
- The developer shall design, fund, and build one pedestrian mid-block crossing per Hillsborough County Standards. The design, location, and installation timing of the midblock crossing to be reviewed and approved by Public Works.

SITE ACCESS

The project is proposing a full access connection on Church Ave. Vehicular and Pedestrian cross access is not required per section 6.04.03.Q of the Hillsborough County Land Development Code.

ROADWAY LEVEL OF SERVICE (LOS)

Church Ave is not a regulated roadway and as such was not included in the Level of Service Report.

Transportation Comment Sheet

3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)

Adjoining Roadways (check if applicable)			
Road Name	Classification	Current Conditions	Select Future Improvements
Church Avenue	County Local - Urban	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other

Project Trip Generation <input type="checkbox"/> Not applicable for this request			
	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	293	23	31
Proposed	227	14	17
Difference (+/-)	-66	-9	-14

*Trips reported are based on net new external trips unless otherwise noted.

Connectivity and Cross Access <input type="checkbox"/> Not applicable for this request				
Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North		None	None	Meets LDC
South		None	None	Meets LDC
East	X	Pedestrian	None	Meets LDC
West		None	None	Meets LDC
Notes:				

Design Exception/Administrative Variance <input checked="" type="checkbox"/> Not applicable for this request		
Road Name/Nature of Request	Type	Finding
Church Avenue/ Substandard Road	Administrative Variance Requested	Approvable
	Choose an item.	Choose an item.
Notes:		

4.0 Additional Site Information & Agency Comments Summary			
Transportation	Objections	Conditions Requested	Additional Information/Comments
<input checked="" type="checkbox"/> Design Exception/Adm. Variance Requested <input type="checkbox"/> Off-Site Improvements Provided	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	See Staff Report.

Northside

Engineering Inc.

Project: North Church Apartments
Date: December 22nd, 2022

Civil
Land Planning
Due Diligence Reports
Re-Zoning, Land Use, Annexation
Stormwater Management
Utility Design
Traffic
Construction Administration

To: Michael J. Williams, P.E.
Development Review Director
County Engineer
Hillsborough County
601 East Kennedy Boulevard
Tampa, FL 33602

Re: North Church Avenue Design Exception – Modified TS-7 Typical Section
Folio # 29194.0000
Zoning Case # RZ PD 22-1499

The purpose of this letter is to provide justification for the request for a Design Exception to Section 1.7 of the Hillsborough County Transportation Technical Manual (TTM), to meet the requirements of Section 6.04.03.L of the Land Development Code (LDC). The request stems from the current application to rezone a ±2.59 acre tract located at 6212 and 6216 N. Church Avenue, from Residential, Duplex Conventional (RDC-12) to Planned Development (PD) to allow the development of up to 31 multi-family dwelling units.

The project proposes to have one (1) full-access connection to N. Church Avenue. N. Church Avenue is a two-lane, local roadway with a posted speed of 30 miles per hour (mph). Within the existing 65 feet of right-of-way, there are currently 10 to 11-foot travel lanes, a 5-foot sidewalk on the east side of the roadway, and approximately 5 to 10 feet of open drainage ditch on the east side of the roadway.

As indicated in the Trip Generation Memorandum, submitted as part of the initial application package for PD 22-1499, the development is anticipated to generate fewer than fifty (50) peak-hour trips.

Due to existing right-of-way constraints including the wide ditch on the east side of the roadway, the proposed improvements to the western portion of N. Church Avenue adjacent to the property include the following modifications to the TS-7 Typical Section:

TS-7 requires 12-foot travel lanes, 5-foot paved shoulders, 5-foot sidewalk, and open drainage within a minimum right-of-way of 96 feet.

The request is to maintain the existing 10 to 11-foot travel lanes, 5-foot sidewalks (existing and proposed), and open drainage within the existing right-of-way of 65 feet.

Exhibit A illustrates the proposed cross section adjacent to the project site as a modification of **Exhibit B** (TS-7). **Exhibit C** provides a plan view of a proposed 5-foot sidewalk on the west side of the roadway adjacent to the project as well as an additional 170-feet of sidewalk on the west side of the roadway south of the project to connect to an existing sidewalk. In addition, the developer is committed to design, fund, and build one (1) pedestrian mid-block crossing per Hillsborough County standards and

specifications. The design, location, and installation timing of the mid-block crossing to be reviewed and approved by the Public Works Department during permitting.

The pedestrian mid-block crossing will be a pedestrian amenity that connects the western side of N. Church Avenue to the existing sidewalk on the eastern side of the roadway. The existing sidewalk extends from Pine Crest Manor Boulevard to the north to Henry Avenue to the south.

Based on the information above, it is anticipated that the proposed improvements to N. Church Avenue will improve the pedestrian experience along the local roadway and meet the intent of the Transportation Technical Manual to the extent feasible.

Please reach out if there are any further questions or you need clarification.

Respectfully,



Digitally signed by Daniel E Shockey
DN: C=US, O=Florida,
dnQualifier=A01410D0000017C6029C9
EC00016FEB, CN=Daniel E Shockey
Reason: I am the author of this document
Location: 300 South Belcher Road,
Clearwater, FL., 33765
Date: 2022.12.22 15:13:33-05'00'
Foxit PDF Editor Version: 11.2.3

Daniel E. Shockey, P.E.
727-443-2869

daniel@northsideengineering.net

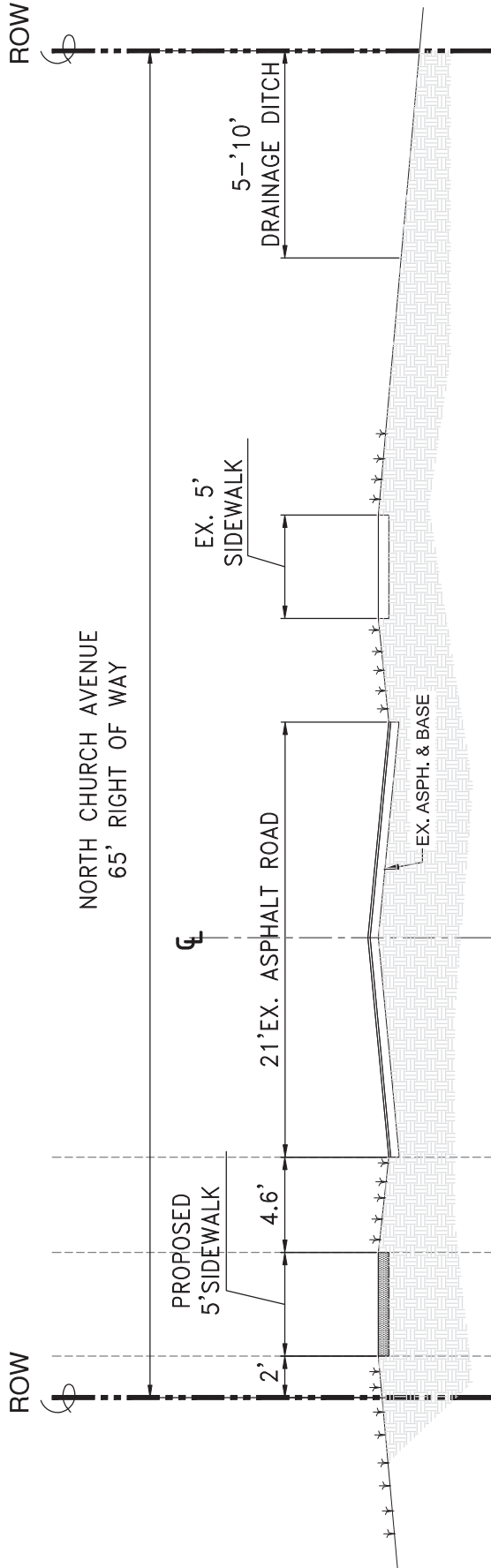
Based on the information provided by the applicant, this request is:

- _____ Disapproved
- _____ Approved
- _____ Approved with Conditions

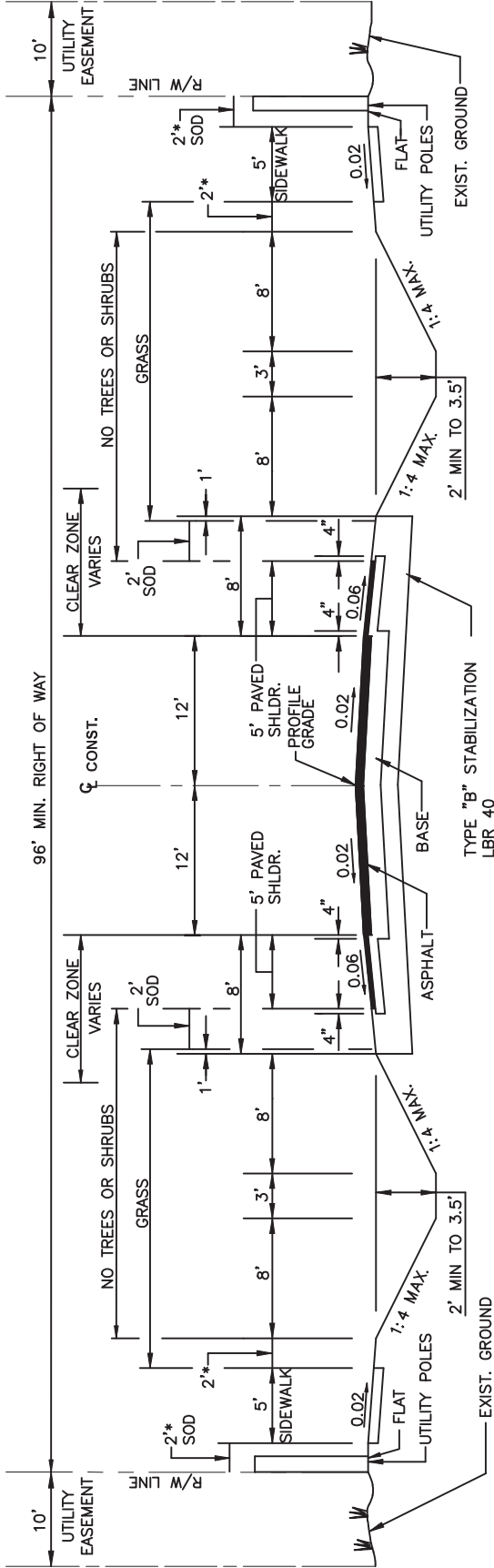
Exhibits:

- A. Proposed Typical Section
- B. TTM TS-7
- C. Zoning Site Pan with Plan View of Additional Sidewalk South of Property

EXHIBIT A



**TYPICAL ROAD SECTION -
65' RIGHT-OF-WAY**



TYPICAL SECTION

N.T.S.
FOR LESS THAN 10,000 AADT
MAX. ALLOWABLE DESIGN SPEED – 50 MPH

1. ALL DIMENSIONS SHOWN ARE MINIMUM.
2. SEE APPROPRIATE SECTIONS OF TECHNICAL MANUAL FOR DESIGN PARAMETERS.
- * 3. PROVIDE 2' MINIMUM CLEARANCE FROM FENCES, WALLS, HEDGES, ABOVEGROUND UTILITIES OR IMPROVEMENTS, DROP OFFS, OR FROM THE TOPS OF BANKS WITH SLOPES STEEPER THAN 1 TO 4, THAT INTERFERE WITH THE SAFE, FUNCTIONAL USE OF THE SIDEWALK. INTERMITTENT ABOVEGROUND UTILITIES, OR MATURE TREES, 2' OR LESS IN DIAMETER MAY BE PLACED IN THIS 2' STRIP AS FAR FROM THE SIDEWALK AS POSSIBLE, IF NOT IN THE CLEAR ZONE.
4. SOD SHALL BE PLACED IN TWO ROWS STAGGERED. (BOTH TEMPORARY AND PERMANENT)
5. PAVED SHOULDER TO BE STRIPED AS A DESIGNATED BIKE LANE, AS APPROPRIATE.

**LOCAL & COLLECTOR RURAL ROADS
(2 LANE UNDIVIDED)
TYPICAL SECTION**



**TRANSPORTATION
TECHNICAL
MANUAL**

REVISION DATE:
10/17

COMMISSION

Mariella Smith CHAIR
 Pat Kemp VICE-CHAIR
 Harry Cohen
 Ken Hagan
 Gwendolyn “Gwen” W. Myers
 Kimberly Overman
 Stacy White



DIRECTORS

Janet D. Lorton EXECUTIVE DIRECTOR
 Elaine S. DeLeeuw ADMIN DIVISION
 Sam Elrabi, P.E. WATER DIVISION
 Diana M. Lee, P.E. AIR DIVISION
 Rick Muratti, Esq. LEGAL DEPT
 Steffanie L. Wickham WASTE DIVISION
 Sterlin Woodard, P.E. WETLANDS DIVISION

AGENCY COMMENT SHEET

REZONING	
<p>HEARING DATE: 1/17/2023</p> <p>PETITION NO.: 22-1499</p> <p>EPC REVIEWER: Melissa Yanez</p> <p>CONTACT INFORMATION: (813) 627-2600 X1360</p> <p>EMAIL: yanezm@epchc.org</p>	<p>COMMENT DATE: 11/3/2022</p> <p>PROPERTY ADDRESS: 6212, 6216 N Church Ave, Tampa, FL 33614</p> <p>FOLIO #: 0291950000, 0291940000</p> <p>STR: 33-28S-18E</p>
<p>REQUESTED ZONING: RDC-12 to PD</p>	
FINDINGS	
WETLANDS PRESENT	NO
SITE INSPECTION DATE	10/26/2022
WETLAND LINE VALIDITY	Site Visit
WETLANDS VERIFICATION (AERIAL PHOTO, SOILS SURVEY, EPC FILES)	Site Visit – No wet
<p>INFORMATIONAL COMMENTS:</p> <p>Wetlands Division staff of the Environmental Protection Commission of Hillsborough County (EPC) inspected the above referenced site in order to determine the extent of any wetlands and other surface waters pursuant to Chapter 1-11, Rules of the EPC. This determination was performed using the methodology described within Chapter 62-340, Florida Administrative Code, and adopted into Chapter 1-11. The site inspection revealed that no wetlands or other surface waters exist within the above referenced parcel.</p> <p>Please be advised this wetland determination is informal and non-binding. A formal wetland delineation may be applied for by submitting a “WDR30 - Delineation Request Application”. Once approved, the formal wetland delineation would be binding for five years.</p>	

My/cb

Environmental Excellence in a Changing World

Environmental Protection Commission - Roger P. Stewart Center
 3629 Queen Palm Drive, Tampa, FL 33619 - (813) 627-2600 - www.epchc.org



Adequate Facilities Analysis: Rezoning

Date: 1/12/23 **Acreage:** 2.59 (+/- acres)
Jurisdiction: Hillsborough County **Proposed Zoning:** Planned Development
Case Number: PD 22-1499 **Future Land Use:** R-12
HCPS #: RZ 491 **Maximum Residential Units:** 31
Address: 6212 and 6216 N Church Avenue **Residential Type:** Single-family Attached
Parcel Folio Number(s): 029194.0000, 029195.0000

School Data	Alexander Elementary	Pierce Middle	Leto High
FISH Capacity Total school capacity as reported to the Florida Inventory of School Houses (FISH)	726	1221	2264
2022-23 Enrollment K-12 enrollment on 2022-23 40 th day of school. This count is used to evaluate school concurrency per Interlocal Agreements with area jurisdictions	488	847	2062
Current Utilization Percentage of school capacity utilized based on 40 th day enrollment and FISH capacity	67%	69%	91%
Concurrency Reservations Existing concurrency reservations due to previously approved development. Source: CSA Tracking Sheet as of 12/22/2022	0	16	17
Students Generated Estimated number of new students expected in development based on adopted generation rates. Source: Duncan Associates, School Impact Fee Study for Hillsborough County, Florida, Dec. 2019	4	2	3
Proposed Utilization School capacity utilization based on 40 th day enrollment, existing concurrency reservations, and estimated student generation for application	68%	71%	92%

Notes: At this time, adequate capacity exists at Alexander Elementary, Pierce Middle, and Leto High School for the proposed rezoning

This is an analysis for adequate facilities only and is NOT a determination of school concurrency. A school concurrency review will be issued PRIOR TO preliminary plat or site plan approval.

Andrea A. Stingone

Andrea A. Stingone, M.Ed.
 Department Manager, Planning & Siting
 Growth Management Department
 Hillsborough County Public Schools
 E: andrea.stingone@hcps.net
 P: 813.272.4429 C: 813.345.6684



NOTE: THIS IS ONLY FOR ESTIMATE PURPOSES, BASED ON THE FEES AT THE TIME THE REVIEW WAS MADE. ACTUAL FEES WILL BE ASSESSED BASED ON PERMIT APPLICATIONS RECEIVED AND BASED ON THE FEE SCHEDULE AT THE TIME OF BUILDING PERMIT APPLICATION.

TO: Zoning Review, Development Services

DATE: 01/03/2023

REVIEWER: Ron Barnes, Impact & Mobility Fee Coordinator

APPLICANT: Shrute Fern, LLC

PETITION NO: 22-1499

LOCATION: 6212 & 6216 N Church Ave

FOLIO NO: 29195.0000 29194.0000

Estimated Fees:

(Fee estimate is based on a 1,200 square foot, Multi-Family Units 1-2 story)

Mobility: \$6,661 * 31 units = \$206,491

Parks: \$1,555 * 31 units = \$ 48,205

School: \$3,891 * 31 units = \$120,621

Fire: \$249 * 31 units = \$ 7,719

Total Multi-Family (1-2 story) = \$383,036

Project Summary/Description:

Urban Mobility, Norhtwest Park/Fire - 31 multi-family units



VERBATIM TRANSCRIPT

Zoning Hearing Master Hearing
January 17, 2023

HILLSBOROUGH COUNTY, FLORIDA
BOARD OF COUNTY COMMISSIONERS

-----X
)
IN RE:)
)
ZONE HEARING MASTER)
HEARINGS)
)
-----X

ZONING HEARING MASTER HEARING
TRANSCRIPT OF TESTIMONY AND PROCEEDINGS

BEFORE: SUSAN FINCH
 Land Use Hearing Master

DATE: Tuesday, January 17, 2023

TIME: Commencing at 6:04 p.m.
 Concluding at 11:35 p.m.

Reported via Cisco Webex Videoconference by:
 Diane DeMarsh, CER No. 1654

Zoning Hearing Master Hearing
January 17, 2023

1 MR. GRADY: Last item is Agenda Item D.9, Rezoning PD
2 22-1499. The -- the applicant is Shrute Fern, LLC. The request
3 is rezone RDC-12 to plan development. Chris Grandlienard will
4 provide the Staff recommendation after presentation by the
5 applicant.

6 HEARING MASTER: All right. Good evening.

7 MS. CLARK: Good evening.

8 HEARING MASTER: You made it.

9 MS. CLARK: Yes. Great job. Let me just pull this
10 up. All right. Good evening. For the record, Addie Clark with
11 Gardner, Brewer, Hudson at 400 North Ashley Drive, Tampa Florida
12 33602. With me today is Developer, McCarrey from
13 Framework Group. Framework Group is a Tampa based development
14 construction and consulting firm with extensive experience in
15 multi-family projects here in Tampa Bay and throughout Florida.
16 Also here, Framework's civil engineer from Northside Engineering
17 and the architect from Skyway Design Company. And they're
18 available if you have any questions.

19 So here is the site. It's comprised of two parcels
20 for a total of 2.59 acres located in Unincorporated Hillborough
21 County between Pinecrest Manor Boulevard to the north and West
22 Idlewild Avenue to the south. The site is along the western
23 side of North Church Avenue and about a tenth a mile west of
24 Dale Mabry Highway. The parcels are currently zoned residential
25 duplex conventional 12 -- RDC-12 and have a future land use

1 designation of Residential-12. Both parcels currently contain
2 single-family home and are surrounded by a mix of single-family
3 and multi-family uses, such as the Tampa Racket Club and Villas
4 of Steel to the south. North and west of the site are two
5 church facilities and directly across from the site is a -- a
6 large drainage area owned by FDOT as you can see in this graphic
7 here. The development before you today is for 31 multi-family
8 dwelling units with personal garages. They're a mix of one to
9 two stories, which is consistent with the residences in the area
10 that I mentioned are just to the south of this site.

11 We're also proposing two new retention ponds, as well
12 as one access point along Church Avenue. And here you can see
13 that the -- the development team's goal was to create a visually
14 appealing design that effectively weaves together the density
15 that this area needs with attractive homes.

16 So developing a great place goes beyond what is just
17 being built within the project boundary. The developer's
18 proposing to improve excuse me, pedestrian experience, along
19 North Church Avenue by providing sidewalk connections south of
20 the site and a new pedestrian block crossing, so pedestrians can
21 safely get to and from the west side of North Church Avenue. As
22 you can see in the -- the dotted line, green line, there's
23 existing continuous sidewalk on the eastern side of North Church
24 Avenue, but it is not continuous on the western side. So we're
25 looking to mitigate that.

1 And this area will benefit from these pedestrian
2 improvements. And as a result, the design exception for this
3 section of North Church Avenue was not approvable.

4 So we just discussed pedestrian infrastructure and how
5 that will benefit the area. And in terms of vehicular traffic,
6 it's important to note that the Institute of Transportation and
7 Engineers Juniors, you've heard about the a lot tonight, has
8 gathered hundreds of data sources to study different land uses.
9 And according to the most recent addition of ITE, the trip
10 generation manual,, the proposed 31 dwelling units will generate
11 a minimum -- a minimal number of trips in the peak hours. And
12 what it -- and it will generate fewer what can be generated
13 onsite today.

14 As seen in the Staff Report, the PD rezone request was
15 found to be approvable subject to conditions, which we will go
16 into. Again, this different staff departments for the project,
17 including the waiver that is requested, which we will discuss
18 now.

19 We're requesting one waive to the Land Development
20 Code. And this is a waiver that is commonly brought before you
21 for the additional two to one setback requirement for every foot
22 of building height above 20 feet. And this table here shows how
23 this code provision requires an extra 28 feet of setback simply
24 going -- simply due to going from one story to two stories. And
25 again, the -- the two stories is compatible with the

Zoning Hearing Master Hearing
January 17, 2023

1 multi-family development in the area. And we are also meeting
2 base setbacks. And so the side and the rear setback, which are
3 abutting single-family uses, will have the required landscape
4 buffering and the screening, as well as a -- a six-foot fence
5 around the entire perimeter of the site.

6 And Staff agrees with this request with the waiver, as
7 the proposed setbacks allow for the density of the site and
8 offer proper landscape buffering. And you can also see here
9 that there is quite a bit of distance between some of those
10 existing land uses that just exists today.

11 And with that, thank you for your time and we are
12 available for any questions.

13 HEARING MASTER: I don't have any questions right now,
14 but thank you so much. I appreciate it.

15 MS. CLARK: Thank you.

16 HEARING MASTER: Development -- oh, and if you could
17 sign in with the Clerk's office. Development Services please.
18 Good evening.

19 MR. GRANDLIENARD: Good evening. It's good to be
20 back.

21 HEARING MASTER: I agree.

22 MR. GRANDLIENARD: Chris Grandlienard with Eevelopment
23 Services. We're here to present PD 22-1499.

24 The applicant is proposing to rezone from existing
25 RDC-12, residential duplex conventional to PD 22-1499 of plan

1 development. It's an approximately 2.59 acre property. It's
2 comprised of two parcels zoned RDC-12, each with a single-family
3 home. The subject property's located at 6212 and 6216 North
4 Church Avenue. It's in the urban service area. The applicant
5 proposes 31 unit multi-family project. The general areas
6 developed with single-family and multi-family residential,
7 religious institutions and commercial uses.

8 The subject parcels are directly adjacent to
9 institutions to the north and west, zoned -- which are zoned
10 RDC-12 and single-family residential to the south and west, both
11 zoned RDC-12. A vacant lot zoned CG, Commercial General, PD,
12 Planed Development and RDC-12 is located to the east, which is
13 across North Church Avenue. Further north and south on Church
14 Avenue are additional or multi-family apartments. The project's
15 minimum setbacks would be ten feet to the north, 20 feet to the
16 west, 51.7 feet to the east and 8.8 feet to the south. The
17 maximum building height would be 33 feet three inches. Project
18 would be limited to a density of 12 dwelling units per gross
19 acre, which is the maximum allowed by the properties future land
20 use of R-12.

21 The applicant requests a waiver to the land
22 development codes, Section 6.01.01 to remove the additional
23 setbacks two feet for everyone one foot of structure height over
24 20 feet. Strictly adhering to the -- along with buffering and
25 screening requirements would require the applicant to have a

1 setback of 30 -- 38 feet to the west and north, 33 feet to the
2 south, which would severely limit the project area. Staff --
3 Staff concurs with the applicant's justification for relief from
4 this requirement. The Planning Commission found the proposed
5 use consistent with the comprehensive Plan. The surrounding
6 uses are similar to the request residential, which includes
7 single-family, duplex, multi-family.

8 Therefore, the rezoning of the subject parcel from
9 RDC-12 to PD with multi-family use would be consistent with the
10 existing zoning pattern of the area. Based on the
11 Residential-12 Future Land Use classification with surrounding
12 uses, surrounding zoning and development pattern, the proposed
13 uses for the Plan Development District, Staff finds the request
14 approvable, subject to proposed conditions. That concludes my
15 Staff Report. I have some revised -- revised staff reports that
16 includes addit -- the comments for the school board that weren't
17 included in the previous. I'd be happy to answer any questions
18 if you have any.

19 HEARING MASTER: None at this time. Thank you though.
20 I appreciate it. Planning Commission.

21 MS. MASSEY: Jillian Massey, Planning Commission
22 Staff. The site's in the Residential-12 Future Land Use
23 Category. It's in the urban service area and it's not located
24 within the limits of a community plan. It's surrounded by a
25 residential 12 on all sides. Further east, is office commercial

1 20, mainly designated along Dale Mabry Highway. And further
2 west of this site is designated as residential 9.

3 The proposal is consistent with Policy 1.2 as it meets
4 minimum density expected for this -- the acreage of this site.
5 It also meets the intent of Objective 16 and it's accompanying
6 policies regarding neighborhood protection. The proposed
7 housing type is reflective of the surrounding multi-family
8 neighborhoods to the north, east and south. The development
9 pattern and character of this area contains multi-family
10 residential, commercial and public institutional uses and
11 therefore the proposed residential use is compatible with the
12 surrounding development pattern.

13 And based on these considerations, Planning
14 Commission Staff finds the proposed plan development consistent
15 with the Unincorporated Hillsborough County Comprehensive Plan,
16 subject to the conditions proposed by the County Development
17 Services Department. Thank you.

18 HEARING MASTER: Thank you. Appreciate it. Is there
19 anyone in the room or online that would like to speak either in
20 support or in opposition? Anyone online? All right. I'm
21 hearing none. Mr. Grady, anything else?

22 MR. GRADY: Nothing further.

23 HEARING MASTER: All right. Ms. Clark, anything in
24 rebuttal? All right.

25 MS. CLARK: No. Thank you.

Zoning Hearing Master Hearing
January 17, 2023

1 HEARING MASTER: All right. Thank you so much. Now
2 that will close Rezoning PD 22-1499 and adjourn the hearing.
3 Thank you all for your time and testimony.

