

SUBJECT: Triple Creek Village Q **PI#5002**
DEPARTMENT: Development Review Division of Development Services Department
SECTION: Project Review & Processing
BOARD DATE: May 9, 2023
CONTACT: Lee Ann Kennedy

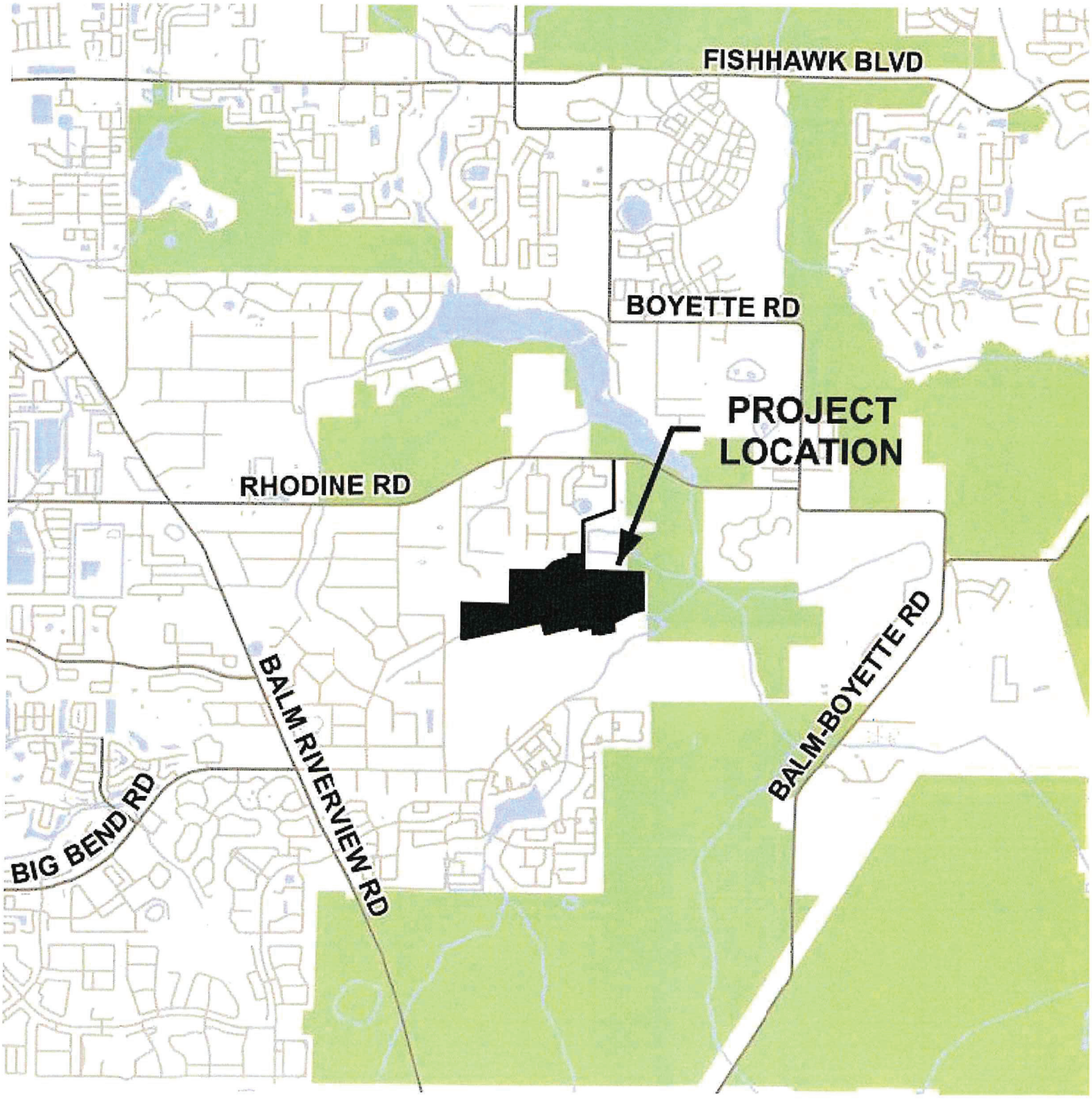
RECOMMENDATION:

Accept the plat for recording for Triple Creek Village Q, located in Section 01, Township 371, and Range 20, and grant permission to the Development Review Division of Development Services Department to administratively accept the Improvement Facilities (on-site roads, drainage, water, wastewater and sidewalks and off-site roads, drainage and sidewalks) for Maintenance upon proper completion, submittal and approval of all required documentation. Also provide the administrative rights to release the performance securities for construction and lot corners upon final acceptance by the Development Review Division of Development Services Department and also provide the administrative rights to release the warranty security upon expiration of the warranty period, warranty inspection and correction of any failure, deterioration or damage to the Improvement Facilities. Accept a Performance Bond for Colonnade Vista Drive, in the amount of \$1,187,967.00, a Performance Bond in the amount of \$1,505,363.00 for the remaining on and off-site improvements, a Warranty Bond in the amount of \$442,019.00 and authorize the Chairman to execute the Subdivider's Agreement for Construction and Warranty of Required Improvements. Also accept a Performance Bond for Placement of Lot Corners in the amount of \$25,740.00 and authorize the Chairman to execute the Subdivider's Agreement for Performance - Placement of Lot Corners.

School Concurrency was approved based on a Developer Agreement and a payment of \$669,301.00 was made on December 8, 2022.

BACKGROUND:

On November 24, 2021, Permission to Construct Prior to Platting was issued for Triple Creek Village Q. The developer has submitted the required Bonds, which the County Attorney's Office has reviewed and approved. The developer is Lennar Homes, LLC and the engineer is Halff.



SUBDIVIDER'S AGREEMENT FOR CONSTRUCTION AND WARRANTY OF REQUIRED ON-SITE AND OFF-SITE IMPROVEMENTS

This Agreement made and entered into this _____ day of _____, 20_____, by and between
LENNAR HOMES, LLC, hereinafter referred to as the "Subdivider" and
Hillsborough County, a political subdivision of the State of Florida, hereinafter referred to as the "County."

Witnesseth

WHEREAS, the Board of County Commissioners of Hillsborough County has established a Land Development Code, hereinafter referred to as "LDC", pursuant to the authority contained in Chapters 125, 163 and 177, Florida Statutes; and

WHEREAS, the LDC affects the subdivision of land within the unincorporated areas of Hillsborough County; and

WHEREAS, pursuant to the LDC, the Subdivider has submitted to the Board of County Commissioners of Hillsborough County, Florida, for approval and recordation, a plat of a subdivision known as _____
TRIPLE CREEK VILLAGE Q (hereafter, the "Subdivision"); and

WHEREAS, a final plat of a subdivision within the unincorporated areas of Hillsborough County shall not be approved and recorded until the Subdivider has guaranteed to the satisfaction of the County that the improvements within the platted area and the off-site improvements required as a condition of the approval of the Subdivision will be installed; and

WHEREAS, the off-site and on-site improvements required by the LDC in connection with the Subdivision are to be installed after recordation of said plat under guarantees posted with the County; and

WHEREAS, the Subdivider has or will file with the Hillsborough County Development Review Division of the Development Services Department drawings, plans, specifications and other information relating to the construction of roads, streets, grading, sidewalks, stormwater drainage systems, water, wastewater and reclaimed water systems and easements and rights-of-way as shown on such plat and as required for approval of the subdivision, in accordance with the specifications found in the aforementioned LDC and required by the County; and

WHEREAS, the Subdivider agrees to build and construct the following off-site and on-site improvements as required in connection with the Subdivision:

PUBLIC ROADS, WATER AND SEWER MAINS, SIDEWALKS, AND STORMWATER

(hereafter, the "County Improvements"); and

COLONNADE VISTA DRIVE - A PRIVATE CDD ROAD (aka Rhodine Road Connector)

(hereafter, the "Private Improvements"); and

WHEREAS, pursuant to the LDC, the Subdivider will request the County to accept, upon completion, the County Improvements; and

WHEREAS, the County requires the Subdivider to warranty the aforementioned County Improvements against any defects in workmanship and materials and agrees to correct any such defects which arise during the warranty period; and

WHEREAS, the County requires the Subdivider to submit to the County an instrument guaranteeing the performance of said warranty and obligation to repair.

