

Rezoning Application: PD 25-0460**Zoning Hearing Master Date:** May 19, 2025**BOCC Land Use Meeting Date:** July 22, 2025**Hillsborough
County Florida****Development Services Department****1.0 APPLICATION SUMMARY****Applicant:** RM Tampa LLC**FLU Category:** RES-20**Service Area:** Urban**Site Acreage:** +/-8.59 acres**Community
Plan Area:** University**Overlay:** None**Introduction Summary:**

The applicant seeks to develop an approximately 8.59-acre unified development (folio no. 36274.2002) located at the southeast corner of East 131st Street and North 20th Street. The request is for a rezoning from Planned Development (PD) and RMC-16 to PD incorporating the folios not currently zoned PD, but which are utilized as part of the existing development, and to remove the age restriction condition within the existing PD and update conditions of approval.

Zoning:	Existing		Proposed
District(s)	RMC-16	PD 00-0174	Proposed
Typical General Use(s)	Multi-Family Residential	Multi-Family Residential	Multi-Family Residential
Acreage	+/-0.49 acres	8.1 acres	8.59 acres
Density/Intensity	16 units per 1 acre	+/-12.3 units per acre	+/-7.3 du per acre (Max. 62 dwelling units)
Mathematical Maximum*	7 units	100 dwelling units	62 dwelling units

*number represents a pre-development approximation

Development Standards:	Existing	Existing	Proposed
District(s)	RMC-16	PD 00-0174 / RMC-20	PD 25-0460
Setbacks/Buffering and Screening	Front: 25' Side: 10' Rear: 20'	Front: 25' Side: 10', Rear: 20' 30' Setback along 20 th St., 22 nd St., and 131 st St.	10' min. setback for patios 20' min. setback adjacent to property boundaries
Height	45 ft. Max. Ht.	35 ft. Max. Ht.	35 ft. Max. Ht.
Additional Information:			
PD Variation(s)	LDC Part 6.07.00 (Fences/Walls)		

ZHM HEARING DATE:	May 19, 2025
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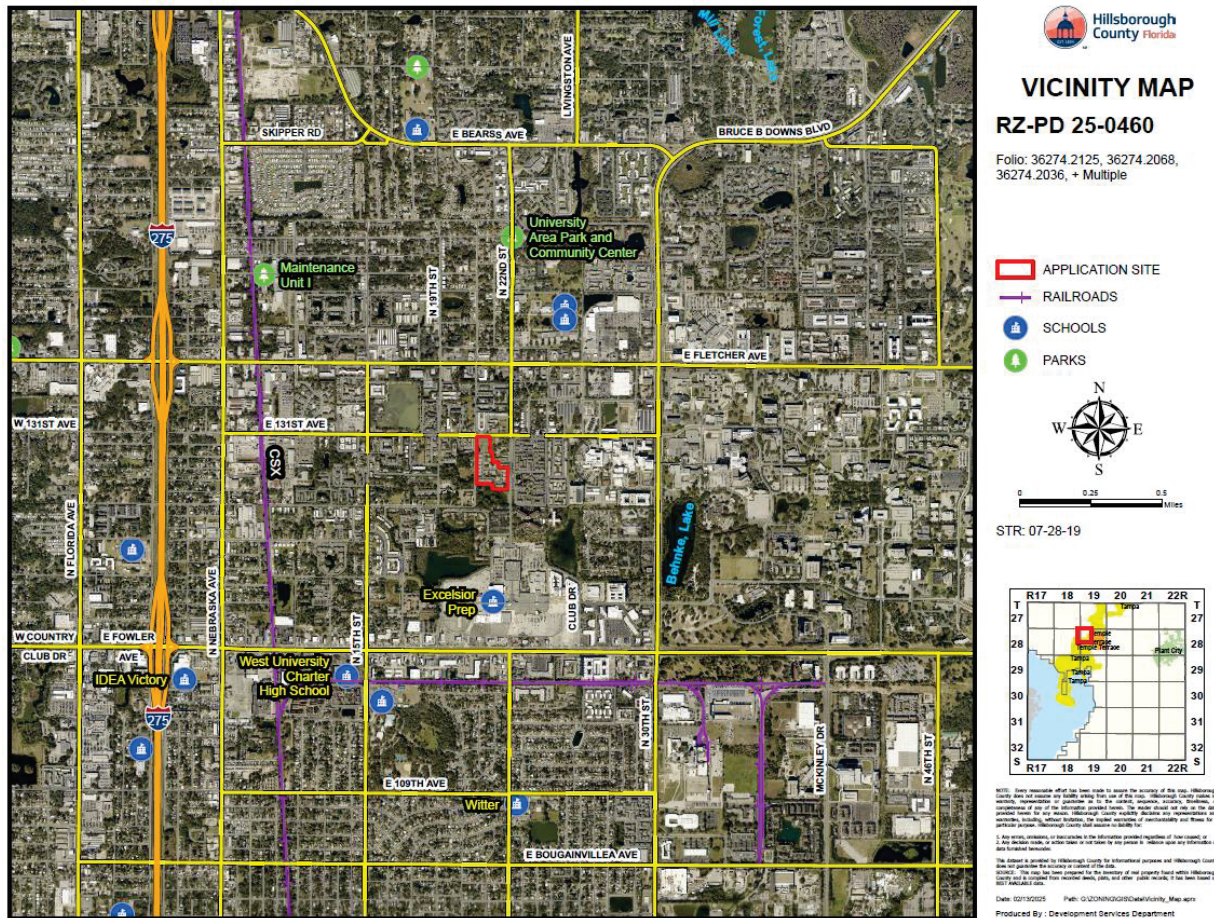
Case Reviewer: Tim Lampkin, AICP

Waiver(s) to the Land Development Code	None requested as part of this application.
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Planning Commission Recommendation: CONSISTENT	Development Services Recommendation: APPROVABLE, Subject to Conditions.
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2.0 LAND USE MAP SET AND SUMMARY DATA

