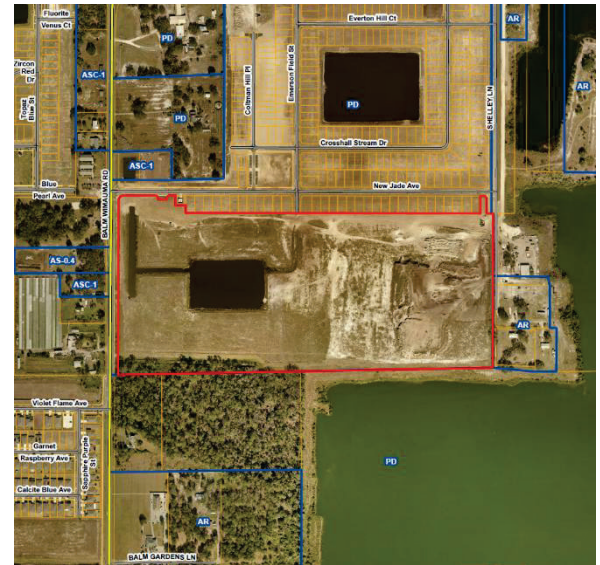




1.0 APPLICATION SUMMARY

Applicant: Balm Grove LLC
FLU Category: RES-4
Service Area: Urban
Site Acreage: 178 acres
Community Plan Area: Balm
Overlay: None



Introduction Summary:

PD 18-0304 was approved in 2018 to permit single-family home development under the RP-2 future land use requirements. In 2025, MM 25-0745 was approved to increase the number of permitted single-family homes in the “Grove Parcel” and remove requirements of the RP-2 future land use category, that coincided with a future land use change to RES-4. The major modification also provided additional details to the layout of the project on the site plan.

The applicant is requesting a minor modification to remove a 50’ wide buffer located in the southeast corner of the subject parcel.

Existing Approval(s):	Proposed Modification(s):
- Bufferyard in the southeast corner along AR property	- Remove bufferyard

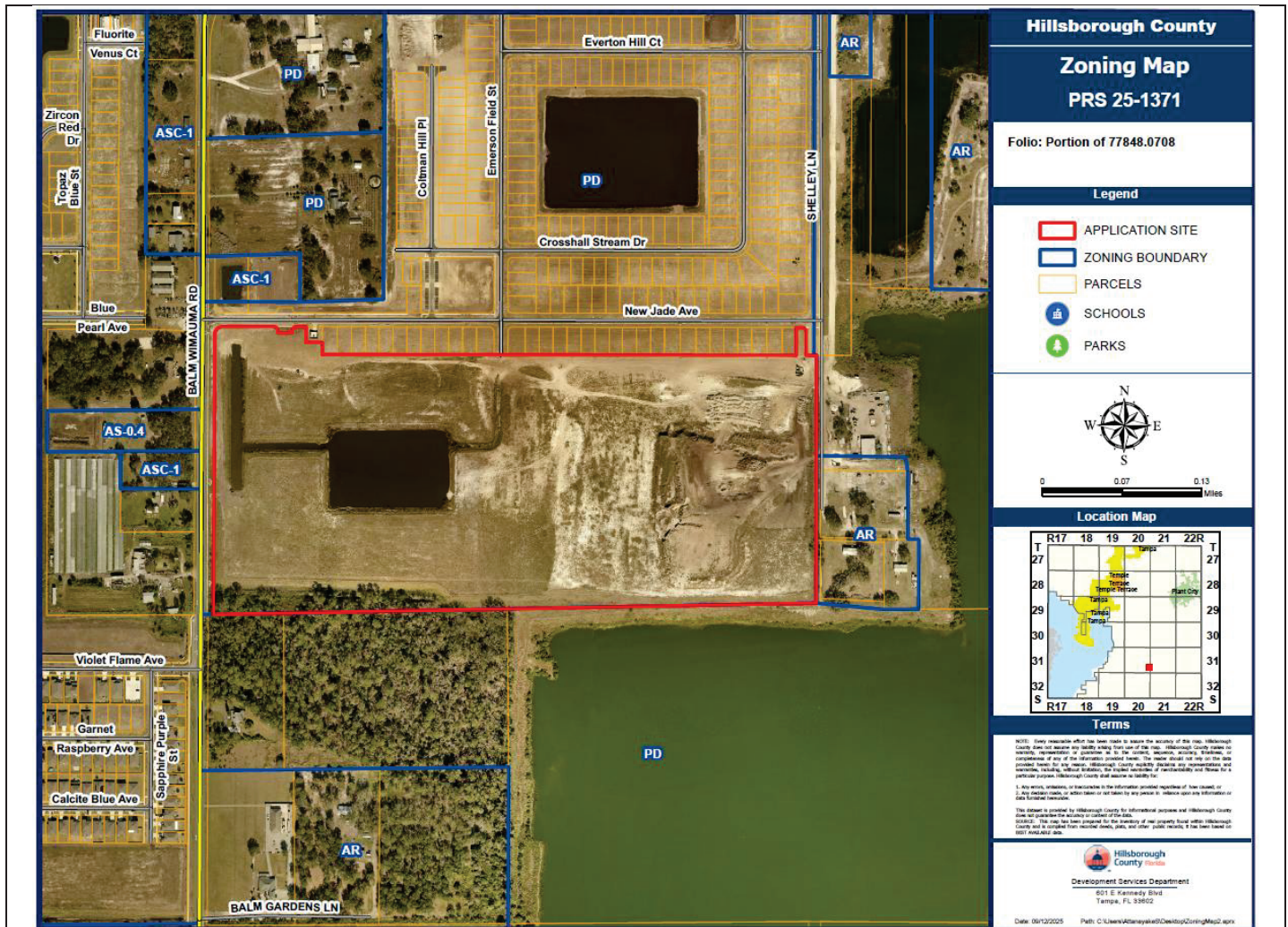
Additional Information:

PD Variation(s):	None Requested as part of this application
Waiver(s) to the Land Development Code:	None Requested as part of this application

Planning Commission Recommendation: N/A	Development Services Recommendation: Approvable, subject to proposed conditions
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2.0 LAND USE MAP SET AND SUMMARY DATA

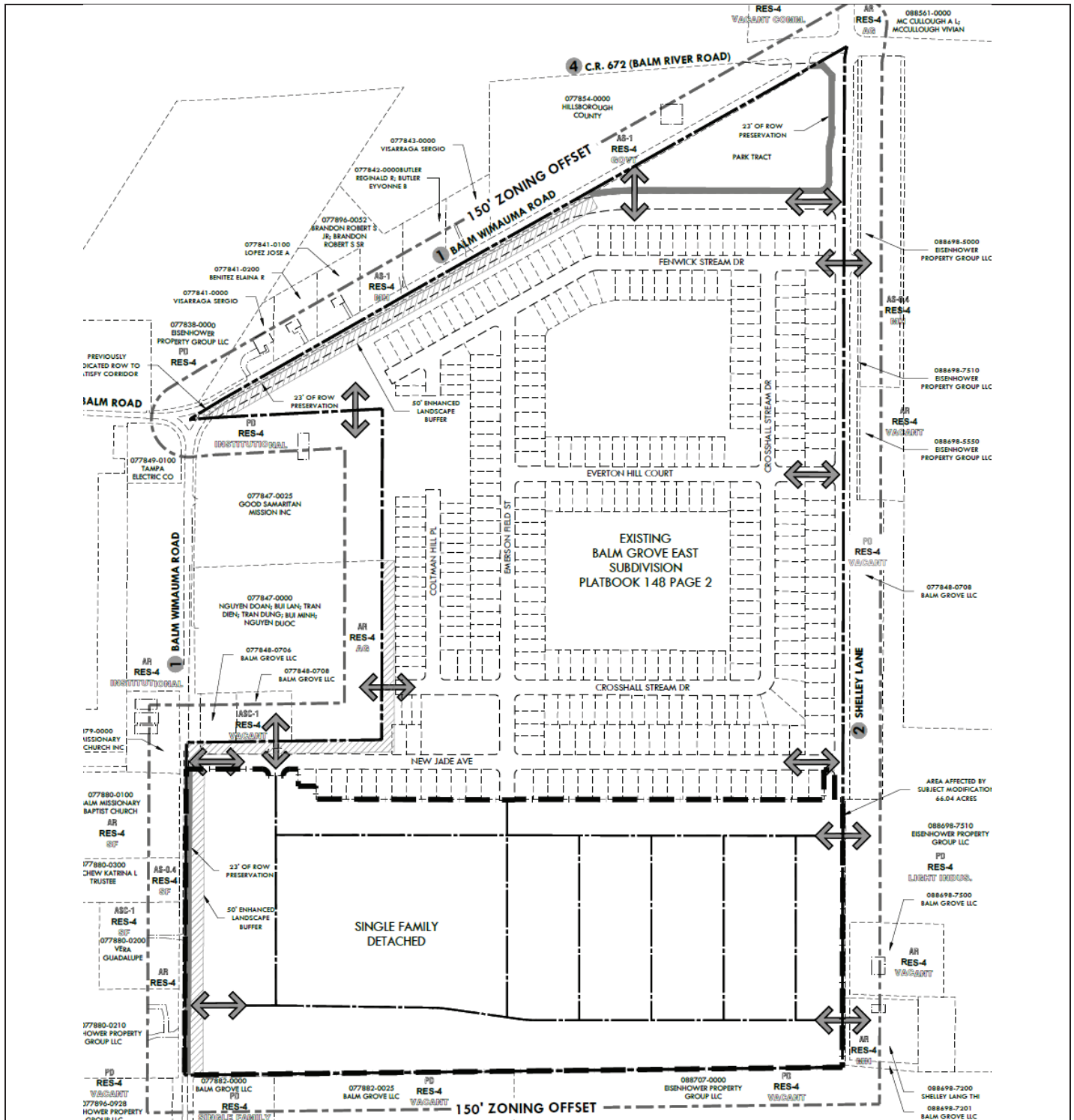
2.2 Immediate Area Map



Adjacent Zonings and Uses

Location:	Zoning:	Maximum Density/F.A.R. Permitted by Zoning District:	Allowable Use:	Existing Use:
North	PD 18-0304	3.93 du per acre	Single-Family Conventional	Undeveloped (platted single-family lots)
South	PD 25-0744	2.02 du per acre	Single-Family Conventional	Single-Family Conventional / Borrow Pit
East	PD 25-0744	2.02 du per acre	Single-Family Conventional	Single-Family Conventional
	AR	1 du per 5 acres	Agriculture / Single-Family Conventional	Single-Family Conventional
West	PD 25-0744	2.02 du per acre	Single-Family Conventional	Single-Family Conventional / agricultural uses

	AS-0.4	1 du per acre	Agriculture / Single-Family Conventional	Single-Family Conventional
	ASC-1	1 du per acre	Agriculture / Single-Family Conventional	Single-Family Conventional
	PD 25-0744	2.02 du per acre	Single-Family Conventional	Undeveloped

2.0 LAND USE MAP SET AND SUMMARY DATA**2.4 Proposed Site Plan** (partial provided below for size and orientation purposes. See Section 8.2 for full site plan)

APPLICATION NUMBER: PRS 25-1371

ZHM HEARING DATE: N/A

BOCC LUM MEETING DATE: November 12, 2025

Case Reviewer: Jared Follin

3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9.0 OF STAFF REPORT)**Adjoining Roadways to Modification Area (check if applicable)**

Road Name	Classification	Current Conditions	Select Future Improvements
Balm Wimauma Rd.	County Collector – Urban/Rural	2 Lanes ☒ Substandard Road ☐ Sufficient ROW Width	☒ Corridor Preservation Plan ☒ Site Access Improvements ☒ Substandard Road Improvements ☐ Other
Shelley Ln.	County Local - Urban	2 Lanes ☒ Substandard Road ☐ Sufficient ROW Width	☐ Corridor Preservation Plan ☐ Site Access Improvements ☒ Substandard Road Improvements ☐ Other

Modification Area Trip Generation ☐ Not applicable for this request

	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	6,045	438	619
Proposed	6,045	438	619
Difference (+/-)	0	0	0

*Trips reported are based on gross external trips unless otherwise noted.