NOW, THEREFORE, in consideration of the intent and desire of the Subdivider as set forth herein, to gain approval of the County to record said plat, and to gain acceptance for maintenance by the County of the aforementioned County Improvements, the Subdivider and County agree as follows:

1. The terms, conditions and regulations contained in the LDC, are hereby incorporated by reference and made a part of this Agreement.
2. The Subdivider agrees to well and truly build, construct and install the on-site and off-site improvements, including both the County Improvements and Private Improvements, required within and in connection with the Subdivision, within Six (6) months from and after the date that the Board of County Commissioners approves the final plat and accepts the performance bond rendered pursuant to paragraph 4 below, in exact accordance with the drawings, plans, specifications and other data and information filed with the Hillsborough County Development Review Division of Development Services Department by the Subdivider.
3. The Subdivider agrees to warranty the County Improvements constructed in connection with the Subdivision against failure, deterioration or damage resulting from defects in workmanship and materials, for a period of two (2) years following the date of acceptance of said Improvements for maintenance by the County. The Subdivider further agrees to correct within the above described warranty period any such failure, deterioration, or damage existing in the Improvements so that said County Improvements thereafter comply with the technical specifications contained in the LDC established by the County.
4. The Subdivider agrees to, and in accordance with the requirements of the LDC does hereby deliver to the County, an instrument ensuring the performance and a separate instrument providing a warranty of the obligations described in paragraphs 2 and 3 respectively above, specifically identified as:
 - a. Letters of Credit, number _____, dated _____ and number _____ dated _____, with _____ by order of _____,
 - b. A Performance Bond (County Improvements), number 30186691 dated, April 6, 2023
_____ with _____
Lennar Homes, Inc. as Principal, and _____
Continental Insurance Company as Surety, or
A Warranty Bond, number 30186694 dated, April 6, 2023
_____ with _____
Lennar Homes, LLC as Principal, and _____
Continental Insurance Company as Surety, or
 - c. A Performance Bond (Private Improvements), number 30186692 dated, April 6, 2023
_____ with _____
Lennar Homes, LLC as Principal, and _____
Continental Insurance Company as Surety, or

- d. Cashier/Certified Checks, number _____, dated _____ and _____ dated _____ which shall be deposited by the County into a non-interest bearing escrow account upon receipt. No interest shall be paid to the Subdivider on funds received by the County pursuant to this Agreement.

Copies of said letter of credit, performance and warranty bonds, escrow agreements, or cashier/certified checks is attached hereto and by reference made a part hereof.

5. Notwithstanding anything in this Agreement to the contrary, building permit applications for more than 75% of the residential units (i.e. for the 204th-270th residential unit) may not be filed by the developer until the developer has:
 - a. Substantially completed the South Segment of the Rhodine Road Connector and such facility is open to traffic; and
 - b. Posted (and the County has accepted) a performance bond which guarantees construction of the North Segment. Such performance bond shall be issued in an amount equal to 125% of the estimated cost to construct the facility.
 - c. The terms used in this Section 5 shall have the same meaning as defined in the Conditions of Approval under PRS 23-0030.
6. Once construction is completed, the Subdivider shall submit a written certification, signed and sealed by the Engineer-of-Record, stating that the improvements are constructed in accordance with:
 - a. The plans, drawings, and specifications submitted to and approved by the County's Development Review Division of Development Services Department; and
 - b. All applicable County regulations relating to the construction of improvement facilities.
 - c. The foregoing process shall govern both the County Improvements and the Private Improvements.

An authorized representative of the County's Development Services Department will review the Engineer's Certification and determine if any discrepancies exists between the constructed improvements and said certifications.

7. Should the Subdivider seek and the County grant, pursuant to the terms contained in the LDC, an extension of time period established for construction of those on-site and off-site improvements described in paragraph 2, the Subdivider shall provide the County with an instrument ensuring the completion of said improvements within the extended period. The instrument shall be in the form of a letter of credit, performance bond, escrow agreement, or cashier/certified check, as required by the LDC.
8. In the event the Subdivider shall fail or neglect to fulfill its obligations under this Agreement as set forth in paragraph 2 and as required by the LDC, the Subdivider shall be liable to pay for the cost of construction and installation of the improvements to the final total cost including, but not limited to, engineering, legal and contingent costs, together with any damages, either direct or consequential, which the County may sustain as a result of the failure of the Subdivider to carry out and execute all of the provisions of this Agreement and the provisions of the LDC.
9. In the event the Subdivider shall fail or neglect to fulfill its obligations under this Agreement as set forth in paragraph 3 and as required by the LDC, the Subdivider shall be liable to pay for the cost of reconstruction of defective County Improvements to the final total cost, including, but not limited to, engineering, legal and contingent costs, together with any damages, either direct or consequential, which the County may sustain as a result of the Subdivider's failure or neglect to perform.

10. The County agrees, pursuant to the terms contained in the LDC, to record the plat of the Subdivision at such time as the plat complies with the provisions of the LDC and has been approved in the manner prescribed therein.
11. The County agrees, pursuant to the terms contained in the LDC, to accept the Improvements for maintenance upon proper completion, approval by the County's Development Review Division of the Development Services Department, and the submittal and approval of all documentation required by this Agreement and the LDC.
12. The County agrees, pursuant to the terms contained in the LDC as more particularly detailed in the Conditions of Approval for PRS 23-0033, to issue a letter of compliance to allow the release of certificates of occupancy upon receipt of all of the following:
 - a. The Engineer-of-Record's Certification referred to in paragraph 5 above; and
 - b. Acknowledgement by the Development Services Department that all necessary inspections have been completed and are satisfactory, and that no discrepancies exist between the constructed improvements and the Engineer's Certification; and
 - c. Provide that all applicable provisions of the LDC have been met.
 - d. Notwithstanding the foregoing, certificates of occupancy shall be issued for the first 75% of the residential units (i.e. up to the 203rd residential unit) provided: (i) the South Segment of the Rhodine Road Connector is substantially completed and open to traffic, and (ii) the performance bond securing construction of the North Segment of the Rhodine Road Connector has not expired. The terms used in this Subsection (d) shall have the same meaning as defined in the Conditions of Approval under PRS 23-0030.
13. In the event that the improvement facilities are completed prior to the end of the construction period described in paragraph 2, the Subdivider may request that the County accept the County improvements for maintenance at the time of completion. In addition to the submittal, inspections, and approvals otherwise required by this Agreement and the LDC, the Subdivider shall accompany its request for acceptance with a new or amended warranty instrument, in a form prescribed by the LDC, guaranteeing the obligations set forth in paragraph 3 for a period of two (2) years from the date of the final inspection approval. Provided that said warranty instrument is approved as to form and legal sufficiency by the County Attorney's Office, the County's Development Services Department may accept the new or amended warranty instrument on behalf of the County, and release the original warranty instrument received pursuant to this Agreement, where appropriate. All portions of this Agreement pertaining to the warranty shall apply to any new or amended warranty instrument accepted pursuant to this paragraph.
14. If any article, section, clause or provision of this Agreement may be deemed or held invalid by any court of competent jurisdiction for any reason or cause, the same shall not affect or invalidate the remaining portions of this Agreement, which shall remain in full force and effect.
15. This document contains the entire agreement of these parties. It shall not be modified or altered except in writing signed by the parties

IN WITNESS WHEREOF, the parties hereto have executed this Agreement, effective as of the date set forth above.

ATTEST:

Tiffany Cruz
Witness Signature

Tiffany Cruz
Printed Name of Witness

PLB/K
Witness Signature

PAULO BECKERT
Printed Name of Witness

NOTARY PUBLIC

***CORPORATE SEAL
(When Appropriate)

ATTEST:

CINDY STUART
Clerk of the Circuit Court

By: _____
Deputy Clerk

Subdivider:

By [Signature]
Authorized Corporate Officer or Individual
(Sign before Notary Public and 2 Witnesses)

Rob Bosarge
Name (typed, printed or stamped)

Vice President
Title

4301 W Boy Scout Blvd., Suite 600, Tampa, FL 33607
Address of Signer

813-455-0041
Phone Number of Signer

BOARD OF COUNTY COMMISSIONERS
HILLSBOROUGH COUNTY, FLORIDA

By: _____
Chair

APPROVED BY THE COUNTY ATTORNEY

BY [Signature]
Approved As To Form And Legal
Sufficiency.