2.1 Vicinity Map

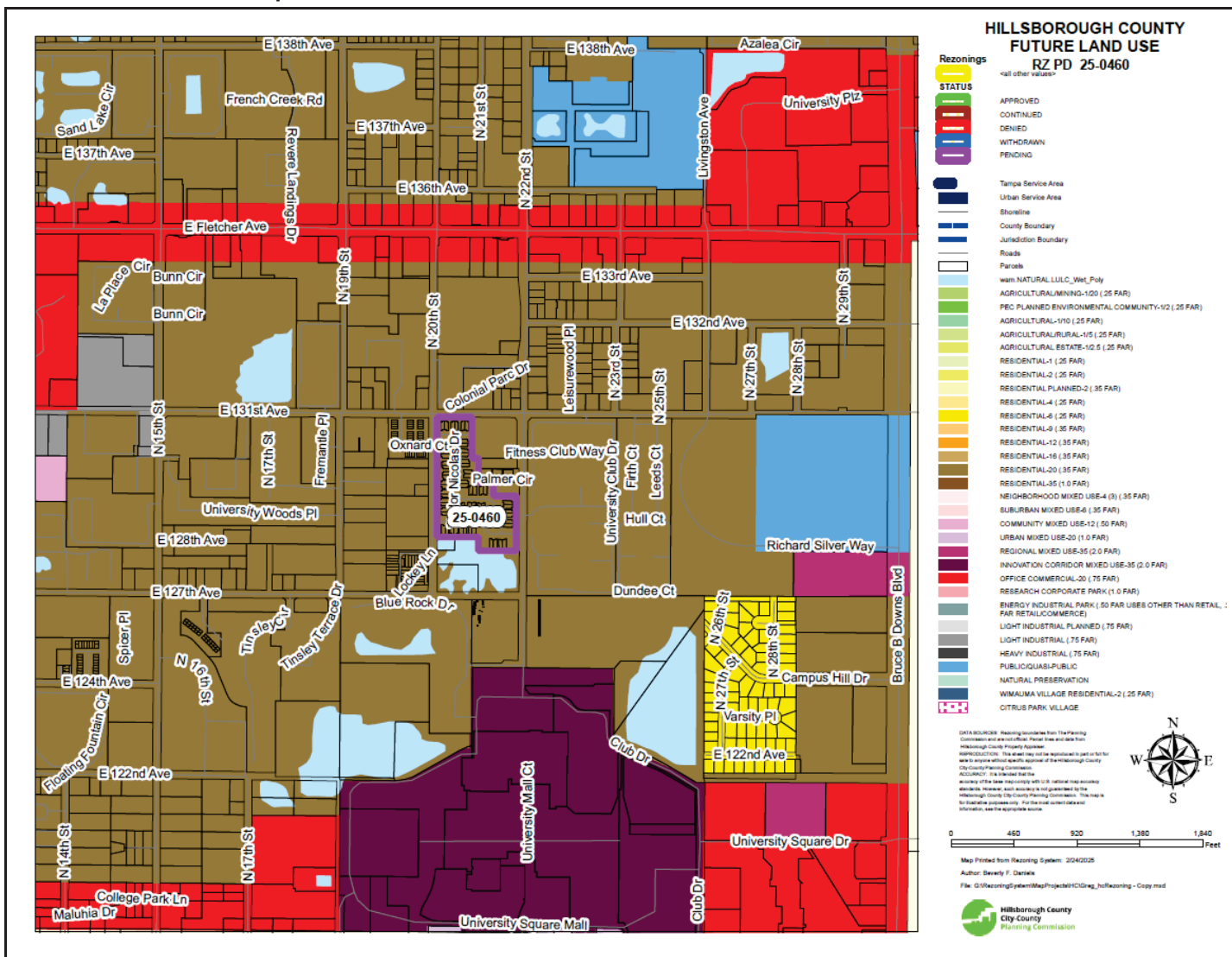


Context of Surrounding Area:

The subject property is located at the southeast corner of East 131st Street and North 20th Street.

The site is located in an area predominantly comprised of multi-family residential, office and commercial uses. Additionally, there are some vacant undeveloped properties including the northern portion of the subject property.

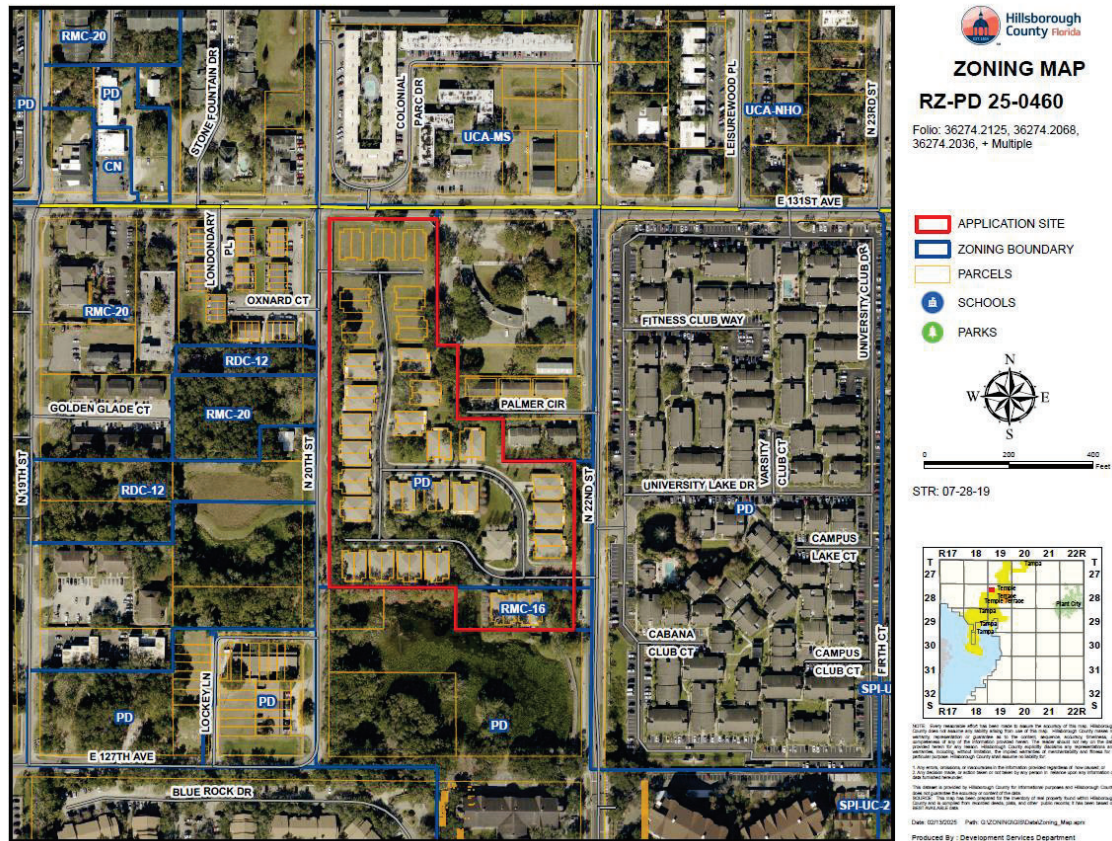
2.2 Future Land Use Map



Subject Site Future Land Use Category:	RES-20
Maximum Density/F.A.R.:	Residential: 20 du/acre Maximum FAR: 0.35
Typical Uses:	Agricultural, residential, neighborhood commercial, office uses, multi-purpose projects and mixed-use developments.