Connectivity and Cross Access ☐ Not applicable for this request

Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North	X	Choose an item.	Choose an item.	Choose an item.
South		Choose an item.	Choose an item.	Choose an item.
East	X	Choose an item.	Choose an item.	Choose an item.
West	X	Choose an item.	Choose an item.	Choose an item.
Notes:				

Design Exception/Administrative Variance ☒ Not applicable for this request

Road Name/Nature of Request	Type	Finding
	Choose an item.	Choose an item.
Notes:		

4.0 ADDITIONAL SITE INFORMATION & AGENCY COMMENTS SUMMARY

INFORMATION/REVIEWING AGENCY				
Environmental:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Environmental Protection Commission	☒ Yes ☐ No	☐ Yes ☒ No	☒ Yes ☐ No	Wetlands present
Natural Resources	☐ Yes ☒ No	☐ Yes ☒ No	☒ Yes ☐ No	
Conservation & Environ. Lands Mgmt.	☒ Yes ☐ No	☐ Yes ☒ No	☐ Yes ☒ No	
Check if Applicable: ☒ Wetlands/Other Surface Waters ☐ Use of Environmentally Sensitive Land Credit ☐ Wellhead Protection Area ☐ Surface Water Resource Protection Area ☐ Potable Water Wellfield Protection Area ☐ Significant Wildlife Habitat ☐ Coastal High Hazard Area ☐ Urban/Suburban/Rural Scenic Corridor ☐ Adjacent to ELAPP property ☐ Other				
Public Facilities:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Transportation ☐ Design Exc./Adm. Variance Requested ☐ Off-site Improvements Provided	☒ Yes ☐ No	☐ Yes ☒ No	☐ Yes ☒ No	
Service Area/ Water & Wastewater ☒ Urban ☐ City of Tampa ☐ Rural ☐ City of Temple Terrace	☒ Yes ☐ No	☐ Yes ☒ No	☐ Yes ☒ No	
Hillsborough County School Board Adequate ☐ K-5 ☐ 6-8 ☐ 9-12 ☒ N/A Inadequate ☐ K-5 ☐ 6-8 ☐ 9-12 ☒ N/A	☐ Yes ☐ No	☐ Yes ☐ No	☐ Yes ☐ No	N/A
Impact/Mobility Fees N/A				
Comprehensive Plan:	Comments Received	Findings	Conditions Requested	Additional Information/Comments
Planning Commission ☐ Meets Locational Criteria ☒ N/A ☐ Locational Criteria Waiver Requested ☐ Minimum Density Met ☒ N/A	☐ Yes ☐ No	☐ Inconsistent ☐ Consistent	☐ Yes ☐ No	N/A

5.0 IMPLEMENTATION RECOMMENDATIONS

5.1 Compatibility

The applicant looks to modify Planned Development 18-0304 in order to remove a 50' buffer yard located at the southeast corner of the site. During the Major Modification of 25-0745, this buffer was meant to be removed to allow roadway connections to the east but was mistakenly not included in their request. These roadway connections were approved by Transportation.

The subject buffer was initially required during the PD's original rezoning (PD 18-0304), which at that time was within the RP-2 Future Land Use category requiring a "Planned Village" development form. That development form required a 250-foot wide buffer (with no screening) around at least 70% of the project's boundaries. As part of the application for PD 18-0304, the applicants proposed and were approved to provide a 50-foot wide landscape buffer within the southeast area. Since that time, the subject site has changed the Future Land Use category from RP-2 to RES-4, no longer requiring a "planned village" form. The majority of the area external to the southeast buffer within the subject PD has been rezoned and is now a part of PD 25-0744 and planned for open space. This area is also now within the RES-4 Future Land Use category. One parcel to the southeast remains unzoned, which is currently zoned AR. This site, as with the other properties to the southeast, is now in the RES-4 FLU. It should be noted that the RP-2 regulations which were in effect in 2018 have since been revised. New regulations allow varying buffer widths. The two areas remain separated by Shelley Lane and development within the AR zoned property is over 100 feet from the PD boundary.

Staff does not have any compatibility concerns with the request to remove the bufferyard. There are no proposed changes to the conditions of approval.

5.2 Recommendation

Based on these considerations, staff finds the proposed Personal Appearance, subject to conditions, approvable.

6.0 PROPOSED CONDITIONS

Approval - Approval of the request, subject to the conditions listed below, is based on the general site plan submitted September 12, 2025.

1. The Rhodine Borrow Pit parcel shall be permitted a maximum of 271 single-family lots within a maximum residential development area of 77.17 acres and developed in accordance with the following development standards. The maximum number of units permitted in the Rhodine Borrow Pit parcel is identified as Critical Design Feature. Any change to this number will require a Major Modification to be reviewed in accordance with the procedures established in LDC Part 10.03.00.

Minimum lot size: 4,400 square feet/5,500 square feet

Minimum lot width: 40 feet/50 feet

Minimum front yard setback: 20 feet

10 feet for front yards functioning as side yards*

Minimum side yard setback: 5 feet

Minimum rear yard setback: 15 feet

Maximum building height: 35 feet/2-stories

*Garages accessed from front yards functioning as side yards shall be setback a minimum of 20 feet.

- 1.1 The project's residential development area shall consist of a maximum of 77.17 acres. Correspondingly, the remaining 99.9 acres shall be utilized as open space in accordance with Comprehensive Plan Policy 14.2. A total of 0.23 acres shall be dedicated to the Village Node to provide a maximum FAR of 0.35 for the required on-site retail square footage. The Village Node acreage shall not be considered open space or residential development area.

- 1.2 Along the southern PD boundary of the Rhodine Borrow Pit area, adjacent to PD 98-0812 (Triple Creek), single-family residential lots/units shall be permitted to be partially located in both the subject PD and PD 98-0812 as part of a unified plan of development. At the time of platting, these lots shall be assigned to either the subject PD or PD 98-0812 and in no case shall the maximum number of permitted units in either PD be exceeded. These lots shall follow the development standards and any additional supplement requirements of the PD they are assigned to for accounting purposes. Vehicular and pedestrian cross access between the common boundary line shall be permitted.

2. For lots at a width of less than 50 feet, the following shall apply:

- 2.1 Garages shall be setback a minimum of 25 feet. Garages accessed from a front yard functioning as a side yard shall be setback a minimum of 20 feet.

- 2.2 A 2-car garage and a minimum 18 foot wide driveway shall be provided for each unit.

- 2.3 All driveways shall be provided in an alternating pattern on the left or right side of the unit's front façade. Homes shall not have the same driveway location (left or right side) as the adjacent home. The alternating pattern may be adjusted at corner lots as necessary.

- 2.4 A variety of garage door designs shall be provided and there shall be no two identical garage door designs adjacent to each other.

- 2.5 Each unit's primary entrance door shall face the roadway.
 - 2.6 Street trees may include an alternating pattern of shade and ornamental trees, subject to final design and approval by Natural Resources staff.
3. A maximum of 3,658.5 square feet of neighborhood retail uses shall be provided within Commercial Pocket A (Rhodine Borrow Pit Village Node). Neighborhood retail uses shall include grocery stores, food/produce markets, convenience stores, pharmacies and other retail uses permitted in the CN zoning district.
4. The Rhodine Borrow Pit Village Node shall meet the following:
 - 4.1 The Village Node may also contain office uses, residential support uses (such as churches, adult care centers and daycare centers) and government uses (such as schools, government offices/services). Square footage for these uses shall not count towards the minimum square footage required for onsite neighborhood retail. The maximum F.A.R. permitted within the entire Village Node is 0.35.
 - 4.2 No minimum building setbacks shall be required.
 - 4.3 Building height shall be limited to a maximum of 35 feet with no additional setback for buildings over 20 feet in height required.
 - 4.4 Buffering and screening in accordance with Land Development Code Section 6.06.06 shall be provided along adjacent properties of differing land use classifications.
 - 4.5 Parking lots in the Village Node shall be located at the rear or to the side of buildings, or to the interior of a block. Not more than two rows of angled parking shall be located between a building and the roadway.
 - 4.6 Signage within the Village Node shall be limited to monument signs.
5. Prior to the issuance of building permits for more than 75% of the residential units (lots 203-271), Certificates of Occupancy shall be issued for a minimum of 50 percent of the 3,658.5 s.f. of required on-site neighborhood retail in the Village Node. Prior to the building permits for more than 95% of the residential units (lots 257-271), Certificates of Occupancy shall be issued for the remaining 3,658.5 square feet of neighborhood retail in the Village Node.
6. The developer shall provide a pedestrian system of sidewalks and/or stabilized pathways (a minimum of 5 feet in width) throughout the project with direct connections between the residential, open space and Village Node areas.
7. A 50-foot wide buffer shall be provided where depicted on the general site plan. This buffer is to be platted as a separate tract to be owned and maintained by the Homeowner's Association, or other similar entity. Within the buffer, screening shall be provided and shall be either 1) screening to consist of two or more of the following for an overall height of six feet: a berm (4:1 slope), a continuous row of evergreen shrubs at a minimum height of 24" and/or a solid wooden fence, PVC fence or wall architecturally finished on both sides; or 2) a six foot high wooden fence, PVC fence or wall architecturally finished on both sides and a row of evergreen shade trees at a minimum of 10 feet in height and minimum 2" caliper at the time of planting planted on 20 foot centers. Should the buffer abut a right-of-way, use of a six-foot-high wooden fence shall not be used. Additionally, should the buffer abut a right-of-way, hedges or trees shall not be blocked by a fence/wall from the view of the roadway and properties facing the village.

8. The parcel identified by Folio Number 77420.5000 is adjacent to the Triple Creek Preserve. Per LDC Section 4.01.00, compatibility of the development with the preserve will be ensured with a compatibility plan that addresses issues related to the development such as, but not necessarily limited to, access, prescribed fire, and landscaping. The compatibility plan shall be proposed by the developer, reviewed and approved by the Conservation and Environmental Lands Management Department, and shall be required as a condition of granting a Natural Resources Permit.
9. As Rhodine Road is a substandard collector roadway, the developer shall improve Rhodine Road between the project driveway and the nearest standard roadway to current County standards unless otherwise approved in accordance with Section 6.04.02.B of the Hillsborough County Land Development Code (LDC). Deviations from Transportation Technical Manual (TTM) standards may be considered in accordance with Section 1.7.2 and other applicable sections of the Hillsborough County TTM.
10. Utilization of proposed access points along the project's southern boundary shall require modification of the adjacent Planned Development (to permit such cross access).
11. The developer shall construct the following site access improvements, unless otherwise approved by Hillsborough County Public Works:
 - a. An eastbound to southbound right turn lane on Rhodine Road into the project; and,
 - b. A westbound to southbound left turn lane on Rhodine Road into the project. Such improvements may require the developer to dedicate or otherwise acquire additional right-of-way.
12. The developer shall construct an internal project roadway beginning at Rhodine Road and continuing for a distance of approximately 3,650 ft (i.e. to the south most point of the area of modification shown on the PD site plan for PRS 23-0030, hereafter referred to as the "Rhodine Road Connector"). The Rhodine Road Connector shall be constructed in two segments: (1) first, the southernmost +/- 1,850 ft (i.e., between the southmost point of the Rhodine Road Connector and the existing entrance into Folio 77420.6000 (the "South Segment"); and, (2) second, from the existing entrance into Folio 77420.6000 to Rhodine Road (the "North Segment").
 - 12.1 Building permit applications for more than 75% of the residential units (i.e. for the 204th-270th residential unit) may not be filed by the developer until the developer has:
 - a. Substantially completed the South Segment of the Rhodine Road Connector and such facility is open to traffic; and,
 - b. Posted (and the County has accepted) a performance bond which guarantees construction of the North Segment. Such performance bond shall be issued in an amount equal to 125% of the estimated cost to construct the facility.
 - 12.2 Building permits for more than 75% of the residential units (i.e. For the 204th-270th residential unit) may not be issued by the County until the developer has substantially completed the North Segment of the Rhodine Road Connector and such facility is open to traffic.
 - 12.3 The first 1,800 feet of the Rhodine Road Connector (south of Rhodine Road) shall be utilized as a Shared Access Facility. The purpose of this shared access facility is to serve:
 - a. Future development on folio 77409.3000, consistent with the adjacent PD 05-0110; and,

- b. Existing/future development on folio 77420.6000.

Notwithstanding anything shown on the PD site plan to the contrary, vehicular and pedestrian access may be taken anywhere along the project boundaries with folios 77409.3000 and 77420.6000, subject to the review and approval of Hillsborough County Public Works.

13. In accordance with the Hillsborough County Corridor Preservation Plan, the developer shall preserve up to 5 feet of right-of-way along its Rhodine Road frontage, such that a minimum of 55 feet of right-of-way is preserved south of the existing right-of-way centerline. Only those interim uses allowed by the Hillsborough County LDC shall be permitted within the preserved right-of-way. The right-of-way preservation area shall be shown on all future site plans, and building setbacks shall be calculated from the future right-of-way line.