Representative Acknowledgement

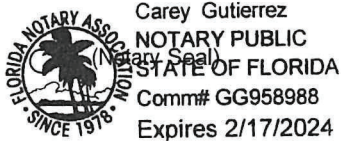
STATE OF FLORIDA
COUNTY OF HILLSBOROUGH

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this

24th day of April, 2023, by Rob Bosarge as
(day) (month) (year) (name of person acknowledging)
Vice President for Lennar Homes, LLC
(type of authority,...e.g. officer, trustee, attorney in fact) (name of party on behalf of whom instrument was executed)

☒ Personally Known OR ☐ Produced Identification

Type of Identification Produced



Carey Gutierrez
(Signature of Notary Public - State of Florida)

Carey Gutierrez

(Print, Type, or Stamp Commissioned Name of Notary Public)

GG958988

(Commission Number)

2/17/2024

(Expiration Date)

Individual Acknowledgement

STATE OF FLORIDA
COUNTY OF HILLSBOROUGH

The foregoing instrument was acknowledged before me by means of ☐ physical presence or ☐ online notarization, this

____ day of _____, _____, by _____
(day) (month) (year) (name of person acknowledging)

☐ Personally Known OR ☐ Produced Identification

Type of Identification Produced

(Signature of Notary Public - State of Florida)

(Print, Type, or Stamp Commissioned Name of Notary Public)

(Notary Seal)

(Commission Number)

(Expiration Date)

SUBDIVISION PERFORMANCE BOND - ON SITE

KNOW ALL MEN BY THESE PRESENTS, That we Lennar Homes, LLC
4301 W Boy Scout Blvd., Suite 600 Tampa, FL 33607 called the Principal, and The Continental Insurance Company
151 N Franklin Street Chicago, IL 60606 called the Surety, are held and firmly bound unto the
 BOARD OF COUNTY COMMISSIONERS OF HILLSBOROUGH COUNTY, FLORIDA, in the sum of
One Million one hundred eighty seven thousand nine-hundred and sixty seven (\$1,187,967.00) Dollars for the payment of which
 sum, well and truly to be made, we bind ourselves, our heirs, executors, administrators, and successors, jointly and
 severally, firmly by these presents.

WHEREAS, the Board of County Commissioners of Hillsborough County has established subdivision regulations pursuant to authority in Chapters 125, 163 and 177, Florida Statutes, and Hillsborough County Land Development Code, as amended, Ordinance 92-05, which regulations are by reference, hereby incorporated into and made a part of this Subdivision Performance Bond; and

WHEREAS, these subdivision regulations affect the subdivision of land within the unincorporated areas of Hillsborough County; and

WHEREAS, these subdivision regulations require the construction of improvements in connection with the platting of the Triple Creek Village Q (Colonnade Vista -private roadway) subdivision; and

WHEREAS, the Principal has filed with the Development Review Division of the Development Services Department of Hillsborough County, Florida, drawings, plans and specifications and other data and information relating to construction, grading, paving and curbing of streets, alleys and other rights-of-way shown on such plat, sidewalks, bridges, culverts, gutters, water and wastewater and other necessary drainage facilities, in accordance with the specifications found in the aforementioned subdivision regulations and required by the Board of County Commissioners of Hillsborough County, Florida, and the County Engineer; and

WHEREAS, said improvements are to be built and constructed in the aforementioned platted area; and

WHEREAS, the aforementioned subdivision regulations require the Principal to submit an instrument ensuring completion of construction of the aforementioned improvements within a time period established by said regulations; and

WHEREAS, the Principal, pursuant to the terms of the aforementioned subdivision regulations has entered into a Subdivider's Agreement, the terms of which Agreement require the Principal to submit an instrument ensuring completion of construction of required improvements; and

WHEREAS, the terms of said Subdivider's Agreement are by reference, hereby, incorporated into and made a part of this Subdivision Performance Bond.

NOW, THEREFORE, the conditions of this obligation are such, that:

- A. If the Principal shall well and truly build, construct, and install in the platted area known as Triple Creek Village Q (Colonnade Vista -private roadway) subdivision all grading, paving, curbing of streets, alleys or other rights-of-way shown on such plat, sidewalks, bridges, culverts, gutters, water and wastewater and other necessary drainage facilities, to be built and constructed in the platted area in exact accordance with the drawings, plans, specifications, and other data and information filed with the Development Review Division of Development Services Department of Hillsborough County by the Principal, and shall complete all of said building, construction, and installation within Six (6) months from the date that the Board of County Commissioners approves the final plan and accepts this performance bond; and
- B. If the Principal shall faithfully perform the Subdivider's Agreement at the times and in the manner prescribed in said Agreement;

THEN THIS OBLIGATION SHALL BE NULL AND VOID; OTHERWISE, TO REMAIN IN FULL FORCE AND EFFECT UNTIL December 22, 2023.

SIGNED, SEALED AND DATED this 6th day of April, 2023.

ATTEST:



Lennar Homes, LLC, a Florida limited liability company

By


Principal Seal
Rob Rosarge, Vice President

The Continental Insurance Company

Surety

Seal

ATTEST:



By


Sokha Khon Evans, Attorney-In-Fact Seal

APPROVED BY THE COUNTY ATTORNEY

BY


Approved As To Form And Legal
Sufficiency.

POWER OF ATTORNEY APPOINTING INDIVIDUAL ATTORNEY-IN-FACT

Know All Men By These Presents, That The Continental Insurance Company, a Pennsylvania insurance company, is a duly organized and existing insurance company having its principal office in the City of Chicago, and State of Illinois, and that it does by virtue of the signature and seal herein affixed hereby make, constitute and appoint

Tenzer V Cunningham, Brenda Wong, Kari Davis, Martha Gonzales, Sokha Khon Evans, Individually

of Los Angeles, CA, its true and lawful Attorney(s)-in-Fact with full power and authority hereby conferred to sign, seal and execute for and on its behalf bonds, undertakings and other obligatory instruments of similar nature

- In Unlimited Amounts -

and to bind them thereby as fully and to the same extent as if such instruments were signed by a duly authorized officer of the insurance company and all the acts of said Attorney, pursuant to the authority hereby given is hereby ratified and confirmed.

This Power of Attorney is made and executed pursuant to and by authority of the By-Law and Resolutions, printed on the reverse hereof, duly adopted, as indicated, by the Board of Directors of the insurance company.

In Witness Whereof, The Continental Insurance Company has caused these presents to be signed by its Vice President and its corporate seal to be hereto affixed on this 7th day of December, 2021.

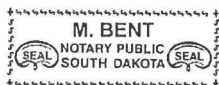


The Continental Insurance Company


Paul T. Bruflat Vice President

State of South Dakota, County of Minnehaha, ss:

On this 7th day of December, 2021, before me personally came Paul T. Bruflat to me known, who, being by me duly sworn, did depose and say: that he resides in the City of Sioux Falls, State of South Dakota; that he is a Vice President of The Continental Insurance Company, a Pennsylvania insurance company, described in and which executed the above instrument; that he knows the seal of said insurance company; that the seal affixed to the said instrument is such corporate seal; that it was so affixed pursuant to authority given by the Board of Directors of said insurance company and that he signed his name thereto pursuant to like authority, and acknowledges same to be the act and deed of said insurance company.



My Commission Expires March 2, 2026

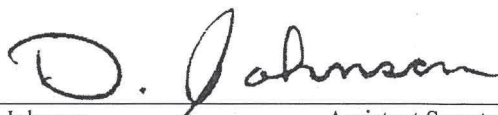

M. Bent Notary Public

CERTIFICATE

I, D. Johnson, Assistant Secretary of The Continental Insurance Company, a Pennsylvania insurance company, do hereby certify that the Power of Attorney herein above set forth is still in force, and further certify that the By-Law and Resolution of the Board of Directors of the insurance company printed on the reverse hereof is still in force. In testimony whereof I have hereunto subscribed my name and affixed the seal of the said insurance company this 6th day of April, 2023.



The Continental Insurance Company


D. Johnson Assistant Secretary

Form F6850-4/2012

Go to www.cnasurety.com > Owner / Obligee Services > Validate Bond Coverage, if you want to verify bond authenticity.