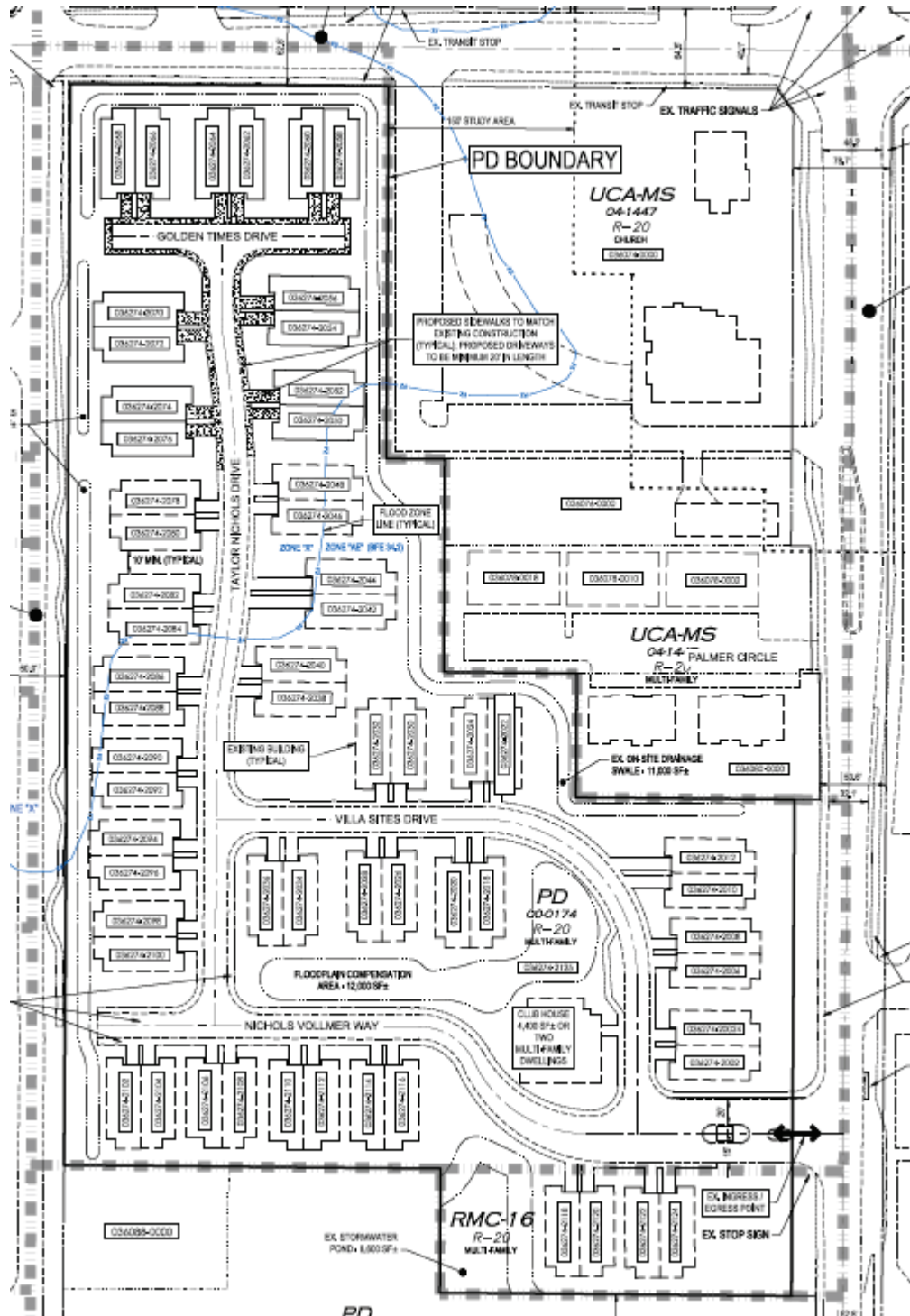
2.0 LAND USE MAP SET AND SUMMARY DATA

2.3 Immediate Area Map



Adjacent Zonings and Uses

Location:	Zoning:	Maximum Density/F.A.R. Permitted by Zoning District:	Allowable Use:	Existing Use:
North	UCA-MS	Maximum Density: 20 units per acre. Max. FAR: 0.75	Non-residential, mixed use and Multi-family	Multi-family
South	PD 85-0286	Max. Density: N/A Max. FAR 0.14	Adult Congregate Living Facility (Maximum 120 bed hospice & 174-room ALF)	+/- 400' retention pond to immediate south
East	N. 22 nd St. and UCA-MS, PD 96-0362	Maximum Density: 20 units per acre. Max. FAR: 0.75	Non-residential, mixed use and Multi-family	ALF and Multi-Family
West	RMC-20 (Across N. 20 th St.)	Max. Density: 20 du per acre. FAR: N/A	Multi-family	Multi-family and vacant
	RDC-12 (Across N. 20 th St.)	Max. Density: 12 du per acre. FAR: N/A	Multi-family	Multi-family and vacant

2.4 Proposed Site Plan (partial provided below for size and orientation purposes. See Section 8.0 for full site plan)

3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)

Adjoining Roadways (check if applicable)			
Road Name	Classification	Current Conditions	Select Future Improvements
N 22 ND St.	County Collector - Urban	2 Lanes <input type="checkbox"/> Substandard Road <input checked="" type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input checked="" type="checkbox"/> Other
E 131 st Ave	County Collector - Urban	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input checked="" type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
N 20 th St	County Local - Rural	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input checked="" type="checkbox"/> Other

Project Trip Generation <input type="checkbox"/> Not applicable for this request			
	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	592	39	44
Proposed	422	27	34
Difference (+/-)	-170	-12	-10

*Trips reported are based on gross external trips unless otherwise noted.

Connectivity and Cross Access <input type="checkbox"/> Not applicable for this request				
Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North		Choose an item.	Choose an item.	Choose an item.
South		Choose an item.	Choose an item.	Choose an item.
East	X	Choose an item.	None	Meets LDC
West		Gated Emergency	None	Meets LDC
Notes:				

Design Exception/Administrative Variance <input checked="" type="checkbox"/> Not applicable for this request		
Road Name/Nature of Request	Type	Finding
	Choose an item.	Choose an item.
	Choose an item.	Choose an item.
	Choose an item.	Choose an item.
	Choose an item.	Choose an item.
Notes:		

4.0 ADDITIONAL SITE INFORMATION & AGENCY COMMENTS SUMMARY

INFORMATION/REVIEWING AGENCY				
Environmental:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Environmental Protection Commission	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Natural Resources	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Conservation & Environ. Lands Mgmt.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Check if Applicable: <input type="checkbox"/> Wetlands/Other Surface Waters <input type="checkbox"/> Use of Environmentally Sensitive Land Credit <input type="checkbox"/> Wellhead Protection Area <input type="checkbox"/> Surface Water Resource Protection Area <input type="checkbox"/> Potable Water Wellfield Protection Area <input type="checkbox"/> Significant Wildlife Habitat (Upland Wildlife Habitat Area) <input type="checkbox"/> Coastal High Hazard Area <input type="checkbox"/> Urban/Suburban/Rural Scenic Corridor <input type="checkbox"/> Adjacent to ELAPP property <input type="checkbox"/> Other: _				
Public Facilities:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Transportation <input type="checkbox"/> Design Exc./Adm. Variance Requested <input type="checkbox"/> Off-site Improvements Provided	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Service Area/ Water & Wastewater <input type="checkbox"/> Urban <input checked="" type="checkbox"/> City of Tampa <input type="checkbox"/> Rural <input type="checkbox"/> City of Temple Terrace	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Hillsborough County School Board Adequate <input checked="" type="checkbox"/> K-5 <input checked="" type="checkbox"/> 6-8 <input checked="" type="checkbox"/> 9-12 <input type="checkbox"/> N/A Inadequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Impact/Mobility Fees (Fee estimate is based on a 1,200 square foot, 3 Bedroom Duplex Units) Mobility: \$8,178 x2 = \$16,356 Parks: \$1,555 x2 = \$3,110 School: \$3,891 x2 = \$7,782 Fire: \$249 x2 = \$498 Per unit = \$13,873 x2 = \$27,746 Urban Mobility, Northeast Park, Northwest Fire - removing age restriction and adding units. Prior use was permitted and previously assessed as duplex, and not school exempt. New units can be exempted from school impacts if they have a restrictive covenant on record, otherwise school fees are due. If they are removing the age restriction per narrative, all impact and mobility fees would be assessed per use type. Currently 30 duplex buildings (60 units), asking to go up to 62 and may build one more duplex structure/2 units				

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Comprehensive Plan:	Comments Received	Findings	Conditions Requested	Additional Information/Comments
Planning Commission <input type="checkbox"/> Meets Locational Criteria <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Locational Criteria Waiver Requested <input type="checkbox"/> Minimum Density Met <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Inconsistent <input checked="" type="checkbox"/> Consistent	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

5.0 IMPLEMENTATION RECOMMENDATIONS

5.1 Compatibility

The applicant seeks to develop an approximately 8.59-acre unified development (folio no. 36274.2002) located at the southeast corner of East 131st Street and North 20th Street. The surrounding area largely consists of multi-family uses to the north, east, west, and south, with some vacant land directly abutting the Site to the south and across N 20th St to the west. Immediately south is a retention pond extending approximately 400 south of the subject site providing a substantial existing buffer.