The following shall apply to the Grove parcel:

14. The Grove parcel shall be permitted a maximum of 700 single-family lots and developed in accordance with the following development standards. The maximum number of units permitted in the Grove parcel is identified as Critical Design Feature. Any change to this number will require a Major Modification to be reviewed in accordance with the procedures established in LDC Part 10.03.00:

Minimum lot size:	4,400 square feet
Minimum lot width:	40 feet
Minimum front yard setback:	20 feet
10 feet for front yards functioning as side yards*	
Minimum side yard setback:	** 5 feet
Minimum rear yard setback:	*** 15 feet
Maximum building height:	35 feet/2-stories

*when no access is taken from the front yard functioning as the side yard, the setback shall be a minimum of 10 feet. When access is taken from the front yard functioning as the side yard, the setback shall be a minimum of 20 feet.

**Side yard setback should be 20 feet when used for access.

***Minimum rear setback of 5 feet for accessory structures and 3 feet for pool enclosures.

- 14.1 Land Excavation shall be a permitted use on the Grove Parcel subject to approval of a Special Use Permit per Land Development Code Section 6.11.54. The maximum export permitted shall be 759,000 cubic yards from Pond N, 78,000 cubic yards from Pond SW and 238,000 cubic yards from Pond SE (as depicted in SU 19-1026) for a total of 1,075,000 cubic yards.

Special Use Permit 19-1026 shall expire three years from the date of Operating Permit approval. If an Operating Permit has not been issued for any portion of the land excavation within two years of the date of approval for PD modification 21-0033, as required in condition 2 of Special Use Permit 19-1026, then Special Use Permit 19-1026 shall expire.

15. For lots at a width of less than 50 feet, the following shall apply:

15.1 A 2-car garage shall be provided for each unit.

15.2 Each unit's primary entrance door shall face the roadway.

16. A 50-foot-wide buffer shall be provided where depicted on the general site plan. Should the buffer be adjacent to a roadway requiring right-of-way preservation, the buffer shall be measured from the future right-of-way line. This buffer is to be platted as a separate tract to be owned and maintained by the Homeowner's Association, or other similar entity. Within the buffer, screening shall be provided and shall be either: 1) screening to consist of two or more of the following for an overall height of six feet: a berm (4:1 slope), a continuous row of evergreen shrubs at a minimum height of 24" and/or a solid wooden fence, PVC fence or wall architecturally finished on both sides; or 2) a six foot high wooden fence, PVC fence or wall architecturally finished on both sides and a row of evergreen shade trees at a minimum of 10 feet in height and minimum 2" caliper at the time of planting planted on 20 foot centers. Should the buffer abut a right-of-way, use of a six-foot-high wooden fence shall not be used. Additionally, should the buffer abut a right-of-way, hedges or trees shall not be blocked by a fence/wall from the view of the roadway and properties facing the village. Any buffers abutting a right-of-way shall be measured from the roadway's preservation line.
- a. Should any portion of Balm-Wimauma Road be vacated (Option 1 and Option 2 in condition 17.d), the 50-foot-wide buffer and screening shall not be required.
17. A 250-foot-wide buffer shall be provided adjacent to folio 77850.0000, as depicted on the general site plan.
18. The developer shall construct the following site access improvements, of which 18.a, 18.b or 18.c shall be constructed only if warranted per Section 6.04.04.D. of the Hillsborough County Land Development Code or unless otherwise approved in accordance the Section 6.04.02.B. administrative variance process:
- a. An eastbound to southbound right turn lane on CR 672 at Shelley Ln.; [COMPLETED]
- b. A westbound to southbound left turn lane on CR 672 at Shelley Ln.; [COMPLETED]
- c. A southbound to eastbound left turn lane and a northbound to eastbound right turn lane on Balm Wimauma Rd. into the project's southernmost entrance; and,
- d. A southbound to eastbound left turn lane and a northbound and eastbound right turn lane on Balm Wimauma Rd. into the project's New Jade entrance; and
- 18.1 The developer shall realign up to +/- 1,300 feet of Balm Wimauma Rd. (i.e. that portion immediately south of CR 672) such that it connects to Shelley Ln. Concurrent with the opening of the realigned roadway extension, the developer shall close the old/realigned roadway and, within 6 months, complete removal of the old/unutilized roadway. Specific limits of the segment to be realigned/removed shall be determined and approved by Hillsborough County Public Works. Utilization of this option is contingent upon the developer's ability to, at its sole cost, design the facility, obtain all required permits for construction, and acquire any additional right-of-way necessary for the proposed extension and related improvements. Utilization of this option is also contingent upon review and approval of the proposed roadway by Hillsborough County Public Works, including any turn lanes that may be required by the County at the newly created intersection of Balm Wimauma Rd. and Shelley Ln. The applicant shall also be responsible for preserving sufficient right-of-way necessary to accommodate a 2-lane enhanced roadway segment between the new intersection and CR 672.
19. As Shelley Ln. is a substandard local roadway the developer will be required to improve Shelley Ln., between its southernmost access connection and the intersection with Balm Wimauma Rd, to current County standards unless otherwise approved in accordance with Section 6.04.02.B. of the Hillsborough County LDC. Deviations from TTM standards may be considered in accordance with Section 1.7.2. and other applicable sections of the Hillsborough County TTM.

20. If MM 25-0745 is approved, the County Engineer will approve the Design Exception (dated July 9, 2025), which was found approvable on July 11, 2025, for Balm Wimauma Rd. substandard road improvements. As Balm Wimauma Rd. is a substandard rural collector roadway, the developer will be required to construct improvements that include 11-foot-wide lanes, 8-foot shoulders with 7 feet paved consistent with the Design Exception.

The following shall apply to both parcels:

21. Access shall be provided as shown on the PD site plan unless otherwise provided herein these conditions. Internal roadways may be public or private, and if private, roadways may be gated (except for those portions functioning as shared access roadways, as required herein these conditions).
22. Notwithstanding anything on the PD site plan or herein these conditions to the contrary, bicycle and pedestrian access may be permitted anywhere along the project boundaries.
23. Approval of this zoning petition by Hillsborough County does not constitute a guarantee that the Environmental Protection Commission of Hillsborough County (EPC) approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impact to wetlands, and does not grant any implied or vested right to environmental approvals.
24. The construction and location of any proposed wetland impacts are not approved by this correspondence, but shall be reviewed by EPC staff under separate applications pursuant to the EPC Wetlands rule detailed in Chapter 1-11, Rules of the EPC, (Chapter 1-11) to determine whether such impacts are necessary to accomplish reasonable use of the subject property.
25. Prior to the issuance of any building or land alteration permits or other development, the approved wetland/other surface water (OSW) line must be incorporated into the site plan. The wetland/OSW line must appear on all site plans, labeled as "EPC Wetland Line", and the wetland must be labeled as "Wetland Conservation Area" pursuant to the Hillsborough County Land Development Code (LDC).
26. Final design of buildings, stormwater retention areas, and ingress/egresses are subject to change pending formal agency jurisdictional determinations of wetland and other surface water boundaries and approval by the appropriate regulatory agencies.
27. Wetlands or other surface waters are considered Environmentally Sensitive Areas and are subject to Conservation Area and Preservation Area setbacks. A minimum setback must be maintained around these areas which shall be designated on all future plan submittals. Only items explicitly stated in the condition of approval or items allowed per the LDC may be placed within the wetland setback. Proposed land alterations are restricted within the wetland setback areas.
28. Approval of this petition by Hillsborough County does not constitute a guarantee that Natural Resources approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impacts to trees, natural plant communities or wildlife habitat, and does not grant any implied or vested right to environmental approvals.
29. The construction and location of any proposed environmental impacts are not approved by this correspondence, but shall be reviewed by Natural Resources staff through the site and subdivision development plan process pursuant to the Land Development Code.

30. If the notes and/or graphics on the site plan are in conflict with specific zoning conditions and/or the Land Development Code (LDC) regulations, the more restrictive regulation shall apply, unless specifically conditioned otherwise. References to development standards of the LDC in any stated conditions shall be interpreted as the regulations in effect at the time of preliminary site plan/plat approval.
31. In accordance with LDC Section 5.03.07.C, the certified PD general site plan shall expire for the internal transportation network and external access points, as well as for any conditions related to the internal transportation network and external access points, if site construction plans, or equivalent thereof, have not been approved for all or part of the subject Planned Development within 5 years of the effective date of the PD unless an extension is granted as provided in the LDC. Upon expiration, recertification of the PD General Site Plan shall be required in accordance with provisions set forth in LDC Section 5.03.07.C.

Zoning Administrator Sign Off:

J. Brian Grady

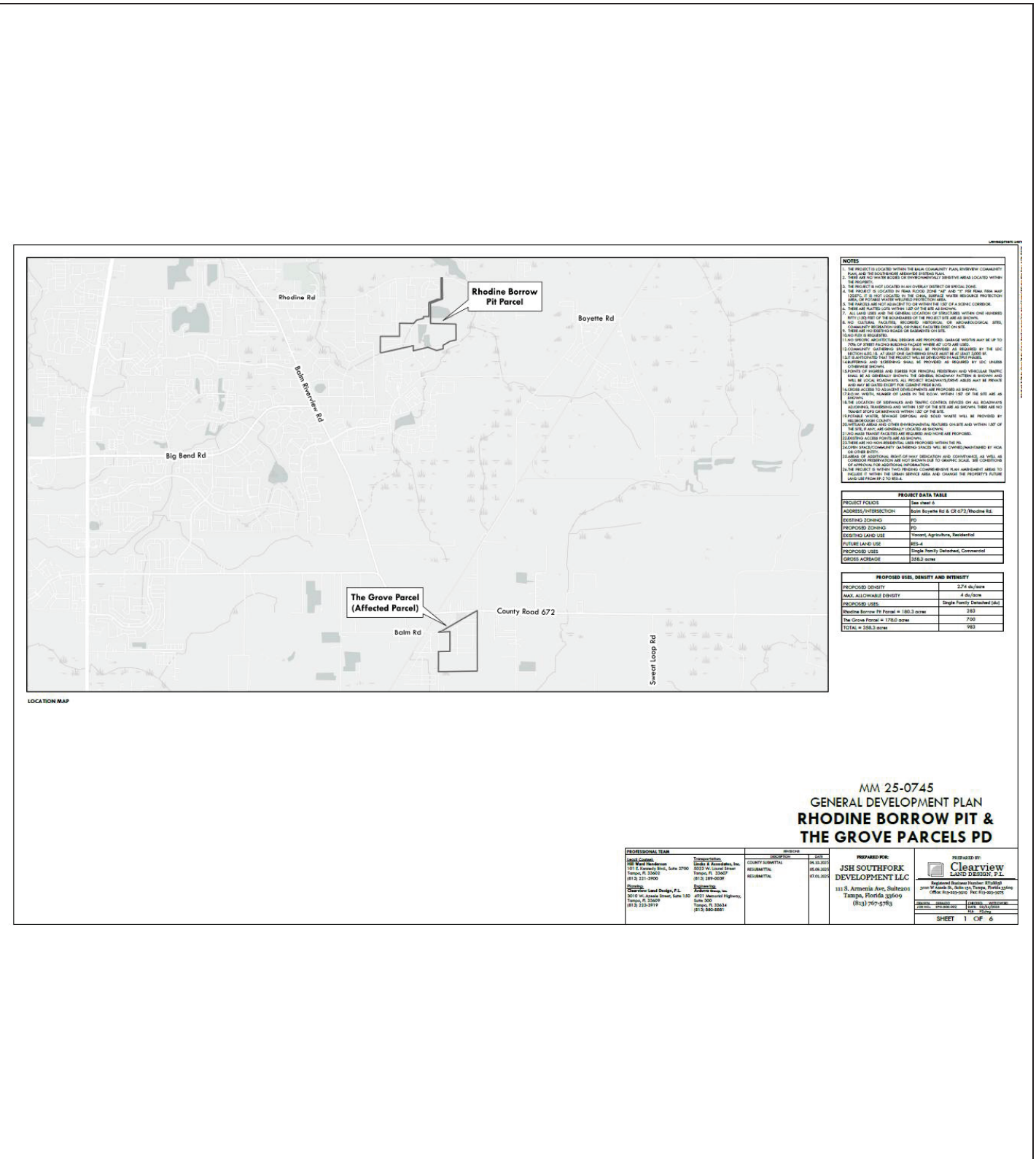
SITE, SUBDIVISION AND BUILDING CONSTRUCTION IN ACCORDANCE WITH HILLSBOROUGH COUNTY SITE DEVELOPMENT PLAN & BUILDING REVIEW AND APPROVAL.