4 (Proceedings concluded at 11:35 p.m.)
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**EXHIBITS SUBMITTED
DURING THE ZHM HEARING**

DATE/TIME: 1/17/23

HEARING MASTER: Susan Finch

PLEASE **PRINT CLEARLY**, THIS INFORMATION WILL BE USED FOR MAILING

APPLICATION # 22-0075	PLEASE PRINT NAME <u>Kamala Corbett</u> MAILING ADDRESS <u>101 E Kennedy Blvd, Ste 3700</u> CITY <u>TAMPA</u> STATE <u>FL</u> ZIP <u>33607</u> PHONE <u>813-8421²²³⁻⁸⁴²¹</u>
APPLICATION # 22-0075	PLEASE PRINT NAME <u>James Anderson</u> MAILING ADDRESS <u>10514 Sedgebrook Drive</u> CITY <u>River view</u> STATE <u>FL</u> ZIP <u>33569</u> PHONE <u>727 430-3494</u>
APPLICATION # 22-0075	PLEASE PRINT NAME <u>Jane Graham</u> MAILING ADDRESS <u>737 Man Street Suite 100</u> CITY <u>Safety Harbor</u> STATE <u>FL</u> ZIP <u>34655</u> PHONE <u>727 291 9526</u>
APPLICATION # 22-0075 VS	PLEASE PRINT NAME <u>Ethel Hammer</u> MAILING ADDRESS <u>19825 Angel Lane</u> CITY <u>Odessa</u> STATE <u>FL</u> ZIP <u>33556</u> PHONE _____
APPLICATION # 22-0075	PLEASE PRINT NAME <u>Gary A. Gibbons</u> MAILING ADDRESS <u>800 29th AVE N, S</u> CITY <u>St. Petersburg</u> STATE <u>FL</u> ZIP <u>33704</u> PHONE <u>813-785-2028</u>
APPLICATION # 22-0075	PLEASE PRINT NAME <u>Ryan Brooks</u> MAILING ADDRESS <u>12714 Shadowcrest Ct</u> CITY <u>River view</u> STATE <u>FL</u> ZIP <u>33655</u> PHONE <u>813 215 7991</u>

DATE/TIME: 1/17/23

HEARING MASTER: Susan Finch

PLEASE PRINT CLEARLY, THIS INFORMATION WILL BE USED FOR MAILING

APPLICATION # 22-0075 VS	PLEASE PRINT NAME Sabine Prather MAILING ADDRESS 1601 Bentwood Drive CITY Sun City Center STATE FL ZIP 33573 PHONE
APPLICATION # 22-0075 VS	PLEASE PRINT NAME Jennifer Miller MAILING ADDRESS 13317 Waterford Run Drive CITY Riverview STATE FL ZIP 33569 PHONE
APPLICATION # 22-0075	PLEASE PRINT NAME STATE Henry MAILING ADDRESS 5023 W. LAUREL ST CITY TPA STATE FL ZIP 33607 PHONE 813-289-0059
APPLICATION # 22-0075	PLEASE PRINT NAME Abbey Naylor MAILING ADDRESS 14206 Tudor Chase Dr. CITY Tampa STATE FL ZIP 33616 PHONE 727-207-5525
APPLICATION # 22-0075	PLEASE PRINT NAME Trent Stephenson MAILING ADDRESS 505 E Jackson St #200 CITY Tampa STATE FL ZIP 33602 PHONE 813 375.0616
APPLICATION # 22-1591	PLEASE PRINT NAME Todd Pressman MAILING ADDRESS 200 2nd Ave S #451 CITY St. Petersburg STATE FL ZIP 33701 PHONE 727-304-1760

SIGN-IN SHEET: RFR, **ZHM** PHM, LUHO

PAGE 3 OF 9

DATE/TIME: 1/17/23

HEARING MASTER: Susan Finch

PLEASE PRINT CLEARLY, THIS INFORMATION WILL BE USED FOR MAILING

<p>APPLICATION # <u>22-1642</u></p>	<p>PLEASE PRINT NAME <u>Jeff Cathy</u> MAILING ADDRESS <u>1142 Wister Young Rd.</u> CITY <u>Lake Park</u> STATE <u>FL</u> ZIP <u>32403</u> PHONE <u>561-247-0362</u></p>
<p>APPLICATION # <u>22-0719</u></p>	<p>PLEASE PRINT NAME <u>SUNNY SA</u> MAILING ADDRESS <u>19903 Maple St.</u> CITY <u>Gubersville</u> STATE <u>FL</u> ZIP <u>33584</u> PHONE <u>873-205-5727</u></p>
<p>APPLICATION # <u>22-0719</u></p>	<p>PLEASE PRINT NAME <u>Grace McComas</u> MAILING ADDRESS <u>805 Old Darby St</u> CITY <u>Seffner</u> STATE <u>FL</u> ZIP <u>33584</u> PHONE <u>813-240-3907</u></p>
<p>APPLICATION # <u>22-0719</u></p>	<p>PLEASE PRINT NAME <u>Elizabeth Belscher</u> MAILING ADDRESS <u>5 x smpt</u> CITY <u>5 mail Eiblscher</u> STATE <u>FL</u> ZIP <u>Att. Nst</u> PHONE <u>(813) 468-7902</u></p>
<p>APPLICATION # <u>22-0857</u></p>	<p>PLEASE PRINT NAME <u>Roger GRUNKE</u> MAILING ADDRESS <u>2708 N Elmora Ave</u> CITY <u>Tpa</u> STATE <u>FL</u> ZIP <u>33602</u> PHONE <u>813-679-2945</u></p>
<p>APPLICATION # <u>22-0857</u></p>	<p>PLEASE PRINT NAME <u>Marla Frazer</u> MAILING ADDRESS <u>11215 Davis Rd</u> CITY <u>Tpa</u> STATE <u>FL</u> ZIP <u>33637</u> PHONE <u>813-777-9931</u></p>

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PAGE 4 OF 9

DATE/TIME: 1/17/23

HEARING MASTER: Susan Finch

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<p>APPLICATION # <u>22-0857</u></p>	<p>PLEASE PRINT NAME <u>FLORENCE BARBER-HANCOCK</u></p> <p>MAILING ADDRESS <u>21004 NEGRIL CT.</u></p> <p>CITY <u>LUTZ</u> STATE <u>FL</u> ZIP <u>33558</u> PHONE ⁸¹³ <u>948-7597</u></p>
<p>APPLICATION # <u>22-0857</u></p>	<p>PLEASE PRINT NAME <u>Theresa L Maide</u></p> <p>MAILING ADDRESS <u>11107 Davis Rd</u></p> <p>CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33637</u> PHONE <u>813-985-6190</u></p>
<p>APPLICATION # <u>22-0866</u></p>	<p>PLEASE PRINT NAME <u>Kamala Corbett</u></p> <p>MAILING ADDRESS <u>101 E Kennedy Blvd Ste 3700</u></p> <p>CITY <u>TAMPA</u> STATE <u>FL</u> ZIP <u>33602</u> PHONE <u>813-847-8421</u></p>
<p>APPLICATION # <u>22-1226</u></p>	<p>PLEASE PRINT NAME <u>Kamela Corbett</u></p> <p>MAILING ADDRESS <u>101 E Kennedy Blvd Ste 3700</u></p> <p>CITY <u>TAMPA</u> STATE <u>FL</u> ZIP <u>33602</u> PHONE <u>813-227-8421</u></p>
<p>APPLICATION # <u>22-1226</u></p>	<p>PLEASE PRINT NAME <u>JOE HENRY</u></p> <p>MAILING ADDRESS <u>503 W. LAMAR ST</u></p> <p>CITY <u>TPA</u> STATE <u>FL</u> ZIP <u>33607</u> PHONE <u>813-789-0039</u></p>
<p>APPLICATION # <u>22-1228</u></p>	<p>PLEASE PRINT NAME <u>Elise Betsel</u></p> <p>MAILING ADDRESS <u>401 E. Jackson St. Tampa</u></p> <p>CITY <u>T</u> STATE <u>FL</u> ZIP <u>06</u> PHONE ⁸¹³⁻²²²⁻ <u>5057</u></p>

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PAGE 5 OF 9

DATE/TIME: 1/17/23

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<p>APPLICATION # <u>22-1228</u></p>	<p>PLEASE PRINT NAME <u>David M. Smith</u></p> <p>MAILING ADDRESS <u>401 E. Jackson Street Suite 2100</u></p> <p>CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33601</u> PHONE <u>813 222-5010</u></p>
<p>APPLICATION # <u>22-1228</u></p>	<p>PLEASE PRINT NAME <u>Steve Henry</u></p> <p>MAILING ADDRESS <u>5023 W. LAUREL ST</u></p> <p>CITY <u>TPA</u> STATE <u>FL</u> ZIP <u>33607</u> PHONE <u>813-289-6039</u></p>
<p>APPLICATION # <u>22-1228</u> <u>VS</u></p>	<p>PLEASE PRINT NAME <u>Katie Russo</u></p> <p>MAILING ADDRESS <u>400 N. Ashley Drive #2820</u></p> <p>CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33602</u> PHONE _____</p>
<p>APPLICATION # <u>22-1228</u></p>	<p>PLEASE PRINT NAME <u>SMERRI SOUTHWELL</u></p> <p>MAILING ADDRESS <u>552 FRANDER PL</u></p> <p>CITY <u>Apollo Beach</u> STATE <u>FL</u> ZIP <u>33572</u> PHONE <u>813 410 7027</u></p>
<p>APPLICATION # <u>22-1228</u></p>	<p>PLEASE PRINT NAME <u>Jeanine Lussier</u></p> <p>MAILING ADDRESS <u>477 Flamingo Drive</u></p> <p>CITY <u>Apollo Beach</u> STATE <u>FL</u> ZIP <u>33572</u> PHONE <u>813-992 7023</u></p>
<p>APPLICATION # <u>22-1228</u></p>	<p>PLEASE PRINT NAME <u>Stark Finby</u></p> <p>MAILING ADDRESS <u>815 Islebay Dr</u></p> <p>CITY <u>Apollo Beach</u> STATE <u>FL</u> ZIP <u>33572</u> PHONE <u>813-447-3980</u></p>

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PAGE 6 OF 9

DATE/TIME: 1/17/23

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<p>APPLICATION # 22-1228</p>	<p>PLEASE PRINT NAME <u>Kim PLANT</u> MAILING ADDRESS <u>1029 APOLLO BEACH BLVD APT 4</u> CITY <u>APOLLO BEACH</u> STATE <u>FL</u> ZIP <u>33572</u> PHONE <u>813-394-2047</u></p>
<p>APPLICATION # 22-1228 VS</p>	<p>PLEASE PRINT NAME <u>Laura Shepherd</u> MAILING ADDRESS <u>5218 Point Harbor Lane</u> CITY <u>Apollo Beach</u> STATE <u>FL</u> ZIP <u>33572</u> PHONE _____</p>
<p>APPLICATION # 22-1228 VS</p>	<p>PLEASE PRINT NAME <u>Nicole Cameron</u> MAILING ADDRESS <u>5414 Conch Shell Place</u> CITY <u>Apollo Beach</u> STATE <u>FL</u> ZIP <u>33572</u> PHONE _____</p>
<p>APPLICATION # 22-1229</p>	<p>PLEASE PRINT NAME <u>Kamala Corbett</u> MAILING ADDRESS <u>14 E Kennedy Blvd Ste 100</u> CITY <u>TAMPA</u> STATE <u>FL</u> ZIP <u>33602</u> PHONE <u>813-227-8121</u></p>
<p>APPLICATION # 22-1229</p>	<p>PLEASE PRINT NAME <u>Stephen Sposato</u> MAILING ADDRESS <u>505 E Jackson St</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33602</u> PHONE <u>813-375-0616</u></p>
<p>APPLICATION # 22-1229</p>	<p>PLEASE PRINT NAME <u>STEVE HENRY</u> MAILING ADDRESS <u>5023 W. LAMAR ST</u> CITY <u>TDA</u> STATE <u>FL</u> ZIP <u>33607</u> PHONE <u>813-289-0029</u></p>

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<p>APPLICATION # 22-1229</p>	<p>PLEASE PRINT NAME Alan Daoud MAILING ADDRESS 3007 Drake Landing Ct CITY Valrico STATE FL ZIP 33596 PHONE 813-789-2707</p>
<p>APPLICATION # 22-1229</p>	<p>PLEASE PRINT NAME Todd Pressman MAILING ADDRESS 200 2nd Ave S #451 CITY Ft. Leona STATE FL ZIP 33707 PHONE 727-304-1760</p>
<p>APPLICATION # 22-1229</p>	<p>PLEASE PRINT NAME Wendy Oliverio MAILING ADDRESS 717 Bryan Rd CITY Brandon STATE FL ZIP 33511 PHONE 813-695-2482</p>
<p>APPLICATION # 22-1229</p>	<p>PLEASE PRINT NAME Dina Cagnina MAILING ADDRESS 713 Coulter Place CITY Brandon STATE FL ZIP 33511 PHONE 813-546-5433</p>
<p>APPLICATION # 22-1229</p>	<p>PLEASE PRINT NAME Lisa Dersmore MAILING ADDRESS 703 Coulter Place CITY Brandon STATE FL ZIP 33511 PHONE 813-601-2782</p>
<p>APPLICATION # 22-1229</p>	<p>PLEASE PRINT NAME Lisa Knox MAILING ADDRESS 508 S. Bryan Cir CITY Brandon STATE FL ZIP 33511 PHONE 352-339-3140</p>

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PAGE 8 OF 9
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DATE/TIME: 1/17/23

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<p>APPLICATION # <u>22-1338</u></p>	<p>PLEASE PRINT NAME <u>Elisa Batsal</u></p> <p>MAILING ADDRESS <u>401 E Jackson St.</u></p> <p>CITY <u>Tampa</u> STATE _____ ZIP <u>33602</u> PHONE <u>813 222 3057</u></p>
<p>APPLICATION # <u>22-1338</u></p>	<p>PLEASE PRINT NAME <u>David M. Smith</u></p> <p>MAILING ADDRESS <u>401 E. Jackson Street Suite 2100</u></p> <p>CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33601</u> PHONE <u>813 222 5010</u></p>
<p>APPLICATION # <u>22-1338</u></p>	<p>PLEASE PRINT NAME <u>PAT KILMER</u></p> <p>MAILING ADDRESS <u>7025 ADEEN ST</u></p> <p>CITY <u>TAMPA</u> STATE <u>FL</u> ZIP <u>33617</u> PHONE <u>407 36-5331</u></p>
<p>APPLICATION # <u>22-1338</u></p>	<p>PLEASE PRINT NAME <u>Claude-Perrette Conzé</u></p> <p>MAILING ADDRESS <u>4512 Porpoise Drive</u></p> <p>CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33617</u> PHONE <u>813 956 1751</u></p>
<p>APPLICATION # <u>22-1338</u></p>	<p>PLEASE PRINT NAME <u>TIM McMURRY</u></p> <p>MAILING ADDRESS <u>8019 PAULSON LN</u></p> <p>CITY <u>TAMPA</u> STATE <u>FL</u> ZIP <u>33617</u> PHONE <u>813 948 8762</u></p>
<p>APPLICATION # <u>22-1338</u></p>	<p>PLEASE PRINT NAME <u>SARA McMURRY</u></p> <p>MAILING ADDRESS <u>8019 PAULSON LANE</u></p> <p>CITY <u>TAMPA</u> STATE <u>FL</u> ZIP <u>33617</u> PHONE <u>813-263-7279</u></p>

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PAGE 9 OF 9

DATE/TIME: _____

HEARING MASTER: Susan Finch

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<p>APPLICATION # 22-1378</p>	<p>PLEASE PRINT NAME <u>Jeremy Couch</u></p> <p>MAILING ADDRESS <u>17937 Hunting Bow Circle</u></p> <p>CITY <u>Lutz</u> STATE <u>FL</u> ZIP <u>33558</u> PHONE <u>813 920 2005</u></p>
<p>APPLICATION # 22-1387</p>	<p>PLEASE PRINT NAME <u>Kamala Corbett</u></p> <p>MAILING ADDRESS <u>101 2 Kennedy Blvd</u></p> <p>CITY <u>MDA</u> STATE <u>FL</u> ZIP <u>33602</u> PHONE <u>813-227-8421</u></p>
<p>APPLICATION # 22-1387 VS</p>	<p>PLEASE PRINT NAME <u>Michael Ball</u></p> <p>MAILING ADDRESS <u>16545 South US Highway 301</u></p> <p>CITY <u>Wimauma</u> STATE <u>FL</u> ZIP <u>33598</u> PHONE _____</p>
<p>APPLICATION # 22-1387</p>	<p>PLEASE PRINT NAME <u>Steve Henry</u></p> <p>MAILING ADDRESS <u>5023 W. LAUREL ST</u></p> <p>CITY <u>TPA</u> STATE <u>FL</u> ZIP <u>33607</u> PHONE <u>813-289-0039</u></p>
<p>APPLICATION # 22-1499</p>	<p>PLEASE PRINT NAME <u>Addie Clark</u></p> <p>MAILING ADDRESS <u>400 N. Ashley Dr.</u></p> <p>CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33603</u> PHONE <u>561-319-9759</u></p>
<p>APPLICATION #</p>	<p>PLEASE PRINT NAME _____</p> <p>MAILING ADDRESS _____</p> <p>CITY _____ STATE _____ ZIP _____ PHONE _____</p>

APPLICATION #	SUBMITTED BY	EXHIBITS SUBMITTED	HRG. MASTER YES OR NO
RZ 22-0075	James Anderson	1. Opposition Presentation Packet	No
RZ 22-0075	Ethel Hammer	2. Opposition Presentation Packet	No
RZ 22-0075	Gary Gibbons	3. Opposition Presentation Packet	No
RZ 22-0075	Ryan Brooks	4. Opposition Presentation Packet	No
RZ 22-0075	Jennifer Miller	5. Opposition Presentation Packet	No
RZ 22-0075	Kami Corbett	6. Applicant Presentation Packet	No
RZ 22-0075	Steve Henry	7. Applicant Presentation Packet	No
RZ 22-1591	Todd Pressman	1. Applicant Presentation Packet	No
RZ 22-0719	Grace McComas	1. Opposition Presentation Packet	No
RZ 22-0719	Sunny Sia	2. Applicant Presentation Packet	No
RZ 22-0866	Kami Corbett	1. Applicant Presentation Packet	No
RZ 22-1226	Brian Grady	1. Staff Report	Yes (copy)
RZ 22-1226	Kami Corbett	2. Applicant Presentation Packet	No
MM 22-1228	Brian Grady	1. Staff Report	No
MM 22-1228	Sherri Southwell	2. Opposition Presentation Packet	No
MM 22-1228	David Smith	3. Applicant Presentation Packet	No
RZ 22-1229	Stephen Sposato	1. Applicant Presentation Packet	No
RZ 22-1229	Steve Henry	2. Applicant Presentation Packet	No
RZ 22-1229	Todd Pressman	3. Opposition Presentation Packet	No
RZ 22-1229	Wendy Oliverio	4. Opposition Presentation Packet	No
RZ 22-1229	Lisa Knox	5. Opposition Presentation Packet	No
RZ 22-1229	Kami Corbett	6. Applicant Presentation Packet	No
RZ 22-1338	Elise Batsel	1. Applicant Presentation Packet	No
RZ 22-1338	Brian Grady	2. Staff Report	No
RZ 22-1387	Kami Corbett	1. Applicant Presentation Packet	No
RZ 22-1387	Brian Grady	2. Staff Report	No
RZ 22-1387	Steve Henry	3. Applicant Presentation Packet	No
RZ 22-1499	Brian Grady	1. Staff Report	No

JANUARY 17, 2023 - ZONING HEARING MASTER

The Zoning Hearing Master (ZHM), Hillsborough County, Florida, met in Regular Meeting, scheduled for Tuesday, January 17, 2023, at 6:00 p.m., in the Boardroom, Frederick B. Karl County Center, Tampa, Florida, and held virtually.

▶ Susan Finch, ZHM, calls the meeting to order, leads in the pledge of allegiance to the flag, and introduces Development Services.

A. WITHDRAWALS AND CONTINUANCES

▶ Brian Grady, Development Services, introduces staff and reviews changes/withdrawals/continuances.

▶ Susan Finch, ZHM, overview of ZHM process.

▶ Cameron Clark, Senior Assistant County Attorney, overview of oral argument/ZHM process.

▶ Susan Finch, ZHM, Oath.

B. REMANDS

B.1. RZ 22-0075

▶ Brian Grady, Development Services, calls RZ 22-0075.

▶ Cameron Clark, Senior Assistant County Attorney, statement for record.

▶ Kami Corbett, applicant rep, presents testimony.

▶ Israel Monsanto, Development Services, staff report.

▶ Jillian Massey, Planning Commission, staff report.

▶ Susan Finch, ZHM, calls proponents/opponents

▶ Jane Graham, opponent, presents testimony.

▶ James Anderson, opponent, presents testimony.

▶ Ethel Hammer, opponent, presents testimony.

▶ Gary Gibbons, opponent, presents testimony.

▶ Ryan Brooks, opponent, presents testimony.

TUESDAY, JANUARY 17, 2023

- ▶ Sabine Prather, opponent, technical difficulties.
- ▶ Jennifer Miller, opponent, presents testimony.
- ▶ Susan Finch, ZHM, questions to opponent and County Attorney.
- ▶ Cameron Clark, Senior Assistant County Attorney, answers ZHM questions.
- ▶ Sabine Prather, opponent, technical difficulties.
- ▶ Jane Graham, opponent, questions to County Attorney.
- ▶ Cameron Clark, Senior Assistant County Attorney, answers opponent questions.
- ▶ Jane Graham, opponent, questions to ZHM.
- ▶ Susan Finch, ZHM, answers opponent questions.
- ▶ Sabine Prather, opponent, presents testimony.
- ▶ Susan Finch, ZHM, calls Development Services/applicant rep.
- ▶ Kami Corbett, applicant rep, provides rebuttal
- ▶ Steve Henry, applicant rep, provides rebuttal.
- ▶ Abbey Naylor, applicant rep, provides rebuttal.
- ▶ Trent Stephenson, applicant rep, provides rebuttal.
- ▶ Kami Corbett, applicant rep, continues rebuttal.
- ▶ Susan Finch, ZHM, closes RZ 22-0075.

C. REZONING STANDARD (RZ-STD):

C.1. RZ 22-1591

- ▶ Brian Grady, Development Services, calls RZ 22-1591.
- ▶ Todd Pressman, applicant rep, presents testimony.
- ▶ Susan Finch, ZHM, questions to applicant rep and Development Services.

TUESDAY, JANUARY 17, 2023

- ▶ Brian Grady, Development Services, answers ZHM questions.
- ▶ Todd Pressman, applicant rep, answers ZHM questions and continues testimony.
- ▶ Susan Finch, ZHM, questions to applicant rep.
- ▶ Todd Pressman, applicant rep, answers ZHM questions.
- ▶ Isis Brown, Development Services, staff report.
- ▶ Susan Finch, ZHM, questions to Development Services.
- ▶ Isis Brown, Development Services, answers ZHM questions.
- ▶ Brian Grady, Development Services, statement for record.
- ▶ Jillian Massey, Planning Commission, statement for record.
- ▶ Susan Finch, ZHM, questions to Planning Commission.
- ▶ Jillian Massey, Planning Commission, answers ZHM questions and staff report.
- ▶ Susan Finch, ZHM, calls proponents/opponents.
- ▶ Susan Finch, ZHM, questions to Development Services.
- ▶ Brian Grady, Development Services, answers ZHM questions.
- ▶ Susan Finch, ZHM, questions to applicant rep.
- ▶ Todd Pressman, applicant rep, answers ZHM questions and provides rebuttal.
- ▶ Susan Finch, ZHM, closes RZ 22-1591.

C.2. RZ 22-1642

- ▶ Brian Grady, Development Services, calls RZ 22-1642.
- ▶ Jeff Cathey, applicant rep, presents testimony.
- ▶ Isis Brown, Development Services, staff report.

TUESDAY, JANUARY 17, 2023

▶ Jillian Massey, Planning Commission, staff report.

▶ Susan Finch, ZHM, calls proponents/opponents/Development Services/applicant rep/closes RZ 22-1642.

D. REZONING-PLANNED DEVELOPMENT (RZ-PD) & MAJOR MODIFICATION (MM):

D.1. RZ 22-0719

▶ Brian Grady, Development Services, calls RZ 22-0719.

▶ Sunny Sia, applicant rep, presents testimony.

▶ Tim Lampkin, Development Services, staff report.

▶ Jillian Massey, Planning Commission, staff report.

▶ Susan Finch, ZHM, calls proponents/opponents.

▶ Grace McComas, opponent, presents testimony.

▶ Elizabeth Belcher, opponent, presents testimony.

▶ Susan Finch, ZHM, calls Development Services/applicant rep.

▶ Sunny Sia, applicant rep, provides rebuttal.

▶ Susan Finch, ZHM, closes RZ 22-0719.

D.2. RZ 22-0857

▶ Brian Grady, Development Services, calls RZ 22-0857.

▶ Marla Frazer, applicant rep, presents testimony.

▶ Roger Grunke, applicant rep, presents testimony.

▶ Michelle Heinrich, Development Services, staff report.

▶ Jillian Massey, Planning Commission, staff report.

▶ Susan Finch, ZHM, calls proponents.

▶ Florence Hancock, proponent, presents testimony.

TUESDAY, JANUARY 17, 2023

- ▶ Susan Finch, ZHM, calls opponents.
- ▶ Theresa Maida, opponent, presents testimony.
- ▶ Susan Finch, ZHM, questions to opponent.
- ▶ Theresa Maida, opponent, answers ZHM questions and continues testimony.
- ▶ Susan Finch, ZHM, calls Development Services.
- ▶ Brian Grady, Development Services, statement for record.
- ▶ Susan Finch, ZHM, questions to Development Services.
- ▶ Michelle Heinrich, Development Services, answers ZHM questions.
- ▶ Susan Finch, ZHM, calls applicant rep.
- ▶ Marla Frazer, applicant rep, provides rebuttal.
- ▶ Roger Grunke, applicant rep, provides rebuttal.
- ▶ Susan Finch, ZHM, closes RZ 22-0857.

D.3. RZ 22-0866

- ▶ Brian Grady, Development Services, calls RZ 22-0866.
- ▶ Kami Corbett, applicant rep, presents testimony.
- ▶ Tim Lampkin, Development Services, staff report.
- ▶ Jillian Massey, Planning Commission, staff report.
- ▶ Susan Finch, ZHM, calls proponents/opponents/Development Services /applicant rep/closes RZ 22-0866.

D.4. RZ 22-1226

- ▶ Brian Grady, Development Services, calls RZ 22-1226.
- ▶ Kami Corbett, applicant rep, presents testimony.
- ▶ Susan Finch, ZHM, questions to Development Services.