It should be noted the current approval for the existing PD allows up to 100 units. The total proposed density is limited to 62 units, with over 46 units having been constructed. The applicant proposed 14 units located in the northern portion of the subject site that is currently vacant land. Additionally, the applicant proposes two units to be contained within an optional conversion of the clubhouse to two residences. The setbacks are provided for the overall project, and not for individual multi-family units as they are not proposed to be divided into separate platted lots.

The applicant's narrative states that the subject site is near the University of South Florida and the University Mall, in an area where housing stock is in high demand. The limitation of an age restriction on the use of dwelling units within the subject site hinders the ability to repurpose the site to a use that is needed in the area. The applicant also maintains that the existing built environment of the subject site and surrounding area. The subject site is bound on three sides with roads, including North 20th Street to the west, East 131 Street to the north, and North 22nd Street to the east. There is a cluster of multi-family residential immediately adjacent to the east of the subject abutting already constructed residences on the subject site. To the northeast is a church with offices. Overall, the request is similar to the development pattern while adding additional housing without age restrictions. The applicant proposes complying with LDC Section 6.06.07, where a wall/fence does not currently exist, along N. 22nd Street to not exceed a maximum height of six feet.

The applicant requests variations to Part 6.07.00, Fences and Walls of the Land Development Code as follows.

The Applicant seeks a PD Variation from Sec. 6.07.02 of the LDC, to allow for 8-foot walls that currently exist along E. 131st Avenue and N. 20th Street to remain at their existing heights and in their existing locations, and for those walls to be able to be repaired/replaced as may be necessary in the future at their existing heights and in their existing locations. To this end the applicant proposes utilizing part of the existing condition language from PD 00-0174, which includes allowing 8-foot walls along E. 131st Avenue and N. 20th Street.

Additional justification was included in the applicant's submittal for the variations. Staff has reviewed the justification statement submitted by the applicant and finds they provided criteria responses per LDC Section 5.03.06.C.6. The Rezoning Hearing Master's recommendation for this application is required to include a finding on whether the requested variance meets the criteria for approval.

The applicant has not requested any variations from the general site development requirements found in Parts 6.05.00, Parking and Loading; nor LDC Section 6.06.00, Landscaping, Irrigation and Buffering Requirements of the Land Development Code. The application shall be required to be in compliance with all other requirements of the Hillsborough County Land Development Code.

Transportation staff found the request approvable, subject to conditions.

5.2 Recommendation

Based on the above considerations, staff finds the request approvable, subject to conditions.

Prior to Site Plan Certification, the applicant will be required to amend the PD site plan as follows:

- Remove the stamp "PRS 25-0460" or replace with "PD 25-0460".
- Remove Item #12 under Site Notes or label the common space/recreation areas that are proposed/exist.
- Revise Item #15 under Site Notes, "There are 60 dwelling total units proposed..." to "There are a maximum of 62 dwelling units proposed within the PD. The project will not be phased."
- Revise Item #17 under Site Notes, "Landscape buffers ...are provided within the project area. All landscaping & fencing has been installed per previously approved PD Plan" to "Fencing shall comply with LDC. Sec. 6.07.00 Fences/Walls, except as noted in the conditions of approval".
- Remove Item #31 under Site Notes, "NO VARIANCES HAVE BEEN REQUESTED OR APPLIED FOR."
- Appropriately display and label the emergency access connection onto 20th St N along the project's western frontage.

6.0 PROPOSED CONDITIONS

Approval of the request, subject to the conditions listed below, is based on the general site plan submitted April 28, 2025.

1. Permitted uses shall be limited to multi-family dwellings, with accessory uses for residents which may include a fitness center, activity center, multi-purpose room, laundry, employee area, administrative area, maintenance and service area. Buildings shall consist of a maximum of two dwelling units attached.
2. The existing clubhouse depicted on the site plan shall have the option to be converted into two multi-family dwellings.
3. Individual dwelling units may be owned as condominium units, however, no individual platting of the underlying land within the project, or individual fee simple ownership of the land under the condominium units shall be permitted. All common area and underlying land shall remain unplatted and owned by a common entity.
4. The development shall have a maximum of 62 dwelling units and shall be in compliance with the RMC-20 zoning district standards, except as set forth in the land use conditions contained herein. The dwelling units shall be residential in appearance and their design shall include the use of pitched roofs. Additionally, the design of the dwelling units shall incorporate the use of covered porches and recessed garages. The garages shall be recessed a minimum of 5 feet from the front façade of the dwelling unit. The 5 feet may be measured from the front of the covered porch.
5. Setbacks to all external boundaries of the Planned Development shall be a minimum of 20 feet, with a permitted projection for covered patios / lanai features of up to 10 feet into the setback.
6. Maximum building height for the dwelling units shall be 35 feet.
7. The project shall be required to satisfy the parking requirements of the Hillsborough County Land Development Code for multi-family dwelling units. Existing driveways associated with existing dwellings shall be permitted to remain at their existing size, location, and configuration.
8. An eight-foot minimum landscape buffer shall be provided along N. 20th Street and E. 131st Avenue. A wall or fence with a maximum height of six feet may be installed within the buffer along the eastern property line at least 4 feet from the property boundary along 22nd Street. A wall or fence with a maximum height of eight feet may be installed within the buffer along N. 20th Street and E. 131st Avenue at least 4 feet from the property boundary. A wall or fence with a maximum height of six feet may be installed along the eastern property line within the buffer. The wall or fence shall be architecturally enhanced with columns, wrought iron pickets, or other features to present a diverse façade to passersby. Additionally, the exterior of the wall or fence shall be landscaped with plant clusters

of varied species and heights with a combined linear coverage of 30 percent of the buffer length.

9. The subject site shall be permitted a singular full access connection onto N. 22nd Street.
10. Newly constructed units (or the reconstruction of existing units) shall meet the following standards:
 - a. Driveways serving individual units, within which vehicles are permitted to park vehicles (temporary or otherwise) shall be a minimum of 20 feet in length between the closest edge of the garage/building façade and the closest edge of the sidewalk; and,
 - b. No portion of any structure shall be permitted to be located within 15 feet of an adjacent sidewalk along a yard from which the lot is being accessed. This shall be measured between the closest edge of the building and the closest edge of sidewalk along said frontage.
11. The internal roadway labeled W. Lanrite Road on the PD site plan will be designed as a shared access facility with the adjacent parcel to the north under Folio No. 37534.0000.
12. Notwithstanding anything shown in the PD site plan or therein the conditions of approval, the applicant shall provide internal sidewalks connections to the project site arrival point, the primary building entrances, parking, and any other onsite amenities consistent with 6.03.02 of the Land Development Code.
13. Notwithstanding anything herein or shown on the PD site plan to the contrary, bicycle and pedestrian access may be permitted anywhere along PD boundaries.
14. Construction access shall be limited to those locations shown on the PD site plan which are also proposed with vehicular access connections. The developer shall include a note in each site/construction plan submittal which indicates same.
15. In the event there is conflict between a zoning condition of approval, as stated herein, and any written or Graphic notation on the general site plan, the more restrictive requirement shall apply.
16. In accordance with LDC Section 5.03.07.C, the certified PD general site plan shall expire for the internal transportation network and external access points, as well as for any conditions related to the internal transportation network and external access points, if site construction plans, or equivalent thereof, have not been approved for all or part of the subject Planned Development within 5 years of the effective date of the PD unless an extension is granted as provided in the LDC. Upon expiration, re-certification of the PD General Site Plan shall be required in accordance with provisions set forth in LDC Section 5.03.07.C

Zoning Administrator Sign Off:

J. Brian Grady

SITE, SUBDIVISION AND BUILDING CONSTRUCTION IN ACCORDANCE WITH HILLSBOROUGH COUNTY SITE DEVELOPMENT PLAN & BUILDING REVIEW AND APPROVAL.