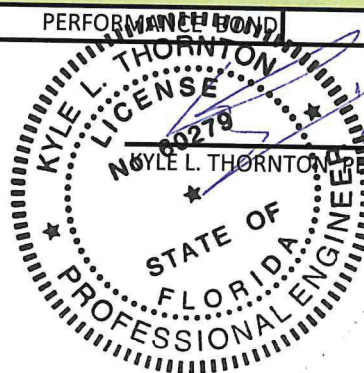
COLONNADE VISTA DRIVE PERFORMANCE

Hillsborough County, FL

Engineer's Opinion of Probable Construction Cost - Public Improvements
COLONNADE VISTA DRIVE ONLY

MARCH 14, 2023

ITEM NO.	DESCRIPTION OF WORK	QUANTITY	UNIT	UNIT COST	CONTRACT VALUE
1.00	<u>EARTHWORK</u>				
1.01	SODDING	4,550	SY	\$3.27	\$14,878.50
1.02	POND CONSTRUCTION	2,251	CY	\$3.68	\$8,283.68
	EARTHWORK TOTAL				\$23,162.18
2.00	<u>ROADWAY</u>				
2.01	1.75" Type SP-12.5 Asphalt Surface	10,457	SY	\$10.78	\$112,726.46
2.02	7" Plant Mixed Soil Cement	10,457	SY	\$17.93	\$187,494.01
2.03	12" Compacted Subgrade (LBR 20)	10,457	SY	\$1.01	\$10,561.57
2.04	Miami Curb w/Stabilization	200	LF	\$14.10	\$2,820.00
2.05	FDOT TYPE F CURB	7,051	LF	\$17.09	\$120,501.59
2.06	Concrete Sidewalk (Reinforced - TTM Detail TD-16 Opt	29,422	SF	\$5.43	\$159,761.46
2.07	ADA Ramps (5' wide)	6	Each	\$1,164.04	\$6,984.24
2.08	ADA Ramps (8' wide)	2	Each	\$1,432.44	\$2,864.88
	ROADWAY TOTAL				\$603,714.21
3.00	<u>STORM DRAINAGE SYSTEM</u>				
3.01	15" CLASS III RCP	470	LF	\$47.47	\$22,310.90
3.02	18" CLASS III RCP	334	LF	\$56.08	\$18,730.72
3.03	24" CLASS III RCP	1,566	LF	\$73.03	\$114,364.98
3.04	30" CLASS III RCP	243	LF	\$97.15	\$23,607.45
3.05	HILLSBOROUGH CO. TYPE 1 CURB INLET	19	Each	\$5,576.70	\$105,957.30
3.06	FDOT TYPE C INLET	4	Each	\$2,092.40	\$8,369.60
3.36	STORM MANHOLE	2	Each	\$4,053.77	\$8,107.54
3.37	15" FDOT FES	1	Each	\$2,038.88	\$2,038.88
3.38	24" FDOT FES	5	Each	\$2,579.18	\$12,895.90
3.39	30" FDOT FES	1	Each	\$3,367.37	\$3,367.37
3.40	15" FDOT MES CROSS DRAIN	1	Each	\$1,459.10	\$1,459.10
3.41	30" HEADWALL	1	Each	\$2,287.56	\$2,287.56
	STORM DRAINAGE SYSTEM TOTAL				\$323,497.30
Grand Total					\$950,374
PERFORMANCE BOND				125%	\$1,187,967



3/14/23
#60279

NOW, THEREFORE, the conditions of this obligation are such, that:

- A. If the Principal shall well and truly build, construct, and install in the platted area known as Triple Creek Village Q subdivision all grading, paving, curbing of streets, alleys or other rights-of-way shown on such plat, sidewalks, bridges, culverts, gutters, water and wastewater and other necessary drainage facilities, to be built and constructed in the platted area and all off-site improvements in exact accordance with the drawings, plans, specifications, and other data and information filed with the Development Review Division of the Development Services Department of Hillsborough County by the Principal, and shall complete all of said building, construction, and installation within Six (6) Months months from the date that the Board of County Commissioners approves the final plat and accepts this performance bond; and
- B. If the Principal shall faithfully perform the Agreement at the times and in the manner prescribed in said Agreement;

THEN THIS OBLIGATION SHALL BE NULL AND VOID; OTHERWISE, TO REMAIN IN FULL FORCE AND EFFECT UNTIL December 22, 2023.


SIGNED, SEALED AND DATED this 6th day of April, 2023.

ATTEST:



Lennar Homes, LLC, a Florida limited liability company

By



Principal

Seal


Rob Bosarge, Vice President

The Continental Insurance Company

Surety

Seal

ATTEST:



By



Sokha Khon Evans, Attorney-In-Fact

Seal

APPROVED BY THE COUNTY ATTORNEY

BY



Approved As To Form And Legal Sufficiency.

POWER OF ATTORNEY APPOINTING INDIVIDUAL ATTORNEY-IN-FACT

Know All Men By These Presents, That The Continental Insurance Company, a Pennsylvania insurance company, is a duly organized and existing insurance company having its principal office in the City of Chicago, and State of Illinois, and that it does by virtue of the signature and seal herein affixed hereby make, constitute and appoint

Tenzer V Cunningham, Brenda Wong, Kari Davis, Martha Gonzales, Sokha Khon Evans, Individually

of Los Angeles, CA, its true and lawful Attorney(s)-in-Fact with full power and authority hereby conferred to sign, seal and execute for and on its behalf bonds, undertakings and other obligatory instruments of similar nature

- In Unlimited Amounts -

and to bind them thereby as fully and to the same extent as if such instruments were signed by a duly authorized officer of the insurance company and all the acts of said Attorney, pursuant to the authority hereby given is hereby ratified and confirmed.

This Power of Attorney is made and executed pursuant to and by authority of the By-Law and Resolutions, printed on the reverse hereof, duly adopted, as indicated, by the Board of Directors of the insurance company.

In Witness Whereof, The Continental Insurance Company has caused these presents to be signed by its Vice President and its corporate seal to be hereto affixed on this 7th day of December, 2021.

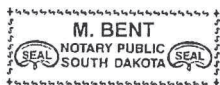


The Continental Insurance Company


Paul T. Bruflat Vice President

State of South Dakota, County of Minnehaha, ss:

On this 7th day of December, 2021, before me personally came Paul T. Bruflat to me known, who, being by me duly sworn, did depose and say: that he resides in the City of Sioux Falls, State of South Dakota; that he is a Vice President of The Continental Insurance Company, a Pennsylvania insurance company, described in and which executed the above instrument; that he knows the seal of said insurance company; that the seal affixed to the said instrument is such corporate seal; that it was so affixed pursuant to authority given by the Board of Directors of said insurance company and that he signed his name thereto pursuant to like authority, and acknowledges same to be the act and deed of said insurance company.



My Commission Expires March 2, 2026



M. Bent Notary Public

CERTIFICATE

I, D. Johnson, Assistant Secretary of The Continental Insurance Company, a Pennsylvania insurance company, do hereby certify that the Power of Attorney herein above set forth is still in force, and further certify that the By-Law and Resolution of the Board of Directors of the insurance company printed on the reverse hereof is still in force. In testimony whereof I have hereunto subscribed my name and affixed the seal of the said insurance company this 6th day of April, 2023.



The Continental Insurance Company


D. Johnson Assistant Secretary

Form F6850-4/2012

Go to www.cnasurety.com > Owner / Obligee Services > Validate Bond Coverage, if you want to verify bond authenticity.

TRIPLE CREEK - VILLAGE Q PERFORMANCE

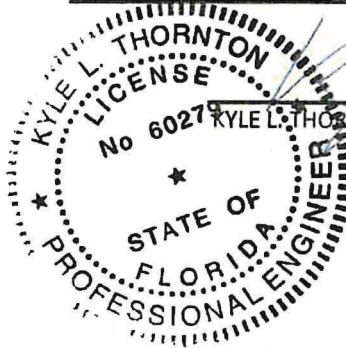
Hillsborough County, FL

Engineer's Opinion of Probable Construction Cost - Public Improvements

ONSITE ONLY (NO OFF-SITES)