TUESDAY, JANUARY 17, 2023

- ▶ Brian Grady, Development Services, answers ZHM.
- ▶ Susan Finch, ZHM, requests information to be added to staff report.
- ▶ Tania Chapela, Development Services, staff report.
- ▶ Susan Finch, ZHM, questions to Development Services.
- ▶ Tania Chapela, Development Services, answers ZHM questions.
- ▶ Alex Steady, Development Services Transportation, answers ZHM questions.
- ▶ Susan Finch, ZHM, requests additional information to be added to staff report.
- ▶ Brian Grady, Development Services, statement for record.
- ▶ Jillian Massey, Planning Commission, staff report.
- ▶ Susan Finch, ZHM, calls proponents/opponents/Development Services/applicant rep.
- ▶ Kami Corbett, applicant rep, provides rebuttal.
- ▶ Steve Henry, applicant rep, provides rebuttal.
- ▶ Susan Finch, ZHM, closes RZ 22-1226.

D.5. MM 22-1228

- ▶ Brian Grady, Development Services, calls MM 22-1228.
- ▶ Elise Batsel, applicant rep, presents testimony.
- ▶ David Smith, applicant rep, presents testimony.
- ▶ Steve Henry, applicant rep, presents testimony.
- ▶ Elise Batsel, applicant rep, continues testimony.
- ▶ Susan Finch, ZHM, questions to applicant rep.
- ▶ Elise Batsel, applicant rep, answers ZHM questions.

TUESDAY, JANUARY 17, 2023

- ▶ Steve Henry, applicant rep, answers ZHM questions.
- ▶ Sam Ball, Development Services, staff report.
- ▶ Susan Finch, ZHM, questions to Development Services.
- ▶ James Ratliff, Development Services Transportation, answers ZHM questions.
- ▶ Elise Batsel, applicant rep, answers ZHM questions.
- ▶ Jillian Massey, Planning Commission, staff report.
- ▶ Susan Finch, ZHM, calls proponents.
- ▶ Katie Russo, proponent, presents testimony.
- ▶ Susan Finch, ZHM, calls opponents.
- ▶ Sherri Southwell, opponent, presents testimony.
- ▶ Jeanine Lussier, opponent, presents testimony.
- ▶ Steven Finley, opponent, presents testimony.
- ▶ Kim Plant, opponent, presents testimony.
- ▶ Laura Shepherd, opponent, presents testimony.
- ▶ Nicole Cameron, opponent, presents testimony.
- ▶ Susan Finch, ZHM, calls Development Services.
- ▶ Elise Batsel, applicant rep, questions to Development Services.
- ▶ Susan Finch, ZHM, questions to applicant rep.
- ▶ Brian Grady, Development Services, answers applicant rep and ZHM questions.
- ▶ Elise Batsel, applicant rep, provides rebuttal.
- ▶ Susan Finch, ZHM, closes MM 22-1228.

TUESDAY, JANUARY 17, 2023

D.6. RZ 22-1229

- ▶ Brian Grady, Development Services, calls RZ 22-1229.
- ▶ Kami Corbett, applicant rep, presents testimony.
- ▶ Steven Sposato, applicant rep, presents testimony.
- ▶ Steve Henry, applicant rep, presents testimony.
- ▶ Michelle Heinrich, Development Services, staff report.
- ▶ Jillian Massey, Planning Commission, staff report.
- ▶ Susan Finch, ZHM, calls proponents.
- ▶ Alan Daoud, proponent, presents testimony.
- ▶ Susan Finch, ZHM, calls opponents.
- ▶ Todd Pressman, opponent, presents testimony.
- ▶ Wendy Oliviero, opponent, presents testimony.
- ▶ Dina Cagnina, opponent, presents testimony.
- ▶ Lisa Dunsmore, opponent, presents testimony.
- ▶ Lisa Knox, opponent, presents testimony.
- ▶ Susan Finch, ZHM, calls Development Services/applicant rep.
- ▶ Steve Henry, applicant rep, provides rebuttal.
- ▶ Kami Corbett, applicant rep, provides rebuttal.
- ▶ Susan Finch, ZHM, closes RZ 22-1229.

D.7. RZ 22-1338

- ▶ Brian Grady, Development Services, calls RZ 22-1338.
- ▶ Elise Batsel, applicant rep, presents testimony.
- ▶ David Smith, applicant rep, presents testimony.

TUESDAY, JANUARY 17, 2023

- ▶ Susan Finch, ZHM, questions to applicant rep.
- ▶ David Smith, applicant rep, answers ZHM questions and continues testimony.
- ▶ Elise Batsel, applicant rep, continues testimony.
- ▶ Michelle Heinrich, Development Services, staff report.
- ▶ Susan Finch, ZHM, questions to Development Services.
- ▶ Michelle Heinrich, Development Services, answers ZHM questions.
- ▶ Jillian Massey, Planning Commission, staff report.
- ▶ Susan Finch, ZHM, questions to Planning Commission.
- ▶ Jillian Massey, Planning Commission, answers ZHM questions.
- ▶ Susan Finch, ZHM, questions to County Attorney.
- ▶ Cameron Clark, Senior Assistant County Attorney, answers ZHM questions.
- ▶ Jillian Massey, Planning Commission, answers ZHM questions.
- ▶ Susan Finch, ZHM, calls proponents/opponents.
- ▶ Pat Kilker, opponent, presents testimony.
- ▶ Claude-Penrette Conze, opponent, presents testimony.
- ▶ Tim McMurry, opponent, presents testimony.
- ▶ Sara McMurry, opponent, presents testimony.
- ▶ Susan Finch, ZHM, calls Development Services.
- ▶ Alex Steady, Development Services Transportation, statement for record.
- ▶ Susan Finch, ZHM, calls applicant rep.
- ▶ Elise Batsel, applicant rep, provides rebuttal.
- ▶ Jeremy Couch, applicant rep, provides rebuttal.

TUESDAY, JANUARY 17, 2023

▶ Elise Batsel, applicant rep, continues rebuttal.

▶ Susan Finch, ZHM, closes RZ 22-1338.

D.8. RZ 22-1387

▶ Brian Grady, Development Services, calls RZ 22-1387.

▶ Kami Corbett, applicant rep, presents testimony.

▶ Tania Chapela, Development Services, staff report.

▶ Jillian Massey, Planning Commission, staff report.

▶ Susan Finch, ZHM, calls proponents/opponents.

▶ Michael Ball, opponent, presents testimony.

▶ Brian Grady, Development Services, asks opponent to read letter into record.

▶ Michael Ball, opponent, reads letter into record.

▶ Susan Finch, ZHM, calls Development Services/applicant rep.

▶ Steven Henry, applicant rep, provides rebuttal.

▶ Kami Corbett, applicant rep, provides rebuttal.

▶ Steve Henry, applicant rep, continues rebuttal.

▶ Kami Corbett, applicant rep, continues rebuttal.

▶ Susan Finch, ZHM, closes RZ 22-1387.

D.9. RZ 22-1499

▶ Brian Grady, Development Services, calls RZ 22-1499.

▶ Addie Clark, applicant rep, presents testimony.

▶ Chris Grandlienard, Development Services, staff report.

▶ Jillian Massey, Planning Commission, staff report.

TUESDAY, JANUARY 17, 2023

▶ Susan Finch, ZHM, calls proponents/opponents/Development Services/applicant rep/closes RZ 22-1499.

ADJOURNMENT

▶ Susan Finch, ZHM, adjourns meeting.

Rezoning Application: PD 22-1499

Zoning Hearing Master Date: January 17, 2023

BOCC Land Use Meeting Date: March 7, 2023

**Hillsborough
County Florida**

Development Services Department

1.0 APPLICATION SUMMARY

Applicant: Shrute Fern, LLC

FLU Category: RES-12

Service Area: Urban

Site Acreage: 2.59

Community
Plan Area: None

Overlay: None

Application No. *RZ 22-1499*
 Name: *Shrute Fern, LLC*
 Entered at Public Hearing: *2/17/23*
 Exhibit # *1* Date: *1/17/23*

**Introduction Summary:**

The applicant seeks to rezone two parcels from RDC-12 (Residential – Duplex Conventional) to PD (Planned Development) to allow the development of a 31-unit multi-family project.

Zoning:	Existing	Proposed
District(s)	RDC-12	PD 22-1499
Typical General Use(s)	Single-Family and Two-Family (Conventional)	Multi-Family Residential
Acreage	2.59	2.59
Density/Intensity	12 du/gross acre	12 du/gross acre
Mathematical Maximum*	31 units	31 units

*number represents a pre-development approximation

Development Standards:	Existing	Proposed
District(s)	RDC-12	PD 22-1499
Lot Size / Lot Width	3,500 sf / 40'	N/A
Setbacks/Buffering and Screening	20' Front 20' Rear 5' Sides	51.7' East Front 20' West Rear 10' North Side 8.8' South Side 10'/Type A buffering and screening along north 10'/Type A buffering and screening along northwest 5'/Type A buffering and screening along southwest 5'/Type A buffering and screening along south
Height	35'	33'-3"

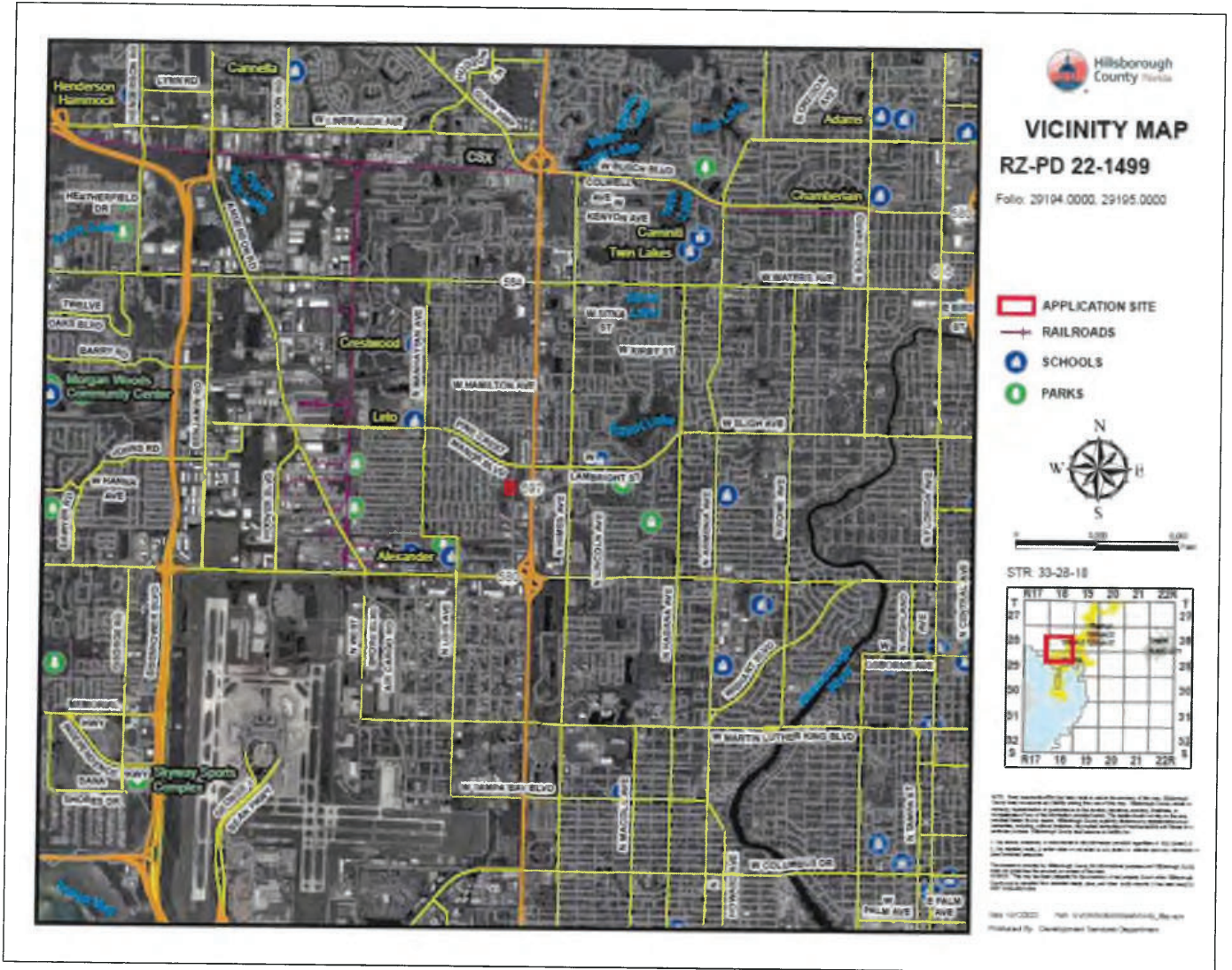
Additional Information:

PD Variation(s)	None requested as part of this application
Waiver(s) to the Land Development Code	6.01.01:additional 2 foot setback for each foot of structure height of 20ft

Planning Commission Recommendation: Consistent	Development Services Recommendation: Approvable, subject to proposed conditions
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2.0 LAND USE MAP SET AND SUMMARY DATA

2.1 Vicinity Map

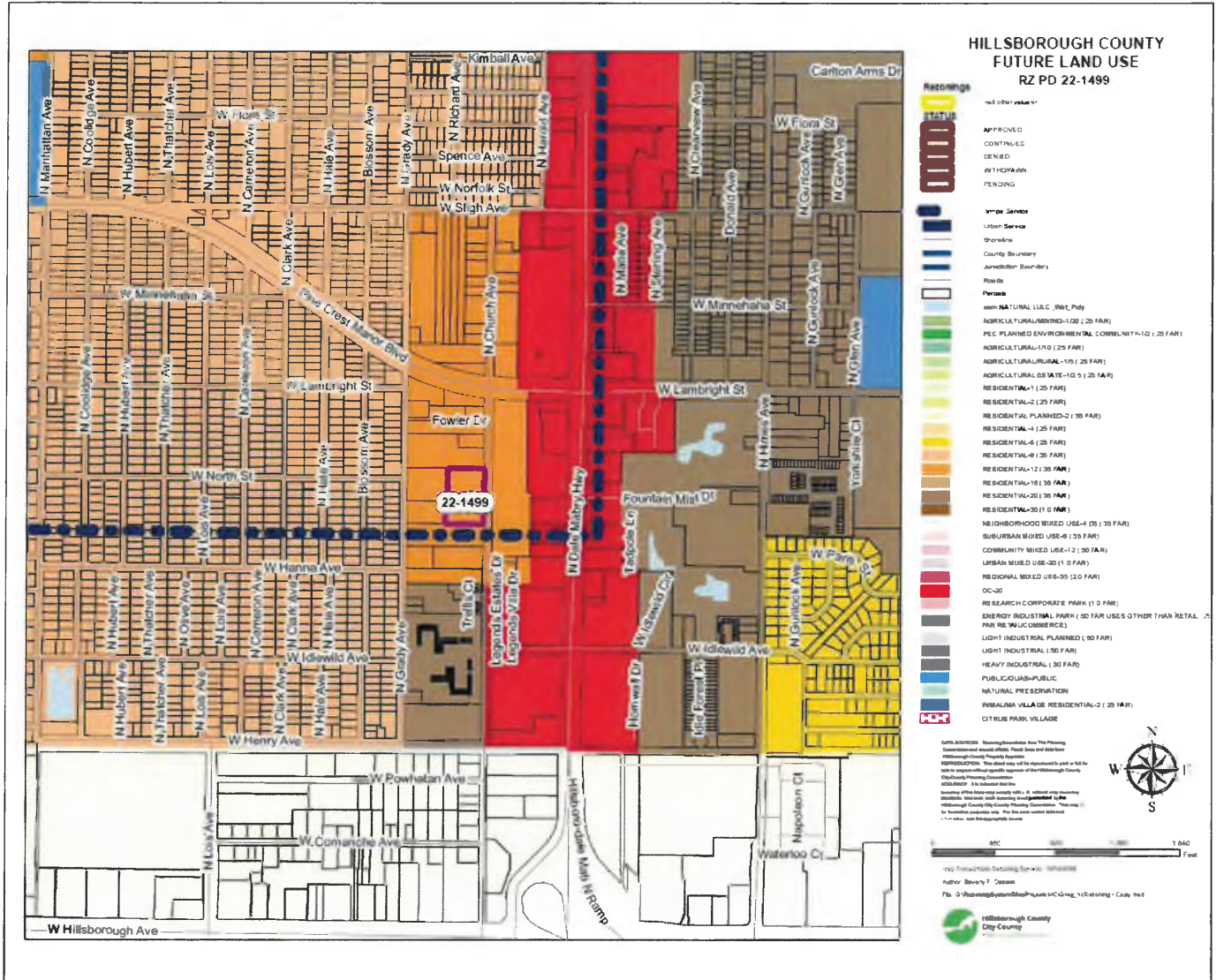


Context of Surrounding Area:

The site is located at 6212 & 6216 North Church Avenue. The general area is developed with residential (single-family and multi-family), religious institutions and commercial uses.

2.0 LAND USE MAP SET AND SUMMARY DATA

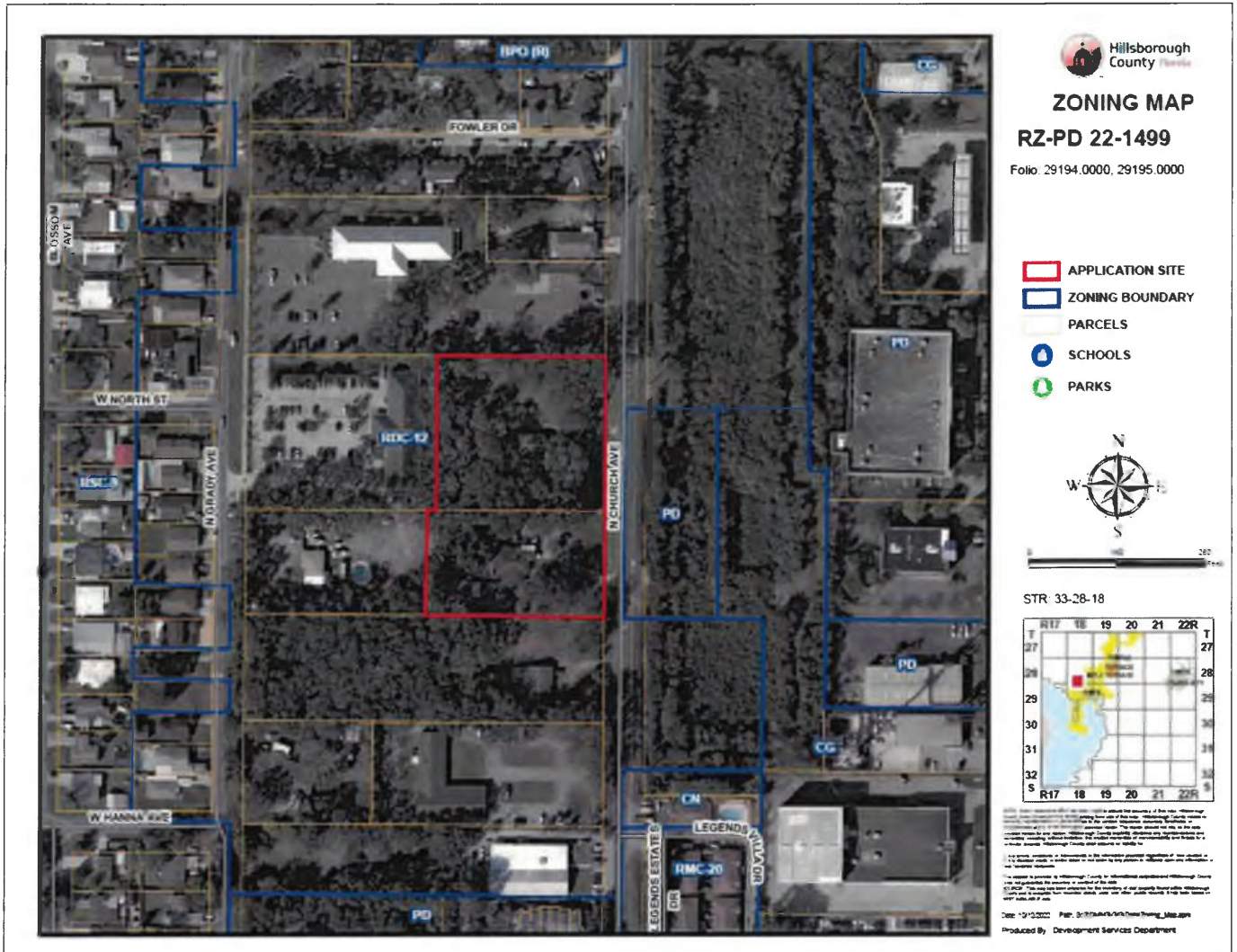
2.2 Future Land Use Map



Subject Site Future Land Use Category:	Residential - 12 (RES-12)
Maximum Density/F.A.R.:	12.0 dwelling units/.50 F.A.R.
Typical Uses:	Residential, urban scale neighborhood commercial, office uses, multi-purpose projects and mixed-use development. Non-residential uses shall meet established locational criteria for specific land use.

2.0 LAND USE MAP SET AND SUMMARY DATA

2.3 Immediate Area Map

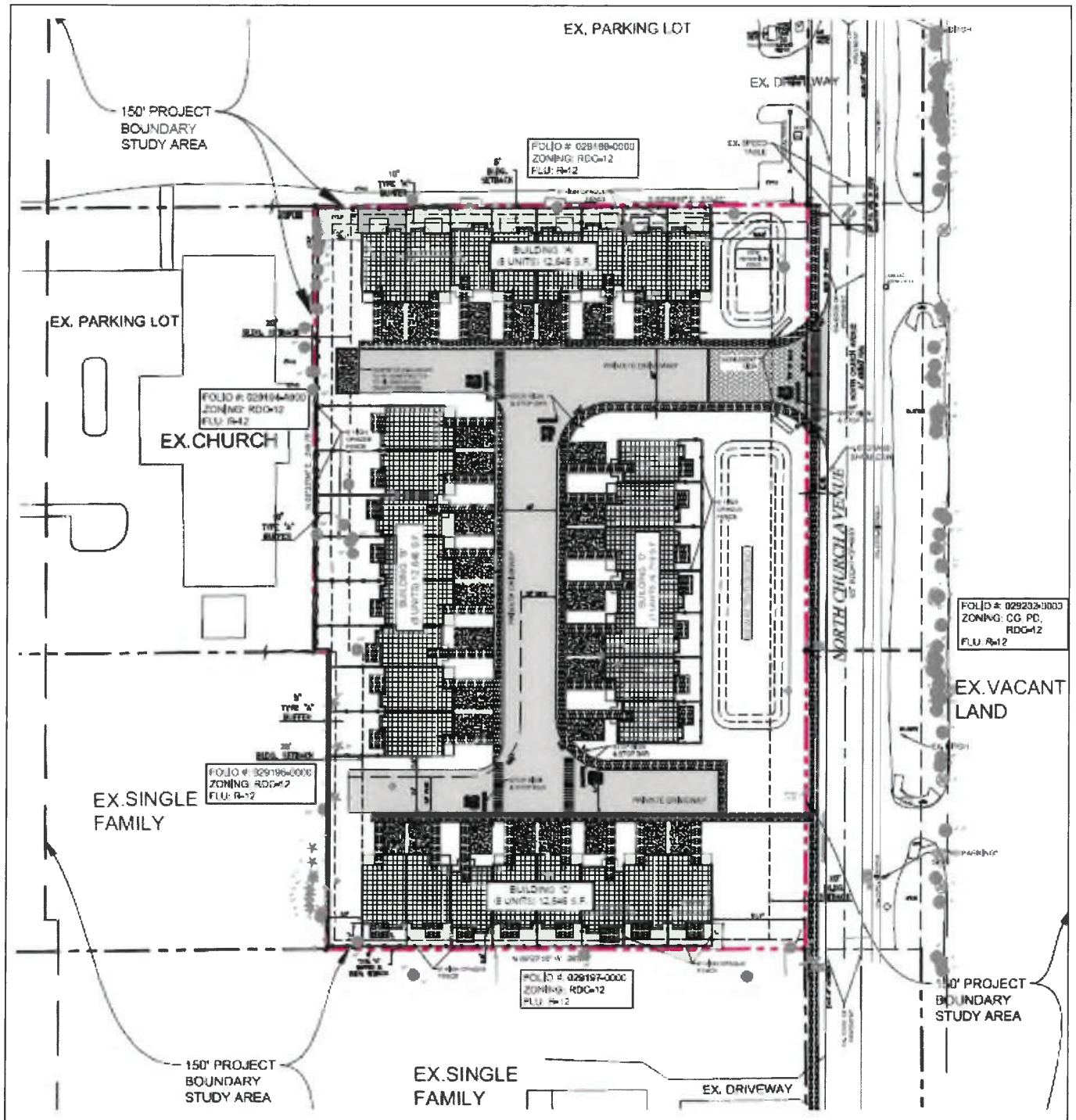


Adjacent Zonings and Uses

Location:	Zoning:	Maximum Density/F.A.R. Permitted by Zoning District:	Allowable Use:	Existing Use:
North	RDC-12	12 du/gross acre	Single-Family and Two-Family (Conventional)	Churches
South	RDC-12	12 du/gross acre	Single-Family and Two-Family (Conventional)	Single-Family Residential
East	CG, PD 80-0080, RDC-12	CG: 0.27 F.A.R. PD: Per PD 80-0080 RDC-12: 12 du/gross acre	CG: General Commercial PD: Various RDC-12: Single-Family and Two-Family	Vacant
West	RDC-12	12 du/gross acre	Single-Family and Two-Family (Conventional)	Single-Family Residential, Church

2.0 LAND USE MAP SET AND SUMMARY DATA

2.4 Proposed Site Plan (partial provided below for size and orientation purposes. See Section 8.0 for full site plan)



APPLICATION NUMBER: PD 22-1499
 ZHM HEARING DATE: January 17, 2023

3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)

Adjoining Roadways (check if applicable)

Road Name	Classification	Current Conditions	Select Future Improvements
Church Avenue	County Local - Urban	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other

Project Trip Generation Not applicable for this request

	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	293	23	31
Proposed	227	14	17
Difference (+/-)	-66	-9	-14

*Trips reported are based on net new external trips unless otherwise noted.

Connectivity and Cross Access Not applicable for this request

Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North		None	None	Meets LDC
South		None	None	Meets LDC
East	X	Pedestrian	None	Meets LDC
West		None	None	Meets LDC

Notes:

Design Exception/Administrative Variance Not applicable for this request

Road Name/Nature of Request	Type	Finding
Church Avenue/ Substandard Road	Administrative Variance Requested	Approvable
	Choose an item.	Choose an item.