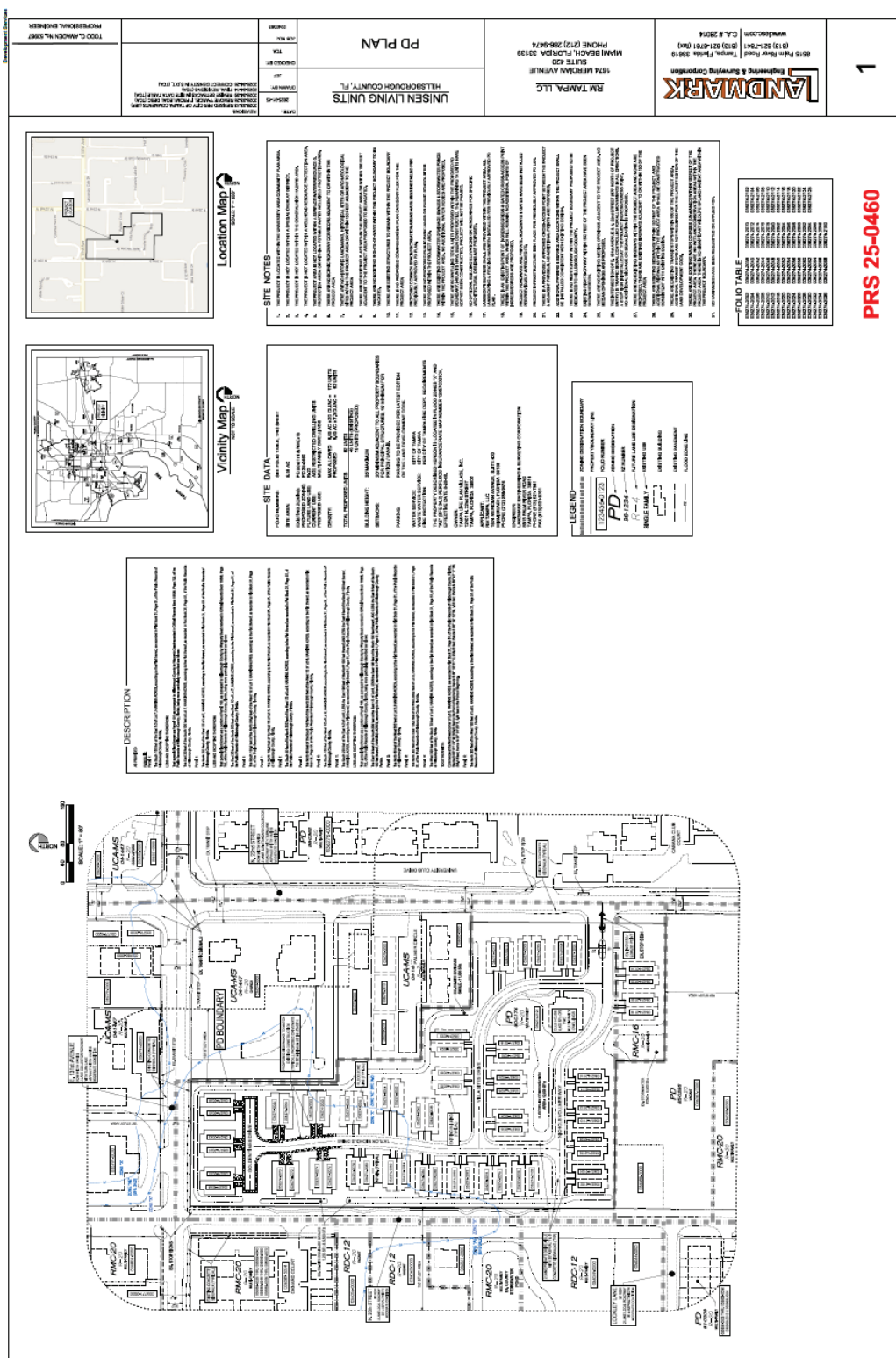
Approval of this re-zoning petition by Hillsborough County does not constitute a guarantee that the project will receive approvals/permits necessary for site development as proposed will be issued, nor does it imply that other required permits needed for site development or building construction are being waived or otherwise approved. The project will be required to comply with the Site Development Plan Review approval process in addition to obtain all necessary building permits for on-site structures.

SITE, SUBDIVISION AND BUILDING CONSTRUCTION IN ACCORDNACE WITH HILLSBOROUGH COUNTY SITE DEVELOPMENT PLAN & BUILDING REVIEW AND APPROVAL.

Approval of this re-zoning petition by Hillsborough County does not constitute a guarantee that the project will receive approvals/permits necessary for site development as proposed will be issued, nor does it imply that other required permits needed for site development or building construction are being waived or otherwise approved. The project will be required to comply with the Site Development Plan Review approval process in addition to obtain all necessary building permits for on-site structures.

7.0 ADDITIONAL INFORMATION

8.0 PROPOSED SITE PLAN (FULL)



9.0 FULL TRANSPORTATION REPORT (see following pages)

AGENCY REVIEW COMMENT SHEET

TO: Zoning Technician, Development Services Department

DATE: 05/12/2025

REVIEWER: Sarah Rose, Senior Planner

AGENCY/DEPT: Transportation

PLANNING AREA/SECTOR: NW/University

PETITION NO: RZ 25-0460

-
- | | |
|-------------------------------------|---|
| <input type="checkbox"/> | This agency has no comments. |
| <input type="checkbox"/> | This agency has no objection. |
| <input checked="" type="checkbox"/> | This agency has no objection, subject to the listed or attached conditions. |
| <input type="checkbox"/> | This agency objects for the reasons set forth below. |
-

CONDITIONS OF APPROVAL

1. The subject site shall be permitted a singular full access connection onto N 22ND St.
2. Individual dwelling units may be owned as condominium units, however, no individual platting of the underlying land within the project, or individual fee simple ownership of land under condominium units, shall be permitted. All common area and underlying land shall remain unplatted and owned by a common entity.
3. Newly constructed units (or the reconstruction of existing units) shall meet the following standards:
 - a. Driveways serving individual units, within which vehicles are permitted to park vehicles (temporary or otherwise) shall be a minimum of 20 feet in length between the closest edge of the garage/building façade and the closest edge of the sidewalk; and,
 - b. No portion of any structure shall be permitted to be located within 15 feet of an adjacent sidewalk along a yard from which the lot is being accessed. This shall be measured between the closest edge of the building and the closest edge of sidewalk along said frontage.
4. The internal roadway labeled W. Lanrite Road on the PD site plan will be designed as a shared access facility with the adjacent parcel to the north under Folio No. 37534.0000.

5. Notwithstanding anything shown in the PD site plan or therein the conditions of approval, the applicant shall provide internal sidewalks connections to the project site arrival point, the primary building entrances, parking, and any other onsite amenities consistent with 6.03.02 of the Land Development Code.
6. Notwithstanding anything herein or shown on the PD site plan to the contrary, bicycle and pedestrian access may be permitted anywhere along PD boundaries.
7. Construction access shall be limited to those locations shown on the PD site plan which are also proposed with vehicular access connections. The developer shall include a note in each site/construction plan submittal which indicates same.