FEBRUARY 1, 2023

ITEM NO.	DESCRIPTION OF WORK	QUANTITY	UNIT	UNIT COST	CONTRACT VALUE
1.00	ROADWAY				
1.01	1.75" Type SP-12.5 Asphalt Surface	24,017	SY	\$10.78	\$258,903.26
1.02	Miami Curb w/Stabilization	20,009	LF	\$14.10	\$282,126.90
1.03	VALLEY GUTTER (FDOT)	186	LF	\$6.34	\$1,179.24
1.04	Concrete Sidewalk (Reinforced - TTM Detail TD-16 Option 2)	29,328	SF	\$5.43	\$159,251.04
1.05	ADA Ramps (5' wide)	19.00	Each	\$1,164.04	\$22,116.76
1.06	Signage and Striping	1.00	LS	\$14,493.60	\$14,493.60
	ROADWAY TOTAL				\$738,070.80
2.00	POTABLE WATER SYSTEM				
2.01	Chlorination & Pressure Testing	1.00	LS	\$7,611.98	\$7,611.98
	POTABLE WATER SYSTEM TOTAL				\$7,611.98
3.00	SANITARY SEWER SYSTEM				
3.01	Infil/Exfil Testing	1.00	LS	\$11,715.30	\$11,715.30
3.02	Televise Sanitary Sewer (CCTV)	8,678	LF	\$2.63	\$22,823.14
	SANITARY SEWER SYSTEM TOTAL				\$34,538.44
4.00	STORM DRAINAGE SYSTEM				
4.01	Televise Storm Sewer (CCTV)	9,209	LF	\$6.71	\$61,792.39
	STORM DRAINAGE SYSTEM TOTAL				\$61,792.39
Grand Total					\$842,013.61
PERFORMANCE BOND				125%	\$1,052,518



KYLE L. THORNTON, PE

#60279

TRIPLE CREEK - VILLAGE Q OFF-SITE WARRANTY & PERFORMANCE

Hillsborough County, FL

Engineer's Opinion of Probable Construction Cost - Public Improvements

OFF-SITE ROAD IMPROVEMENTS

FEBRUARY 1, 2023

ITEM NO.	DESCRIPTION OF WORK	QUANTITY	UNIT	UNIT COST	CONTRACT VALUE
1.00	ROADWAY				
1.01	SODDING	1	LS	\$12,206.91	\$12,206.91
1.02	1" ASPHALT TYPE FC-9.5	3,628	SY	\$9.12	\$33,087.36
1.03	2" ASPHALT TYPE SP-12.5 STRUCTURE COURSE	3,628	SY	\$12.46	\$45,204.88
1.04	8" CRUSHED CONCRETE (LBR 150)	3,628	SY	\$15.53	\$56,342.84
1.05	12" COMPACTED SUBGRADE (LBR 40)	4,768	SY	\$8.60	\$41,004.80
1.06	1" MILL	4,305	SY	\$5.27	\$22,687.35
1.07	1" OVERLAY (FC-9.5)	4,305	SY	\$9.12	\$39,261.60
1.08	ADA Ramps (5' wide)	4	Each	\$1,130.49	\$4,521.96
1.09	FDOT TYPE F CURB	18	LF	\$31.67	\$570.06
1.10	Signage and Striping	1	LS	\$23,440.71	\$23,440.71
1.10	CONCRETE SIDEWALK (REINFORCED)	3,701	SF	\$5.43	\$20,096.43
1.11	ANCHOR BLOCK WALL	324	LF	\$61.53	\$19,935.72
1.12	6" THICK CONCRETE FLATWORK	1,263	SF	\$6.88	\$8,689.44
1.13	ADJUST VALVE BOX TO FINISHED GRADE	6	EA	\$392.93	\$2,357.58
1.14	RELOCATE EXISTING FIRE HYDRANT	2	EA	\$785.88	\$1,571.76
	ROADWAY TOTAL				\$318,772.49
2.00	STORM DRAINAGE SYSTEM				
2.01	18" CLASS III RCP	608	LF	\$ 56.08	\$34,096.64
2.02	FDOT TYPE C Inlet	3	Each	\$ 2,092.40	\$6,277.20
2.03	18" FDOT MES	2	Each	\$ 1,564.62	\$3,129.24
	STORM DRAINAGE SYSTEM TOTAL				\$43,503.08

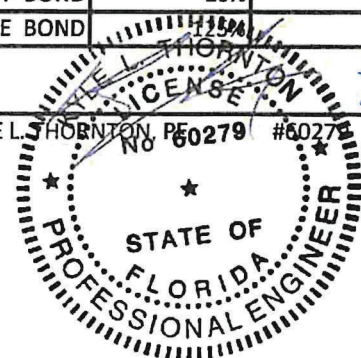
Grand Total

\$362,276



WARRANTY BOND	10%	\$36,228
PERFORMANCE BOND		\$452,845

KYLE L. THORNTON, PE #60279 #60279



2/1/23

SUBDIVISION WARRANTY BOND On-Site and Off-Site

KNOW ALL MEN BY THESE PRESENTS, that we Lennar Homes, LLC
4301 W Boy Scout Blvd., Suite 600 Tampa, FL 33607 called the Principal, and The Continental Insurance Company
151 N Franklin Street Chicago, IL 60606 called the Surety, are held and firmly bound unto the
BOARD OF COUNTY COMMISSIONERS OF HILLSBOROUGH COUNTY, FLORIDA, in the sum of
 Four Hundred Twenty Two Thousand Nineteen Dollars and 00/100 (\$ 422,019.00) Dollars for the payment of which
 we bind ourselves, our heirs, executors, administrators, and successors, jointly and severally, firmly by these presents.

WHEREAS, the Board of County Commissioners of Hillsborough County has adopted subdivision regulations in its Land Development Code pursuant to the authority granted to it in Chapters 125, 163 and 177, Florida Statutes, which regulations are by reference hereby incorporated into and made a part of this warranty bond; and

WHEREAS, these subdivision regulations affect the subdivision of land within the unincorporated areas of Hillsborough County; and

WHEREAS, the Principal has made the request that the Board of County Commissioners of Hillsborough County accept the following improvements for maintenance in connection with the Triple Creek Village Q
 subdivision (hereafter, the "Subdivision"): on-site improvements: Roads, Water Mains, Sewer, Sidewalks, Stormwater and off-site improvements: Roads, sidewalk, storm (together, the on-site and off-site improvements are hereafter referred to as the "Improvements"); and

WHEREAS, the aforementioned subdivision regulations require as a condition of acceptance of the Improvements that the Principal provide to the Board of County Commissioners of Hillsborough County a bond warranting the Improvements for a definite period of time in an amount prescribed by the aforementioned subdivision regulations; and

WHEREAS, the Principal, pursuant to the terms of the aforementioned subdivision regulations has entered into a "Subdivider's Agreement", the terms of which agreement require the Principal to submit an instrument warranting the above-described Improvements; and

WHEREAS, the terms of said Subdivider's Agreement are by reference, hereby, incorporated into and made a part of this Warranty Bond.

NOW THEREFORE, THE CONDITIONS OF THIS OBLIGATION ARE SUCH THAT:

- A. If the Principal shall warrant for a period of two years following the date of acceptance of the Improvements for maintenance by the Board of County Commissioners of Hillsborough County, against failure, deterioration, or damage resulting from defects in workmanship and/or materials, and;
- B. If the Principal shall correct within the above described warranty period any such failure, deterioration, or damage existing in the aforementioned Improvements so that said Improvements thereafter comply with the technical specifications contained in the subdivision regulations established by the Board of County Commissioners of Hillsborough County, and;


C. If the Principal shall faithfully perform the Subdivider's Agreement at the times and in the manner prescribed in said Agreement;

THEN THIS OBLIGATION SHALL BE NULL AND VOID; OTHERWISE, TO REMAIN IN FULL FORCE AND EFFECT UNTIL December 22, 2025.

SIGNED, SEALED AND DATED this 6th day of April, 2023.

ATTEST:

Lennar Homes, LLC, a Florida limited liability company



Principal Signature

Rob Rosarge, Vice President

(Seal)

The Continental Insurance Company

Surety Signature

(Seal)

ATTEST:



Sokha Khon Evans, Attorney-in-fact Signature



(Seal)

POWER OF ATTORNEY APPOINTING INDIVIDUAL ATTORNEY-IN-FACT

Know All Men By These Presents, That The Continental Insurance Company, a Pennsylvania insurance company, is a duly organized and existing insurance company having its principal office in the City of Chicago, and State of Illinois, and that it does by virtue of the signature and seal herein affixed hereby make, constitute and appoint

Tenzer V Cunningham, Brenda Wong, Kari Davis, Martha Gonzales, Sokha Khon Evans, Individually

of Los Angeles, CA, its true and lawful Attorney(s)-in-Fact with full power and authority hereby conferred to sign, seal and execute for and on its behalf bonds, undertakings and other obligatory instruments of similar nature

- In Unlimited Amounts -

and to bind them thereby as fully and to the same extent as if such instruments were signed by a duly authorized officer of the insurance company and all the acts of said Attorney, pursuant to the authority hereby given is hereby ratified and confirmed.