Notes:

4.0 ADDITIONAL SITE INFORMATION & AGENCY COMMENTS SUMMARY

INFORMATION/REVIEWING AGENCY				
Environmental:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Environmental Protection Commission	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	No wetlands present
Natural Resources	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Conservation & Environ. Lands Mgmt.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Check if Applicable: <input type="checkbox"/> Wetlands/Other Surface Waters <input type="checkbox"/> Use of Environmentally Sensitive Land Credit <input type="checkbox"/> Wellhead Protection Area <input type="checkbox"/> Surface Water Resource Protection Area <input type="checkbox"/> Potable Water Wellfield Protection Area <input type="checkbox"/> Significant Wildlife Habitat <input type="checkbox"/> Coastal High Hazard Area <input type="checkbox"/> Urban/Suburban/Rural Scenic Corridor <input type="checkbox"/> Adjacent to ELAPP property <input type="checkbox"/> Other _____				
Public Facilities:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Transportation <input checked="" type="checkbox"/> Design Exc./Adm. Variance Requested <input type="checkbox"/> Off-site Improvements Provided	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	See Staff Report.
Service Area/ Water & Wastewater <input checked="" type="checkbox"/> Urban <input checked="" type="checkbox"/> City of Tampa <input type="checkbox"/> Rural <input type="checkbox"/> City of Temple Terrace	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Hillsborough County School Board Adequate <input checked="" type="checkbox"/> K-5 <input checked="" type="checkbox"/> 6-8 <input checked="" type="checkbox"/> 9-12 <input type="checkbox"/> N/A Inadequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Impact/Mobility Fees (Fee estimate is based on a 1,200 square foot, Multi-Family Units 1-2 story) Mobility: \$6,661 * 31 units = \$206,491 Parks: \$1,555 * 31 units = \$ 48,205 School: \$3,891 * 31 units = \$120,621 Fire: \$249 * 31 units = \$ 7,719 Total Multi-Family (1-2 story) = \$383,036				
Comprehensive Plan:	Comments Received	Findings	Conditions Requested	Additional Information/Comments
Planning Commission <input type="checkbox"/> Meets Locational Criteria <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Locational Criteria Waiver Requested <input checked="" type="checkbox"/> Minimum Density Met <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Inconsistent <input checked="" type="checkbox"/> Consistent	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

5.0 IMPLEMENTATION RECOMMENDATIONS

5.1 Compatibility

The approximate 2.59-acre property is comprised of two parcels zoned RDC-12 (Residential – Duplex Conventional) each with a single-family home. The subject property is located at 6212 & 6216 North Church Avenue. The applicant proposes a 31-unit multi-family project. The general area is developed with single-family and multi-family residential, religious institutions and commercial uses. The subject parcels are directly adjacent to religious institutions to the north and west zoned RDC-12 and single-family residential to the south and west zoned RDC-12. A vacant lot zoned CG (Commercial General), PD 80-0080 (Planned Development) and RDC-12 is located to the east across North Church Avenue. Further north and south on Church Avenue are multi-family apartments.

The applicant requests relief from the land development code section 6.01.01 to remove the additional setback of two feet for every one foot of structure height over 20 feet. Strictly adhering to this standard along with buffering and screening requirements would demand the applicant have a setback of 38 feet to the west and north, and 33 feet to the south which would severely limit the project area. Staff concurs with the applicant's justification for relief from this requirement.

The subject property is designated Residential-12 (R-12) on the Future Land Use map. The Planning Commission finds the proposed use consistent with the Comprehensive Plan. The surrounding uses are similar to the request; residential; which includes single-family, duplex, and multi-family. Therefore, the rezoning of the subject parcel from RDC-12 to PD with a multi-family use would be consistent with the existing zoning pattern of the area.

Based on the above considerations staff finds the requested PD zoning district compatible with the existing zoning and development pattern in the area.

5.2 Recommendation

Approval, subject to proposed conditions.

6.0 PROPOSED CONDITIONS

Requirements for Certification:

1. Building C Courtyards in buffer area to be removed

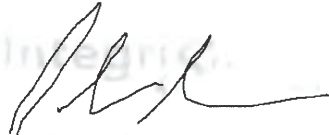
Approval - Approval of the request, subject to the conditions listed below, is based on the general site plan submitted December 27, 2022.

1. The project shall be limited to a maximum of 31 multi-family residential units.
2. Development shall be in compliance with the following:
Northern PD boundary minimum setback: 10 feet
Western PD boundary minimum setback: 20 feet
Eastern PD boundary minimum setback: 51.7 feet
Southern PD boundary minimum setback: 8.8 feet
Maximum building height: 33 feet 3 inches
3. A minimum 5-foot-wide buffer with Type A screening shall be provided along the southern and southwestern PD boundaries toward residential. A minimum 10-foot-wide buffer with Type A screening shall be provided along the northern and northwestern PD boundaries toward the church. A 6-foot-high opaque fence shall be utilized as the Type A screening, as depicted on the site plan.
4. Building, parking, and stormwater areas shall be developed where generally depicted on the site plan.
5. If PD 22-1499 is approved, the County Engineer will approve a Design Exception (dated December 22, 2022) which was found approvable by the County Engineer (on December 29, 2022) for Church Ave. substandard road improvements. As Church Ave. is a substandard local roadway, the developer shall make certain improvements to Church Ave. consistent with the Design Exception or as otherwise specified herein these conditions. Specifically, prior to or concurrent with the initial increment of development, the developer shall construct the following improvements along the project's Church Ave. frontage or as otherwise specified herein these conditions:
 - a. The developer shall construct 5-foot sidewalk on the west side of Church Avenue along the property and build +/- 170 additional feet of sidewalk south to connect to the existing sidewalk on the west side of Church Ave.
 - b. The developer shall design, fund, and build one pedestrian mid-block crossing per Hillsborough County Standards. The design, location, installation timing, and appropriateness of the midblock crossing to be reviewed and approved by Public Works.
6. Notwithstanding anything herein these conditions or on the PD site plan to the contrary, bicycle and pedestrian access may be permitted anywhere along the project boundaries.
7. In accordance with LDC Section 5.03.07.C, the certified PD general site plan shall expire for the internal transportation network and external access points, as well as for any conditions related to the internal transportation network and external access points, if site construction plans, or equivalent thereof, have not been approved for all or part of the subject Planned Development within 5 years of the effective date of the PD unless an extension is granted as provided in the LDC. Upon expiration, re-certification of the PD General

Site Plan shall be required in accordance with provisions set forth in LDC Section 5.03.07.C.

- 8. If the notes and/or graphics on the site plan are in conflict with specific zoning conditions and/or the LDC regulations, the more restrictive regulation shall apply, unless specifically conditioned otherwise. References to development standards of the LDC in the above stated conditions shall be interpreted as the regulations in effect at the time of preliminary site plan/plat approval.

Zoning Administrator Sign Off:



J. Brian Grady
Tue Jan 17 2023 09:59:16

SITE, SUBDIVISION AND BUILDING CONSTRUCTION IN ACCORDANCE WITH HILLSBOROUGH COUNTY SITE DEVELOPMENT PLAN & BUILDING REVIEW AND APPROVAL.

Approval of this re-zoning petition by Hillsborough County does not constitute a guarantee that the project will receive approvals/permits necessary for site development as proposed will be issued, nor does it imply that other required permits needed for site development or building construction are being waived or otherwise approved. The project will be required to comply with the Site Development Plan Review approval process in addition to obtain all necessary building permits for on-site structures.

APPLICATION NUMBER: PD 22-1499

ZHM HEARING DATE: January 17, 2023

BOCC LUM MEETING DATE: March 7, 2023

Case Reviewer: Chris Grandlienard, AICP

7.0 ADDITIONAL INFORMATION AND/OR GRAPHICS

None.

8.0 PROPOSED SITE PLAN (FULL)

22

NORTH CHURCH APARTMENTS PLANNED DEVELOPMENT (PD) GENERAL SITE PLAN FOR MULTI-FAMILY RESIDENTIAL

Received December 1, 2022
 Development Service

EXHIBIT C

LEGAL DESCRIPTION

SECTION 32 TOWNSHIP 28 S RANGE 12 E

PROJECT DATA TABLE

NO.	DESCRIPTION	DATE
1	DECLARATION OF SUBDIVISION	10/15/22
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100	DECLARATION OF SUBDIVISION	10/15/22

LEGEND

OWNER CONTACT

DEVELOPMENT TEAM

9.0 FULL TRANSPORTATION REPORT (see following pages)

AGENCY REVIEW COMMENT SHEET

TO: Zoning Technician, Development Services Department DATE: 01/06/2023
REVIEWER: Alex Steady, Senior Planner AGENCY/DEPT: Transportation
PLANNING AREA/SECTOR: Egypt Lake Northwest PETITION NO: PD 22-1499

- This agency has no comments.
- This agency has no objection.
- This agency has no objection, subject to the listed or attached conditions.
- This agency objects for the reasons set forth below.

CONDITIONS OF APPROVAL

- If PD 22-1499 is approved, the County Engineer will approve a Design Exception (dated December 22, 2022) which was found approvable by the County Engineer (on December 29, 2022) for Church Ave. substandard road improvements. As Church Ave. is a substandard local roadway, the developer shall make certain improvements to Church Ave. consistent with the Design Exception or as otherwise specified herein these conditions. Specifically, prior to or concurrent with the initial increment of development, the developer shall construct the following improvements along the project's Church Ave. frontage or as otherwise specified herein these conditions:
 - The developer shall construct 5-foot sidewalk on the west side of Church Avenue along the property and build +/- 170 additional feet of sidewalk south to connect to the existing sidewalk on the west side of Church Ave.
 - The developer shall design, fund, and build one pedestrian mid-block crossing per Hillsborough County Standards. The design, location, installation timing, and appropriateness of the midblock crossing to be reviewed and approved by Public Works.
- Notwithstanding anything herein these conditions or on the PD site plan to the contrary, bicycle and pedestrian access may be permitted anywhere along the project boundaries.

PROJECT SUMMARY AND ANALYSIS

The applicant is requesting to rezone two parcels totaling +/- 2.59 acres from Residential Duplex Conventional - 12 (RDC-12) to Planned Development (PD). The proposed Planned Development is seeking entitlements for 31 Multifamily Dwelling Units. The site is generally located on the west side of Church Ave, +/- 525 feet south of the intersection of Pine Crest Manor Blvd and Church Ave. The Future Land Use designation of the site is Residential - 12 (R-12).

Trip Generation Analysis

As required by the Development Review Procedures Manual (DRPM), the applicant submitted a trip generation for the proposed project indicating the proposed project will generate less than 50 peak hour trips and as such a detailed traffic study was not required. Staff has prepared a comparison of the trips potentially generated under the existing and proposed zoning designations, utilizing a generalized worst-case scenario. The information below is based on data from the Institute of Transportation Engineer's Trip Generation Manual, 10th Edition.

Approved Zoning:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
RDC-12, 31 Single Family Dwelling Units (ITE code 210)	293	23	31

Proposed Zoning:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
PD, 31 Multi Family Dwelling Units (ITE code 220)	227	14	17

Trip Generation Difference:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
Difference	-66	-9	-14

The proposed rezoning would result in a decrease of trips potentially generated by development of the subject site by 66 average daily trips, 9 trips in the a.m. peak hour, and 14 trips in the p.m. peak hour.

TRANSPORTATION INFRASTRUCTURE SERVING THE SITE

The subject property has frontage on Church Avenue. Church Avenue is 2-lane, substandard, Hillsborough County maintained, local roadway, characterized by +/-10 ft. travel lanes. Church Ave lies within +/-76 ft of Right of way. There is a sidewalk on the eastern side of Church Avenue but no sidewalk on the western side in the vicinity of the proposed project.

DESIGN EXCEPTION, SUBSTANDARD ROAD – CHURCH AVE.

Given that Church Ave. is a substandard local roadway, the applicant's Engineer of Record (EOR) submitted a Design Exception (DE) request (on December 22, 2022) for Church Ave. to determine the specific improvements that would be required by the County Engineer. Based on factors presented within the Design Exception request, the County Engineer found the DE approvable (on December 29, 2022). The deviations from the TS-7 Typical Section (2-Lane Undivided, Local and Collector Rural Roadways), include:

- The developer shall be permitted to utilize the existing 10 to 11-foot travel lanes in lieu of the 12-foot wide travel lanes typically required by the Hillsborough County Transportation Technical Manual (TTM) TS-7;
- The developer shall construct 5-foot sidewalk on the west side of Church Avenue along the property and build +/- 170 additional feet of sidewalk south to connect to the existing sidewalk on the west side of Church Ave.
- The developer shall design, fund, and build one pedestrian mid-block crossing per Hillsborough County Standards. The design, location, and installation timing of the midblock crossing to be reviewed and approved by Public Works.

APPLICATION NUMBER: PD 22-1499

ZHM HEARING DATE: January 17, 2023

BOCC LUM MEETING DATE: March 7, 2023

Case Reviewer: Chris Grandlienard, AICP

SITE ACCESS

The project is proposing a full access connection on Church Ave. Vehicular and Pedestrian cross access is not required per section 6.04.03.Q of the Hillsborough County Land Development Code.

ROADWAY LEVEL OF SERVICE (LOS)

Church Ave is not a regulated roadway and as such was not included in the Level of Service Report.

Northside

Engineering Inc.

Civil
Land Planning
Due Diligence Reports
Re-Zoning, Land Use, Annexation
Stormwater Management
Utility Design
Traffic
Construction Administration

Project: North Church Apartments
Date: December 22nd, 2022

To: Michael J. Williams, P.E.
Development Review Director
County Engineer
Hillsborough County
601 East Kennedy Boulevard
Tampa, FL 33602

Re: North Church Avenue Design Exception – Modified TS-7 Typical Section
Folio # 29194.0000
Zoning Case # RZ PD 22-1499

The purpose of this letter is to provide justification for the request for a Design Exception to Section 1.7 of the Hillsborough County Transportation Technical Manual (TTM), to meet the requirements of Section 6.04.03.L of the Land Development Code (LDC). The request stems from the current application to rezone a ±2.59 acre tract located at 6212 and 6216 N. Church Avenue, from Residential, Duplex Conventional (RDC-12) to Planned Development (PD) to allow the development of up to 31 multi-family dwelling units.

The project proposes to have one (1) full-access connection to N. Church Avenue. N. Church Avenue is a two-lane, local roadway with a posted speed of 30 miles per hour (mph). Within the existing 65 feet of right-of-way, there are currently 10 to 11-foot travel lanes, a 5-foot sidewalk on the east side of the roadway, and approximately 5 to 10 feet of open drainage ditch on the east side of the roadway.

As indicated in the Trip Generation Memorandum, submitted as part of the initial application package for PD 22-1499, the development is anticipated to generate fewer than fifty (50) peak-hour trips.

Due to existing right-of-way constraints including the wide ditch on the east side of the roadway, the proposed improvements to the western portion of N. Church Avenue adjacent to the property include the following modifications to the TS-7 Typical Section:

TS-7 requires 12-foot travel lanes, 5-foot paved shoulders, 5-foot sidewalk, and open drainage within a minimum right-of-way of 96 feet.

The request is to maintain the existing 10 to 11-foot travel lanes, 5-foot sidewalks (existing and proposed), and open drainage within the existing right-of-way of 65 feet.

Exhibit A illustrates the proposed cross section adjacent to the project site as a modification of **Exhibit B** (TS-7). **Exhibit C** provides a plan view of a proposed 5-foot sidewalk on the west side of the roadway adjacent to the project as well as an additional 170-feet of sidewalk on the west side of the roadway south of the project to connect to an existing sidewalk. In addition, the developer is committed to design, fund, and build one (1) pedestrian mid-block crossing per Hillsborough County standards and

specifications. The design, location, and installation timing of the mid-block crossing to be reviewed and approved by the Public Works Department during permitting.

The pedestrian mid-block crossing will be a pedestrian amenity that connects the western side of N. Church Avenue to the existing sidewalk on the eastern side of the roadway. The existing sidewalk extends from Pine Crest Manor Boulevard to the north to Henry Avenue to the south.

Based on the information above, it is anticipated that the proposed improvements to N. Church Avenue will improve the pedestrian experience along the local roadway and meet the intent of the Transportation Technical Manual to the extent feasible.

Please reach out if there are any further questions or you need clarification.

Respectfully,



Digitally signed by Daniel E Shockey
DN: C=US, O=Florida,
dnQualifier=A01410D0000017C6029C9
EC00016FEB, CN=Daniel E Shockey
Reason: I am the author of this document
Location: 300 South Belcher Road,
Clearwater, FL., 33765
Date: 2022.12.22 15:13:33-05'00'
Foxit PDF Editor Version: 11.2.3

Daniel E. Shockey, P.E.
727-443-2869
daniel@northsideengineering.net

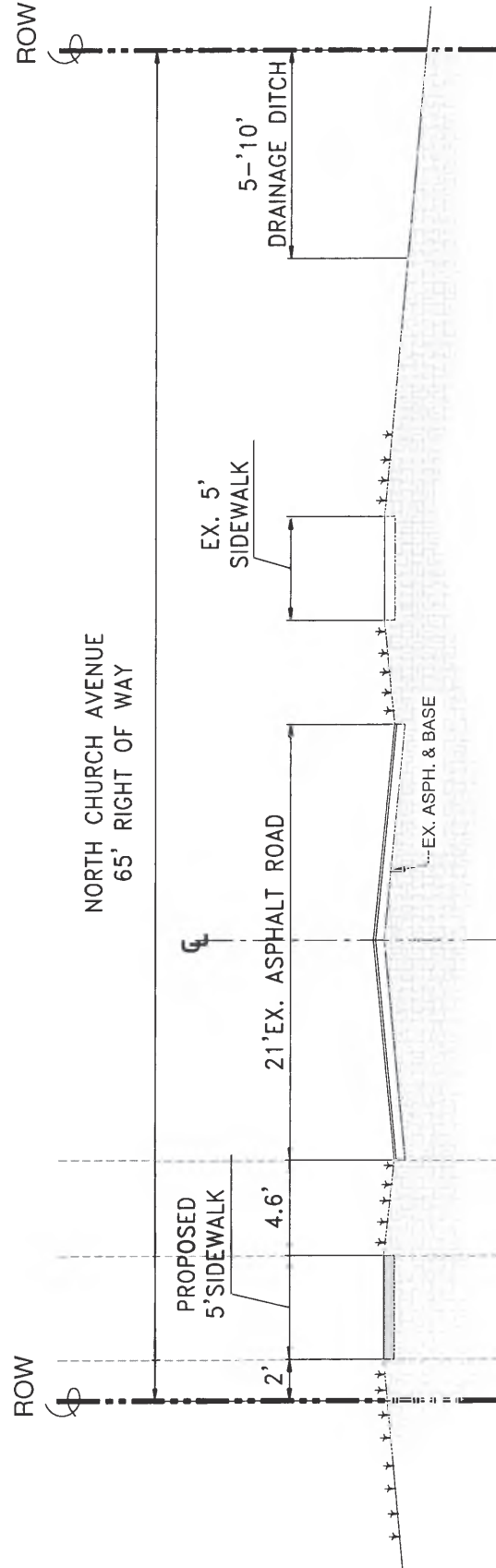
Based on the information provided by the applicant, this request is:

_____ Disapproved
_____ Approved
_____ Approved with Conditions

Exhibits:

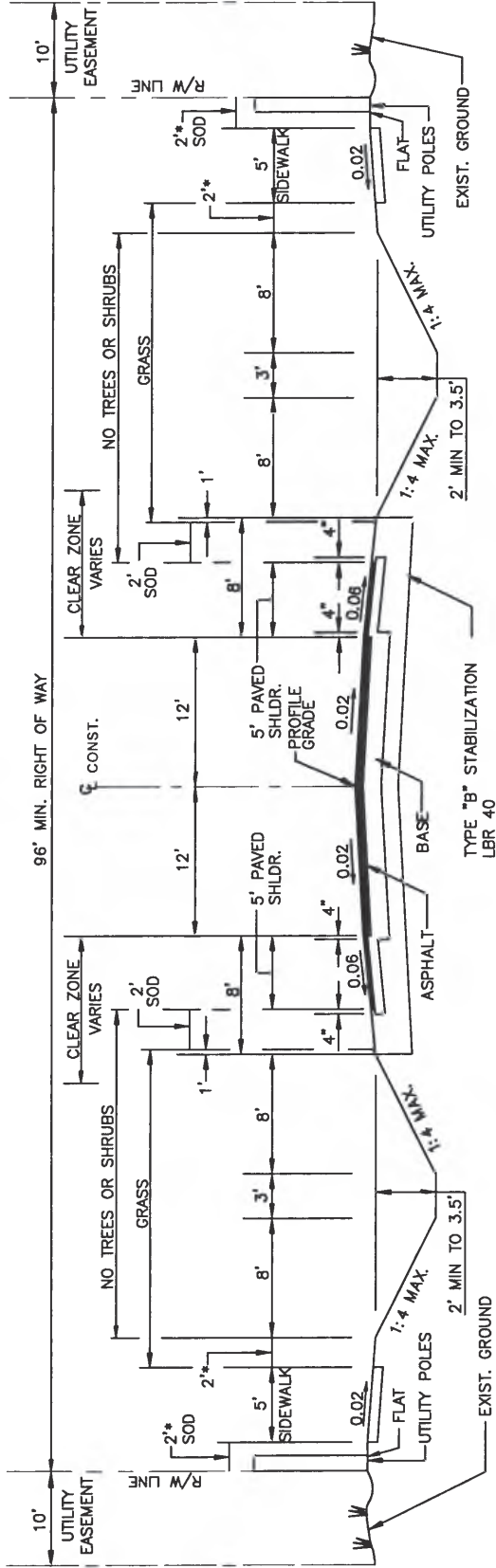
- A. Proposed Typical Section
- B. TTM TS-7
- C. Zoning Site Pan with Plan View of Additional Sidewalk South of Property

EXHIBIT A



**TYPICAL ROAD SECTION -
65' RIGHT-OF-WAY**

EXHIBIT B



TYPICAL SECTION

N.T.S.

FOR LESS THAN 10,000 AADT

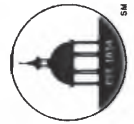
MAX. ALLOWABLE DESIGN SPEED - 50 MPH

1. ALL DIMENSIONS SHOWN ARE MINIMUM.
2. SEE APPROPRIATE SECTIONS OF TECHNICAL MANUAL FOR DESIGN PARAMETERS.
- * 3. PROVIDE 2' MINIMUM CLEARANCE FROM FENCES, WALLS, HEDGES, ABOVEGROUND UTILITIES OR IMPROVEMENTS, DROP OFFS, OR FROM THE TOPS OF BANKS WITH SLOPES STEEPER THAN 1 TO 4, THAT INTERFERE WITH THE SAFE, FUNCTIONAL USE OF THE SIDEWALK. INTERMITTENT ABOVEGROUND UTILITIES, OR MATURE TREES, 2' OR LESS IN DIAMETER MAY BE PLACED IN THIS 2' STRIP AS FAR FROM THE SIDEWALK AS POSSIBLE, IF NOT IN THE CLEAR ZONE.
4. SOD SHALL BE PLACED IN TWO ROWS STAGGERED. (BOTH TEMPORARY AND PERMANENT)
5. PAVED SHOULDER TO BE STRIPED AS A DESIGNATED BIKE LANE, AS APPROPRIATE.

REVISION DATE:

10/17

**TRANSPORTATION
TECHNICAL
MANUAL**



**Hillsborough
County Florida**

**LOCAL & COLLECTOR RURAL ROADS
(2 LANE UNDIVIDED)
TYPICAL SECTION**

DRAWING NO. TS-7

SHEET NO. 1 OF 1

Northside
 Engineering, Inc.
 200 South Boulevard, Suite 100
 Fort Lauderdale, FL 33304
 Phone: (954) 571-1111
 Fax: (954) 571-1112
 Email: info@northsideeng.com

PROJECT #	ISSUE DATE	REVISIONS
2229	12/21/22	
1		ISSUE
2		REVISED
3		REVISED
4		REVISED
5		REVISED
6		REVISED
7		REVISED
8		REVISED
9		REVISED
10		REVISED
11		REVISED
12		REVISED
13		REVISED
14		REVISED
15		REVISED
16		REVISED
17		REVISED
18		REVISED
19		REVISED
20		REVISED

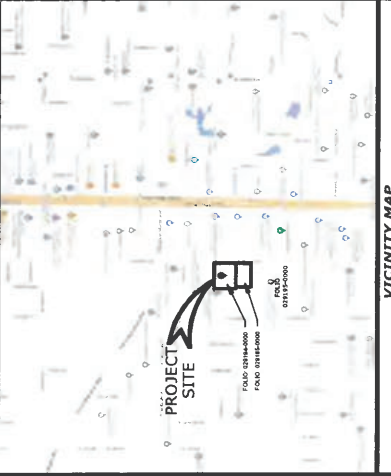
GENERAL DEVELOPMENT PLAN (P)
 NORTH CHURCH APARTMENTS
 1000 NORTH CHURCH AVENUE
 FORT LAUDERDALE, FL 33304

Northside
 Engineering, Inc.

NORTH
 SCALE 1"=30'
 0 10 20 30 40

NORTH CHURCH APARTMENTS PLANNED DEVELOPMENT (PD) GENERAL SITE PLAN FOR MULTI-FAMILY RESIDENTIAL

LEGAL DESCRIPTION
 LEGAL DESCRIPTION: THAT CERTAIN PARCELS OF LAND, TO-WIT: PARCELS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.



PROJECT DATA TABLE
 SECTION 23 - TOWNSHIP 28 S - RANGE 18 E
 PROPERTY: PD 020115-00000 CONTAINS 1.37 ACRES MORE OR LESS GROSS ACREAGE 2.39 ACRES
 EXISTING ZONING: PD-R-3
 EXISTING USE: DWELLING, SINGLE-FAMILY
 PROPOSED ZONING: PD-R-3
 PROPOSED USE: DWELLING, MULTI-FAMILY
 PROPOSED SUBDIVISION: 130 UNITS S.F., 239 ACRES
 PROPOSED DENSITY: 127 UNITS PER ACRE
 BUILDING FOOTPRINTS: 17' (5' MIN. TYPE 'A' BUFFER) 17' (5' MIN. TYPE 'A' BUFFER) 20' (5' MIN. TYPE 'A' BUFFER) 20' (5' MIN. TYPE 'A' BUFFER) 20' (5' MIN. TYPE 'A' BUFFER)
 BUILDING HEIGHT: 33'-0"
 MINIMUM LOT AREA: 2,000 S.F.
 MAX. BUILDING COVERAGE: 35%
 MAX. BUILDING SETBACK: 10' (5' MIN. TYPE 'A' BUFFER)
 HYPERVIOUS SURFACE RATIO (S.R.): 85.14 S.F. (60.0)
 HYPERVIOUS SURFACE RATIO (S.R.): 85.14 S.F. (60.0)
 COMMUNITY S.F. & S.D. GROSS SITE: 44,483 S.F. (83.7%)
 COMMUNITY S.F. & S.D. GROSS SITE: 44,483 S.F. (83.7%)
 OVERLAY DISTRICT: NONE
 SCENIC CORRIDOR: NONE
 REQUIRED PARKING: PD SECTION 6.05.00
 LOC SECTION 6.05.00

GENERAL NOTES:
 1. ALL EXISTING UTILITIES SHALL BE PROTECTED AND SHALL REMAIN IN PLACE UNLESS OTHERWISE INDICATED.
 2. NO HISTORIC LANDMARKS ARE LOCATED ON THE PROPERTY.
 3. ADJACENT PLATTED SUBDIVISIONS IF ANY ARE SHOWN ON THE PLAN.
 4. ALL PUBLIC PARK LOTS OR PUBLIC SCHOOL SITES ARE PROPOSED OR SHOWN.
 5. POSITIVE RECREATIONAL AREAS ARE PROPOSED AND CONCEPTUALLY SHOWN.
 6. ALL EXISTING UTILITIES SHALL BE PROTECTED AND SHALL REMAIN IN PLACE UNLESS OTHERWISE INDICATED.
 7. NO ACCESS FOR WATERWAY TRAFFIC IS PROVIDED OR SHOWN.
 8. ALL EXISTING UTILITIES SHALL BE PROTECTED AND SHALL REMAIN IN PLACE UNLESS OTHERWISE INDICATED.
 9. ALL EXISTING UTILITIES SHALL BE PROTECTED AND SHALL REMAIN IN PLACE UNLESS OTHERWISE INDICATED.
 10. THE SITE WILL NOT VIOLATE POLICY 7.2 OF THE COMPREHENSIVE PLAN TO GLE.
 11. THE SITE WILL NOT VIOLATE POLICY 7.2 OF THE COMPREHENSIVE PLAN TO GLE.
 12. SIGNAGE SHALL BE PROVIDED IN ACCORDANCE WITH THE HILLSBOROUGH COUNTY LAND DEVELOPMENT CODE.
 13. THE SITE SHALL BE PROVIDED WITH PRIVATE ROADWAY.
 14. THE TYPE OF PAVEMENT FOR PRIVATE ROADWAY SHALL BE ASPHALT & BRICK PAVERS.
 15. TYPE OF PAVEMENT FOR PRIVATE ROADWAY SHALL BE ASPHALT & BRICK PAVERS.