Approval of this re-zoning petition by Hillsborough County does not constitute a guarantee that the project will receive approvals/permits necessary for site development as proposed will be issued, nor does it imply that other required permits needed for site development or building construction are being waived or otherwise approved. The project will be required to comply with the Site Development Plan Review approval process in addition to obtain all necessary building permits for on-site structures.

7.0 ADDITIONAL INFORMATION AND/OR GRAPHICS

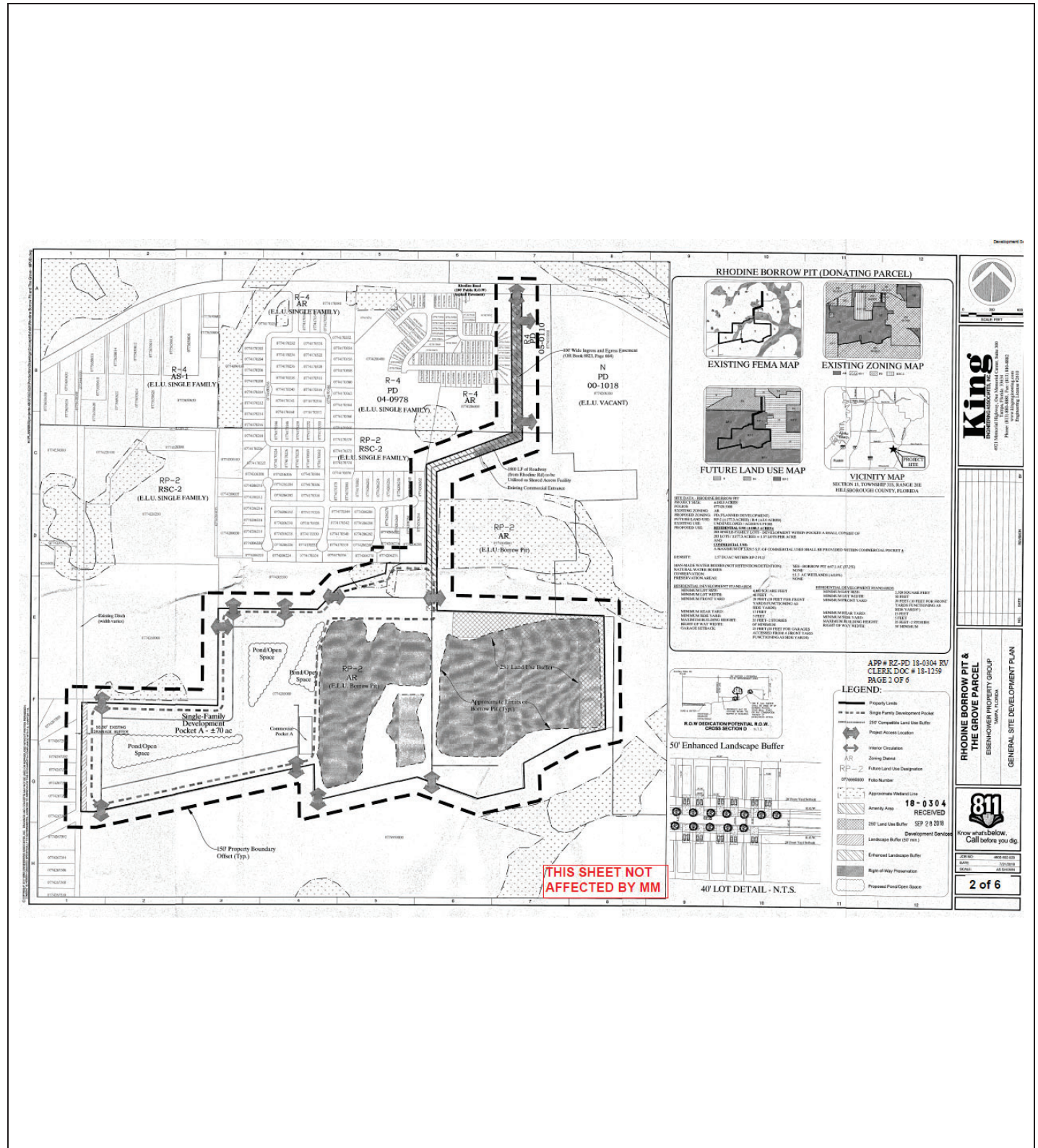
None.

8.1 Approved Site Plan (Page 1 of 6)



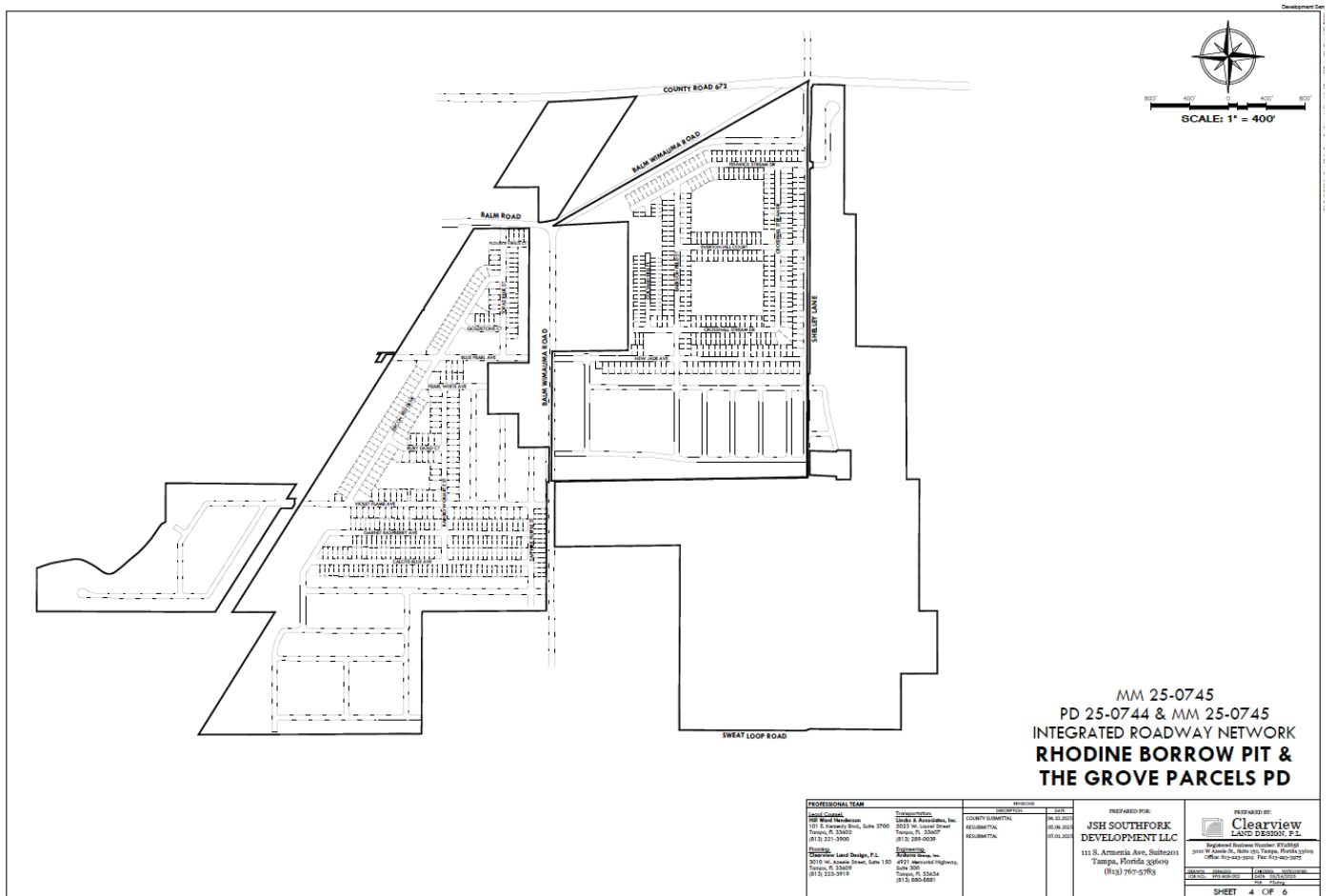
8.0 SITE PLANS (FULL)

8.1 Approved Site Plan (Page 2 of 6)



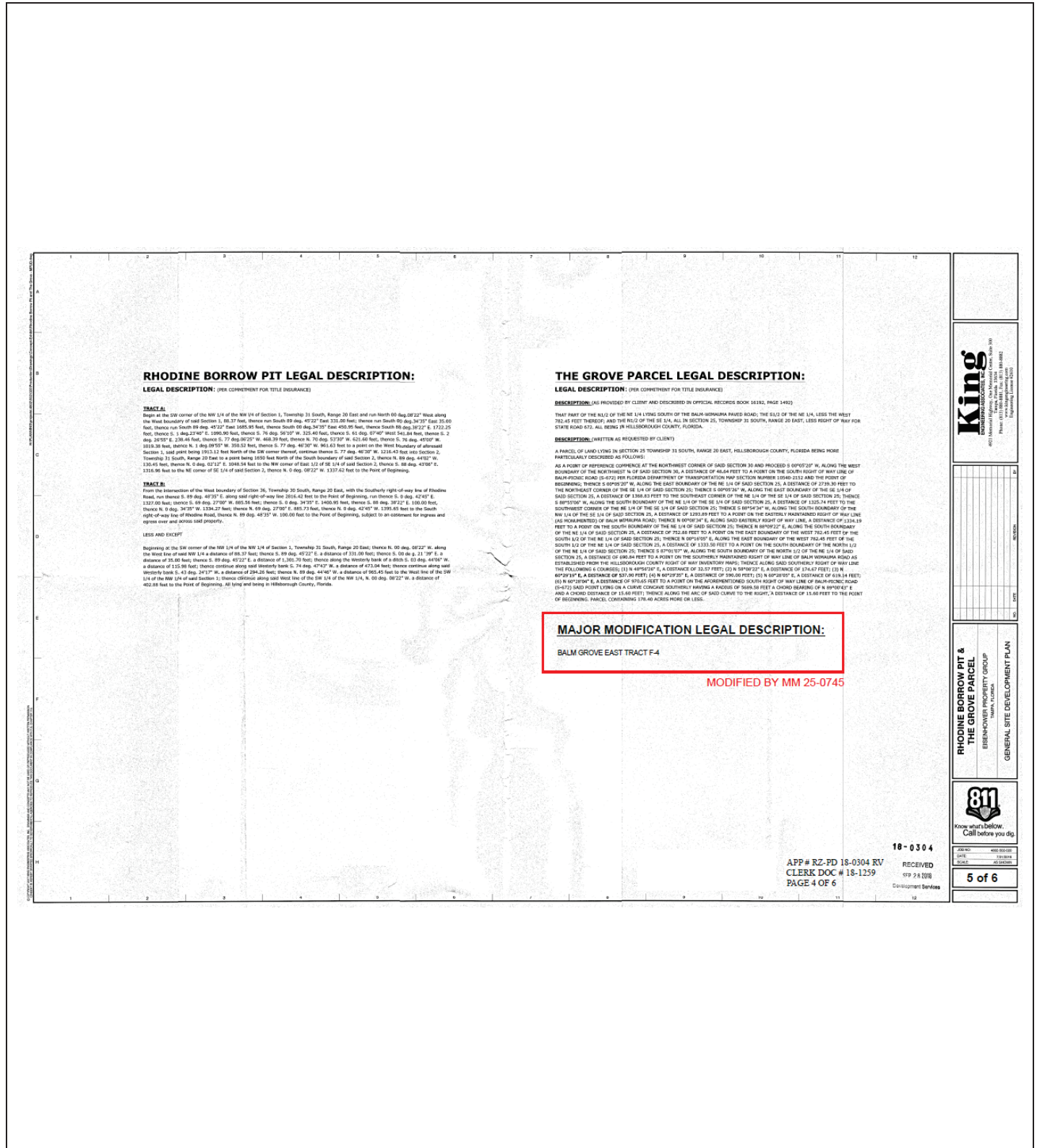
8.1 Approved Site Plan (Page 3 of 6)