This Power of Attorney is made and executed pursuant to and by authority of the By-Law and Resolutions, printed on the reverse hereof, duly adopted, as indicated, by the Board of Directors of the insurance company.

In Witness Whereof, The Continental Insurance Company has caused these presents to be signed by its Vice President and its corporate seal to be hereto affixed on this 7th day of December, 2021.

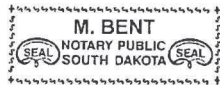


The Continental Insurance Company


Paul T. Bruflat Vice President

State of South Dakota, County of Minnehaha, ss:

On this 7th day of December, 2021, before me personally came Paul T. Bruflat to me known, who, being by me duly sworn, did depose and say: that he resides in the City of Sioux Falls, State of South Dakota; that he is a Vice President of The Continental Insurance Company, a Pennsylvania insurance company, described in and which executed the above instrument; that he knows the seal of said insurance company; that the seal affixed to the said instrument is such corporate seal; that it was so affixed pursuant to authority given by the Board of Directors of said insurance company and that he signed his name thereto pursuant to like authority, and acknowledges same to be the act and deed of said insurance company.



My Commission Expires March 2, 2026

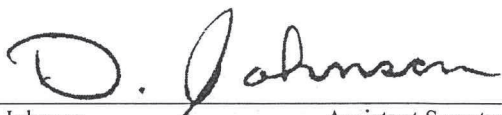

M. Bent Notary Public

CERTIFICATE

I, D. Johnson, Assistant Secretary of The Continental Insurance Company, a Pennsylvania insurance company, do hereby certify that the Power of Attorney herein above set forth is still in force, and further certify that the By-Law and Resolution of the Board of Directors of the insurance company printed on the reverse hereof is still in force. In testimony whereof I have hereunto subscribed my name and affixed the seal of the said insurance company this 6th day of April, 2023.



The Continental Insurance Company


D. Johnson Assistant Secretary

Form F6850-4/2012

Go to www.cnasurety.com > Owner / Obligee Services > Validate Bond Coverage, if you want to verify bond authenticity.

TRIPLE CREEK - VILLAGE Q WARRANTY

Hillsborough County, FL

Engineer's Opinion of Probable Construction Cost - Public Improvements

ONSITE ONLY (NO OFF-SITES)

FEBRUARY 1, 2023

ITEM NO.	DESCRIPTION OF WORK	QUANTITY	UNIT	UNIT COST	CONTRACT VALUE
1.00	<u>ROADWAY</u>				
1.01	1.75" Type SP-12.5 Asphalt Surface	24,017	SY	\$10.78	\$258,903.26
1.02	7" Plant Mixed Soil Cement	24,017	SY	\$17.93	\$430,624.81
1.03	12" Compacted Subgrade (LBR 20)	24,017	SY	\$1.01	\$24,257.17
1.04	Miami Curb w/Stabilization	20,009	LF	\$14.10	\$282,126.90
1.05	VALLEY GUTTER (FDOT)	186	LF	\$6.34	\$1,179.24
1.06	Concrete Sidewalk (Reinforced - TTM Detail TD-16 Option 2)	29,328	SF	\$5.43	\$159,251.04
1.07	ADA Ramps (5' wide)	19	Each	\$1,164.04	\$22,116.76
1.08	Signage and Striping	1	LS	\$14,493.60	\$14,493.60
	ROADWAY TOTAL				\$1,192,952.78
2.00	<u>POTABLE WATER SYSTEM</u>				
2.01	2" POLYETHYLENE PIPE (AWWA C901)	10	LF	\$ 16.18	\$161.80
2.02	6" PVC (DR 18)	1,591	Each	\$ 26.14	\$41,588.74
2.03	8" PVC (DR 18)	8,619	Each	\$ 38.47	\$331,572.93
2.04	6" DIP	30	Each	\$ 38.04	\$1,141.20
2.05	8" DIP	232	Each	\$ 52.11	\$12,089.52
2.06	2" RESILIENT SEAT GATE VALVE & BOX	1	Each	\$ 725.10	\$725.10
2.07	6" GATE VALVE	7	Each	\$ 1,348.49	\$9,439.43
2.08	8" GATE VALVE	41	Each	\$ 1,866.08	\$76,509.28
2.09	6" TEE FITTINGS	1	Each	\$ 603.80	\$603.80
2.10	8" TEE FITTING	8	Each	\$ 821.30	\$6,570.40
2.11	8" X 6" TEE FITTING	1	Each	\$ 725.24	\$725.24
2.12	6" BEND FITTING	21	Each	\$ 394.21	\$8,278.41
2.13	8" BEND FITTING	133	Each	\$ 519.11	\$69,041.63
2.14	8" X 6" REDUCER FITTING	1	Each	\$ 439.84	\$439.84
2.15	8" X 2" REDUCER FITTING	1	Each	\$ 270.64	\$270.64
2.16	6" FIRE HYDRANT ASSEMBLY	18	Each	\$ 5,800.28	\$104,405.04
2.17	Single Service, Long Side	94	Each	\$ 457.55	\$43,009.70
2.18	SINGLE SERVICE, SHORT SIDE	142	Each	\$ 351.32	\$49,887.44
	POTABLE WATER SYSTEM TOTAL				\$706,572.70
3.00	<u>SANITARY SEWER SYSTEM</u>				
3.01	8" PVC, SDR 26 (0'-14' CUT)	8,114	LF	\$ 40.34	\$327,318.76
3.02	8" PVC, SDR 26 (14'-16' CUT)	564	LF	\$ 52.65	\$29,694.60
3.03	4' SANITARY MANHOLE (0'-14' CUT)	34	Each	\$ 4,968.90	\$168,942.60
3.04	4' SANITARY MANHOLE (14'-16' CUT)	1	Each	\$ 7,059.44	\$7,059.44
3.05	5' (DIA) SANITARY MANHOLE (14'-16' CUT)	1	Each	\$ 8,907.69	\$8,907.69
3.06	SINGLE SERVICE (HILLSBOROUGH COUNTY)	40	Each	\$ 941.47	\$37,658.80
3.07	DOUBLE SERVICE (HILLSBOROUGH COUNTY)	98	Each	\$ 1,315.39	\$128,908.22
	SANITARY SEWER SYSTEM TOTAL				\$708,490.11
4.00	<u>STORM DRAINAGE SYSTEM</u>				
4.01	15" CLASS III RCP	778	LF	\$47.47	\$36,931.66
4.02	18" CLASS III RCP	2,467	LF	\$56.08	\$138,349.36
4.03	24" CLASS III RCP	3,002	LF	\$73.03	\$219,236.06
4.04	30" CLASS III RCP	1,852	LF	\$97.15	\$179,921.80
4.05	36" CLASS III RCP	659	LF	\$124.93	\$82,328.87
4.06	42" CLASS III RCP	451	LF	\$157.88	\$71,203.88
4.07	HILLSBOROUGH CO. TYPE 1 CURB INLET	36	Each	\$5,576.70	\$200,761.20
4.08	HILLSBOROUGH CO. TYPE 2 CURB INLET - RIGHT	3	Each	\$6,557.89	\$19,673.67

TRIPLE CREEK - VILLAGE Q WARRANTY

Hillsborough County, FL

Engineer's Opinion of Probable Construction Cost - Public Improvements

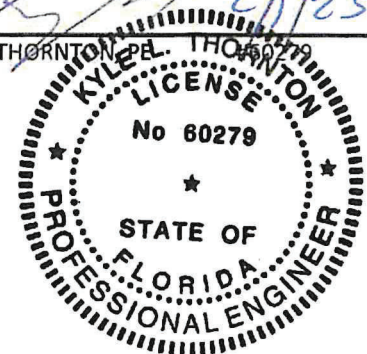
ONSITE ONLY (NO OFF-SITES)