OWNER CONTACT
 SHUTEY TRIM LLC
 425 OCEAN DRIVE
 FORT LAUDERDALE, FL 33304-3241
 (954) 571-1111

DEVELOPMENT TEAM
 ENGINEER: NORTHSIDE ENGINEERING, INC.
 200 SOUTH BOULEVARD, SUITE 100
 FORT LAUDERDALE, FL 33304
 (954) 571-1111
 ARCHITECT: ARCHITECTS & ASSOCIATES
 600 SOUTH WALKER BOULEVARD, SUITE 1100
 FORT LAUDERDALE, FL 33304
 (954) 571-1111

LEGEND

- PD (OR) BOUNDARY
- PROPERTY LINE
- PROPOSED BUILDING
- PROPOSED ASPH. (TYP.)
- PROPOSED CONC. (TYP.)
- PROPOSED BRICK PAVERS (TYP.)

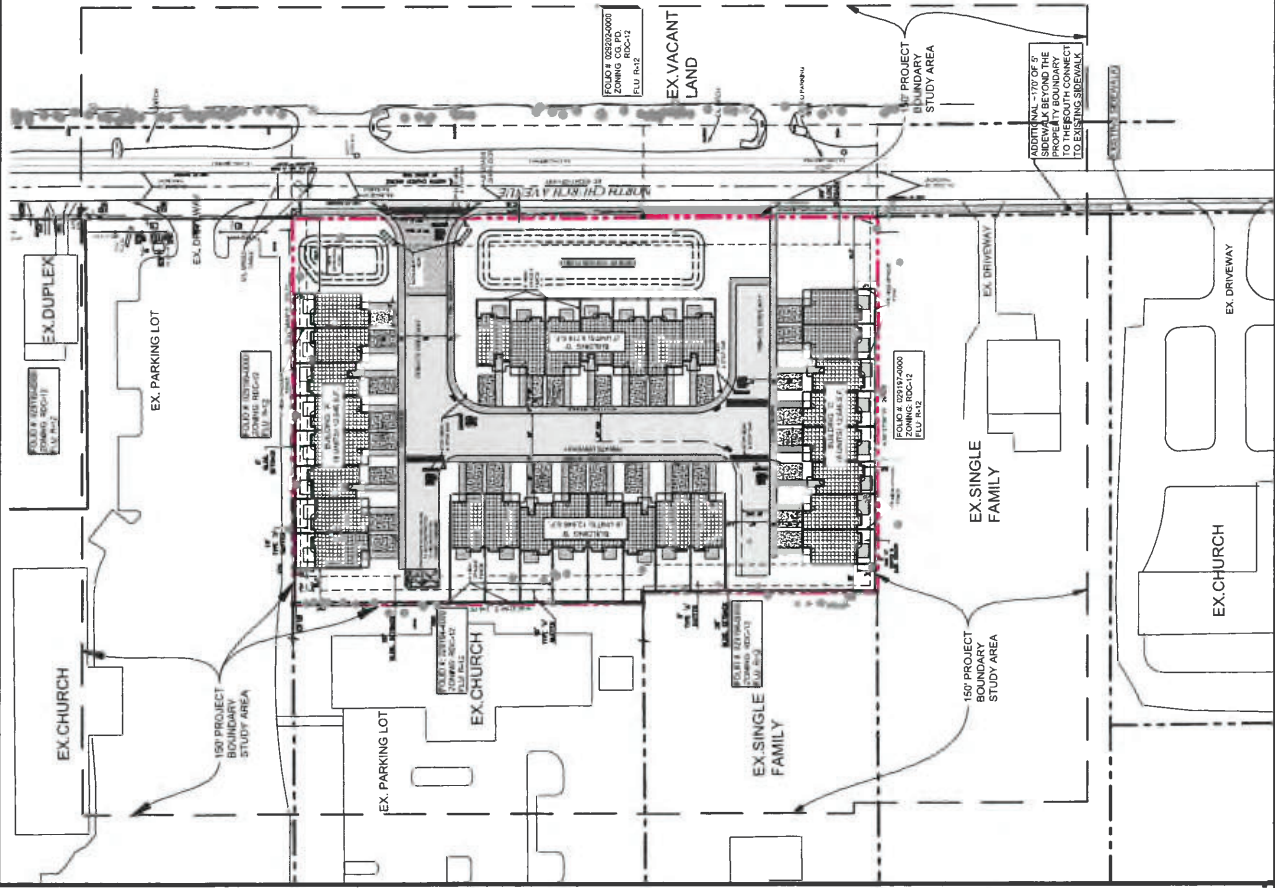


EXHIBIT C

Rezoning Application: PD 22-1499

Zoning Hearing Master Date: January 17, 2023

BOCC Land Use Meeting Date: March 7, 2023



Hillsborough County Florida

Development Services Department

1.0 APPLICATION SUMMARY

Applicant: Shrute Fern, LLC

FLU Category: RES-12

Service Area: Urban

Site Acreage: 2.59

Community Plan Area: None

Overlay: None



Introduction Summary:

The applicant seeks to rezone two parcels from RDC-12 (Residential – Duplex Conventional) to PD (Planned Development) to allow the development of a 31-unit multi-family project.

Zoning:	Existing	Proposed
District(s)	RDC-12	PD 22-1499
Typical General Use(s)	Single-Family and Two-Family (Conventional)	Multi-Family Residential
Acreage	2.59	2.59
Density/Intensity	12 du/gross acre	12 du/gross acre
Mathematical Maximum*	31 units	31 units

*number represents a pre-development approximation

Development Standards:	Existing	Proposed
District(s)	RDC-12	PD 22-1499
Lot Size / Lot Width	3,500 sf / 40'	N/A
Setbacks/Buffering and Screening	20' Front 20' Rear 5' Sides	51.7' East Front 20' West Rear 10' North Side 8.8' South Side 10'/Type A buffering and screening along north 10'/Type A buffering and screening along northwest 5'/Type A buffering and screening along southwest 5'/Type A buffering and screening along south
Height	35'	33'-3"

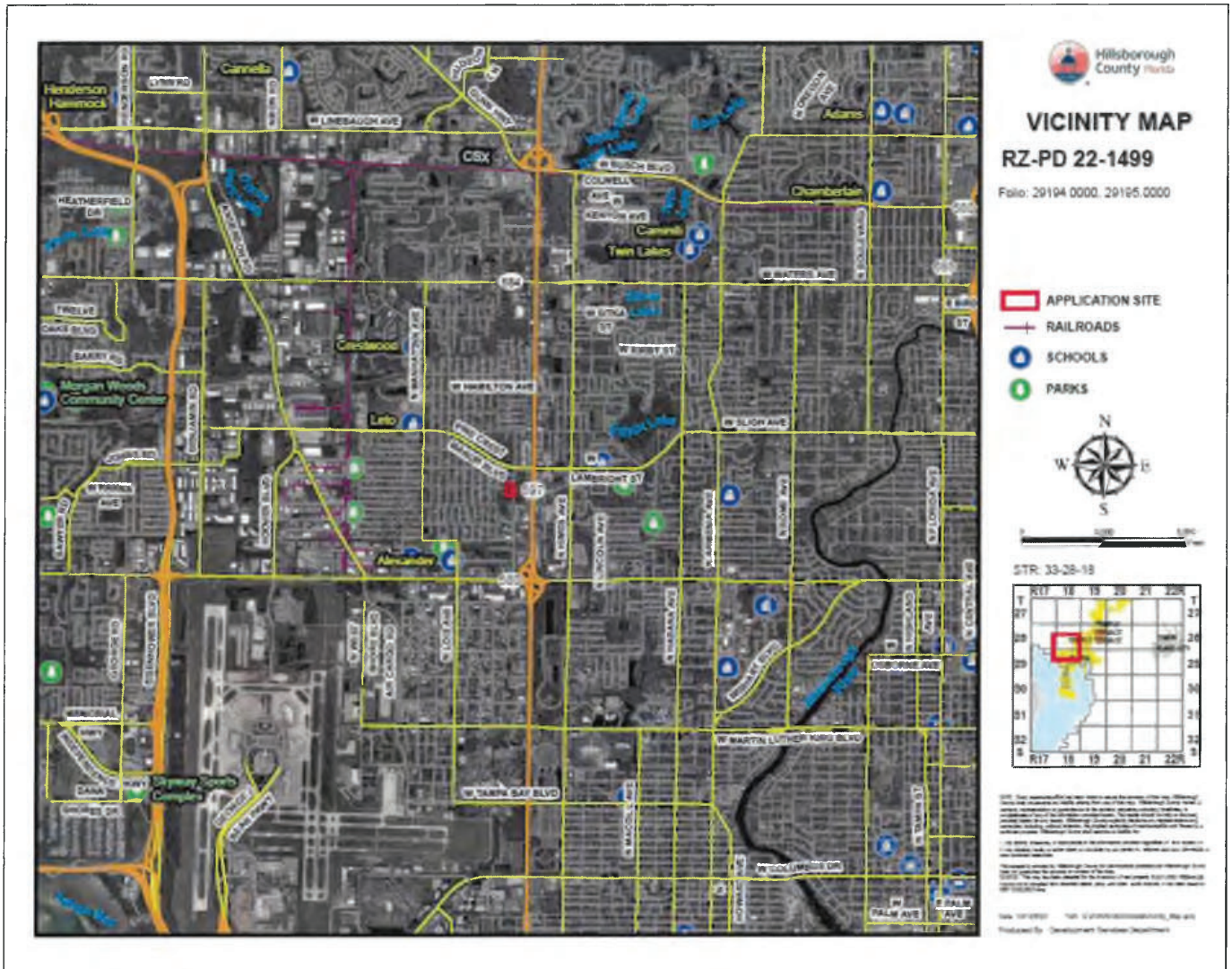
Additional Information:

PD Variation(s)	None requested as part of this application
Waiver(s) to the Land Development Code	6.01.01:additional 2 foot setback for each foot of structure height of 20ft

Planning Commission Recommendation: Consistent	Development Services Recommendation: Approvable, subject to proposed conditions
--	---

2.0 LAND USE MAP SET AND SUMMARY DATA

2.1 Vicinity Map

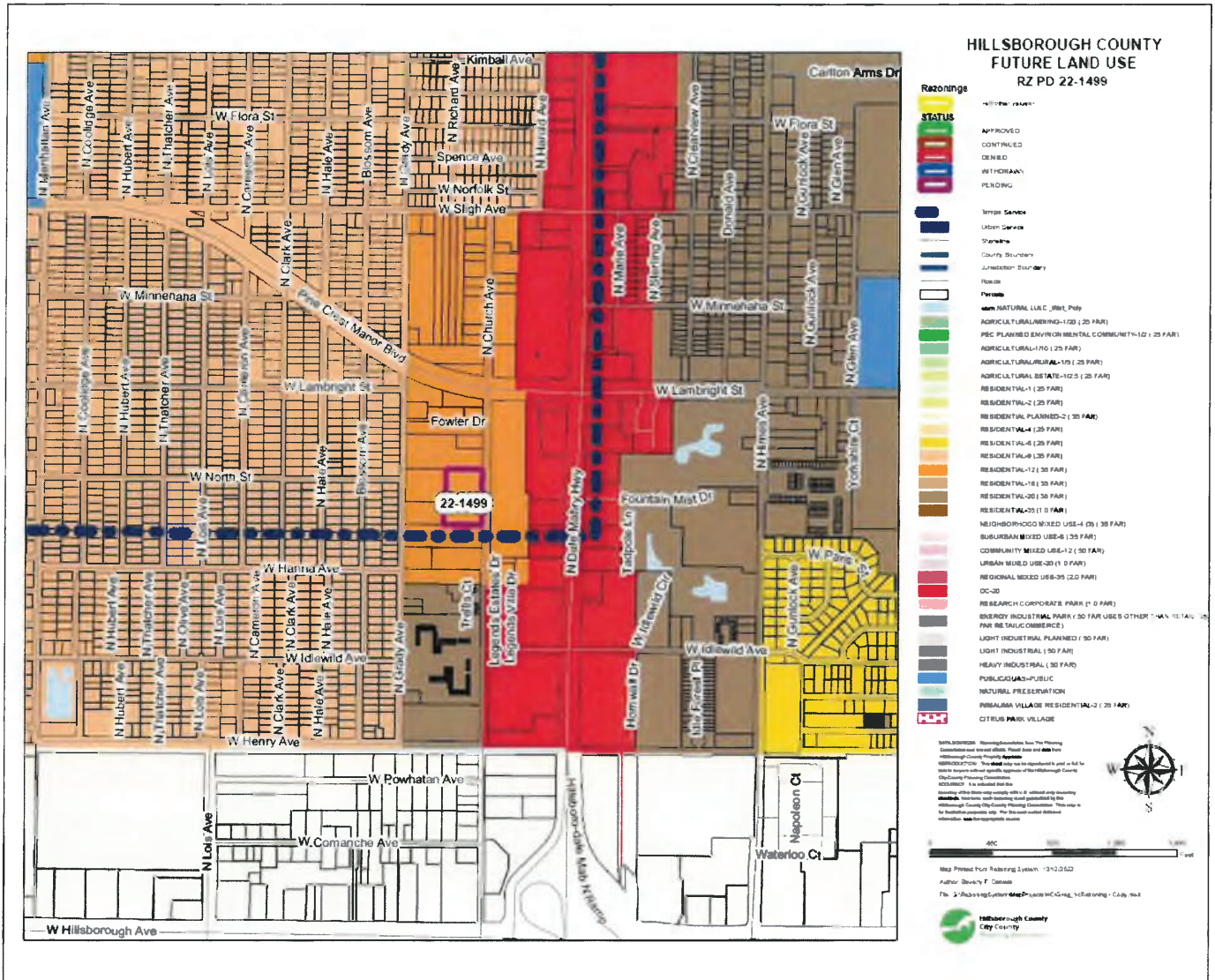


Context of Surrounding Area:

The site is located at 6212 & 6216 North Church Avenue. The general area is developed with residential (single-family and multi-family), religious institutions and commercial uses.

2.0 LAND USE MAP SET AND SUMMARY DATA

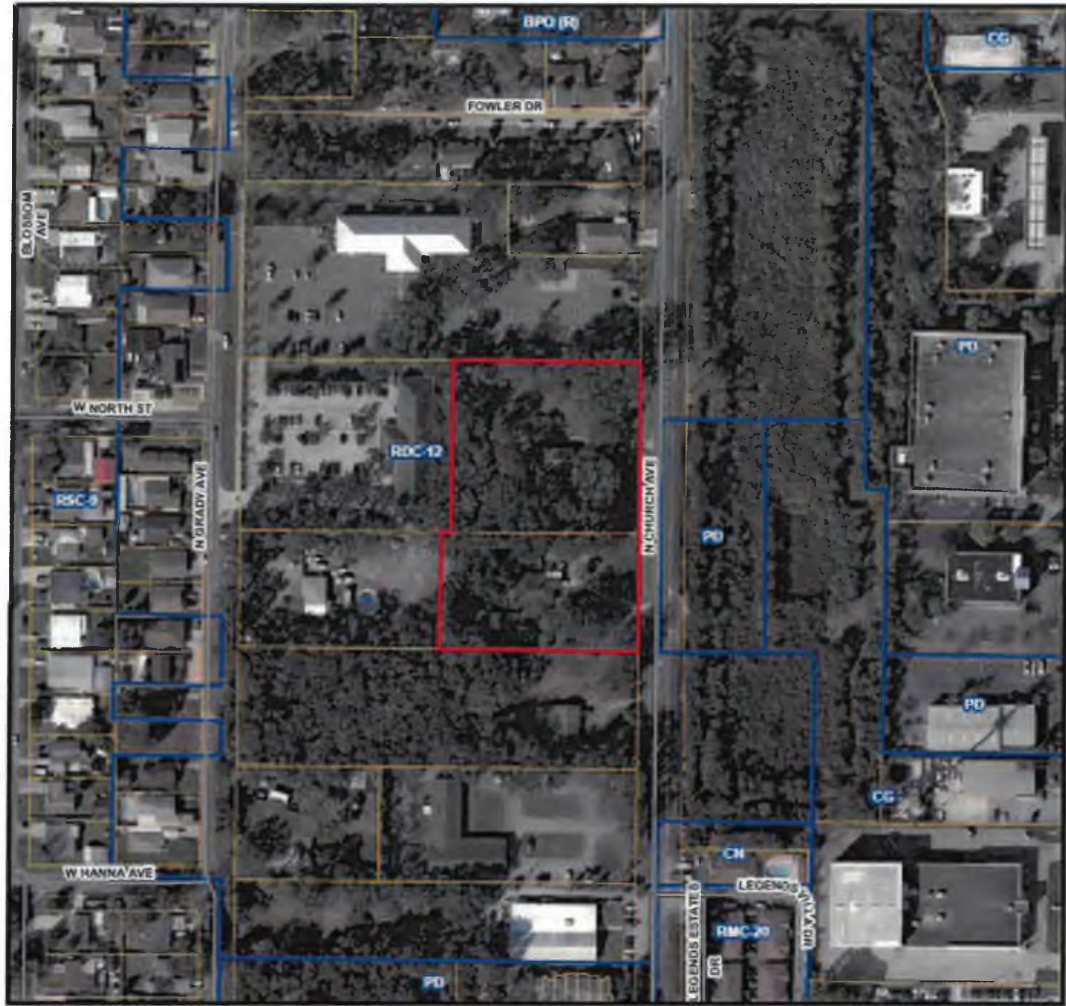
2.2 Future Land Use Map



Subject Site Future Land Use Category:	Residential - 12 (RES-12)
Maximum Density/F.A.R.:	12.0 dwelling units/.50 F.A.R.
Typical Uses:	Residential, urban scale neighborhood commercial, office uses, multi-purpose projects and mixed-use development. Non-residential uses shall meet established locational criteria for specific land use.

2.0 LAND USE MAP SET AND SUMMARY DATA

2.3 Immediate Area Map



Hillsborough County Florida

ZONING MAP
RZ-PD 22-1499
 Folio: 29194.0000, 29195.0000

LEGEND

- APPLICATION SITE
- ZONING BOUNDARY
- PARCELS
- SCHOOLS
- PARKS

STR: 33-28-18

Notes: Applicant shall be responsible to update the accuracy of this map. Hillsborough County is not responsible for any errors or omissions in this map. Hillsborough County does not warrant the accuracy of any information presented herein. This map is for informational purposes only and should not be used as a basis for any legal action. Hillsborough County is not responsible for any errors or omissions in this map. Hillsborough County does not warrant the accuracy of any information presented herein. This map is for informational purposes only and should not be used as a basis for any legal action.

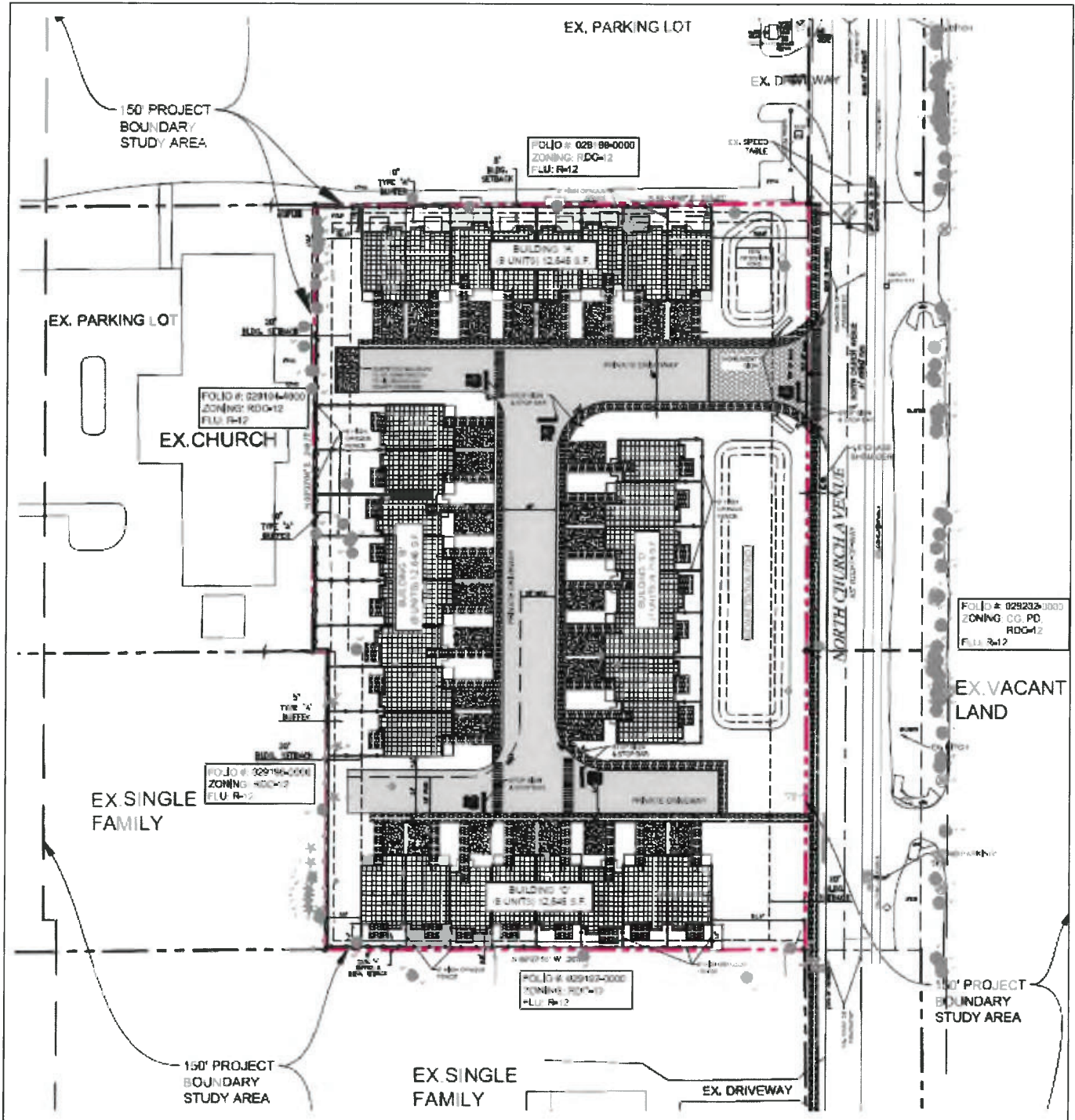
Date: 10/13/2022 File: S:\ZONING\GIS\Drawings_Map.mxd
 Produced By: Development Services Department

Adjacent Zonings and Uses

Location:	Zoning:	Maximum Density/F.A.R. Permitted by Zoning District:	Allowable Use:	Existing Use:
North	RDC-12	12 du/gross acre	Single-Family and Two-Family (Conventional)	Churches
South	RDC-12	12 du/gross acre	Single-Family and Two-Family (Conventional)	Single-Family Residential
East	CG, PD 80-0080, RDC-12	CG: 0.27 F.A.R. PD: Per PD 80-0080 RDC-12: 12 du/gross acre	CG: General Commercial PD: Various RDC-12: Single-Family and Two-Family	Vacant
West	RDC-12	12 du/gross acre	Single-Family and Two-Family (Conventional)	Single-Family Residential, Church

2.0 LAND USE MAP SET AND SUMMARY DATA

2.4 Proposed Site Plan (partial provided below for size and orientation purposes. See Section 8.0 for full site plan)



APPLICATION NUMBER: PD 22-1499

ZHM HEARING DATE: January 17, 2023

3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)

Adjoining Roadways (check if applicable)

Road Name	Classification	Current Conditions	Select Future Improvements
Church Avenue	County Local - Urban	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other

Project Trip Generation Not applicable for this request

	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	293	23	31
Proposed	227	14	17
Difference (+/-)	-66	-9	-14

*Trips reported are based on net new external trips unless otherwise noted.

Connectivity and Cross Access Not applicable for this request

Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North		None	None	Meets LDC
South		None	None	Meets LDC
East	X	Pedestrian	None	Meets LDC
West		None	None	Meets LDC

Notes:

Design Exception/Administrative Variance Not applicable for this request

Road Name/Nature of Request	Type	Finding
Church Avenue/ Substandard Road	Administrative Variance Requested	Approvable
	Choose an item.	Choose an item.

Notes:

4.0 ADDITIONAL SITE INFORMATION & AGENCY COMMENTS SUMMARY

INFORMATION/REVIEWING AGENCY				
Environmental:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Environmental Protection Commission	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	No wetlands present
Natural Resources	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Conservation & Environ. Lands Mgmt.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Check if Applicable: <input type="checkbox"/> Wetlands/Other Surface Waters <input type="checkbox"/> Use of Environmentally Sensitive Land Credit <input type="checkbox"/> Wellhead Protection Area <input type="checkbox"/> Surface Water Resource Protection Area <input type="checkbox"/> Potable Water Wellfield Protection Area <input type="checkbox"/> Significant Wildlife Habitat <input type="checkbox"/> Coastal High Hazard Area <input type="checkbox"/> Urban/Suburban/Rural Scenic Corridor <input type="checkbox"/> Adjacent to ELAPP property <input type="checkbox"/> Other _____				
Public Facilities:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Transportation <input checked="" type="checkbox"/> Design Exc./Adm. Variance Requested <input type="checkbox"/> Off-site Improvements Provided	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	See Staff Report.
Service Area/ Water & Wastewater <input checked="" type="checkbox"/> Urban <input checked="" type="checkbox"/> City of Tampa <input type="checkbox"/> Rural <input type="checkbox"/> City of Temple Terrace	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Hillsborough County School Board Adequate <input checked="" type="checkbox"/> K-5 <input checked="" type="checkbox"/> 6-8 <input checked="" type="checkbox"/> 9-12 <input type="checkbox"/> N/A Inadequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Impact/Mobility Fees (Fee estimate is based on a 1,200 square foot, Multi-Family Units 1-2 story) Mobility: \$6,661 * 31 units = \$206,491 Parks: \$1,555 * 31 units = \$ 48,205 School: \$3,891 * 31 units = \$120,621 Fire: \$249 * 31 units = \$ 7,719 Total Multi-Family (1-2 story) = \$383,036				
Comprehensive Plan:	Comments Received	Findings	Conditions Requested	Additional Information/Comments
Planning Commission <input type="checkbox"/> Meets Locational Criteria <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Locational Criteria Waiver Requested <input checked="" type="checkbox"/> Minimum Density Met <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Inconsistent <input checked="" type="checkbox"/> Consistent	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

5.0 IMPLEMENTATION RECOMMENDATIONS

5.1 Compatibility

The approximate 2.59-acre property is comprised of two parcels zoned RDC-12 (Residential – Duplex Conventional) each with a single-family home. The subject property is located at 6212 & 6216 North Church Avenue. The applicant proposes a 31-unit multi-family project. The general area is developed with single-family and multi-family residential, religious institutions and commercial uses. The subject parcels are directly adjacent to religious institutions to the north and west zoned RDC-12 and single-family residential to the south and west zoned RDC-12. A vacant lot zoned CG (Commercial General), PD 80-0080 (Planned Development) and RDC-12 is located to the east across North Church Avenue. Further north and south on Church Avenue are multi-family apartments.