8.0 SITE PLANS (FULL)**8.1 Approved Site Plan (Page 4 of 6)**

8.0 SITE PLANS (FULL)

8.1 Approved Site Plan (Page 5 of 6)



8.0 SITE PLANS (FULL)

8.1 Approved Site Plan (Page 6 of 6)

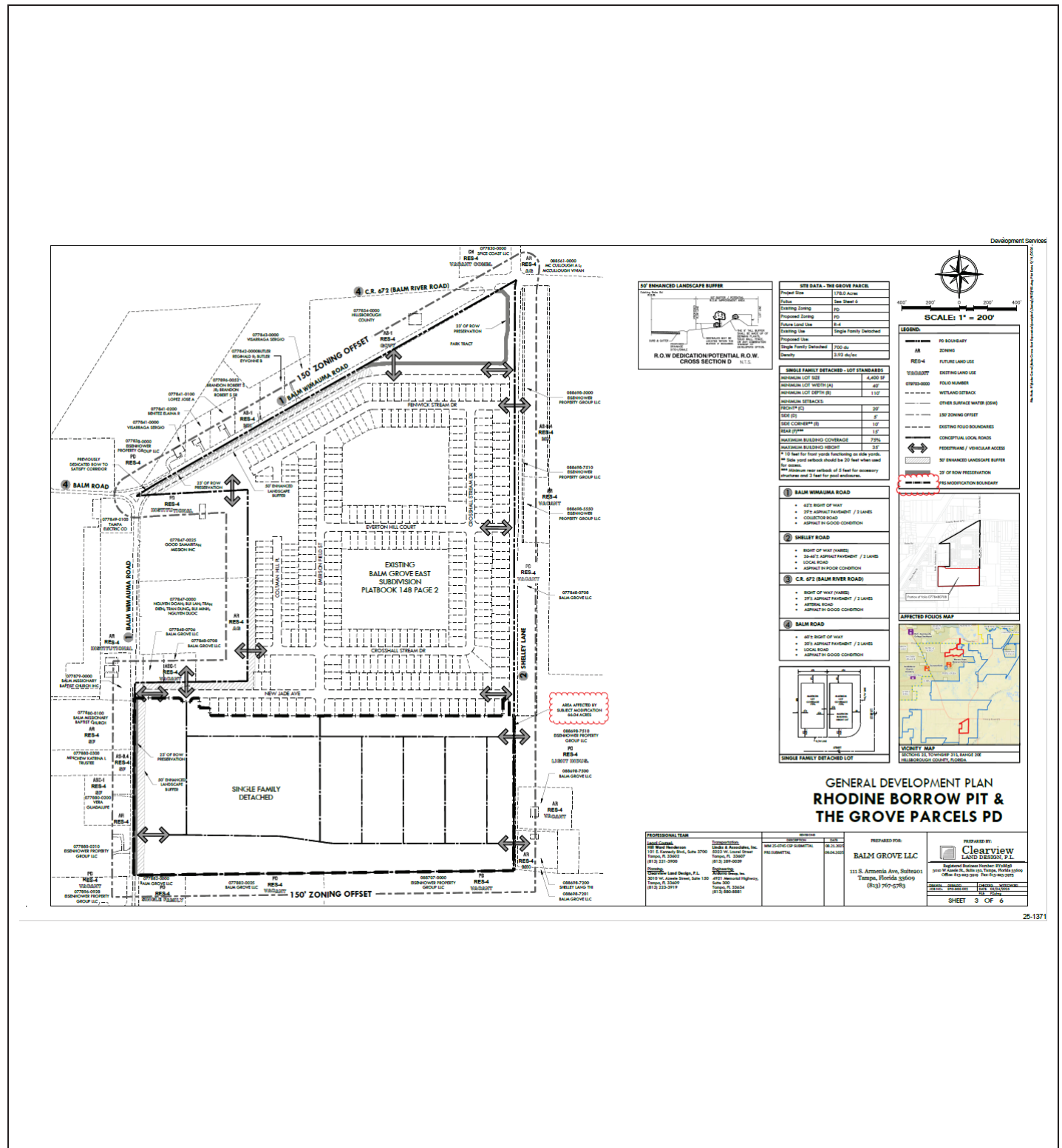
RHODINE PARCEL				THE GROVE PARCEL			
P.L.U.				P.L.U.	NO attached parcel - a parcel of 0.78480708		
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074205813	074205834	074205748	074205880	077848013	0778480242	0778480356	0778480270
074205816	074205836	074205750	074205884	077848016	0778480244	0778480358	0778480272
074205818	074205838	074205752	074205886	077848018	0778480246	0778480360	0778480274
074205820	074205840	074205754	074205888	077848020	0778480248	0778480362	0778480276
074205822	074205842	074205756	074205890	077848022	0778480250	0778480364	0778480278
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MM 25-0745
GENERAL DEVELOPMENT PLAN
RHODINE BORROW PIT &
THE GROVE PARCELS PD

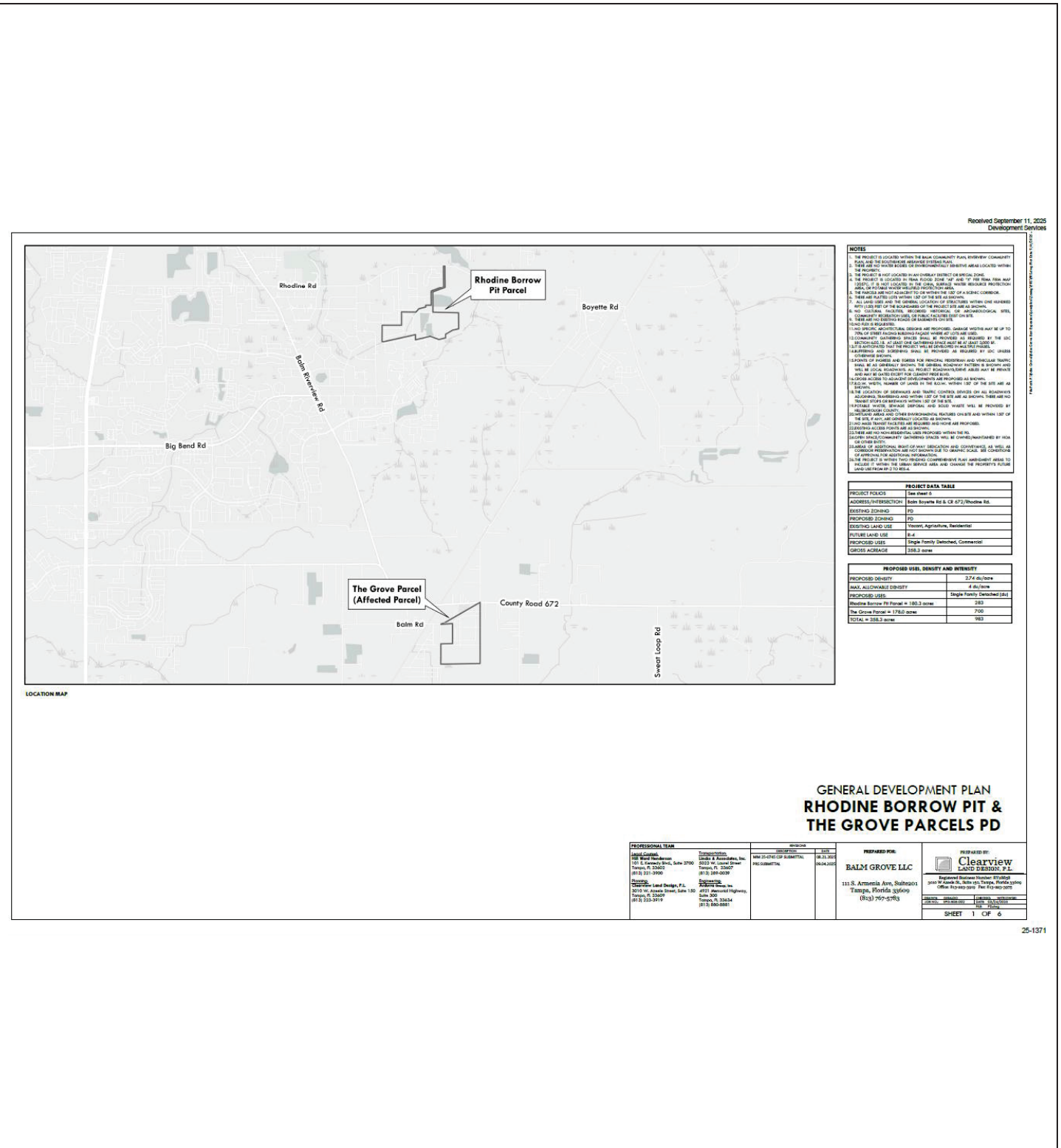
PROFESSIONAL TEAM Lead Engineer: JSH Southfork 101 E. Kennedy Blvd., Suite 3700 Tampa, FL 33602 (813) 231-3300 Design: Clearview Land Design, P.L.L.C. 2015 W. Alameda Ave., Suite 100 Tampa, FL 33605 (813) 232-3919	Prepared By: JSH Southfork 101 E. Kennedy Blvd., Suite 3700 Tampa, FL 33602 (813) 231-3300 Reviewed By: JSH Southfork 101 E. Kennedy Blvd., Suite 3700 Tampa, FL 33602 (813) 231-3300 Approved By: JSH Southfork 101 E. Kennedy Blvd., Suite 3700 Tampa, FL 33602 (813) 231-3300	REVISIONS <table><tr><th>NO.</th><th>DESCRIPTION</th><th>DATE</th></tr><tr><td>1</td><td>ISSUED FOR PERMIT</td><td>06.06.2025</td></tr><tr><td>2</td><td>ISSUED FOR PERMIT</td><td>06.06.2025</td></tr></table>	NO.	DESCRIPTION	DATE	1	ISSUED FOR PERMIT	06.06.2025	2	ISSUED FOR PERMIT	06.06.2025	PREPARED BY: JSH SOUTHFORK DEVELOPMENT LLC 111 S. Armenia Ave., Suite 200 Tampa, Florida 33609 (813) 767-0783	PREPARED BY: Clearview LAND DESIGN, P.L.L.C. 2015 W. Alameda Ave., Suite 100 Tampa, Florida 33605 (813) 232-3919 DATE: 06.06.2025 SHEET 6 OF 6
NO.	DESCRIPTION	DATE											
1	ISSUED FOR PERMIT	06.06.2025											
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8.0 SITE PLANS (FULL)