PRIOR TO CERTIFICATION, the applicant will be required to amend the PD site plan to:

- Appropriately display and label the emergency access connection onto 20th St N along the project's western frontage.

PROJECT SUMMARY AND ANALYSIS

The applicant is requesting to rezone thirty-one parcels totaling +/- 8.59 acres from Planned Development 00-0174 (PD) Planned Development (PD). The currently approved planned development permits a forty-six (46) 2-bedroom unit assisted living facility. The proposed Planned Development is seeking the approval to remove the age restriction on the existing development and convert the existing units and the units to be constructed into single family detached townhomes for a total of sixty (60) units. The site is located on the south-western quadrant of the intersection of E 131st Ave and N 22nd St. The Future Land Use designation of the site is Residential 6 (R-6).

Trip Generation Analysis

In accordance with the Development Review Procedures Manual (DRPM), the developer submitted a transportation generation letter for the proposed project, indicating that the subject project will generate fewer than 50 peak hour trips. Staff has prepared a comparison of the trips potentially generated under the existing and proposed zoning designations, utilizing a generalized worst-case scenario. The data presented below is based on the Institute of Transportation Engineer's Trip Generation Manual, 11th Edition.

Approved Zoning:

Zoning, Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
PD, Senior Adult Housing – Single-Family (ITE Code 251) 100 Units	592	39	44

Proposed Uses:

Zoning, Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
PD, Single Family Attached (ITE Code 215) 62 Units	422	27	34

Trip Generation Difference:

Zoning, Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
Difference	-170	-12	-10

TRANSPORTATION INFRASTRUCTURE SERVING THE SITE

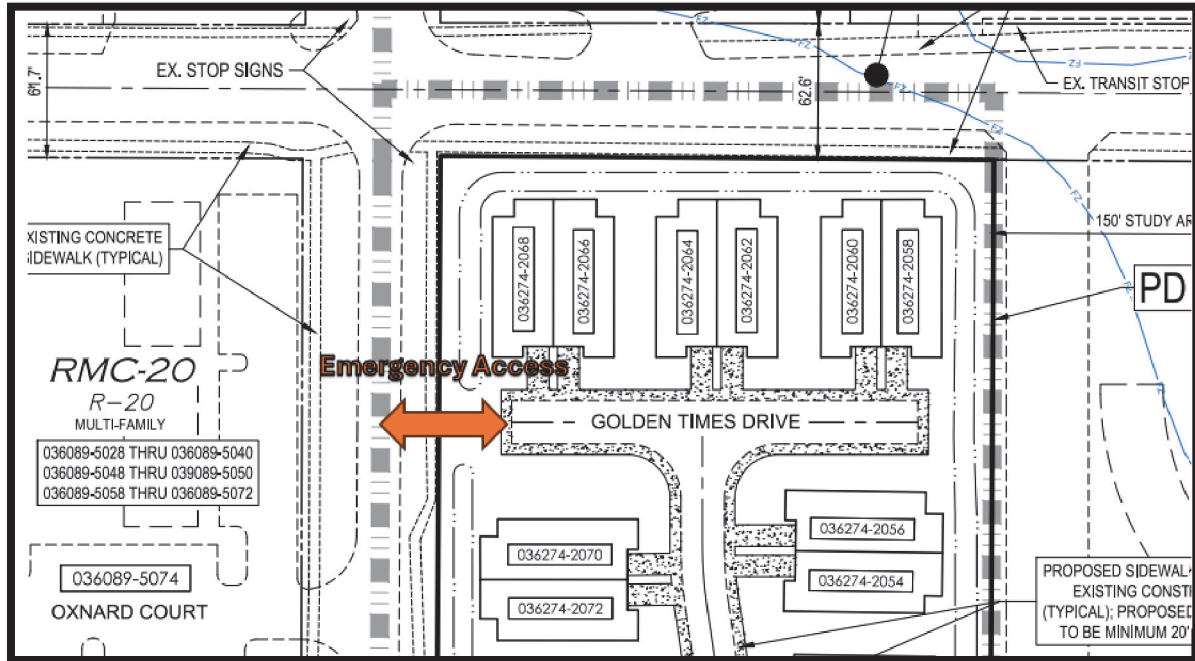
The site has frontage on N 22ND St, E 131st Ave, and N 20th St. N 22nd St is a 2-lane, undivided, standard county maintained, urban collector roadway. The roadway is characterized by +/- 11ft travel lanes, +/- 4ft bike lanes on the northern side of the roadway, +/- 8ft multi-use path on both sides of the roadway, and within +/- 80 ft of the right of way.

E 131st Ave is a 2-lane, undivided, substandard county maintained, urban collector roadway. The roadway is characterized by +/- 11ft travel lanes, +/- 4ft bike lanes on both sides of the roadway, +/- 8ft multi-use path on the northern side of the roadway, +/- 5ft sidewalks on the southern side of the roadway, and within +/- 60 ft of the right of way. Pursuant to the Hillsborough County Corridor Preservation Plan, E 131st Ave is designated for future four lane enhancement.

N 20th St is a 2-lane undivided, substandard county maintained, rural local roadway. The roadway is characterized by +/- 19ft of pavement in average condition, no bike lanes or sidewalks on either side of the roadway within the vicinity of the project, and within +/- 62 ft of the right of way.

SITE ACCESS

The subject site is currently approved for a single full access connection onto N 22nd St and an emergency access connection onto N 20th St which has not yet been constructed. The approved emergency access connection onto N 20th St will be constructed to county standard's concurrent with the next phase of development.



No modification to the existing access connections is being proposed with this application.

ROADWAY LEVEL OF SERVICE (LOS) INFORMATION

N 20th St. is not a regulated roadway and is not included in the 2020 Hillsborough County Level of Service (LOS) Report. As such, no LOS information for this roadway can be provided.

Level of Service (LOS) information for N 22nd St and E 131st Ave is reported below

FDOT Generalized Level of Service				
Roadway	From	To	LOS Standard	Peak Hr. Directional LOS
N 22 nd St	Club Dr.	Bearss Ave	E	D
E 131 st Ave	Nebraska Ave	30 th St	E	D

Source: [2020 Hillsborough County Level of Service \(LOS\) Report](#)

Transportation Comment Sheet

3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)

Adjoining Roadways (check if applicable)			
Road Name	Classification	Current Conditions	Select Future Improvements
N 22 ND St.	County Collector - Urban	2 Lanes <input type="checkbox"/> Substandard Road <input checked="" type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input checked="" type="checkbox"/> Other
E 131 st Ave	County Collector - Urban	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input checked="" type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
N 20 th St	County Local - Rural	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input checked="" type="checkbox"/> Other

Project Trip Generation <input type="checkbox"/> Not applicable for this request			
	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	592	39	44
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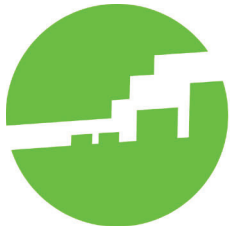
*Trips reported are based on gross external trips unless otherwise noted.