The applicant requests relief from the land development code section 6.01.01 to remove the additional setback of two feet for every one foot of structure height over 20 feet. Strictly adhering to this standard along with buffering and screening requirements would demand the applicant have a setback of 38 feet to the west and north, and 33 feet to the south which would severely limit the project area. Staff concurs with the applicant's justification for relief from this requirement.

The subject property is designated Residential-12 (R-12) on the Future Land Use map. The Planning Commission finds the proposed use consistent with the Comprehensive Plan. The surrounding uses are similar to the request; residential; which includes single-family, duplex, and multi-family. Therefore, the rezoning of the subject parcel from RDC-12 to PD with a multi-family use would be consistent with the existing zoning pattern of the area.

Based on the above considerations staff finds the requested PD zoning district compatible with the existing zoning and development pattern in the area.

5.2 Recommendation

Approval, subject to proposed conditions.

6.0 PROPOSED CONDITIONS

Requirements for Certification:

1. Building C Courtyards in buffer area to be removed


Approval - Approval of the request, subject to the conditions listed below, is based on the general site plan submitted December 27, 2022.

1. The project shall be limited to a maximum of 31 multi-family residential units.
2. Development shall be in compliance with the following:
Northern PD boundary minimum setback: 10 feet
Western PD boundary minimum setback: 20 feet
Eastern PD boundary minimum setback: 51.7 feet
Southern PD boundary minimum setback: 8.8 feet
Maximum building height: 33 feet 3 inches
3. A minimum 5-foot-wide buffer with Type A screening shall be provided along the southern and southwestern PD boundaries toward residential. A minimum 10-foot-wide buffer with Type A screening shall be provided along the northern and northwestern PD boundaries toward the church. A 6-foot-high opaque fence shall be utilized as the Type A screening, as depicted on the site plan.
4. Building, parking, and stormwater areas shall be developed where generally depicted on the site plan.
5. If PD 22-1499 is approved, the County Engineer will approve a Design Exception (dated December 22, 2022) which was found approvable by the County Engineer (on December 29, 2022) for Church Ave. substandard road improvements. As Church Ave. is a substandard local roadway, the developer shall make certain improvements to Church Ave. consistent with the Design Exception or as otherwise specified herein these conditions. Specifically, prior to or concurrent with the initial increment of development, the developer shall construct the following improvements along the project's Church Ave. frontage or as otherwise specified herein these conditions:
 - a. The developer shall construct 5-foot sidewalk on the west side of Church Avenue along the property and build +/- 170 additional feet of sidewalk south to connect to the existing sidewalk on the west side of Church Ave.
 - b. The developer shall design, fund, and build one pedestrian mid-block crossing per Hillsborough County Standards. The design, location, installation timing, and appropriateness of the midblock crossing to be reviewed and approved by Public Works.
6. Notwithstanding anything herein these conditions or on the PD site plan to the contrary, bicycle and pedestrian access may be permitted anywhere along the project boundaries.
7. In accordance with LDC Section 5.03.07.C, the certified PD general site plan shall expire for the internal transportation network and external access points, as well as for any conditions related to the internal transportation network and external access points, if site construction plans, or equivalent thereof, have not been approved for all or part of the subject Planned Development within 5 years of the effective date of the PD unless an extension is granted as provided in the LDC. Upon expiration, re-certification of the PD General

Site Plan shall be required in accordance with provisions set forth in LDC Section 5.03.07.C.

- 8. If the notes and/or graphics on the site plan are in conflict with specific zoning conditions and/or the LDC regulations, the more restrictive regulation shall apply, unless specifically conditioned otherwise. References to development standards of the LDC in the above stated conditions shall be interpreted as the regulations in effect at the time of preliminary site plan/plat approval.

Zoning Administrator Sign Off:



J. Brian Grady
Tue Jan 17 2023 09:59:16

SITE, SUBDIVISION AND BUILDING CONSTRUCTION IN ACCORDANCE WITH HILLSBOROUGH COUNTY SITE DEVELOPMENT PLAN & BUILDING REVIEW AND APPROVAL.

Approval of this re-zoning petition by Hillsborough County does not constitute a guarantee that the project will receive approvals/permits necessary for site development as proposed will be issued, nor does it imply that other required permits needed for site development or building construction are being waived or otherwise approved. The project will be required to comply with the Site Development Plan Review approval process in addition to obtain all necessary building permits for on-site structures.

APPLICATION NUMBER: PD 22-1499

ZHM HEARING DATE: January 17, 2023

BOCC LUM MEETING DATE: March 7, 2023

Case Reviewer: Chris Grandlienard, AICP

7.0 ADDITIONAL INFORMATION AND/OR GRAPHICS

None.

8.0 PROPOSED SITE PLAN (FULL)

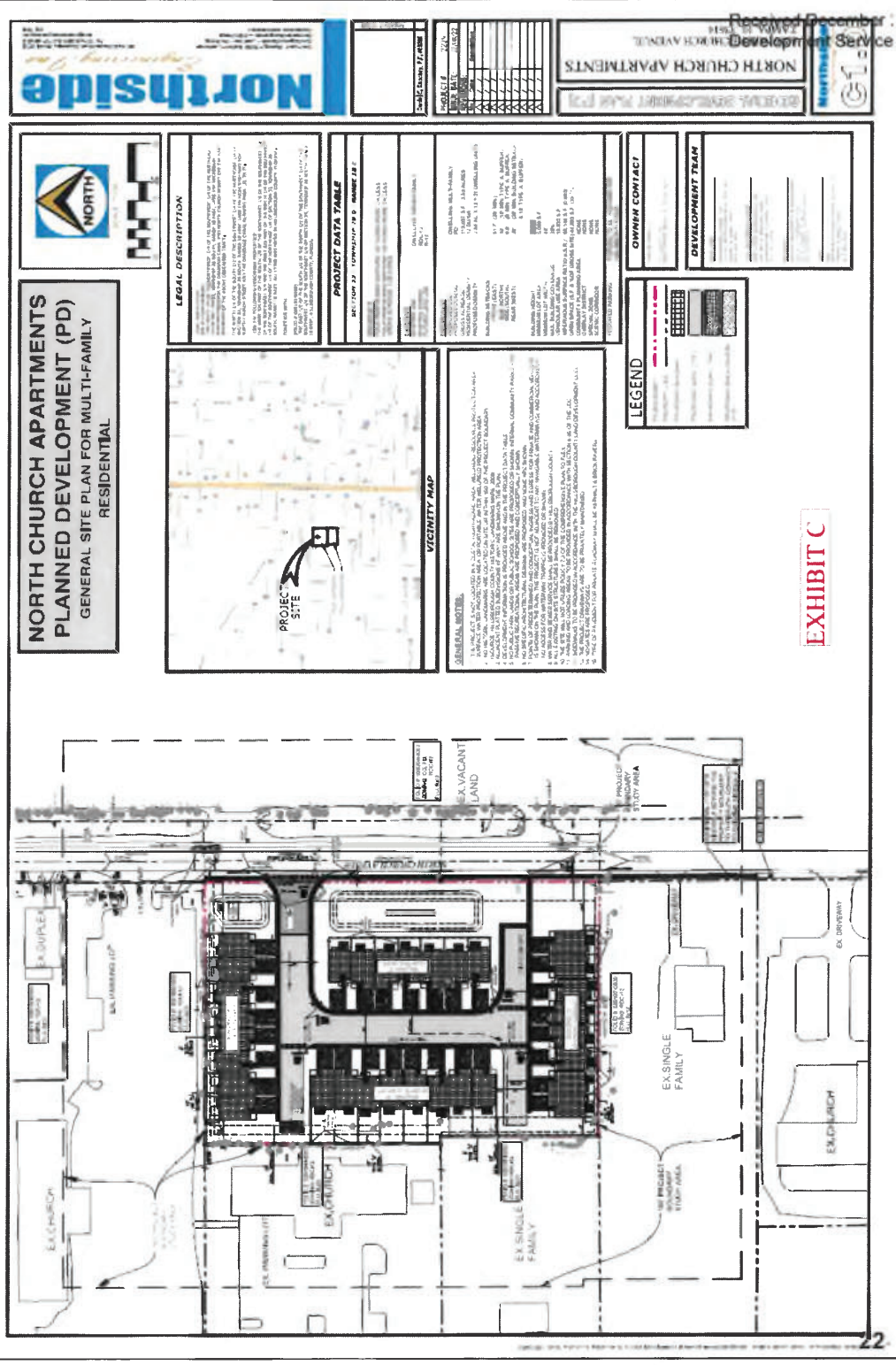


EXHIBIT C

Development Service
 NORTH CHURCH APARTMENTS
 1000 NORTH CHURCH AVENUE
 RECEIVED December 15, 2022

Northside
 Engineering Inc.
 1000 North Church Avenue
 Suite 1000
 Raleigh, NC 27601
 Phone: 919.871.1111
 Fax: 919.871.1112
 Email: info@northsideeng.com

NO.	DATE	DESCRIPTION
1	12/15/22	ISSUED FOR PERMIT
2	12/15/22	ISSUED FOR PERMIT
3	12/15/22	ISSUED FOR PERMIT
4	12/15/22	ISSUED FOR PERMIT
5	12/15/22	ISSUED FOR PERMIT
6	12/15/22	ISSUED FOR PERMIT
7	12/15/22	ISSUED FOR PERMIT
8	12/15/22	ISSUED FOR PERMIT
9	12/15/22	ISSUED FOR PERMIT
10	12/15/22	ISSUED FOR PERMIT



**NORTH CHURCH APARTMENTS
 PLANNED DEVELOPMENT (PD)
 GENERAL SITE PLAN FOR MULTI-FAMILY
 RESIDENTIAL**

LEGAL DESCRIPTION
 THE PROPERTY DESCRIBED IN THIS INSTRUMENT IS THAT CERTAIN PARCELS OF LAND, TO-WIT: PARCELS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

PROJECT DATA TABLE

SECTION	DATE	REVISION
SECTION 01	12/15/22	ISSUED FOR PERMIT
SECTION 02	12/15/22	ISSUED FOR PERMIT
SECTION 03	12/15/22	ISSUED FOR PERMIT
SECTION 04	12/15/22	ISSUED FOR PERMIT
SECTION 05	12/15/22	ISSUED FOR PERMIT
SECTION 06	12/15/22	ISSUED FOR PERMIT
SECTION 07	12/15/22	ISSUED FOR PERMIT
SECTION 08	12/15/22	ISSUED FOR PERMIT
SECTION 09	12/15/22	ISSUED FOR PERMIT
SECTION 10	12/15/22	ISSUED FOR PERMIT

GENERAL NOTE
 1. THIS SITE PLAN IS SUBMITTED IN ACCORDANCE WITH THE ZONING ORDINANCE OF THE CITY OF RALEIGH, NORTH CAROLINA.
 2. THE PROJECT IS LOCATED WITHIN THE CITY OF RALEIGH, NORTH CAROLINA.
 3. THE PROJECT IS A MULTI-FAMILY RESIDENTIAL DEVELOPMENT.
 4. THE PROJECT IS SUBJECT TO THE ZONING ORDINANCE OF THE CITY OF RALEIGH, NORTH CAROLINA.
 5. THE PROJECT IS SUBJECT TO THE ZONING ORDINANCE OF THE CITY OF RALEIGH, NORTH CAROLINA.
 6. THE PROJECT IS SUBJECT TO THE ZONING ORDINANCE OF THE CITY OF RALEIGH, NORTH CAROLINA.
 7. THE PROJECT IS SUBJECT TO THE ZONING ORDINANCE OF THE CITY OF RALEIGH, NORTH CAROLINA.
 8. THE PROJECT IS SUBJECT TO THE ZONING ORDINANCE OF THE CITY OF RALEIGH, NORTH CAROLINA.
 9. THE PROJECT IS SUBJECT TO THE ZONING ORDINANCE OF THE CITY OF RALEIGH, NORTH CAROLINA.
 10. THE PROJECT IS SUBJECT TO THE ZONING ORDINANCE OF THE CITY OF RALEIGH, NORTH CAROLINA.

OWNER CONTACT
 DEVELOPMENT TEAM

LEGEND

- PROJECT BUILDING FOOTPRINT
- EXISTING BUILDING FOOTPRINT
- PARKING
- LANDSCAPING
- EX. VACANT LAND
- EX. SINGLE FAMILY
- EX. CHURCH

9.0 FULL TRANSPORTATION REPORT (see following pages)

AGENCY REVIEW COMMENT SHEET

TO: Zoning Technician, Development Services Department DATE: 01/06/2023
REVIEWER: Alex Steady, Senior Planner AGENCY/DEPT: Transportation
PLANNING AREA/SECTOR: Egypt Lake/ Northwest PETITION NO: PD 22-1499

- This agency has no comments.
- This agency has no objection.
- This agency has no objection, subject to the listed or attached conditions.
- This agency objects for the reasons set forth below.

CONDITIONS OF APPROVAL

- If PD 22-1499 is approved, the County Engineer will approve a Design Exception (dated December 22, 2022) which was found approvable by the County Engineer (on December 29, 2022) for Church Ave. substandard road improvements. As Church Ave. is a substandard local roadway, the developer shall make certain improvements to Church Ave. consistent with the Design Exception or as otherwise specified herein these conditions. Specifically, prior to or concurrent with the initial increment of development, the developer shall construct the following improvements along the project's Church Ave. frontage or as otherwise specified herein these conditions:
 - The developer shall construct 5-foot sidewalk on the west side of Church Avenue along the property and build +/- 170 additional feet of sidewalk south to connect to the existing sidewalk on the west side of Church Ave.
 - The developer shall design, fund, and build one pedestrian mid-block crossing per Hillsborough County Standards. The design, location, installation timing, and appropriateness of the midblock crossing to be reviewed and approved by Public Works.
- Notwithstanding anything herein these conditions or on the PD site plan to the contrary, bicycle and pedestrian access may be permitted anywhere along the project boundaries.

PROJECT SUMMARY AND ANALYSIS

The applicant is requesting to rezone two parcels totaling +/- 2.59 acres from Residential Duplex Conventional-12 (RDC-12) to Planned Development (PD). The proposed Planned Development is seeking entitlements for 31 Multifamily Dwelling Units. The site is generally located on the west side of Church Ave, +/- 525 feet south of the intersection of Pine Crest Manor Blvd and Church Ave. The Future Land Use designation of the site is Residential - 12 (R-12).

Trip Generation Analysis

As required by the Development Review Procedures Manual (DRPM), the applicant submitted a trip generation for the proposed project indicating the proposed project will generate less than 50 peak hour trips and as such a detailed traffic study was not required. Staff has prepared a comparison of the trips potentially generated under the existing and proposed zoning designations, utilizing a generalized worst-case scenario. The information below is based on data from the Institute of Transportation Engineer's Trip Generation Manual, 10th Edition.

Approved Zoning:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
RDC-12, 31 Single Family Dwelling Units (ITE code 210)	293	23	31

Proposed Zoning:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
PD, 31 Multi Family Dwelling Units (ITE code 220)	227	14	17

Trip Generation Difference:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
Difference	-66	-9	-14

The proposed rezoning would result in a decrease of trips potentially generated by development of the subject site by 66 average daily trips, 9 trips in the a.m. peak hour, and 14 trips in the p.m. peak hour.

TRANSPORTATION INFRASTRUCTURE SERVING THE SITE

The subject property has frontage on Church Avenue. Church Avenue is 2-lane, substandard, Hillsborough County maintained, local roadway, characterized by +/-10 ft. travel lanes. Church Ave lies within +/-76 ft of Right of way. There is a sidewalk on the eastern side of Church Avenue but no sidewalk on the western side in the vicinity of the proposed project.

DESIGN EXCEPTION, SUBSTANDARD ROAD – CHURCH AVE.

Given that Church Ave. is a substandard local roadway, the applicant's Engineer of Record (EOR) submitted a Design Exception (DE) request (on December 22, 2022) for Church Ave. to determine the specific improvements that would be required by the County Engineer. Based on factors presented within the Design Exception request, the County Engineer found the DE approvable (on December 29, 2022). The deviations from the TS-7 Typical Section (2-Lane Undivided, Local and Collector Rural Roadways), include:

- The developer shall be permitted to utilize the existing 10 to 11-foot to travel lanes in lieu of the 12-foot wide travel lanes typically required by the Hillsborough County Transportation Technical Manual (TTM) TS-7;
- The developer shall construct 5-foot sidewalk on the west side of Church Avenue along the property and build +/- 170 additional feet of sidewalk south to connect to the existing sidewalk on the west side of Church Ave.
- The developer shall design, fund, and build one pedestrian mid-block crossing per Hillsborough County Standards. The design, location, and installation timing of the midblock crossing to be reviewed and approved by Public Works.

APPLICATION NUMBER: PD 22-1499

ZHM HEARING DATE: January 17, 2023

BOCC LUM MEETING DATE: March 7, 2023

Case Reviewer: Chris Grandlienard, AICP

SITE ACCESS

The project is proposing a full access connection on Church Ave. Vehicular and Pedestrian cross access is not required per section 6.04.03.Q of the Hillsborough County Land Development Code.

ROADWAY LEVEL OF SERVICE (LOS)

Church Ave is not a regulated roadway and as such was not included in the Level of Service Report.

Northside

Engineering Inc.

Project: North Church Apartments
Date: December 22nd, 2022

Civil
Land Planning
Due Diligence Reports
Re-Zoning, Land Use, Annexation
Stormwater Management
Utility Design
Traffic
Construction Administration

To: Michael J. Williams, P.E.
Development Review Director
County Engineer
Hillsborough County
601 East Kennedy Boulevard
Tampa, FL 33602

Re: North Church Avenue Design Exception – Modified TS-7 Typical Section
Folio # 29194.0000
Zoning Case # RZ PD 22-1499

The purpose of this letter is to provide justification for the request for a Design Exception to Section 1.7 of the Hillsborough County Transportation Technical Manual (TTM), to meet the requirements of Section 6.04.03.L of the Land Development Code (LDC). The request stems from the current application to rezone a ±2.59 acre tract located at 6212 and 6216 N. Church Avenue, from Residential, Duplex Conventional (RDC-12) to Planned Development (PD) to allow the development of up to 31 multi-family dwelling units.

The project proposes to have one (1) full-access connection to N. Church Avenue. N. Church Avenue is a two-lane, local roadway with a posted speed of 30 miles per hour (mph). Within the existing 65 feet of right-of-way, there are currently 10 to 11-foot travel lanes, a 5-foot sidewalk on the east side of the roadway, and approximately 5 to 10 feet of open drainage ditch on the east side of the roadway.

As indicated in the Trip Generation Memorandum, submitted as part of the initial application package for PD 22-1499, the development is anticipated to generate fewer than fifty (50) peak-hour trips.

Due to existing right-of-way constraints including the wide ditch on the east side of the roadway, the proposed improvements to the western portion of N. Church Avenue adjacent to the property include the following modifications to the TS-7 Typical Section:

TS-7 requires 12-foot travel lanes, 5-foot paved shoulders, 5-foot sidewalk, and open drainage within a minimum right-of-way of 96 feet.

The request is to maintain the existing 10 to 11-foot travel lanes, 5-foot sidewalks (existing and proposed), and open drainage within the existing right-of-way of 65 feet.

Exhibit A illustrates the proposed cross section adjacent to the project site as a modification of **Exhibit B** (TS-7). **Exhibit C** provides a plan view of a proposed 5-foot sidewalk on the west side of the roadway adjacent to the project as well as an additional 170-feet of sidewalk on the west side of the roadway south of the project to connect to an existing sidewalk. In addition, the developer is committed to design, fund, and build one (1) pedestrian mid-block crossing per Hillsborough County standards and

specifications. The design, location, and installation timing of the mid-block crossing to be reviewed and approved by the Public Works Department during permitting.

The pedestrian mid-block crossing will be a pedestrian amenity that connects the western side of N. Church Avenue to the existing sidewalk on the eastern side of the roadway. The existing sidewalk extends from Pine Crest Manor Boulevard to the north to Henry Avenue to the south.

Based on the information above, it is anticipated that the proposed improvements to N. Church Avenue will improve the pedestrian experience along the local roadway and meet the intent of the Transportation Technical Manual to the extent feasible.

Please reach out if there are any further questions or you need clarification.

Respectfully,



Digitally signed by Daniel E Shockey
DN: C=US, O=Florida,
dnQualifier=A01410D0000017C6029C9
EC00016FEB, CN=Daniel E Shockey
Reason: I am the author of this document
Location: 300 South Belcher Road,
Clearwater, FL., 33765
Date: 2022.12.22 15:13:33-05'00'
Foxit PDF Editor Version: 11.2.3

Daniel E. Shockey, P.E.
727-443-2869
daniel@northsideengineering.net

Based on the information provided by the applicant, this request is:

- _____ Disapproved
_____ Approved
_____ Approved with Conditions

Exhibits:

- A. Proposed Typical Section
- B. TTM TS-7
- C. Zoning Site Pan with Plan View of Additional Sidewalk South of Property

EXHIBIT A

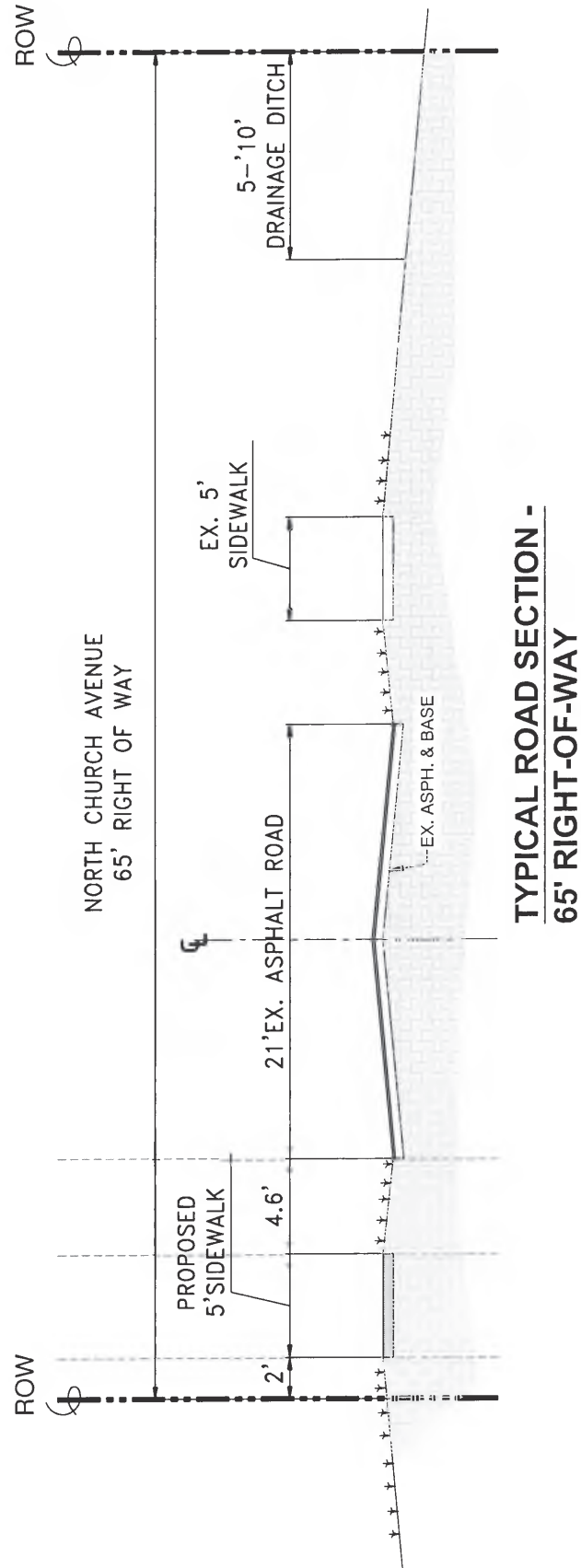
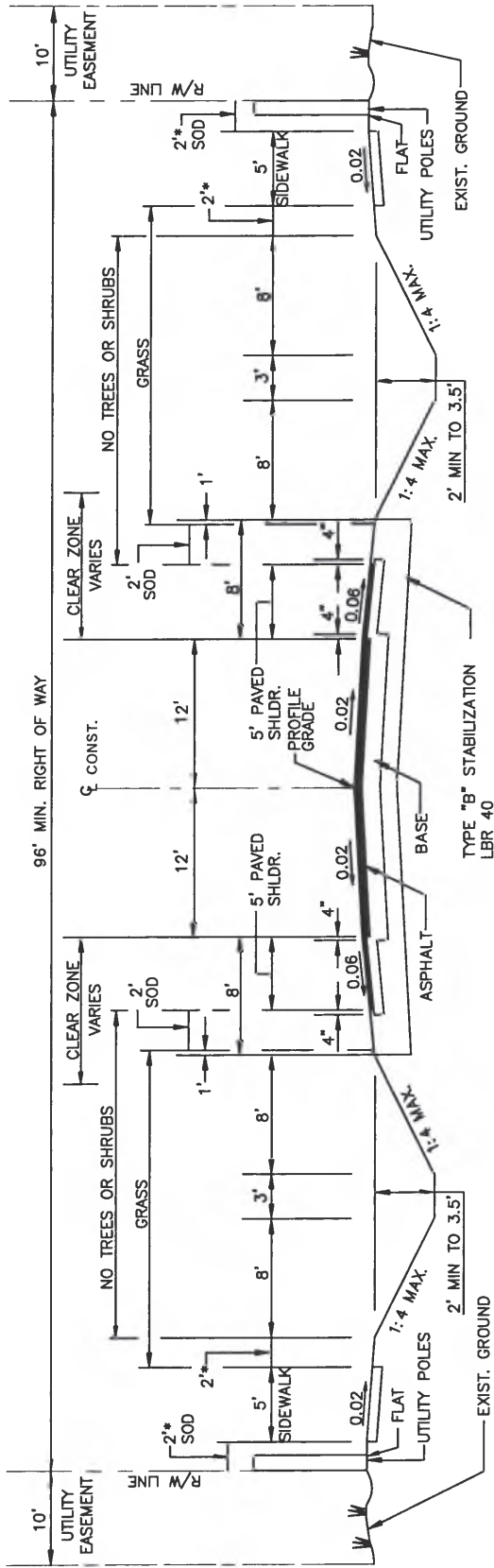


EXHIBIT B



TYPICAL SECTION

N.T.S.