8.2 Proposed Site Plan (Page 1 of 7)

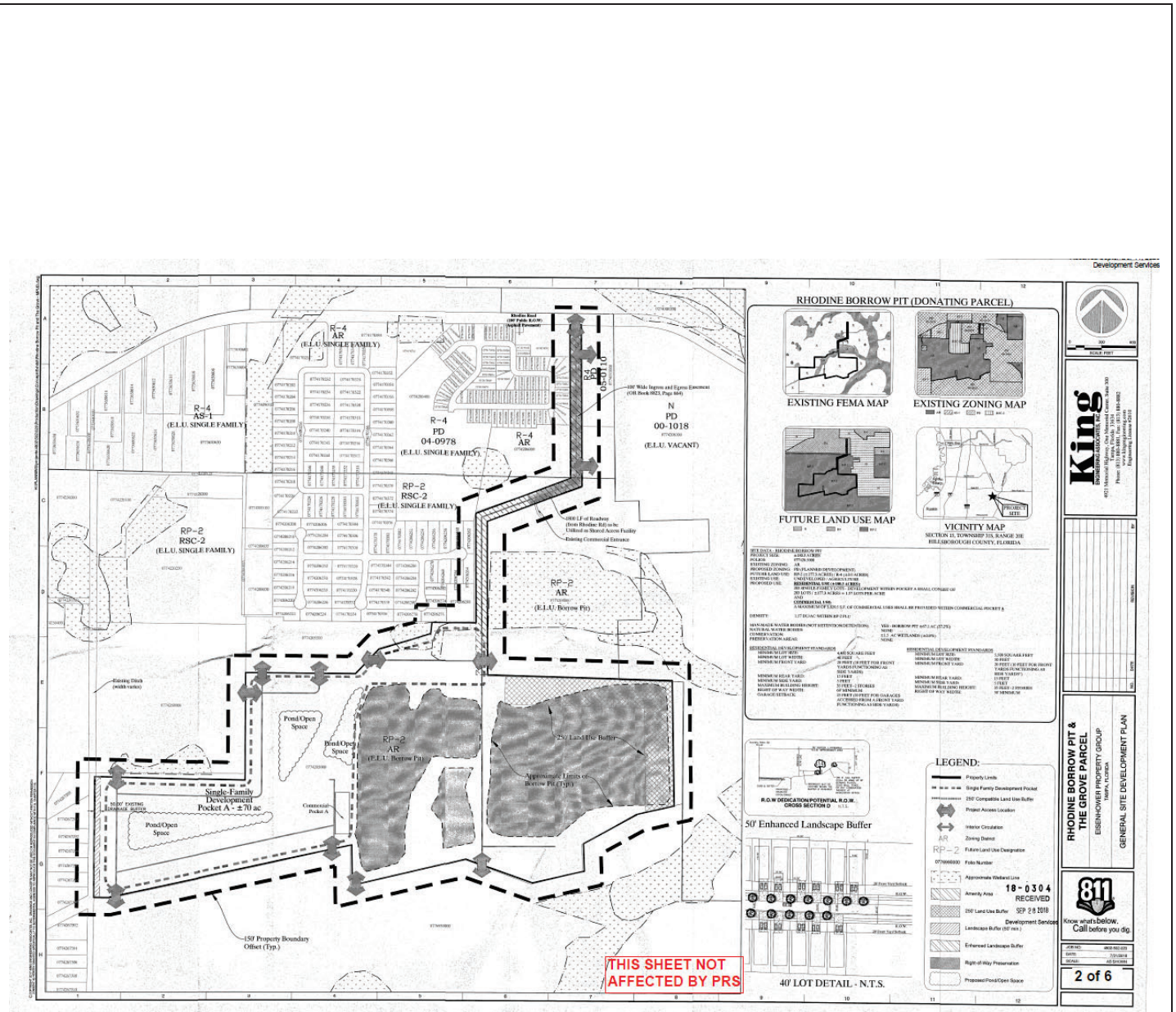


8.2 Proposed Site Plan (Page 2 of 7)



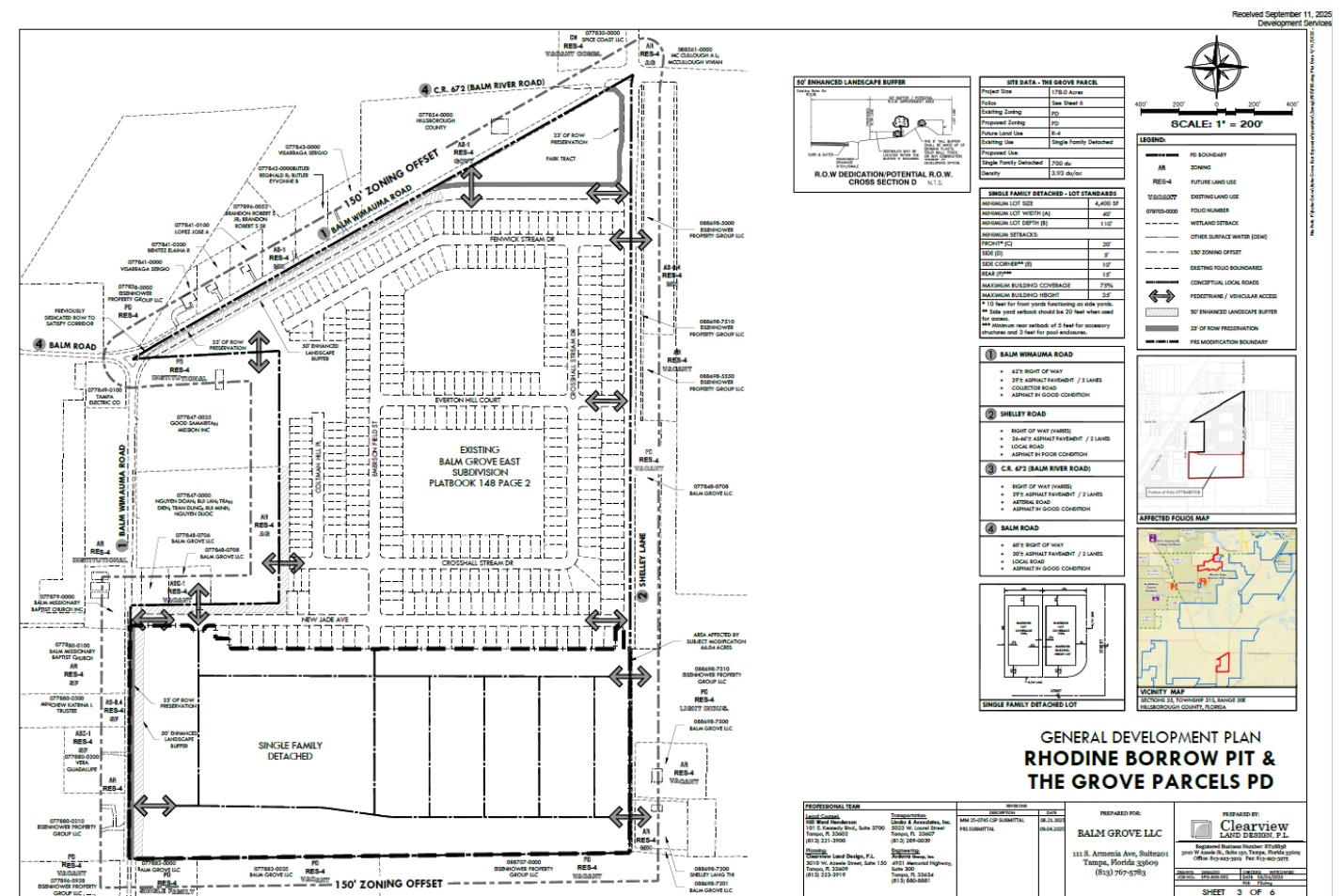
8.0 SITE PLANS (FULL)

8.2 Proposed Site Plan (Page 3 of 7)

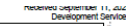


8.0 SITE PLANS (FULL)

8.2 Proposed Site Plan (Page 4 of 7)



8.2 Proposed Site Plan (Page 5 of 7)



8.2 Proposed Site Plan (Page 6 of 7)

8.0 SITE PLANS (FULL)

8.2 Proposed Site Plan (Page 7 of 7)

HIGHLAND PARCEL			THE GROVE PARCEL		
P.L.G.#	Parcel	Owner	P.L.G.#	Parcel	Owner
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GENERAL DEVELOPMENT PLAN
RHODINE BORROW PIT &
THE GROVE PARCELS PD

PROPOSAL TEAM		REFERENCE		PREPARED FOR:		PREPARED BY:	
Lead Contact: 101 West Henderson St. Lawrence, PA, Suite 3700 (813) 321-3900 (813) 321-3900		Telephone: (813) 321-3900 Fax: (813) 321-3900 Web Site: www.cleartview.com		DATE: 06/12/2010 PREPARED BY: 06/12/2010		BALM GROVE LLC 311 S. Armenia Ave, Suite201 Tampa, Florida 33609 (813) 767-5783	
Reference: Land Design, P.L. 2010 N. Armenia Ave, Suite 100 Tampa, FL 33607 (813) 325-3919		Reference: (813) 325-3919 (813) 325-3919 (813) 325-3919 (813) 325-3919				Registered Professional Engineer 3101 N. Dale Mabry Ave., Suite 400, Tampa, Florida 33607 Office: (813) 942-3333 Fax: (813) 942-3333	
						DATE: 06/12/2010 DATE: 06/12/2010 DATE: 06/12/2010 DATE: 06/12/2010	
						SHEET 1 OF 4	

9.0 FULL TRANSPORTATION REPORT (see following pages)

AGENCY REVIEW COMMENT SHEET

TO: Zoning Technician, Development Services Department
REVIEWER: Richard Perez, AICP, Executive Planner
PLANNING AREA: Boyette

DATE: 10/23/2025
AGENCY/DEPT: Transportation
PETITION NO: PRS 25-1371

- ☐ This agency has no comments.
- ☒ This agency has no objection.
- ☐ This agency has no objection, subject to the listed or attached conditions.
- ☐ This agency objects for the reasons set forth below.

PROJECT SUMMARY AND ANALYSIS

The applicant is requesting a minor modification (PRS) to PD 18-0304, as most recently amended by MM 25-0745, to remove a buffer along the eastern edge of the property. The PD modification does not result in a change in trip generation. The subject site future land use designation is Residential 4 (R-4).

Trip Generation Analysis

The applicant was not required to conduct a site access analysis pursuant to the Development Review Procedures Manual (DRPM) as there is no proposed change in uses, number of units or access.

Staff prepared an analysis of the potential trips generated by development as currently approved, based upon the Institute of Transportation Engineer's Trip Generation Manual, 12th Edition, utilizing a generalized worst-case scenario for informational purposes.

Approved Planned Development Zoning

Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
PD, 700 Single-Family Detached Dwelling Units (ITE Code 210)	6,045	438	619

TRANSPORTATION INFRASTRUCTURE SERVING THE SITE

Balm Wimauma Rd. is a 2-lane, undivided, collector roadway characterized by +/- 11-foot-wide lanes with 7-foot bike lanes in good condition. The roadway segment north of the intersection with Balm Rd. lies within a +/- 64 to 86 feet wide right-of-way and has curb and gutter on both sides. This segment has sidewalk on the south side with the exception of the +/-1,250 feet east and north of the Balm Park and Community Center driveway where sidewalks are located on both sides. South of the intersection with Balm Wimauma Rd. is shown on Hillsborough County Corridor Preservation Plan as a future 2-lane enhanced roadway.

Shelley Ln. is a 2-lane, local roadway characterized by +/- 20-feet of pavement in good condition within +/-60 feet of right of way. There is a 5-foot sidewalk on the east side of the roadway.

SITE ACCESS

The project is taking access to Balm Wimauma Rd. and Shelley Ln. Additional vehicular and pedestrian access connections are proposed to stub out for future connections to adjacent properties.

LEVEL OF SERVICE DATA

Roadway	From	To	LOS Standard	Peak Hour Directional LOS
Balm Wimauma Rd.	SR 674	CR 672	C	B
CR 672	Balm Boyette Rd.	CR 39	D	C
Balm Rd./ CR 672	Balm Riverview Rd.	Balm Boyette Rd.	D	C

Source: Hillsborough County 2024 Level of Service Report.

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TO: Zoning Technician, Development Services Department
REVIEWER: Richard Perez, AICP, Executive Planner
PLANNING AREA: Boyette

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Balm Rd./ CR 672	Balm Riverview Rd.	Balm Boyette Rd.	D	C

Source: Hillsborough County 2024 Level of Service Report.

**CURRENTLY
APPROVED**

Approval of the request, subject to the conditions listed, is based on the revised general site plan submitted June 30, 2025.

1. The Rhodine Borrow Pit parcel shall be permitted a maximum of 271 single-family lots within a maximum residential development area of 77.17 acres and developed in accordance with the following development standards. The maximum number of units permitted in the Rhodine Borrow Pit parcel is identified as Critical Design Feature. Any change to this number will require a Major Modification to be reviewed in accordance with the procedures established in LDC Part 10.03.00.

Minimum lot size:	4,400 square feet/5,500 square feet
Minimum lot width:	40 feet/50 feet
Minimum front yard setback:	20 feet
10 feet for front yards functioning as side yards*	
Minimum side yard setback:	5 feet
Minimum rear yard setback:	15 feet
Maximum building height:	35 feet/2-stories

*Garages accessed from front yards functioning as side yards shall be setback a minimum of 20 feet.

- 1.1 The project's residential development area shall consist of a maximum of 77.17 acres. Correspondingly, the remaining 99.9 acres shall be utilized as open space in accordance with Comprehensive Plan Policy 14.2. A total of 0.23 acres shall be dedicated to the Village Node to provide a maximum FAR of 0.35 for the required on-site retail square footage. The Village Node acreage shall not be considered open space or residential development area.

- 1.2 Along the southern PD boundary of the Rhodine Borrow Pit area, adjacent to PD 98-0812 (Triple Creek), single-family residential lots/units shall be permitted to be partially located in both the subject PD and PD 98-0812 as part of a unified plan of development. At the time of platting, these lots shall be assigned to either the subject PD or PD 98-0812 and in no case shall the maximum number of permitted units in either PD be exceeded. These lots shall follow the development standards and any additional supplement requirements of the PD they are assigned to for accounting purposes. Vehicular and pedestrian cross access between the common boundary line shall be permitted.

2. For lots at a width of less than 50 feet, the following shall apply:

- 2.1 Garages shall be setback a minimum of 25 feet. Garages accessed from a front yard functioning as a side yard shall be setback a minimum of 20 feet.
- 2.2 A 2-car garage and a minimum 18 foot wide driveway shall be provided for each unit.
- 2.3 All driveways shall be provided in an alternating pattern on the left or right side of the unit's front façade. Homes shall not have the same driveway location (left or right side) as the adjacent home. The alternating pattern may be adjusted at corner lots as necessary.
- 2.4 A variety of garage door designs shall be provided and there shall be no two identical garage door designs adjacent to each other.
- 2.5 Each unit's primary entrance door shall face the roadway.