FEBRUARY 1, 2023

4.09	HILLSBOROUGH CO. TYPE 2 CURB INLET - LEFT	2	Each	\$6,557.89	\$13,115.78
4.10	FDOT TYPE C INLET	5	Each	\$2,092.40	\$10,462.00
4.11	FDOT TYPE E INLET	8	Each	\$3,973.91	\$31,791.28
4.12	CONTROL STRUCTURE TYPE C (W SKIMMER)	1	Each	\$6,327.05	\$6,327.05
4.13	CONTROL STRUCTURE TYPE C	1	Each	\$3,510.65	\$3,510.65
4.14	CONTROL STRUCTURE TYPE E (W SKIMMER)	3	Each	\$8,591.35	\$25,774.05
4.15	CONTROL STRUCTURE TYPE 4 GRATE H (W SKIMMER)	1	Each	\$15,217.72	\$15,217.72
4.16	STORM MANHOLE	11	Each	\$4,053.77	\$44,591.47
4.17	15" FDOT FES	1	Each	\$2,038.88	\$2,038.88
4.18	18" FDOT FES	4	Each	\$2,322.42	\$9,289.68
4.19	24" FDOT FES	5	Each	\$2,579.18	\$12,895.90
4.20	30" FDOT FES	2	Each	\$3,367.37	\$6,734.74
4.21	36" FDOT FES	3	Each	\$3,984.33	\$11,952.99
4.22	15" FDOT MES	1	Each	\$1,459.10	\$1,459.10
4.23	30" FDOT MES	6	Each	\$3,166.05	\$18,996.30
4.24	36" FDOT MES	1	Each	\$3,852.15	\$3,852.15
4.25	42" FDOT MES	4	Each	\$4,577.45	\$18,309.80
4.26	30" HEADWALL	12	Each	\$2,287.56	\$27,450.72
4.27	42" HEADWALL	4	Each	\$8,811.73	\$35,246.92
4.28	RIP RAP	225	SF	\$10.94	\$2,461.50
	STORM DRAINAGE SYSTEM TOTAL				\$1,249,885.18
Grand Total					\$3,857,901
WARRANTY BOND				10%	\$385,791



KYLE L. THORNTON, P.E.



SUBDIVIDER'S AGREEMENT FOR PERFORMANCE - PLACEMENT OF LOT CORNERS

This Agreement made and entered into this ____ day of _____, 20____, by and between
Lennar Homes, LLC, hereinafter referred to as the "Subdivider" and
Hillsborough County, a political subdivision of the State of Florida, hereinafter referred to as the "County."

Witnesseth

WHEREAS, the Board of County Commissioners of Hillsborough County has established a Land Development Code, hereinafter referred to as "LDC" pursuant to the authority contained in Chapters 125, 163 and 177, Florida Statutes; and

WHEREAS, the LDC affects the subdivision of land within the unincorporated areas of Hillsborough County; and

WHEREAS, pursuant to the LDC, the Subdivider has submitted to the Board of County Commissioners of Hillsborough County, Florida, for approval and recordation, a plat of a subdivision known as Triple Creek Village Q (hereafter referred to as the "Subdivision"); and

WHEREAS, a final plat of a subdivision within the unincorporated area of Hillsborough County shall not be approved and recorded until the Subdivider has guaranteed to the satisfaction of the County that lot corners will be installed; and

WHEREAS, the lot corners required by Florida Statutes in the Subdivision are to be installed after recordation of said plat under guarantees posted with the County; and

WHEREAS, the Subdivider agrees to install the aforementioned lot corners in the platted area.

NOW, THEREFORE, in consideration of the intent and desire of the Subdivider as set forth herein, to gain approval of the County to record said plat, and to gain acceptance for maintenance by the County of the aforementioned Improvements, the Subdivider and County agree as follows:

1. The terms, conditions and regulations contained in the LDC, are hereby incorporated by reference and made a part of this Agreement.
2. The Subdivider agrees to well and truly build, construct and install in the Subdivision, within Six (6) months from and after the date that the Board of County Commissioners approves the final plat and accepts the performance bond rendered pursuant to paragraph 3, below, all lot corners as required by Florida Statutes.
3. The Subdivider agrees to, and in accordance with the requirements of the LDC does hereby deliver to the County an instrument ensuring the performance of the obligations described in paragraph 2, above, specifically identified as:
 - a. Letter of Credit, number _____, dated _____, with _____ by order of _____
 - b. A Performance Bond, number 30186693 dated, 04/06/2023 with Lennar Homes LLC as Principal, and The Continental Insurance Company as Surety, or
 - c. Escrow agreement, dated _____, between, _____ and the County, or
 - c. Cashier/Certified Check, number _____, dated _____, which shall be deposited by the County into a non-interest bearing

escrow account upon receipt. No interest shall be paid to the Subdivider on funds received by the County pursuant to this Agreement.

Copies of said letter of credit, performance and warranty bonds, escrow agreements, or cashier/certified checks is attached hereto and by reference made a part hereof.

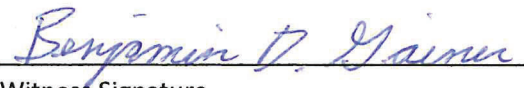
4. Should the Subdivider seek and the County grant, pursuant to the terms contained in the LDC, an extension of the time period established for installation of lot corners described in paragraph 2, the Subdivider shall provide the County with an instrument ensuring the completion within the extended period. The instrument shall be in the form of a letter of credit, performance bond, escrow agreement, or cashier/certified check as required by the LDC.
5. In the event the Subdivider shall fail or neglect to fulfill its obligations under this agreement and as required by the LDC, the Subdivider shall be liable to pay for the cost of installation of the lot corners to the final total cost including, but not limited to, surveying, engineering, legal and contingent costs, together with any damages, either direct or consequential, which the County may sustain as a result of the failure of the Subdivider to carry out and execute all of the provisions of this Agreement and the provisions of the LDC.
6. The County agrees, pursuant to the terms contained in the LDC, to record the plat of the Subdivision at such time as the plat complies with the provisions of the LDC and has been approved in a manner as prescribed therein.
7. If any article, section, clause or provision of this agreement may be deemed or held invalid by any court of competent jurisdiction for any reason or cause, the same shall not affect or invalidate the remainder of this Agreement, nor any other provisions hereof, or such judgment or decree shall be binding in its operation to the particular portion hereof described in such judgment and decree and held invalid.
8. This document contains the entire agreement of the parties. It shall not be modified or altered except in writing signed by the parties.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement, effective as of the date set forth above.

ATTEST:

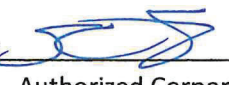

Witness Signature

Tiffany Carr
Printed Name of Witness


Witness Signature

BENJAMIN D. GAINER
Printed Name of Witness

Subdivider:

By 
Authorized Corporate Officer or Individual
(Sign before Notary Public and 2 Witnesses)

Steve Smith
Name (typed, printed or stamped)

Vice President
Title

Address of Signer

Phone Number of Signer

NOTARY PUBLIC

CORPORATE SEAL
(When Appropriate)

ATTEST:

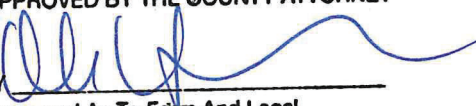
CINDY STUART
Clerk of the Circuit Court

BOARD OF COUNTY COMMISSIONERS
HILLSBOROUGH COUNTY, FLORIDA

By: _____
Deputy Clerk

By: _____
Chair

APPROVED BY THE COUNTY ATTORNEY

BY 
Approved As To Form And Legal
Sufficiency.

Representative Acknowledgement

STATE OF FLORIDA
COUNTY OF HILLSBOROUGH

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this

7th day of April, 2023, by Steve Smith as
(day) (month) (year) (name of person acknowledging)
Vice President for Lennar Homes - LLC
(type of authority,...e.g. officer, trustee, attorney in fact) (name of party on behalf of whom instrument was executed)

☒ Personally Known OR ☐ Produced Identification

Type of Identification Produced

Kristen Joseph
(Signature of Notary Public - State of Florida)

Kristen Joseph
(Print, Type, or Stamp Commissioned Name of Notary Public)

(Notary Seal)



HH098791
(Commission Number)

4/21/2025
(Expiration Date)

Individual Acknowledgement

STATE OF FLORIDA
COUNTY OF HILLSBOROUGH

The foregoing instrument was acknowledged before me by means of ☐ physical presence or ☐ online notarization, this

____ day of _____, _____, by _____
(day) (month) (year) (name of person acknowledging)

☐ Personally Known OR ☐ Produced Identification

Type of Identification Produced

(Signature of Notary Public - State of Florida)

(Print, Type, or Stamp Commissioned Name of Notary Public)

(Notary Seal)

(Commission Number)

(Expiration Date)

SUBDIVISION PERFORMANCE BOND FOR LOT CORNER PLACEMENT

KNOW ALL MEN BY THESE PRESENTS, That we Lennar Homes, LLC

4301 W Boy Scout Blvd., Suite 600 Tampa, FL 33607

called the Principal, and The Continental Insurance Company

151 N Franklin Street Chicago, IL 60606

called the Surety, are held and firmly bound unto the

BOARD OF COUNTY COMMISSIONERS OF HILLSBOROUGH COUNTY, FLORIDA, in the sum of _____

Twenty-Five Thousand, Seven Hundred Forty Dollars (\$ 25,740.00) Dollars for the payment of which sum,

well and truly to be made, we bind ourselves, our heirs, executors, administrators, and successors, jointly and severally, firmly by these presents.