FOR LESS THAN 10,000 ADT

MAX. ALLOWABLE DESIGN SPEED - 50 MPH

1. ALL DIMENSIONS SHOWN ARE MINIMUM.
2. SEE APPROPRIATE SECTIONS OF TECHNICAL MANUAL FOR DESIGN PARAMETERS.
- * 3. PROVIDE 2' MINIMUM CLEARANCE FROM FENCES, WALLS, HEDGES, ABOVEGROUND UTILITIES OR IMPROVEMENTS, DROP OFFS, OR FROM THE TOPS OF BANKS WITH SLOPES STEEPER THAN 1 TO 4, THAT INTERFERE WITH THE SAFE, FUNCTIONAL USE OF THE SIDEWALK. INTERMITTENT ABOVEGROUND UTILITIES, OR MATURE TREES, 2' OR LESS IN DIAMETER MAY BE PLACED IN THIS 2' STRIP AS FAR FROM THE SIDEWALK AS POSSIBLE, IF NOT IN THE CLEAR ZONE.
4. SOD SHALL BE PLACED IN TWO ROWS STAGGERED. (BOTH TEMPORARY AND PERMANENT)
5. PAVED SHOULDER TO BE STRIPED AS A DESIGNATED BIKE LANE, AS APPROPRIATE.

REVISION DATE:

10/17

**TRANSPORTATION
TECHNICAL
MANUAL**



**Hillsborough
County Florida**

**LOCAL & COLLECTOR RURAL ROADS
(2 LANE UNDIVIDED)
TYPICAL SECTION**

DRAWING NO. TS-7

SHEET NO. 1 OF 1

Rezoning Application: PD 22-1499

Zoning Hearing Master Date: January 17, 2023

BOCC Land Use Meeting Date: March 7, 2023



Hillsborough County Florida

Development Services Department

1.0 APPLICATION SUMMARY

Applicant: Shrute Fern, LLC

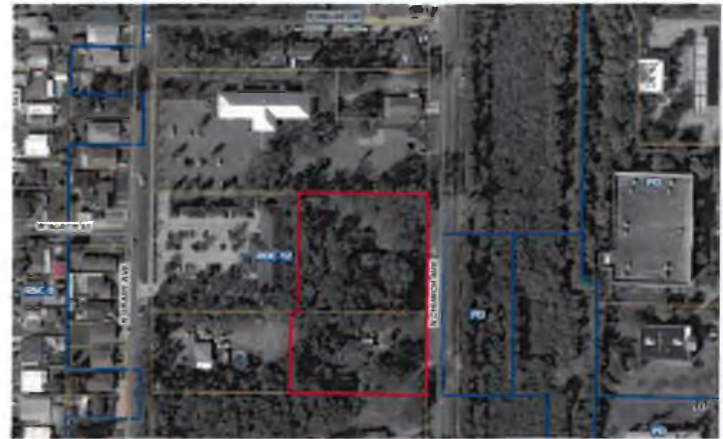
FLU Category: RES-12

Service Area: Urban

Site Acreage: 2.59

Community Plan Area: None

Overlay: None



Introduction Summary:

The applicant seeks to rezone two parcels from RDC-12 (Residential – Duplex Conventional) to PD (Planned Development) to allow the development of a 31-unit multi-family project.

Zoning:	Existing	Proposed
District(s)	RDC-12	PD 22-1499
Typical General Use(s)	Single-Family and Two-Family (Conventional)	Multi-Family Residential
Acreage	2.59	2.59
Density/Intensity	12 du/gross acre	12 du/gross acre
Mathematical Maximum*	31 units	31 units

*number represents a pre-development approximation

Development Standards:	Existing	Proposed
District(s)	RDC-12	PD 22-1499
Lot Size / Lot Width	3,500 sf / 40'	N/A
Setbacks/Buffering and Screening	20' Front 20' Rear 5' Sides	51.7' East Front 20' West Rear 10' North Side 8.8' South Side 10'/Type A buffering and screening along north 10'/Type A buffering and screening along northwest 5'/Type A buffering and screening along southwest 5'/Type A buffering and screening along south
Height	35'	33'-3"

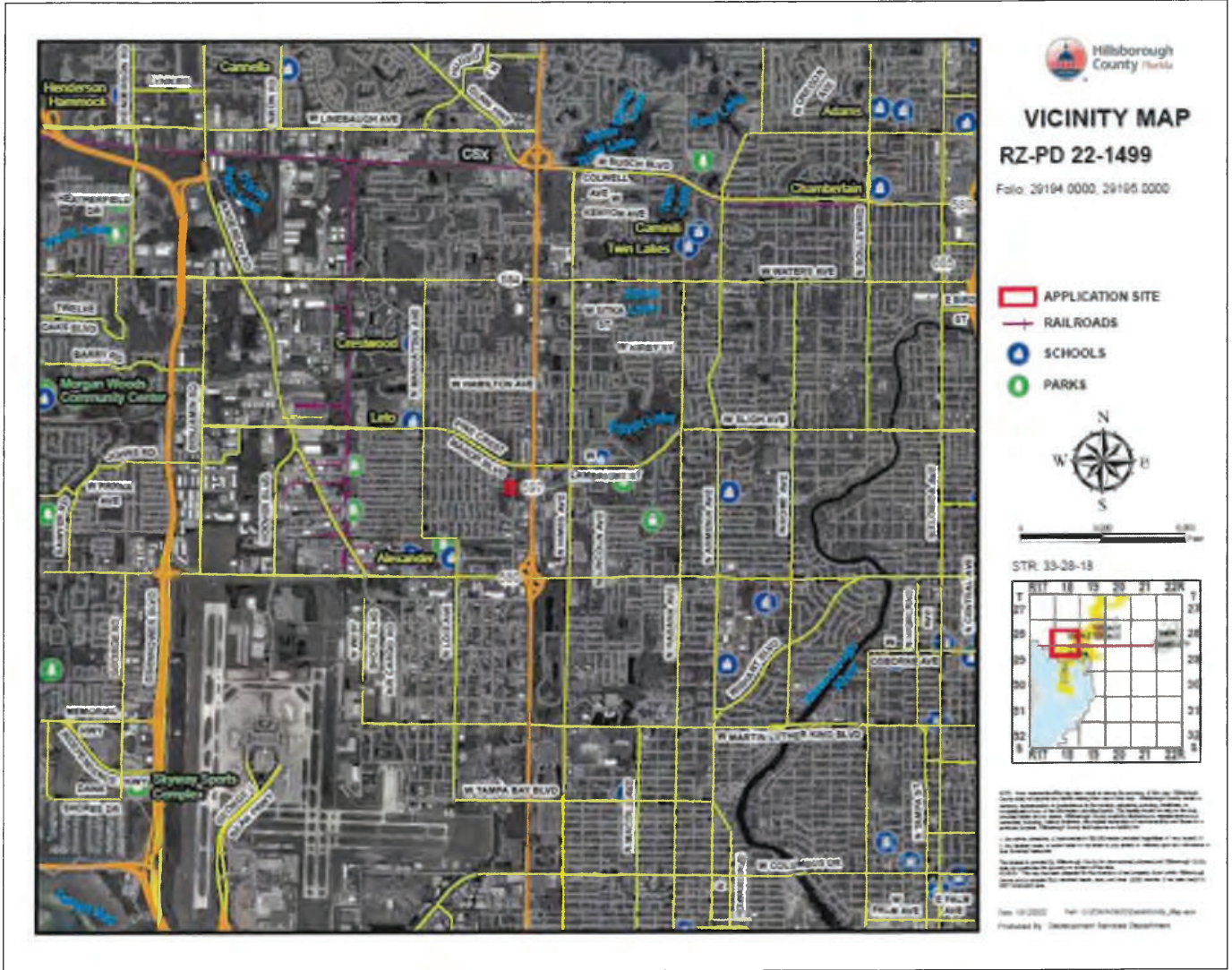
Additional Information:

PD Variation(s)	None requested as part of this application
Waiver(s) to the Land Development Code	6.01.01:additional 2 foot setback for each foot of structure height of 20ft

Planning Commission Recommendation: Consistent	Development Services Recommendation: Approvable, subject to proposed conditions
--	---

2.0 LAND USE MAP SET AND SUMMARY DATA

2.1 Vicinity Map

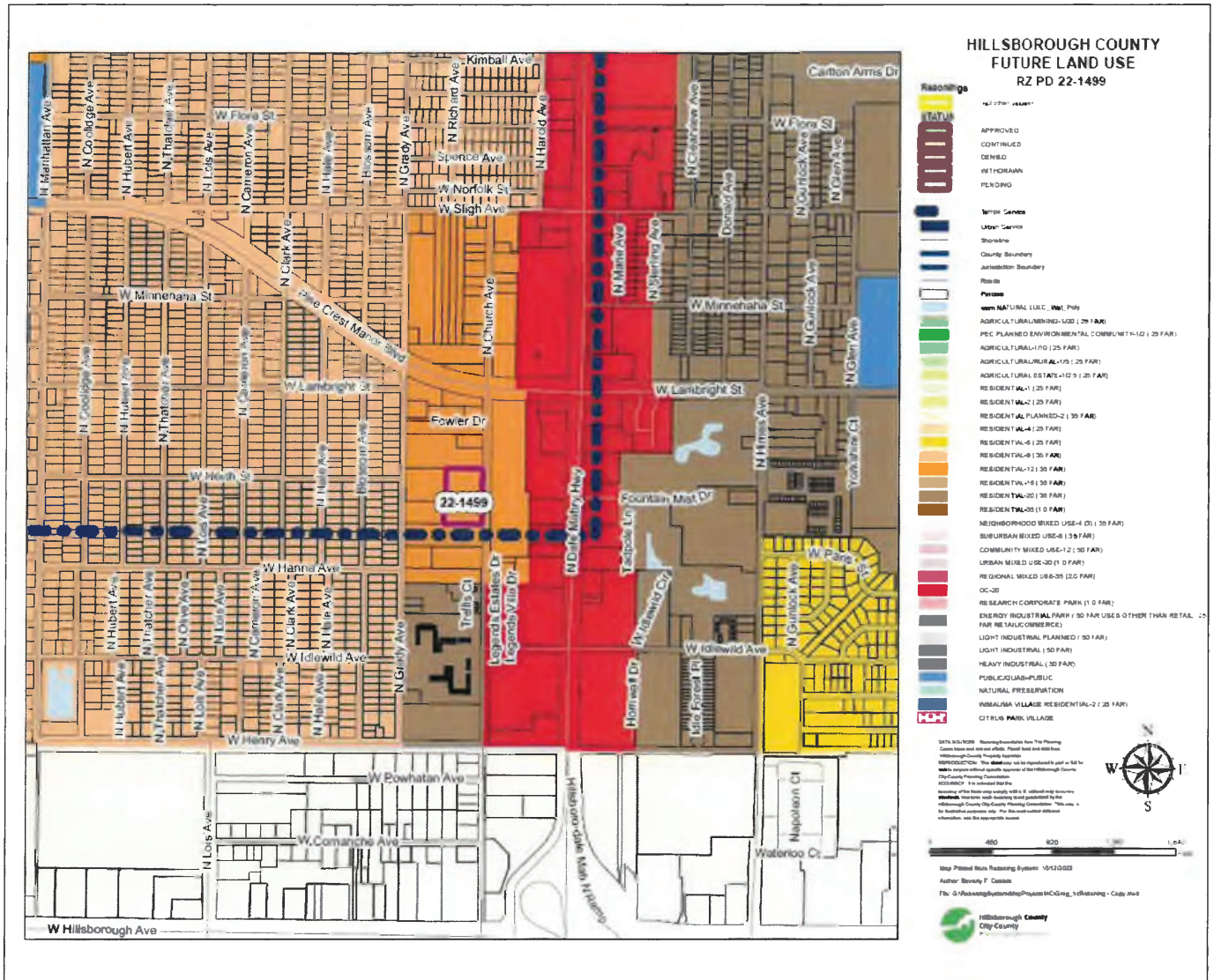


Context of Surrounding Area:

The site is located at 6212 & 6216 North Church Avenue. The general area is developed with residential (single-family and multi-family), religious institutions and commercial uses.

2.0 LAND USE MAP SET AND SUMMARY DATA

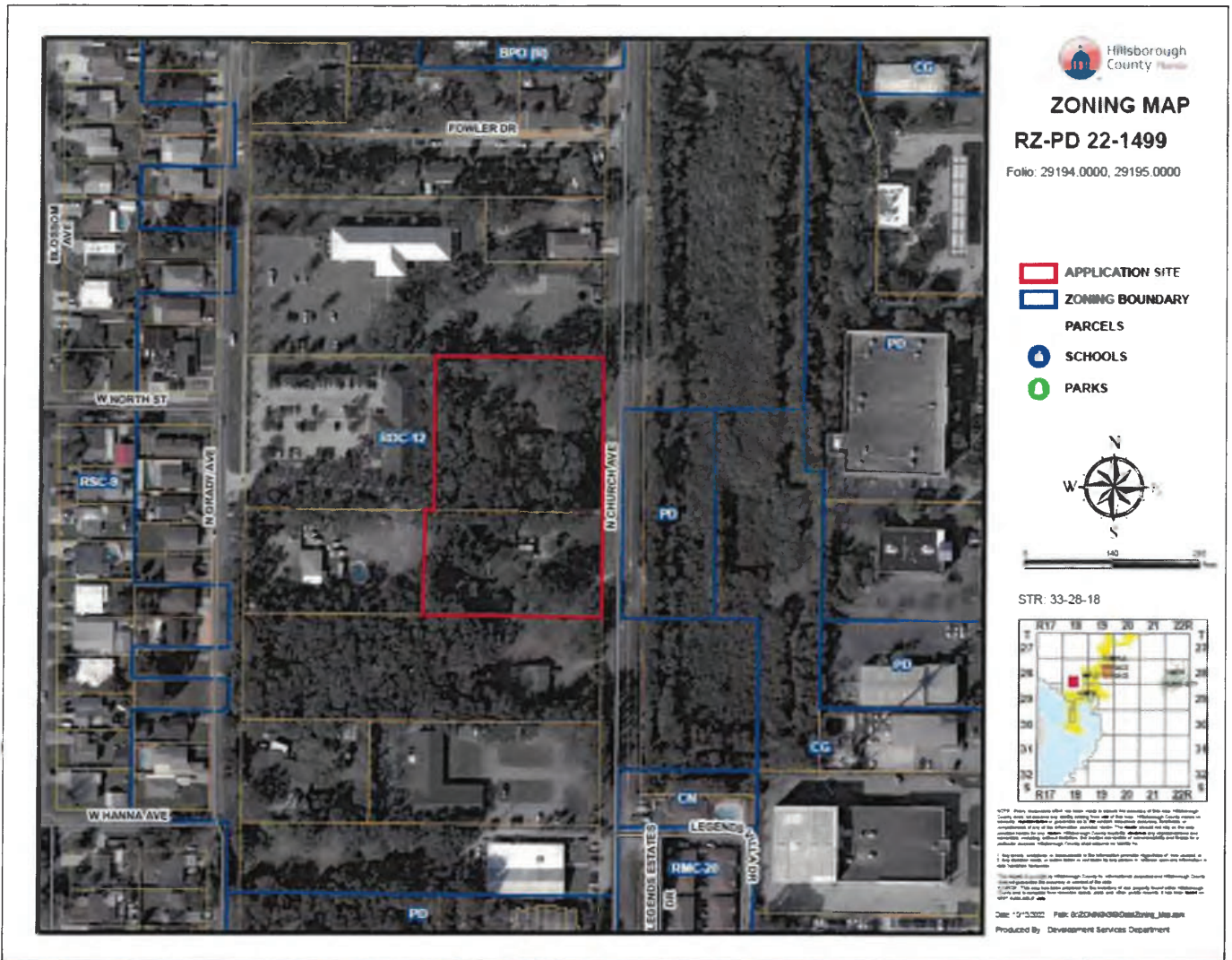
2.2 Future Land Use Map



Subject Site Future Land Use Category:	Residential - 12 (RES-12)
Maximum Density/F.A.R.:	12.0 dwelling units/.50 F.A.R.
Typical Uses:	Residential, urban scale neighborhood commercial, office uses, multi-purpose projects and mixed-use development. Non-residential uses shall meet established locational criteria for specific land use.

2.0 LAND USE MAP SET AND SUMMARY DATA

2.3 Immediate Area Map

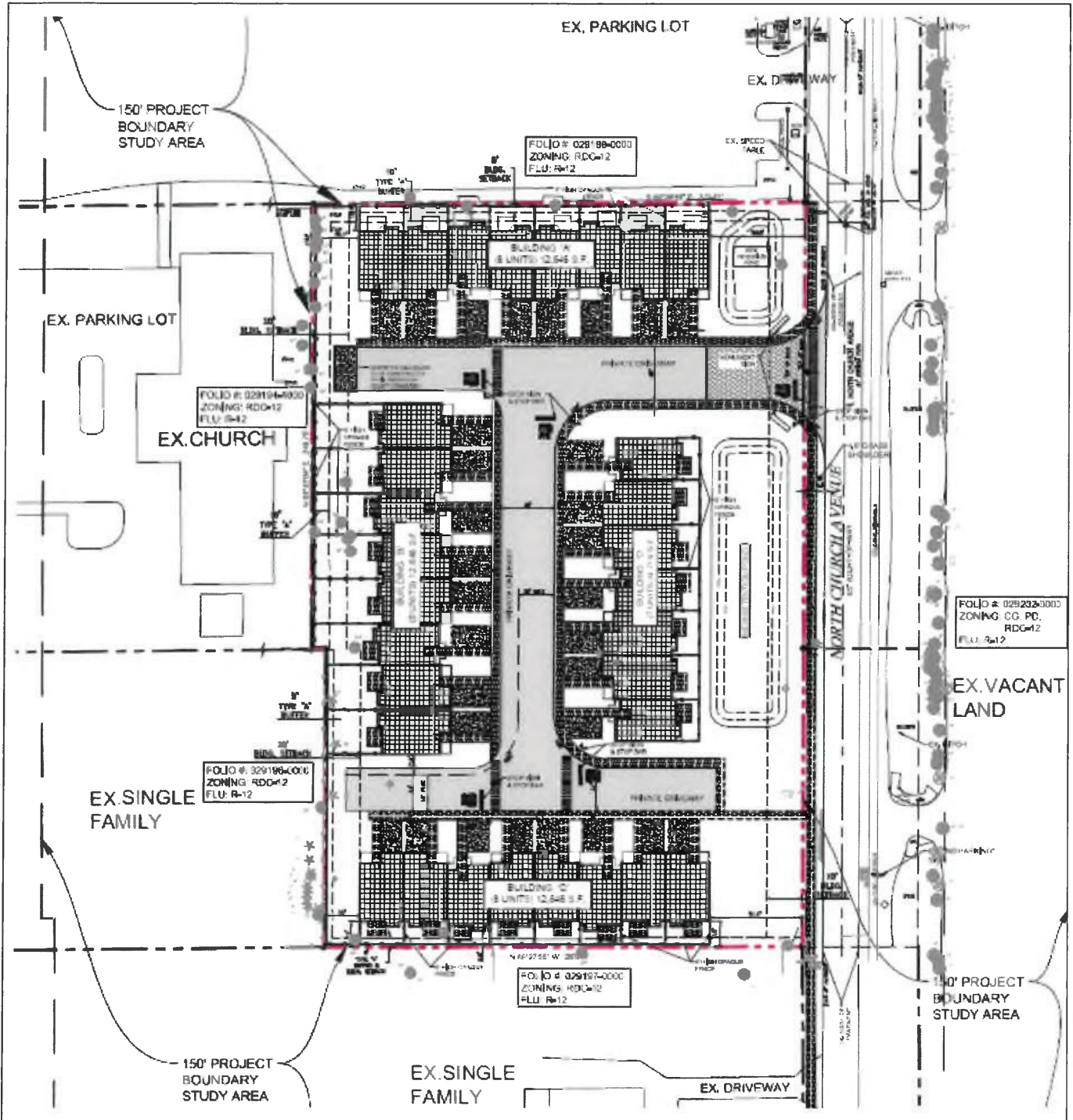


Adjacent Zonings and Uses

Location:	Zoning:	Maximum Density/F.A.R. Permitted by Zoning District:	Allowable Use:	Existing Use:
North	RDC-12	12 du/gross acre	Single-Family and Two-Family (Conventional)	Churches
South	RDC-12	12 du/gross acre	Single-Family and Two-Family (Conventional)	Single-Family Residential
East	CG, PD 80-0080, RDC-12	CG: 0.27 F.A.R. PD: Per PD 80-0080 RDC-12: 12 du/gross acre	CG: General Commercial PD: Various RDC-12: Single-Family and Two-Family	Vacant
West	RDC-12	12 du/gross acre	Single-Family and Two-Family (Conventional)	Single-Family Residential, Church

2.0 LAND USE MAP SET AND SUMMARY DATA

2.4 Proposed Site Plan (partial provided below for size and orientation purposes. See Section 8.0 for full site plan)



APPLICATION NUMBER: PD 22-1499

ZHM HEARING DATE: January 17, 2023

3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)

Adjoining Roadways (check if applicable)

Road Name	Classification	Current Conditions	Select Future Improvements
Church Avenue	County Local - Urban	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other

Project Trip Generation Not applicable for this request

	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	293	23	31
Proposed	227	14	17
Difference (+/-)	-66	-9	-14

*Trips reported are based on net new external trips unless otherwise noted.

Connectivity and Cross Access Not applicable for this request

Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North		None	None	Meets LDC
South		None	None	Meets LDC
East	X	Pedestrian	None	Meets LDC
West		None	None	Meets LDC

Notes:

Design Exception/Administrative Variance Not applicable for this request

Road Name/Nature of Request	Type	Finding
Church Avenue/ Substandard Road	Administrative Variance Requested	Approvable
	Choose an item.	Choose an item.

Notes:

4.0 ADDITIONAL SITE INFORMATION & AGENCY COMMENTS SUMMARY

INFORMATION/REVIEWING AGENCY																
Environmental:	Comments Received	Objections	Conditions Requested	Additional Information/Comments												
Environmental Protection Commission	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	No wetlands present												
Natural Resources	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No													
Conservation & Environ. Lands Mgmt.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No													
Check if Applicable: <table border="0" style="width: 100%;"> <tr> <td><input type="checkbox"/> Wetlands/Other Surface Waters</td> <td><input type="checkbox"/> Potable Water Wellfield Protection Area</td> </tr> <tr> <td><input type="checkbox"/> Use of Environmentally Sensitive Land Credit</td> <td><input type="checkbox"/> Significant Wildlife Habitat</td> </tr> <tr> <td><input type="checkbox"/> Wellhead Protection Area</td> <td><input type="checkbox"/> Coastal High Hazard Area</td> </tr> <tr> <td><input type="checkbox"/> Surface Water Resource Protection Area</td> <td><input type="checkbox"/> Urban/Suburban/Rural Scenic Corridor</td> </tr> <tr> <td></td> <td><input type="checkbox"/> Adjacent to ELAPP property</td> </tr> <tr> <td></td> <td><input type="checkbox"/> Other _____</td> </tr> </table>					<input type="checkbox"/> Wetlands/Other Surface Waters	<input type="checkbox"/> Potable Water Wellfield Protection Area	<input type="checkbox"/> Use of Environmentally Sensitive Land Credit	<input type="checkbox"/> Significant Wildlife Habitat	<input type="checkbox"/> Wellhead Protection Area	<input type="checkbox"/> Coastal High Hazard Area	<input type="checkbox"/> Surface Water Resource Protection Area	<input type="checkbox"/> Urban/Suburban/Rural Scenic Corridor		<input type="checkbox"/> Adjacent to ELAPP property		<input type="checkbox"/> Other _____
<input type="checkbox"/> Wetlands/Other Surface Waters	<input type="checkbox"/> Potable Water Wellfield Protection Area															
<input type="checkbox"/> Use of Environmentally Sensitive Land Credit	<input type="checkbox"/> Significant Wildlife Habitat															
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<input type="checkbox"/> Surface Water Resource Protection Area	<input type="checkbox"/> Urban/Suburban/Rural Scenic Corridor															
	<input type="checkbox"/> Adjacent to ELAPP property															
	<input type="checkbox"/> Other _____															
Public Facilities:	Comments Received	Objections	Conditions Requested	Additional Information/Comments												
Transportation <input checked="" type="checkbox"/> Design Exc./Adm. Variance Requested <input type="checkbox"/> Off-site Improvements Provided	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	See Staff Report.												
Service Area/ Water & Wastewater <input checked="" type="checkbox"/> Urban <input checked="" type="checkbox"/> City of Tampa <input type="checkbox"/> Rural <input type="checkbox"/> City of Temple Terrace	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No													
Hillsborough County School Board Adequate <input checked="" type="checkbox"/> K-5 <input checked="" type="checkbox"/> 6-8 <input checked="" type="checkbox"/> 9-12 <input type="checkbox"/> N/A Inadequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No													
Impact/Mobility Fees (Fee estimate is based on a 1,200 square foot, Multi-Family Units 1-2 story) Mobility: \$6,661 * 31 units = \$206,491 Parks: \$1,555 * 31 units = \$ 48,205 School: \$3,891 * 31 units = \$120,621 Fire: \$249 * 31 units = \$ 7,719 Total Multi-Family (1-2 story) = \$383,036																
Comprehensive Plan:	Comments Received	Findings	Conditions Requested	Additional Information/Comments												
Planning Commission <input type="checkbox"/> Meets Locational Criteria <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Locational Criteria Waiver Requested <input checked="" type="checkbox"/> Minimum Density Met <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Inconsistent <input checked="" type="checkbox"/> Consistent	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No													

5.0 IMPLEMENTATION RECOMMENDATIONS

5.1 Compatibility

The approximate 2.59-acre property is comprised of two parcels zoned RDC-12 (Residential – Duplex Conventional) each with a single-family home. The subject property is located at 6212 & 6216 North Church Avenue. The applicant proposes a 31-unit multi-family project. The general area is developed with single-family and multi-family residential, religious institutions and commercial uses. The subject parcels are directly adjacent to religious institutions to the north and west zoned RDC-12 and single-family residential to the south and west zoned RDC-12. A vacant lot zoned CG (Commercial General), PD 80-0080 (Planned Development) and RDC-12 is located to the east across North Church Avenue. Further north and south on Church Avenue are multi-family apartments.

The applicant requests relief from the land development code section 6.01.01 to remove the additional setback of two feet for every one foot of structure height over 20 feet. Strictly adhering to this standard along with buffering and screening requirements would demand the applicant have a setback of 38 feet to the west and north, and 33 feet to the south which would severely limit the project area. Staff concurs with the applicant's justification for relief from this requirement.

The subject property is designated Residential-12 (R-12) on the Future Land Use map. The Planning Commission finds the proposed use consistent with the Comprehensive Plan. The surrounding uses are similar to the request; residential; which includes single-family, duplex, and multi-family. Therefore, the rezoning of the subject parcel from RDC-12 to PD with a multi-family use would be consistent with the existing zoning pattern of the area.

Based on the above considerations staff finds the requested PD zoning district compatible with the existing zoning and development pattern in the area.

5.2 Recommendation

Approval, subject to proposed conditions.