- 2.6 Street trees may include an alternating pattern of shade and ornamental trees, subject to final design and approval by Natural Resources staff.
3. A maximum of 3,658.5 square feet of neighborhood retail uses shall be provided within Commercial Pocket A (Rhodine Borrow Pit Village Node). Neighborhood retail uses shall include grocery stores, food/produce markets, convenience stores, pharmacies and other retail uses permitted in the CN zoning district.
4. The Rhodine Borrow Pit Village Node shall meet the following:
 - 4.1 The Village Node may also contain office uses, residential support uses (such as churches, adult care centers and daycare centers) and government uses (such as schools, government offices/services). Square footage for these uses shall not count towards the minimum square footage required for onsite neighborhood retail. The maximum F.A.R. permitted within the entire Village Node is 0.35.
 - 4.2 No minimum building setbacks shall be required.
 - 4.3 Building height shall be limited to a maximum of 35 feet with no additional setback for buildings over 20 feet in height required.
 - 4.4 Buffering and screening in accordance with Land Development Code Section 6.06.06 shall be provided along adjacent properties of differing land use classifications.
 - 4.5 Parking lots in the Village Node shall be located at the rear or to the side of buildings, or to the interior of a block. Not more than two rows of angled parking shall be located between a building and the roadway.
 - 4.6 Signage within the Village Node shall be limited to monument signs.
5. Prior to the issuance of building permits for more than 75% of the residential units (lots 203-271), Certificates of Occupancy shall be issued for a minimum of 50 percent of the 3,658.5 s.f. of required on-site neighborhood retail in the Village Node. Prior to the building permits for more than 95% of the residential units (lots 257-271), Certificates of Occupancy shall be issued for the remaining 3,658.5 square feet of neighborhood retail in the Village Node.
6. The developer shall provide a pedestrian system of sidewalks and/or stabilized pathways (a minimum of 5 feet in width) throughout the project with direct connections between the residential, open space and Village Node areas.
7. A 50-foot wide buffer shall be provided where depicted on the general site plan. This buffer is to be platted as a separate tract to be owned and maintained by the Homeowner's Association, or other similar entity. Within the buffer, screening shall be provided and shall be either 1) screening to consist of two or more of the following for an overall height of six feet: a berm (4:1 slope), a continuous row of evergreen shrubs at a minimum height of 24" and/or a solid wooden fence, PVC fence or wall architecturally finished on both sides; or 2) a six foot high wooden fence, PVC fence or wall architecturally finished on both sides and a row of evergreen shade trees at a minimum of 10 feet in height and minimum 2" caliper at the time of planting planted on 20 foot centers. Should the buffer abut a right-of-way, use of a six foot high wooden

fence shall not be used. Additionally, should the buffer abut a right-of-way, hedges or trees shall not be blocked by a fence/wall from the view of the roadway and properties facing the village.

8. The parcel identified by Folio Number 77420.5000 is adjacent to the Triple Creek Preserve. Per LDC Section 4.01.00, compatibility of the development with the preserve will be ensured with a compatibility plan that addresses issues related to the development such as, but not necessarily limited to, access, prescribed fire, and landscaping. The compatibility plan shall be proposed by the developer, reviewed and approved by the Conservation and Environmental Lands Management Department, and shall be required as a condition of granting a Natural Resources Permit.
9. As Rhodine Road is a substandard collector roadway, the developer shall improve Rhodine Road between the project driveway and the nearest standard roadway to current County standards unless otherwise approved in accordance with Section 6.04.02.B of the Hillsborough County Land Development Code (LDC). Deviations from Transportation Technical Manual (TTM) standards may be considered in accordance with Section 1.7.2 and other applicable sections of the Hillsborough County TTM.
10. Utilization of proposed access points along the project's southern boundary shall require modification of the adjacent Planned Development (to permit such cross access).
11. The developer shall construct the following site access improvements, unless otherwise approved by Hillsborough County Public Works:
 - a. An eastbound to southbound right turn lane on Rhodine Road into the project; and,
 - b. A westbound to southbound left turn lane on Rhodine Road into the project. Such improvements may require the developer to dedicate or otherwise acquire additional right-of-way.
12. The developer shall construct an internal project roadway beginning at Rhodine Road and continuing for a distance of approximately 3,650 ft (i.e. to the south most point of the area of modification shown on the PD site plan for PRS 23-0030, hereafter referred to as the "Rhodine Road Connector"). The Rhodine Road Connector shall be constructed in two segments: (1) first, the southernmost +/- 1,850 ft (i.e., between the southmost point of the Rhodine Road Connector and the existing entrance into Folio 77420.6000 (the "South Segment"); and, (2) second, from the existing entrance into Folio 77420.6000 to Rhodine Road (the "North Segment").
 - 12.1 Building permit applications for more than 75% of the residential units (i.e. for the 204th-270th residential unit) may not be filed by the developer until the developer has:
 - a. Substantially completed the South Segment of the Rhodine Road Connector and such facility is open to traffic; and,
 - b. Posted (and the County has accepted) a performance bond which guarantees construction of the North Segment. Such performance bond shall be issued in an amount equal to 125% of the estimated cost to construct the facility.
 - 12.2 Building permits for more than 75% of the residential units (i.e. for the 204th-270th residential unit) may not be issued by the County until the developer has substantially completed the North Segment of the Rhodine Road Connector and such facility is open to traffic.

12.3 The first 1,800 feet of the Rhodine Road Connector (south of Rhodine Road) shall be utilized as a Shared Access Facility. The purpose of this shared access facility is to serve:

- a. Future development on folio 77409.3000, consistent with the adjacent PD 05-0110; and,
- b. Existing/future development on folio 77420.6000.

Notwithstanding anything shown on the PD site plan to the contrary, vehicular and pedestrian access may be taken anywhere along the project boundaries with folios 77409.3000 and 77420.6000, subject to the review and approval of Hillsborough County Public Works.

13. In accordance with the Hillsborough County Corridor Preservation Plan, the developer shall preserve up to 5 feet of right-of-way along its Rhodine Road frontage, such that a minimum of 55 feet of right-of-way is preserved south of the existing right-of-way centerline. Only those interim uses allowed by the Hillsborough County LDC shall be permitted within the preserved right-of-way. The right-of-way preservation area shall be shown on all future site plans, and building setbacks shall be calculated from the future right-of-way line.

The following shall apply to the Grove parcel:

14. The Grove parcel shall be permitted a maximum of 700 700 single-family lots and developed in accordance with the following development standards. The maximum number of units permitted in the Grove parcel is identified as Critical Design Feature. Any change to this number will require a Major Modification to be reviewed in accordance with the procedures established in LDC Part 10.03.00:

Minimum lot size:	4,400 square feet
Minimum lot width:	40 feet
Minimum front yard setback:	20 feet
10 feet for front yards functioning as side yards*	
Minimum side yard setback:	** 5 feet
Minimum rear yard setback:	*** 15 feet
Maximum building height:	35 feet/2-stories

*when no access is taken from the front yard functioning as the side yard, the setback shall be a minimum of 10 feet. When access is taken from the front yard functioning as the side yard, the setback shall be a minimum of 20 feet.

**Side yard setback should be 20 feet when used for access.

***Minimum rear setback of 5 feet for accessory structures and 3 feet for pool enclosures.

- 14.1 Land Excavation shall be a permitted use on the Grove Parcel subject to approval of a Special Use Permit per Land Development Code Section 6.11.54. The maximum export permitted shall be 759,000 cubic yards from Pond N, 78,000 cubic yards from Pond SW and 238,000 cubic yards from Pond SE (as depicted in SU 19-1026) for a total of 1,075,000 cubic yards.

Special Use Permit 19-1026 shall expire three years from the date of Operating Permit approval. If an Operating Permit has not been issued for any portion of the land excavation within two years of the date of approval for PD modification 21-0033, as required in condition 2 of Special Use Permit 19-1026, then Special Use Permit 19-1026 shall expire.

15. For lots at a width of less than 50 feet, the following shall apply:
- 15.1 A 2-car garage shall be provided for each unit.
- 15.2 Each unit's primary entrance door shall face the roadway.
16. A 50-foot wide buffer shall be provided where depicted on the general site plan. Should the buffer be adjacent to a roadway requiring right-of-way preservation, the buffer shall be measured from the future right-of-way line. This buffer is to be platted as a separate tract to be owned and maintained by the Homeowner's Association, or other similar entity. Within the buffer, screening shall be provided and shall be either: 1) screening to consist of two or more of the following for an overall height of six feet: a berm (4:1 slope), a continuous row of evergreen shrubs at a minimum height of 24" and/or a solid wooden fence, PVC fence or wall architecturally finished on both sides; or 2) a six foot high wooden fence, PVC fence or wall architecturally finished on both sides and a row of evergreen shade trees at a minimum of 10 feet in height and minimum 2" caliper at the time of planting planted on 20 foot centers. Should the buffer abut a right-of-way, use of a six foot high wooden fence shall not be used. Additionally, should the buffer abut a right-of-way, hedges or trees shall not be blocked by a fence/wall from the view of the roadway and properties facing the village. Any buffers abutting a right-of-way shall be measured from the roadway's preservation line.
- a. Should any portion of Balm-Wimauma Road be vacated (Option 1 and Option 2 in condition 17.d), the 50-foot wide buffer and screening shall not be required.
17. A 250-foot wide buffer shall be provided adjacent to folio 77850.0000, as depicted on the general site plan.
18. The developer shall construct the following site access improvements, of which 18.a, 18.b or 18.c shall be constructed only if warranted per Section 6.04.04.D. of the Hillsborough County Land Development Code or unless otherwise approved in accordance the Section 6.04.02.B. administrative variance process:
- a. An eastbound to southbound right turn lane on CR 672 at Shelley Ln.; [COMPLETED]
- b. A westbound to southbound left turn lane on CR 672 at Shelley Ln.; [COMPLETED]
- c. A southbound to eastbound left turn lane and a northbound to eastbound right turn lane on Balm Wimauma Rd. into the project's southernmost entrance; and,
- d. A southbound to eastbound left turn lane and a northbound and eastbound right turn lane on Balm Wimauma Rd. into the project's New Jade entrance; and
- 18.1 The developer shall realign up to +/- 1,300 feet of Balm Wimauma Rd. (i.e. that portion immediately south of CR 672) such that it connects to Shelley Ln. Concurrent with the opening of the realigned roadway extension, the developer shall close the old/realigned roadway and, within 6 months, complete removal of the old/unutilized roadway. Specific limits of the segment to be realigned/removed shall be determined and approved by Hillsborough County Public Works. Utilization of this option is contingent upon the developer's ability to, at its sole cost, design the facility, obtain all required permits for construction, and acquire any additional right-of-way necessary for the proposed extension and related improvements. Utilization of this option is also contingent upon review and approval of the proposed roadway by Hillsborough County Public Works, including any turn lanes that may be required by the County at the newly created

intersection of Balm Wimauma Rd. and Shelley Ln. The applicant shall also be responsible for preserving sufficient right-of-way necessary to accommodate a 2-lane enhanced roadway segment between the new intersection and CR 672.

19. As Shelley Ln. is a substandard local roadway the developer will be required to improve Shelley Ln., between its southernmost access connection and the intersection with Balm Wimauma Rd, to current County standards unless otherwise approved in accordance with Section 6.04.02.B. of the Hillsborough County LDC. Deviations from TTM standards may be considered in accordance with Section 1.7.2. and other applicable sections of the Hillsborough County TTM.
20. If MM 25-0745 is approved, the County Engineer will approve the Design Exception (dated July 9, 2025), which was found approvable on July 11, 2025, for Balm Wimauma Rd. substandard road improvements. As Balm Wimauma Rd. is a substandard rural collector roadway, the developer will be required to construct improvements that include 11-foot-wide lanes, 8-foot shoulders with 7 feet paved consistent with the Design Exception.