Connectivity and Cross Access <input type="checkbox"/> Not applicable for this request				
Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North		Choose an item.	Choose an item.	Choose an item.
South		Choose an item.	Choose an item.	Choose an item.
East	X	Choose an item.	None	Meets LDC
West		Gated Emergency	None	Meets LDC
Notes:				

Design Exception/Administrative Variance <input checked="" type="checkbox"/> Not applicable for this request		
Road Name/Nature of Request	Type	Finding
	Choose an item.	Choose an item.
	Choose an item.	Choose an item.
	Choose an item.	Choose an item.
	Choose an item.	Choose an item.
Notes:		

4.0 Additional Site Information & Agency Comments Summary

Transportation	Objections	Conditions Requested	Additional Information/Comments
<input type="checkbox"/> Design Exception/Adm. Variance Requested <input type="checkbox"/> Off-Site Improvements Provided	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	



**Hillsborough County
City-County
Planning Commission**

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Unincorporated Hillsborough County Rezoning Consistency Review	
Hearing Date: May 19, 2025 Report Prepared: May 8, 2025	Case Number: PD 25-0460 Folio(s): Multiple (See Application) General Location: South of East 131 st Avenue, west of North 22 nd Street, and north of East Fowler Avenue
Comprehensive Plan Finding	CONSISTENT
Adopted Future Land Use	Residential-20 (20 du/ga;0.75 FAR)
Service Area	Urban
Community Plan(s)	University Area
Rezoning Request	Rezone from RMC-16 and PD (00-0174) to a new PD to incorporate the folios not currently zoned PD but which are utilized as part of the existing development, to remove the age restriction condition that applies to the existing units, and to potentially convert the existing clubhouse into two multi-family dwellings
Parcel Size	+/- 8.59 acres
Street Functional Classification	East 131 st Avenue – County Collector North 22 nd Street – County Collector North 20 th Street – Local

Commercial Locational Criteria	Not applicable
Evacuation Area	None

Table 1: COMPARISON OF SURROUNDING PROPERTIES			
Vicinity	Future Land Use Designation	Zoning	Existing Land Use
Subject Property	Residential-20	PD + RMC-16	Vacant + Group Homes
North	Residential-20	UCA-MS	Multi-Family + Two-Family + Public/Quasi-public
South	Residential-20	PD + RMC-20	Public Communications
East	Residential-20	PD	Multi-Family + Public-Quasi-public + Light Commercial + Two Family
West	Residential-20	RMC-20 + RDC-12	Single-Family + Multi-Family + Two Family + Public/Quasi-public + HOA/Common Property + Vacant

Staff Analysis of Goals, Objectives and Policies:

The ± 8.59-acre subject site is located south of East 131st Avenue, west of North 22nd Street, and north of East Fowler Avenue. The site is in the Urban Service Area, and is within the limits of the University Area Community Plan and has a Future Land Use (FLU) designation of Residential-20 (RES-20). The applicant is requesting to rezone from Residential Multi-Family Conventional (RMC-16) and Planned Development (PD) (00-0174) to a new PD to incorporate the folios not currently zoned PD, but which are utilized as part of the existing development, to remove the age restriction condition that applies to the existing units, and to potentially convert the existing clubhouse into two multi-family dwellings.

The site is in the Urban Service Area where, according to Objective 1.1 of the Future Land Use Section (FLUS), 80 percent of the county's growth is to be directed. Policy 3.1.3 requires all new developments to be compatible with the surrounding area, noting that "Compatibility does not mean "the same as." Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development." The subject site is currently occupied by vacant land and group home uses. There are multi-family uses to the west, north, east and further south of the site. There are public/quasi-public

uses to the east and west of the site, as well as two-family uses. To the south of the site, there are public communication uses that are comprised mainly of wetlands. The proposed rezoning of the site to a Planned Development, incorporating areas currently zoned RMC-16, is consistent with the intent of FLUS Objective 1.1.

Per Objective 2.2, Future Land Use categories outline the maximum level of intensity or density, and range of permitted land uses allowed in each category. Table 2.2 contains a description of the character and intent permitted in each of the Future Land use categories. The site is in the Residential-20 Future Land Use category, which is intended for high density residential development. This land use allows for the consideration of agricultural, residential, neighborhood commercial, office uses, multi-purpose projects and mixed-use developments. As the language states above, residential uses are allowed and therefore, the proposal meets Objective 2.2 and the associated policies. The RES-20 Future Land Use category permits 20 dwelling units per gross acre and has a maximum Floor Area Ratio (FAR) of 0.75. With the subject site being 8.59 acres, the maximum density that would be permitted is 171 dwelling units ($8.59 \times 20 = 171$ dwelling units). Per FLUS Policy 2.4.4, consideration of Centers and Connections (C&Cs) should be given in the review of Future Land Use Map (FLUM) amendments and rezoning applications. The subject site is located within 1/8 mile of a designated Center and is situated along a Connection. As such, the policy requires that the proposed density achieve at least 75% of the maximum allowable density. In this case, 75% of the allowable density would be 128 units. Policy 2.4.4 also outlines specific criteria under which an exception to this density policy may be accepted. The applicant has addressed this policy in their narrative and provided a justification for an exception, as they are proposing below the 75% of the maximum allowable density. The applicant's justification explains that the proposed rezoning utilizes existing buildings that are already developed at the current density. The majority of the buildings on the site are already constructed, with only 16 additional units proposed as part of the new development. The proposed density is justifiable and more compatible with the surrounding area, as a denser development would be more likely to impact the existing pattern of development in this pocket of the University Area along 131st Ave between the busier Fletcher and Fowler Centers. One of the exception criteria outlined in FLUS Policy 2.4.4 is if the development is not compatible (as defined in Policy 3.1.3) and would adversely impact the existing development pattern within a 1,000-foot buffer of the proposed development. Upon review, staff finds the applicant's justification to meet this criterion and concludes that the proposed development meets the intent and requirements of FLUS Policy 2.4.4.

The Comprehensive Plan requires that all development meet or exceed the land development regulations in Hillsborough County (FLUS Objective 4.1, FLUS Policy 4.1.1 and FLUS Policy 4.1.2). However, at the time of uploading this report, Transportation comments were not yet available in Optix and thus were not taken into consideration for analysis of this request.

The proposal meets the intent of FLUS Objective 4.4 and FLUS Policy 4.4.1 that require new development to be compatible with the surrounding neighborhood. In this case, the surrounding land use pattern is comprised mostly of multi-family development, with a mix of public/quasi-public and two-family uses in the immediate vicinity. The proposed rezoning with multi-family development will reflect the existing density and residential character of the area, as well as an appropriate transition of use. Additionally, the subject site is located in close proximity to the University of South Florida and the University Mall area, a location where there is significant demand for additional residential housing. The request to remove the condition limiting the site to "Housing of Older Persons" would allow for a more flexible residential use that better aligns with the current housing needs in the area. This proposal will provide multi-family residential opportunities without creating new development and will maintain the existing built

environment of the site and surrounding area. The proposed request will complement the area as well as the neighborhoods surrounding the site.

The subject site is within the limits of the University Area Community Plan. The University Area Community Plan strives to create a stable, safe, and livable community through physical revitalization, which establishes positive neighborhood identity and provides community design guidelines to achieve a pedestrian friendly, mixed-use area that will serve the needs of the University Area Community. Goal 2 of the plan outlines the desire to provide greater flexibility in land use and density for future development while ensuring that neighborhood buffers and urban amenities are enhanced. With the elimination of the “Housing for Older Persons” condition, and the addition of residential units, the proposed request aligns with the plan’s desire for more flexible land use and density. The proposed rezoning to rezone the subject site to a Planned Development aligns well with the University Area Community Plan.

Overall, staff finds that the proposed use is an allowable use in the RES-20 Future Land Use category, is compatible with the existing development pattern found within the surrounding area and does support the vision of the University Area Community Plan. The proposed Planned Development (PD) would allow for development that is consistent with the Goals, Objectives, and Policies of the Future Land Use Section of the *Unincorporated Hillsborough County Comprehensive Plan*.