6.0 PROPOSED CONDITIONS

Requirements for Certification:

1. Building C Courtyards in buffer area to be removed

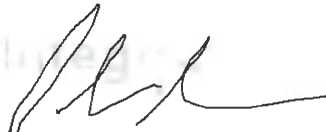
Approval - Approval of the request, subject to the conditions listed below, is based on the general site plan submitted December 27, 2022.

1. The project shall be limited to a maximum of 31 multi-family residential units.
2. Development shall be in compliance with the following:
Northern PD boundary minimum setback: 10 feet
Western PD boundary minimum setback: 20 feet
Eastern PD boundary minimum setback: 51.7 feet
Southern PD boundary minimum setback: 8.8 feet
Maximum building height: 33 feet 3 inches
3. A minimum 5-foot-wide buffer with Type A screening shall be provided along the southern and southwestern PD boundaries toward residential. A minimum 10-foot-wide buffer with Type A screening shall be provided along the northern and northwestern PD boundaries toward the church. A 6-foot-high opaque fence shall be utilized as the Type A screening, as depicted on the site plan.
4. Building, parking, and stormwater areas shall be developed where generally depicted on the site plan.
5. If PD 22-1499 is approved, the County Engineer will approve a Design Exception (dated December 22, 2022) which was found approvable by the County Engineer (on December 29, 2022) for Church Ave. substandard road improvements. As Church Ave. is a substandard local roadway, the developer shall make certain improvements to Church Ave. consistent with the Design Exception or as otherwise specified herein these conditions. Specifically, prior to or concurrent with the initial increment of development, the developer shall construct the following improvements along the project's Church Ave. frontage or as otherwise specified herein these conditions:
 - a. The developer shall construct 5-foot sidewalk on the west side of Church Avenue along the property and build +/- 170 additional feet of sidewalk south to connect to the existing sidewalk on the west side of Church Ave.
 - b. The developer shall design, fund, and build one pedestrian mid-block crossing per Hillsborough County Standards. The design, location, installation timing, and appropriateness of the midblock crossing to be reviewed and approved by Public Works.
6. Notwithstanding anything herein these conditions or on the PD site plan to the contrary, bicycle and pedestrian access may be permitted anywhere along the project boundaries.
7. In accordance with LDC Section 5.03.07.C, the certified PD general site plan shall expire for the internal transportation network and external access points, as well as for any conditions related to the internal transportation network and external access points, if site construction plans, or equivalent thereof, have not been approved for all or part of the subject Planned Development within 5 years of the effective date of the PD unless an extension is granted as provided in the LDC. Upon expiration, re-certification of the PD General

Site Plan shall be required in accordance with provisions set forth in LDC Section 5.03.07.C.

8. If the notes and/or graphics on the site plan are in conflict with specific zoning conditions and/or the LDC regulations, the more restrictive regulation shall apply, unless specifically conditioned otherwise. References to development standards of the LDC in the above stated conditions shall be interpreted as the regulations in effect at the time of preliminary site plan/plat approval.

Zoning Administrator Sign Off:



J. Brian Grady
Tue Jan 17 2023 09:59:16

SITE, SUBDIVISION AND BUILDING CONSTRUCTION IN ACCORDANCE WITH HILLSBOROUGH COUNTY SITE DEVELOPMENT PLAN & BUILDING REVIEW AND APPROVAL.

Approval of this re-zoning petition by Hillsborough County does not constitute a guarantee that the project will receive approvals/permits necessary for site development as proposed will be issued, nor does it imply that other required permits needed for site development or building construction are being waived or otherwise approved. The project will be required to comply with the Site Development Plan Review approval process in addition to obtain all necessary building permits for on-site structures.

APPLICATION NUMBER: PD 22-1499

ZHM HEARING DATE: January 17, 2023

BOCC LUM MEETING DATE: March 7, 2023

Case Reviewer: Chris Grandlienard, AICP

7.0 ADDITIONAL INFORMATION AND/OR GRAPHICS

None.

9.0 FULL TRANSPORTATION REPORT (see following pages)

AGENCY REVIEW COMMENT SHEET

TO: Zoning Technician, Development Services Department
REVIEWER: Alex Steady, Senior Planner
PLANNING AREA/SECTOR: Egypt Lake/ Northwest

DATE: 01/06/2023
AGENCY/DEPT: Transportation
PETITION NO: PD 22-1499

- This agency has no comment.
- This agency has no objection.
- This agency has no objection, subject to the listed or attached conditions.
- This agency objects for the reasons set forth below.

CONDITIONS OF APPROVAL

- If PD 22-1499 is approved, the County Engineer will approve a Design Exception (dated December 22, 2022) which was found approvable by the County Engineer (on December 29, 2022) for Church Ave. substandard road improvements. As Church Ave. is a substandard local roadway, the developer shall make certain improvements to Church Ave. consistent with the Design Exception or as otherwise specified herein these conditions. Specifically, prior to or concurrent with the initial increment of development, the developer shall construct the following improvements along the project's Church Ave. frontage or as otherwise specified herein these conditions:
 - The developer shall construct 5-foot sidewalk on the west side of Church Avenue along the property and build +/- 170 additional feet of sidewalk south to connect to the existing sidewalk on the west side of Church Ave.
 - The developer shall design, fund, and build one pedestrian mid-block crossing per Hillsborough County Standards. The design, location, installation timing, and appropriateness of the midblock crossing to be reviewed and approved by Public Works.
- Notwithstanding anything herein these conditions or on the PD site plan to the contrary, bicycle and pedestrian access may be permitted anywhere along the project boundaries.

PROJECT SUMMARY AND ANALYSIS

The applicant is requesting to rezone two parcels totaling +/- 2.59 acres from Residential Duplex Conventional-12 (RDC-12) to Planned Development (PD). The proposed Planned Development is seeking entitlements for 31 Multifamily Dwelling Units. The site is generally located on the west side of Church Ave, +/- 525 feet south of the intersection of Pine Crest Manor Blvd and Church Ave. The Future Land Use designation of the site is Residential - 12 (R-12).

Trip Generation Analysis

As required by the Development Review Procedures Manual (DRPM), the applicant submitted a trip generation for the proposed project indicating the proposed project will generate less than 50 peak hour trips and as such a detailed traffic study was not required. Staff has prepared a comparison of the trips potentially generated under the existing and proposed zoning designations, utilizing a generalized worst-case scenario. The information below is based on data from the Institute of Transportation Engineer's Trip Generation Manual, 10th Edition.

Approved Zoning:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
RDC-12, 31 Single Family Dwelling Units (ITE code 210)	293	23	31

Proposed Zoning:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
PD, 31 Multi Family Dwelling Units (ITE code 220)	227	14	17

Trip Generation Difference:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
Difference	-66	-9	-14

The proposed rezoning would result in a decrease of trips potentially generated by development of the subject site by 66 average daily trips, 9 trips in the a.m. peak hour, and 14 trips in the p.m. peak hour.

TRANSPORTATION INFRASTRUCTURE SERVING THE SITE

The subject property has frontage on Church Avenue. Church Avenue is 2-lane, substandard, Hillsborough County maintained, local roadway, characterized by +/-10 ft. travel lanes. Church Ave lies within +/-76 ft of Right of way. There is a sidewalk on the eastern side of Church Avenue but no sidewalk on the western side in the vicinity of the proposed project.

DESIGN EXCEPTION, SUBSTANDARD ROAD – CHURCH AVE.

Given that Church Ave. is a substandard local roadway, the applicant's Engineer of Record (EOR) submitted a Design Exception (DE) request (on December 22, 2022) for Church Ave. to determine the specific improvements that would be required by the County Engineer. Based on factors presented within the Design Exception request, the County Engineer found the DE approvable (on December 29, 2022). The deviations from the TS-7 Typical Section (2-Lane Undivided, Local and Collector Rural Roadways), include:

- The developer shall be permitted to utilize the existing 10 to 11-foot to travel lanes in lieu of the 12-foot wide travel lanes typically required by the Hillsborough County Transportation Technical Manual (TTM) TS-7;
- The developer shall construct 5-foot sidewalk on the west side of Church Avenue along the property and build +/- 170 additional feet of sidewalk south to connect to the existing sidewalk on the west side of Church Ave.
- The developer shall design, fund, and build one pedestrian mid-block crossing per Hillsborough County Standards. The design, location, and installation timing of the midblock crossing to be reviewed and approved by Public Works.

APPLICATION NUMBER: PD 22-1499

ZHM HEARING DATE: January 17, 2023

BOCC LUM MEETING DATE: March 7, 2023

Case Reviewer: Chris Grandlienard, AICP

SITE ACCESS

The project is proposing a full access connection on Church Ave. Vehicular and Pedestrian cross access is not required per section 6.04.03.Q of the Hillsborough County Land Development Code.

ROADWAY LEVEL OF SERVICE (LOS)

Church Ave is not a regulated roadway and as such was not included in the Level of Service Report.

Northside

Engineering Inc.

Project: North Church Apartments
Date: December 22nd, 2022

Civil
Land Planning
Due Diligence Reports
Re-Zoning, Land Use, Annexation
Stormwater Management
Utility Design
Traffic
Construction Administration

To: Michael J. Williams, P.E.
Development Review Director
County Engineer
Hillsborough County
601 East Kennedy Boulevard
Tampa, FL 33602

Re: North Church Avenue Design Exception – Modified TS-7 Typical Section
Folio # 29194.0000
Zoning Case # RZ PD 22-1499

The purpose of this letter is to provide justification for the request for a Design Exception to Section 1.7 of the Hillsborough County Transportation Technical Manual (TTM), to meet the requirements of Section 6.04.03.L of the Land Development Code (LDC). The request stems from the current application to rezone a ±2.59 acre tract located at 6212 and 6216 N. Church Avenue, from Residential, Duplex Conventional (RDC-12) to Planned Development (PD) to allow the development of up to 31 multi-family dwelling units.

The project proposes to have one (1) full-access connection to N. Church Avenue. N. Church Avenue is a two-lane, local roadway with a posted speed of 30 miles per hour (mph). Within the existing 65 feet of right-of-way, there are currently 10 to 11-foot travel lanes, a 5-foot sidewalk on the east side of the roadway, and approximately 5 to 10 feet of open drainage ditch on the east side of the roadway.

As indicated in the Trip Generation Memorandum, submitted as part of the initial application package for PD 22-1499, the development is anticipated to generate fewer than fifty (50) peak-hour trips.

Due to existing right-of-way constraints including the wide ditch on the east side of the roadway, the proposed improvements to the western portion of N. Church Avenue adjacent to the property include the following modifications to the TS-7 Typical Section:

TS-7 requires 12-foot travel lanes, 5-foot paved shoulders, 5-foot sidewalk, and open drainage within a minimum right-of-way of 96 feet.

The request is to maintain the existing 10 to 11-foot travel lanes, 5-foot sidewalks (existing and proposed), and open drainage within the existing right-of-way of 65 feet.

Exhibit A illustrates the proposed cross section adjacent to the project site as a modification of **Exhibit B** (TS-7). **Exhibit C** provides a plan view of a proposed 5-foot sidewalk on the west side of the roadway adjacent to the project as well as an additional 170-feet of sidewalk on the west side of the roadway south of the project to connect to an existing sidewalk. In addition, the developer is committed to design, fund, and build one (1) pedestrian mid-block crossing per Hillsborough County standards and

specifications. The design, location, and installation timing of the mid-block crossing to be reviewed and approved by the Public Works Department during permitting.

The pedestrian mid-block crossing will be a pedestrian amenity that connects the western side of N. Church Avenue to the existing sidewalk on the eastern side of the roadway. The existing sidewalk extends from Pine Crest Manor Boulevard to the north to Henry Avenue to the south.

Based on the information above, it is anticipated that the proposed improvements to N. Church Avenue will improve the pedestrian experience along the local roadway and meet the intent of the Transportation Technical Manual to the extent feasible.

Please reach out if there are any further questions or you need clarification.

Respectfully,



Digitally signed by Daniel E Shockey
DN: C=US, O=Florida,
dnQualifier=A01410D0000017C6029C9
EC00016FEB, CN=Daniel E Shockey
Reason: I am the author of this document
Location: 300 South Belcher Road,
Clearwater, FL., 33765
Date: 2022.12.22 15:13:33-05'00'
Foxit PDF Editor Version: 11.2.3

Daniel E. Shockey, P.E.
727-443-2869
daniel@northsideengineering.net

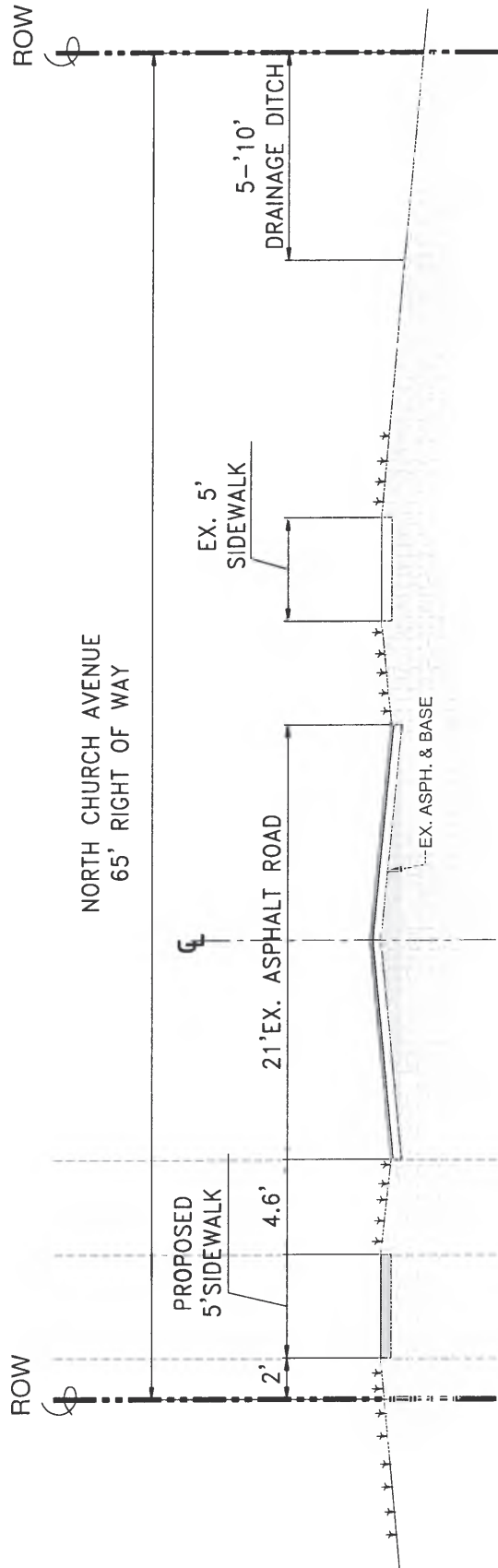
Based on the information provided by the applicant, this request is:

- _____ Disapproved
_____ Approved
_____ Approved with Conditions

Exhibits:

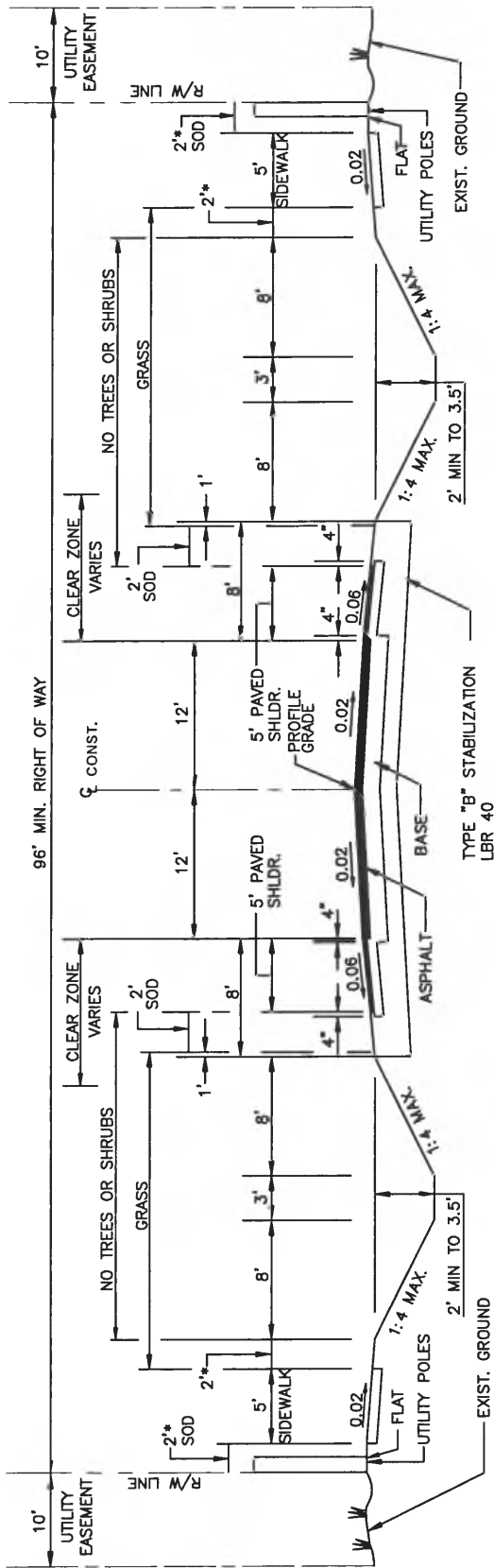
- A. Proposed Typical Section
- B. TTM TS-7
- C. Zoning Site Pan with Plan View of Additional Sidewalk South of Property

EXHIBIT A



**TYPICAL ROAD SECTION -
65' RIGHT-OF-WAY**

EXHIBIT B



TYPICAL SECTION

N.T.S.

FOR LESS THAN 10,000 AADT

MAX. ALLOWABLE DESIGN SPEED - 50 MPH

1. ALL DIMENSIONS SHOWN ARE MINIMUM.
2. SEE APPROPRIATE SECTIONS OF TECHNICAL MANUAL FOR DESIGN PARAMETERS.
- * 3. PROVIDE 2' MINIMUM CLEARANCE FROM FENCES, WALLS, HEDGES, ABOVEGROUND UTILITIES OR IMPROVEMENTS, DROP OFFS, OR FROM THE TOPS OF BANKS WITH SLOPES STEEPER THAN 1 TO 4, THAT INTERFERE WITH THE SAFE, FUNCTIONAL USE OF THE SIDEWALK. INTERMITTENT ABOVEGROUND UTILITIES, OR MATURE TREES, 2' OR LESS IN DIAMETER MAY BE PLACED IN THIS 2' STRIP AS FAR FROM THE SIDEWALK AS POSSIBLE, IF NOT IN THE CLEAR ZONE.
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REVISION DATE:

10/17

**TRANSPORTATION
TECHNICAL
MANUAL**



**Hillsborough
County Florida**

**LOCAL & COLLECTOR RURAL ROADS
(2 LANE UNDIVIDED)
TYPICAL SECTION**

DRAWING NO. TS-7

SHEET NO. 1 OF 1

GENERAL DEVELOPMENT PLAN (P.D.)
NORTH CHURCH APARTMENTS
TAMPA FL 33614
NORTH CHURCH AVENUE



PROJECT # 2729
ISSUE DATE 12/08/22

REVISIONS	DESCRIPTION

Northside Engineering, Inc. logo and contact information.

OWNER CONTACT
SPRITE FIRM LLC
11111 SOUTH BAY AVENUE, SUITE 1000
TAMPA, FL 33618-5243
TEL: 813-288-3353

DEVELOPMENT TEAM
SHAWK GROUP LLC
11111 SOUTH BAY AVENUE, SUITE 1000
TAMPA, FL 33618-5243
TEL: 813-288-3353

CIVIL ENGINEER/PANNER
ARNDT ENGINEERING & ARCHITECTURE
13111 W. PALM BEACH AVENUE, SUITE 200
WEST PALM BEACH, FL 33411
TEL: 561-861-1300

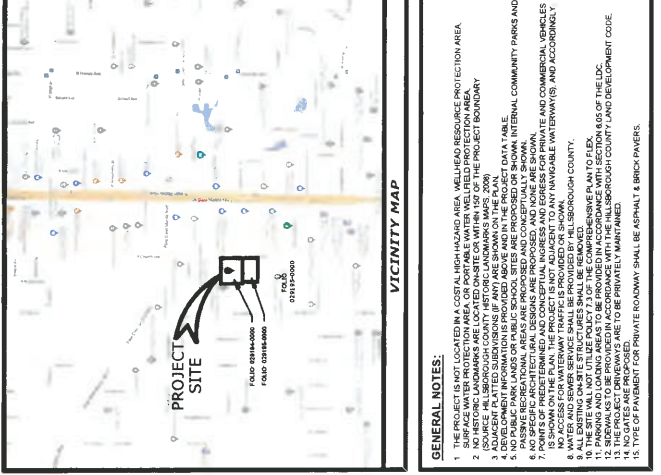
LEGAL DESCRIPTION
SECTION 22, TOWNSHIP 28 S., RANGE 18 E.
PROPERTY
FOID # 000719-0000 CONTAINS 1.37 ACRES MORE OR LESS
GROSS ACREAGE 2.28 ACRES

PROJECT DATA TABLE
SECTION 22, TOWNSHIP 28 S., RANGE 18 E.
PROPERTY
FOID # 000719-0000 CONTAINS 1.37 ACRES MORE OR LESS
GROSS ACREAGE 2.28 ACRES

LEGEND
PO BOUNDARY
PROPERTY LINE
PROPOSED BUILDING
PROPOSED ASPH. (TYP.)
PROPOSED CONC. (TYP.)
PROPOSED BRICK PAVERS (TYP.)

REQUIRED PARKING
PARKING TO BE PROVIDED PER
LOCAL SECTION 6.05.00

GENERAL NOTES
1. THE PROJECT IS SITED IN A ZONED (R-10) RESIDENTIAL AREA...
2. SURFACE WATER PROTECTION AREA OR PORTABLE WATER WELLED PROTECTION AREA...
3. ADJACENT PLATTED SUBDIVISIONS IF ANY ARE SHOWN ON THE PLAN...
4. NO PUBLIC PARK LANDS OR PUBLIC SCHOOL SITES ARE PROPOSED OR SHOWN...
5. NO SPECIFIC ARCHITECTURAL DESIGNS ARE PROPOSED AND NONE ARE SHOWN...
6. POINTS OF PREDETERMINED AND CONCEPTUAL BUSINESS AND EGRESS FOR PRIVATE AND COMMERCIAL VEHICLES...
7. ALL EXISTING ON-SITE STRUCTURES SHALL BE DEMOLISHED...
8. NO ACCESS FOR WATERWAY TRAFFIC IS PROVIDED OR SHOWN...
9. ALL EXISTING ON-SITE STRUCTURES SHALL BE DEMOLISHED...
10. THE SITE WILL NOT UTILIZE POLICY 7.2 OF THE COMPREHENSIVE PLAN TO FILE...
11. SIDEWALKS TO BE PROVIDED IN ACCORDANCE WITH THE HILLSBOROUGH COUNTY LAND DEVELOPMENT CODE...
12. SIDEWALKS TO BE PROVIDED IN ACCORDANCE WITH THE HILLSBOROUGH COUNTY LAND DEVELOPMENT CODE...
13. SIDEWALKS TO BE PROVIDED IN ACCORDANCE WITH THE HILLSBOROUGH COUNTY LAND DEVELOPMENT CODE...
14. NO GATES ARE PROPOSED...
15. TYPE OF PAVEMENT FOR PRIVATE ROADWAY SHALL BE ASPHALT & BRICK PAVERS.



**NORTH CHURCH APARTMENTS
PLANNED DEVELOPMENT (PD)
GENERAL SITE PLAN FOR MULTI-FAMILY
RESIDENTIAL**

Scale: 1"=20'
North Arrow

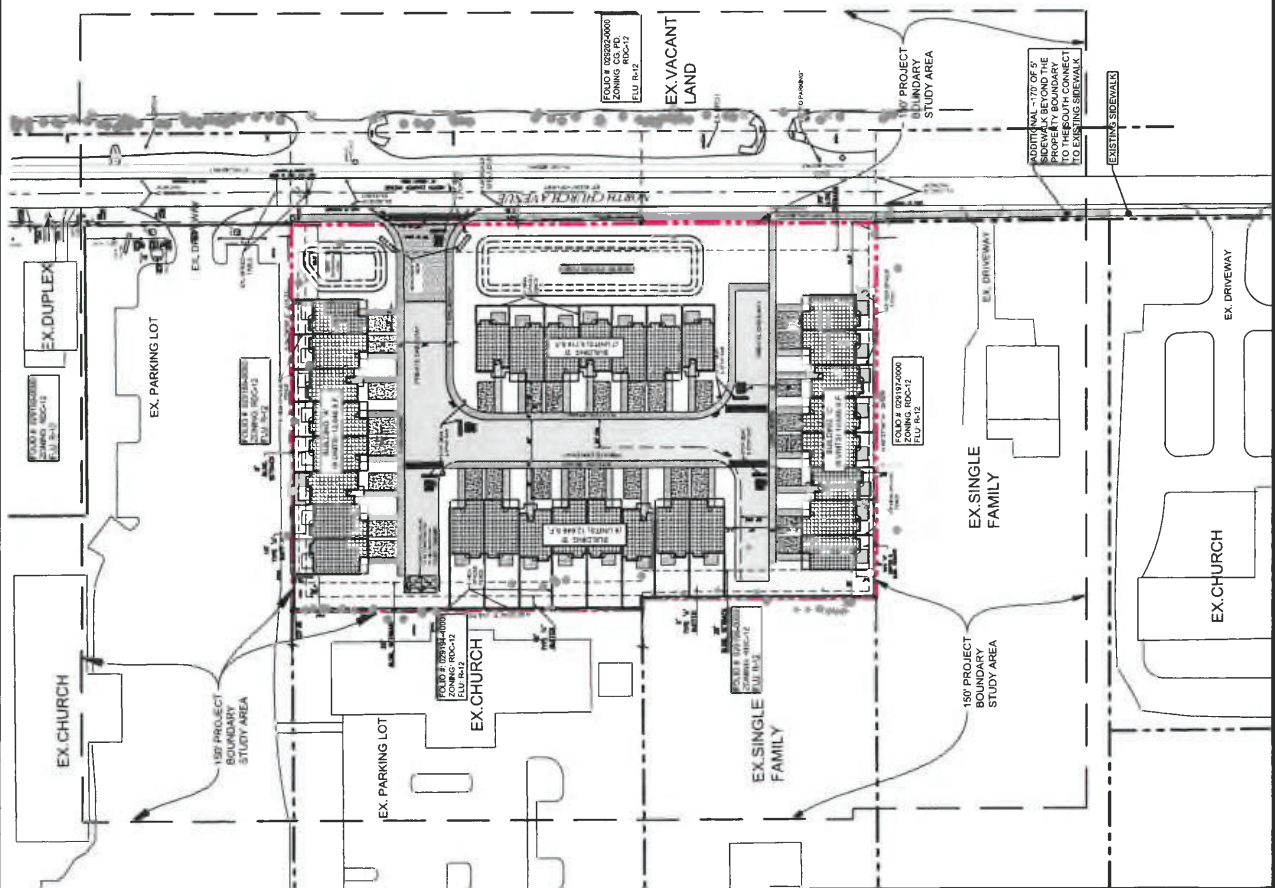


EXHIBIT C



**PARTY OF
RECORD**

NONE