The following shall apply to both parcels:

21. Access shall be provided as shown on the PD site plan unless otherwise provided herein these conditions. Internal roadways may be public or private, and if private, and if private, roadways may be gated (except for those portions functioning as shared access roadways, as required herein these conditions).
22. Notwithstanding anything on the PD site plan or herein these conditions to the contrary, bicycle and pedestrian access may be permitted anywhere along the project boundaries.
23. Approval of this zoning petition by Hillsborough County does not constitute a guarantee that the Environmental Protection Commission of Hillsborough County (EPC) approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impact to wetlands, and does not grant any implied or vested right to environmental approvals.
24. The construction and location of any proposed wetland impacts are not approved by this correspondence, but shall be reviewed by EPC staff under separate application pursuant to the EPC Wetlands rule detailed in Chapter 1-11, Rules of the EPC, (Chapter 1-11) to determine whether such impacts are necessary to accomplish reasonable use of the subject property.
25. Prior to the issuance of any building or land alteration permits or other development, the approved wetland/other surface water (OSW) line must be incorporated into the site plan. The wetland/OSW line must appear on all site plans, labeled as "EPC Wetland Line", and the wetland must be labeled as "Wetland Conservation Area" pursuant to the Hillsborough County Land Development Code (LDC).
26. Final design of buildings, stormwater retention areas, and ingress/egresses are subject to change pending formal agency jurisdictional determinations of wetland and other surface water boundaries and approval by the appropriate regulatory agencies.
27. Wetlands or other surface waters are considered Environmentally Sensitive Areas and are subject to Conservation Area and Preservation Area setbacks. A minimum setback must be maintained around these areas which shall be designated on all future plan submittals. Only items explicitly stated in the condition

- of approval or items allowed per the LDC may be placed within the wetland setback. Proposed land alterations are restricted within the wetland setback areas.
28. Approval of this petition by Hillsborough County does not constitute a guarantee that Natural Resources approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impacts to trees, natural plant communities or wildlife habitat, and does not grant any implied or vested right to environmental approvals.
29. The construction and location of any proposed environmental impacts are not approved by this correspondence, but shall be reviewed by Natural Resources staff through the site and subdivision development plan process pursuant to the Land Development Code.
30. If the notes and/or graphic on the site plan are in conflict with specific zoning conditions and/or the Land Development Code (LDC) regulations, the more restrictive regulation shall apply, unless specifically conditioned otherwise. References to development standards of the LDC in any stated conditions shall be interpreted as the regulations in effect at the time of preliminary site plan/plat approval.
31. In accordance with LDC Section 5.03.07.C, the certified PD general site plan shall expire for the internal transportation network and external access points, as well as for any conditions related to the internal transportation network and external access points, if site construction plans, or equivalent thereof, have not been approved for all or part of the subject Planned Development within 5 years of the effective date of the PD unless an extension is granted as provided in the LDC. Upon expiration, recertification of the PD General Site Plan shall be required in accordance with provisions set forth in LDC Section 5.03.07.C.



AGENCY COMMENTS

AGENCY REVIEW COMMENT SHEET

TO: Zoning Technician, Development Services Department
REVIEWER: Richard Perez, AICP, Executive Planner
PLANNING AREA: Boyette

DATE: 10/23/2025
AGENCY/DEPT: Transportation
PETITION NO: PRS 25-1371

- ☐ This agency has no comments.
- ☒ This agency has no objection.
- ☐ This agency has no objection, subject to the listed or attached conditions.
- ☐ This agency objects for the reasons set forth below.

PROJECT SUMMARY AND ANALYSIS

The applicant is requesting a minor modification (PRS) to PD 18-0304, as most recently amended by MM 25-0745, to remove a buffer along the eastern edge of the property. The PD modification does not result in a change in trip generation. The subject site future land use designation is Residential 4 (R-4).

Trip Generation Analysis

The applicant was not required to conduct a site access analysis pursuant to the Development Review Procedures Manual (DRPM) as there is no proposed change in uses, number of units or access.

Staff prepared an analysis of the potential trips generated by development as currently approved, based upon the Institute of Transportation Engineer's Trip Generation Manual, 12th Edition, utilizing a generalized worst-case scenario for informational purposes.

Approved Planned Development Zoning

Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
PD, 700 Single-Family Detached Dwelling Units (ITE Code 210)	6,045	438	619

TRANSPORTATION INFRASTRUCTURE SERVING THE SITE

Balm Wimauma Rd. is a 2-lane, undivided, collector roadway characterized by +/- 11-foot-wide lanes with 7-foot bike lanes in good condition. The roadway segment north of the intersection with Balm Rd. lies within a +/- 64 to 86 feet wide right-of-way and has curb and gutter on both sides. This segment has sidewalk on the south side with the exception of the +/-1,250 feet east and north of the Balm Park and Community Center driveway where sidewalks are located on both sides. South of the intersection with Balm Wimauma Rd. is shown on Hillsborough County Corridor Preservation Plan as a future 2-lane enhanced roadway.

Shelley Ln. is a 2-lane, local roadway characterized by +/- 20-feet of pavement in good condition within +/-60 feet of right of way. There is a 5-foot sidewalk on the east side of the roadway.

SITE ACCESS

The project is taking access to Balm Wimauma Rd. and Shelley Ln. Additional vehicular and pedestrian access connections are proposed to stub out for future connections to adjacent properties.

LEVEL OF SERVICE DATA

Roadway	From	To	LOS Standard	Peak Hour Directional LOS
Balm Wimauma Rd.	SR 674	CR 672	C	B
CR 672	Balm Boyette Rd.	CR 39	D	C
Balm Rd./ CR 672	Balm Riverview Rd.	Balm Boyette Rd.	D	C

Source: Hillsborough County 2024 Level of Service Report.

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AGENCY COMMENT SHEET

REZONING	
HEARING DATE: November 12, 2025	COMMENT DATE: October 10, 2025
PETITION NO.: 25-1371	PROPERTY ADDRESS: Wimauma, FL
EPC REVIEWER: Abbie Weeks	FOLIO #: 0778480708
CONTACT INFORMATION: (813) 627-2600 x1101	STR: 25-31-20
EMAIL: weeksa@epchc.org	
REQUESTED ZONING: Minor Modification to PD	
FINDINGS	
WETLANDS PRESENT	YES
SITE INSPECTION DATE	NA
WETLAND LINE VALIDITY	Valid through 1/21/2026
WETLANDS VERIFICATION (AERIAL PHOTO, SOILS SURVEY, EPC FILES)	Wetlands/OSW may exist on adjacent properties to be accessed from project area.
The EPC Wetlands Division has reviewed the proposed rezoning. In the site plan's current configuration, a resubmittal is not necessary. If the zoning proposal changes and/or the site plans are altered, EPC staff will need to review the zoning again. This project as submitted is conceptually justified to move forward through the zoning review process as long as the following conditions are included: • Approval of this zoning petition by Hillsborough County does not constitute a guarantee that the Environmental Protection Commission of Hillsborough County (EPC) approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impact to wetlands, and does not grant any implied or vested right to environmental approvals. • The construction and location of any proposed wetland impacts are not approved by this correspondence but shall be reviewed by EPC staff under separate application pursuant to the EPC Wetlands rule detailed in Chapter 1-11, Rules of the EPC, (Chapter 1-11) to determine whether such impacts are necessary to accomplish reasonable use of the subject property. • Prior to the issuance of any building or land alteration permits or other development, the approved wetland / other surface water (OSW) line must be incorporated into the site plan. The	

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wetland/ OSW line must appear on all site plans, labeled as "EPC Wetland Line", and the wetland must be labeled as "Wetland Conservation Area" pursuant to the Hillsborough County Land Development Code (LDC).

- Final design of buildings, stormwater retention areas, and ingress/egresses are subject to change pending formal agency jurisdictional determinations of wetland and other surface water boundaries and approval by the appropriate regulatory agencies.

INFORMATIONAL COMMENTS:

The following specific comments are made for informational purposes only and to provide guidance as to the EPC review process. However, future EPC staff review is not limited to the following, regardless of the obviousness of the concern as raised by the general site plan and EPC staff may identify other legitimate concerns at any time prior to final project approval.

- Chapter 1-11 prohibits wetland impacts unless they are necessary for reasonable use of the property. Staff of the EPC recommends that this requirement be taken into account during the earliest stages of site design so that wetland impacts are avoided or minimized to the greatest extent possible. The size, location, and configuration of the wetlands may result in requirements to reduce or reconfigure the improvements depicted on the plan.
- The Hillsborough County Land Development Code (LDC) defines wetlands and other surface waters as Environmentally Sensitive Areas. Pursuant to the LDC, wetlands and other surface waters are further defined as Conservation Areas or Preservation Areas and these areas must be designated as such on all development plans and plats. A minimum setback must be maintained around the Conservation/Preservation Area and the setback line must also be shown on all future plan submittals.
- Any activity interfering with the integrity of wetland(s) or other surface water(s), such as clearing, excavating, draining or filling, without written authorization from the Executive Director of the EPC or authorized agent, pursuant to Section 1-11.07, would be a violation of Section 17 of the Environmental Protection Act of Hillsborough County, Chapter 84-446, and of Chapter 1-11.

aow /

ec: kami.carbett@hwhlaw.com
kayla.witkowski@clearviewland.com



Agency Review Comment Sheet

NOTE: Wellhead Resource Protection Areas (WRPA), Potable Water Wellfield Protection Areas (PWWPA), and Surface Water Resource Protection Areas (SWRPA) reviews are based on the most current available data on the Hillsborough County maps, as set forth in Part 3.05.00 of the Land Development Code.

TO: Zoning Review, Development Services **REQUEST DATE:** 9/12/2025

REVIEWER: Kim Cruz, Environmental Supervisor **REVIEW DATE:** 9/26/2025

PROPERTY OWNER: Balm Grove LLC **PID:** 25-1371

APPLICANT: Balm Grove LLC

LOCATION: Generally located at C.R. 672 and Balm Boyette Rd. Wimauma, FL 33598

FOLIO NO.: Portion of 77848.0708

AGENCY REVIEW COMMENTS:

At this time, according to the Hillsborough County BOCC approved maps adopted in the Comprehensive Plan, the site is not located within a Wellhead Resource Protection Area (WRPA) and/or Surface Water Resource Protection Area (SWRPA), as defined in Part 3.05.00 of the Hillsborough County Land Development Code (LDC).

At this time, according to the Florida Department of Environmental Protection well location information, the site is not located within 500-feet of non-transient non-community and/or community water system wells; therefore, the site is not located within a Potable Water Wellfield Protection Area (PWWPA).

At this time, Hillsborough County Environmental Services Division has no objection to the applicant's request as it relates to the County's wellhead and surface water protection regulations.

AGENCY REVIEW COMMENT SHEET

TO: ZONING TECHNICIAN, Planning Growth Management

DATE: 09-12-2025

REVIEWER: Jan Kirwan, Conservation and Environmental Lands Management

APPLICANT: Kami Corbett

PETITION NO: 25-1371

LOCATION: Wimauma

FOLIO NO: 77848.0708 (PORTION OF)

SEC: 25 **TWN:** 31 **RNG:** 20

☒ This agency has no comments.

☐ This agency has no objection.

☐ This agency has no objection, subject to listed or attached conditions.

☐ This agency objects, based on the listed or attached conditions.

COMMENTS: _____.

WATER RESOURCE SERVICES
REZONING REVIEW COMMENT SHEET: WATER & WASTEWATER

PETITION NO.: PRS 25-1371

REVIEWED BY: Clay Walker, E.I. DATE: 9/9/2025

FOLIO NO.: 77848.0708

WATER

- ☐ The property lies within the _____ Water Service Area. The applicant should contact the provider to determine the availability of water service.
- ☒ A 12 inch water main exists ☐ (approximately ___ feet from the site), ☒ (adjacent to the site), and is located west of the subject property within the east Right-of-Way of Balm Wimauma Road. This will be the likely point-of-connection, however there could be additional and/or different points-of-connection determined at the time of the application for service. This is not a reservation of capacity.
- ☐ Water distribution system improvements will need to be completed prior to connection to the County's water system. The improvements include _____ and will need to be completed by the _____ prior to issuance of any building permits that will create additional demand on the system.

WASTEWATER

- ☐ The property lies within the _____ Wastewater Service Area. The applicant should contact the provider to determine the availability of wastewater service.
- ☒ A 12 inch wastewater forcemain exists ☐ (approximately _____ feet from the project site), ☒ (adjacent to the site) and is located west of the subject property within the west Right-of-Way of Balm Wimauma Road. This will be the likely point-of-connection, however there could be additional and/or different points-of-connection determined at the time of the application for service. This is not a reservation of capacity.
- ☐ Wastewater collection system improvements will need to be completed prior to connection to the County's wastewater system. The improvements include _____ and will need to be completed by the _____ prior to issuance of any building permits that will create additional demand on the system.

COMMENTS: The subject rezoning includes parcels that are within the Urban Service Area and would require connection to the County's potable water and wastewater systems. The subject area is located within the Hillsborough County Wastewater Service Area and will be served by the South County Wastewater Treatment Plant. If all of the development commitments for the referenced facility are added together, they would exceed the existing reserve capacity of the facility. However, there is a plan in place to address the capacity prior to all of the existing commitments connecting and sending flow to the referenced facility. As such, an individual permit will be required based on the following language noted on the permits: The referenced facility currently does not have, but will have prior to placing the proposed project into operation, adequate reserve capacity to accept the flow from this project.