Recommendation

Based upon the above considerations and the following Goals, Objectives and Policies, Planning Commission staff finds the proposed Planned Development **CONSISTENT** with the *Unincorporated Hillsborough County Comprehensive Plan*, subject to the conditions proposed by the Development Services Department.

Staff Identified Goals, Objectives and Policies of the *Unincorporated Hillsborough County Comprehensive Plan* Related to the Request:

FUTURE LAND USE SECTION

Urban Service Area

Objective 1.1: Direct at least 80% of new population growth into the USA and adopted Urban expansion areas through 2045. Building permit activity and other similar measures will be used to evaluate this objective.

Relationship to the Future Land Use Map

Goal 2: Ensure that the character, compatibility and location of land uses optimize the combined potential for economic benefit, fiscal sustainability, protection of natural resources and maintaining viable agriculture. Ensure density and intensities are maintained through the Future Land Use Map.

Objective 2.1: The Future Land Use Map is a regulatory tool governing the pattern of development in unincorporated Hillsborough County through the year 2045.

Policy 2.1.1: The Future Land Use Map shall identify Future Land Use categories, summarized in Table 2.2 and further described in Appendix A, that establish permitted land uses and maximum densities and intensities.

Future Land Use Categories

Objective 2.2: *The Future Land Use Map (FLUM) Shall identify Land Use Categories, summarized in table 2.2 of the Future Land Use Element.*

Policy 2.2.1: *The character of each land use category is defined by building type, residential density, functional use, and the physical composition of the land. The integration of these factors sets the general atmosphere and character of each land use category. Each category has a range of potentially permissible uses which are not exhaustive, but are intended to be illustrative of the character of uses permitted within the land use designation. Not all of those potential uses are routinely acceptable anywhere within that land use category.*

Centers and Connections

Policy 2.4.4: *Consideration of C&Cs should be given in the review of Future Land Use Map (FLUM) amendments and rezoning applications. Specifically:*

- *Higher density residential projects, defined as residential land use categories that are 9 units per acre or higher, should be encouraged in these areas.*
- *All new development or redevelopment shall meet a minimum density of 75% of the allowable density of the adopted FLU category unless it meets the following criteria:*
 - *The development is not compatible (as defined in Policy 3.1.3) and would adversely impact the existing development pattern within a 1,000-foot buffer of the proposed development.*
 - *The development would have an adverse impact on environmental features on the site or adjacent to the property.*
 - *The development is restricted to agricultural uses and would not permit the further subdivision of residential lots.*
- *All projects are encouraged to include context-sensitive multimodal facilities in site design and not preclude future connections to adjacent properties, consistent with policies adopted within the Mobility Section.*

Compatibility

Policy 3.1.1: *Restrict incompatible land uses to protect established and planned neighborhoods and communities by utilizing planning principles that limit commercial development in residential Future Land Use categories. Commercial and mixed-use in residential Future Land Use categories shall be limited to neighborhood serving guided by the commercial locational criteria in Objective 4.7.*

Policy 3.1.2: *Gradual transitions of intensities and densities between different land uses shall be provided for as new development is proposed and approved through the use of professional site planning, buffering and screening techniques and control of specific land uses. Screening and buffering used to separate new development from the existing, lower-density community should be designed in a style compatible with the community and allow pedestrian penetration. In rural areas, perimeter walls are discouraged and buffering with berms and landscaping are strongly encouraged.*

Policy 3.1.3: *Any density increase shall be compatible with existing, proposed or planned surrounding development. Compatibility is defined as the characteristics of different uses or activities or design which allow them to be located near or adjacent to each other in harmony. Some elements affecting compatibility*

include the following: height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor and architecture. Compatibility does not mean “the same as.” Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development

Development

Policy 4.1.1: Each land use plan category shall have a set of zoning districts that may be permitted within that land use plan category, and development shall not be approved for zoning that is inconsistent with the plan.

Policy 4.1.2: Developments must meet or exceed the requirements of all land development regulations as established and adopted by Hillsborough County, the state of Florida and the federal government unless such requirements have been previously waived by those governmental bodies.

Policy 4.1.6: Existing and future land development regulations shall be made consistent with the Comprehensive Plan, and all development approvals shall be consistent with those development regulations per the timeframe provided for within Chapter 163, Florida Statutes. Whenever feasible and consistent with Comprehensive Plan policies, land development regulations shall be designed to provide flexible, alternative solutions to problems.

Neighborhood/Community Development

Objective 4.4: Neighborhood Protection – Enhance and preserve existing neighborhoods and communities. Design neighborhoods which are related to the predominant character of their surroundings.

Policy 4.4.1: Any density or intensity increases shall be compatible with existing, proposed or planned surrounding development. Development and redevelopment shall be integrated with the adjacent land uses through:

- a) the creation of like uses; and
- b) creation of complementary uses; and
- c) mitigation of adverse impacts; and
- d) transportation/pedestrian connections; and
- e) Gradual transitions of intensity

LIVABLE COMMUNITIES ELEMENT: University Area Community Plan

Vision: The University Area Community Plan will strive to create a stable, safe, and livable community through physical revitalization which establishes positive neighborhood identity and provides community design guidelines to achieve a pedestrian friendly, mixed use area that will serve the needs of the citizens of the University Area Community.

Goal 2: Providing greater flexibility in land-use and density for future development while ensuring that neighborhood buffers and urban amenities are enhanced

RZ PD 25-0460

APPROVED
CONTINUED
DENIED
WITHDRAWN
PENDING

Tampa Service Area
Urban Service Area
Shoreline
County Boundary
Jurisdiction Boundary
Roads

WATER NATURAL/LULUC_Wet_Poly	
PEC PLANNED ENVIRONMENTAL COMMUNITY-1/2 (.25 FAR)	
AGRICULTURAL-MIXING -1/20 (.25 FAR)	
AGRICULTURAL-1/10 (.25 FAR)	
AGRICULTURAL-RURAL-1/5 (.25 FAR)	
AGRICULTURAL ESTATE-1/2.5 (.25 FAR)	
RESIDENTIAL-1 (.25 FAR)	
RESIDENTIAL-2 (.25 FAR)	
RESIDENTIAL PLANNED-2 (.35 FAR)	
RESIDENTIAL-4 PLANNED-2 (.35 FAR)	
RESIDENTIAL-6 (.25 FAR)	
RESIDENTIAL-9 (.35 FAR)	
RESIDENTIAL-12 (.35 FAR)	
RESIDENTIAL-16 (.35 FAR)	
RESIDENTIAL-20 (.35 FAR)	
RESIDENTIAL-35 (1.0 FAR)	
NEIGHBORHOOD MIXED USE-4 (3) (.35 FAR)	
SUBURBAN MIXED USE-6 (.35 FAR)	
COMMUNITY MIXED USE-12 (.50 FAR)	
URBAN MIXED USE-20 (1.0 FAR)	
REGIONAL MIXED USE-36 (2.0 FAR)	
INNOVATION CORRIDOR MIXED USE-35 (2.0 FAR)	
OFFICE COMMERCIAL-20 (.75 FAR)	
RESEARCH CORPORATE PARK (1.0 FAR)	
ENERGY INDUSTRIAL PARK (.50 FAR USES OTHER THAN RETAIL/COMMERCE)	
LIGHT INDUSTRIAL PLANNED (.75 FAR)	
LIGHT INDUSTRIAL (.75 FAR)	
HEAVY INDUSTRIAL (.75 FAR)	
PUBLIC/CQUASH-PUBLIC	
NATURAL PRESERVATION	
WIWAUNA VILLAGE RESIDENTIAL-2 (.25 FAR)	
CITRUS PARK VILLAGE	

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