WHEREAS, the Board of County Commissioners of Hillsborough County has adopted subdivision regulations in its Land Development Code pursuant to the authority granted to it in Chapters 125, 163 and 177, Florida Statutes, which regulations are by reference hereby incorporated into and made a part of this performance bond; and

WHEREAS, these subdivision regulations affect the subdivision of land within the unincorporated areas of Hillsborough County; and

WHEREAS, pursuant to these subdivision regulations a final plat of the subdivision within the unincorporated areas of Hillsborough County shall not be approved and recorded until the Subdivider has guaranteed to the satisfaction of the County that lot corners will be installed; and

WHEREAS, the lot corners required by Florida Statutes in the subdivision known as Triple Creek Village Q are to be installed after recordation of said plat under guarantees posted with the County; and

WHEREAS, said lot corners are to be installed in the aforementioned platted area; and

WHEREAS, the aforementioned subdivision regulations require the Principal to submit an instrument ensuring completion of installation of the aforementioned lot corners within a time period established by said regulations; and

WHEREAS, the Principal, pursuant to the terms of the aforementioned subdivision regulations has entered into a Subdivider's Agreement for Performance – Placement of Lot Corners, the terms of which Agreement require the Principal to submit an instrument ensuring completion of installation of the required lot corners; and

WHEREAS, the terms of said Subdivider's Agreement are by reference, hereby, incorporated into and made a part of this Subdivision Performance Bond.

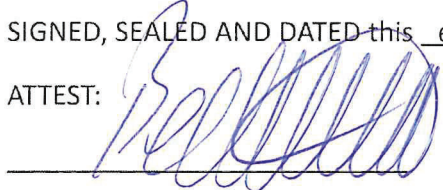
NOW THEREFORE, the conditions of this obligation are such, that:

- A. If the Principal shall well and truly build, construct, and install in the platted area known as Triple Creek Village Q subdivision all lot corners as required by the State in the platted area in exact accordance with the drawings, plans, specifications, and other data and information filed with the Development Review Division of Development Services Department of Hillsborough County by the Principal, and shall complete all of said building, construction, and installation within Six (6) months from the date that the Board of County Commissioners approves the final plan and accepts this performance bond; and
- B. If the Principal shall faithfully perform the Subdivider's Agreement at the times and in the manner prescribed in said Agreement;

THEN THIS OBLIGATION SHALL BE NULL AND VOID; OTHERWISE, TO REMAIN IN FULL FORCE AND EFFECT UNTIL December 22, 2023.

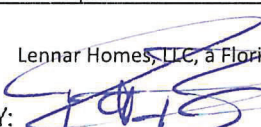
SIGNED, SEALED AND DATED this 6th day of April, 2023.

ATTEST:



Lennar Homes, LLC, a Florida limited liability company

BY:



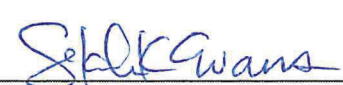
PRINCIPAL (SEAL)

Rob Bosarge, Vice President

The Continental Insurance Company

SURETY (SEAL)

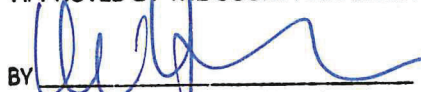
ATTEST:



Sokha Khon Evans, Attorney-In-Fact

Seal

APPROVED BY THE COUNTY ATTORNEY



BY
Approved As To Form And Legal
Sufficiency.

POWER OF ATTORNEY APPOINTING INDIVIDUAL ATTORNEY-IN-FACT

Know All Men By These Presents, That The Continental Insurance Company, a Pennsylvania insurance company, is a duly organized and existing insurance company having its principal office in the City of Chicago, and State of Illinois, and that it does by virtue of the signature and seal herein affixed hereby make, constitute and appoint

Tenzer V Cunningham, Brenda Wong, Kari Davis, Martha Gonzales, Sokha Khon Evans, Individually

of Los Angeles, CA, its true and lawful Attorney(s)-in-Fact with full power and authority hereby conferred to sign, seal and execute for and on its behalf bonds, undertakings and other obligatory instruments of similar nature

- In Unlimited Amounts -

and to bind them thereby as fully and to the same extent as if such instruments were signed by a duly authorized officer of the insurance company and all the acts of said Attorney, pursuant to the authority hereby given is hereby ratified and confirmed.

This Power of Attorney is made and executed pursuant to and by authority of the By-Law and Resolutions, printed on the reverse hereof, duly adopted, as indicated, by the Board of Directors of the insurance company.

In Witness Whereof, The Continental Insurance Company has caused these presents to be signed by its Vice President and its corporate seal to be hereto affixed on this 7th day of December, 2021.

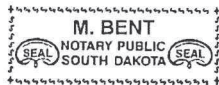


The Continental Insurance Company


Paul T. Bruflat Vice President

State of South Dakota, County of Minnehaha, ss:

On this 7th day of December, 2021, before me personally came Paul T. Bruflat to me known, who, being by me duly sworn, did depose and say: that he resides in the City of Sioux Falls, State of South Dakota; that he is a Vice President of The Continental Insurance Company, a Pennsylvania insurance company, described in and which executed the above instrument; that he knows the seal of said insurance company; that the seal affixed to the said instrument is such corporate seal; that it was so affixed pursuant to authority given by the Board of Directors of said insurance company and that he signed his name thereto pursuant to like authority, and acknowledges same to be the act and deed of said insurance company.



My Commission Expires March 2, 2026



M. Bent


Notary Public

CERTIFICATE

I, D. Johnson, Assistant Secretary of The Continental Insurance Company, a Pennsylvania insurance company, do hereby certify that the Power of Attorney herein above set forth is still in force, and further certify that the By-Law and Resolution of the Board of Directors of the insurance company printed on the reverse hereof is still in force. In testimony whereof I have hereunto subscribed my name and affixed the seal of the said insurance company this 6th day of April, 2023.



The Continental Insurance Company


D. Johnson Assistant Secretary

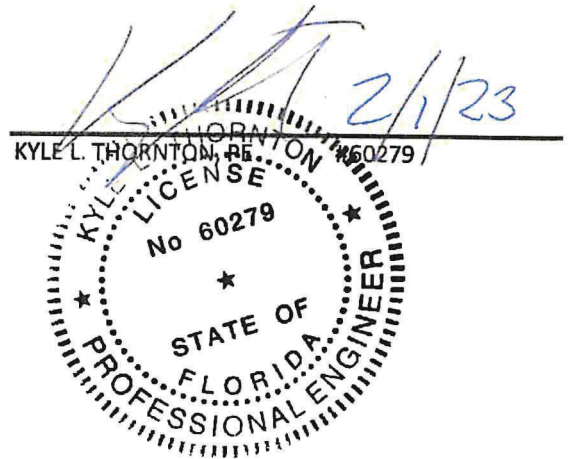
Form F6850-4/2012

Go to www.cnasurety.com > Owner / Obligee Services > Validate Bond Coverage, if you want to verify bond authenticity.

Triple Creek - Village Q
Hillsborough County, FL
LOT CORNERS

FEBRUARY 1, 2023

1.00	LOT CORNER MONUMENTATION				
1.01	Monuments Installed	235.00	Per Lot	\$82.00	\$19,270.00
1.02	Monuments- Misc Tracts	4.00	Per Tract	\$70.00	\$280.00
1.03	Verification by PLS	8.00	Hours	\$130.00	\$1,040.00
	TOTAL				\$20,590.00
Grand Total					\$20,590.00
PERFORMANCE BOND				125%	\$25,740



SECTIONS 1 AND 2, TOWNSHIP 31 SOUTH, RANGE 20 EAST AND
SECTION 36, TOWNSHIP 30 SOUTH, RANGE 20 EAST HILLSBOROUGH COUNTY, FLORIDA

NOTES:
1. North and Easting coordinates (indicated in feet) as shown hereon refer to the State Plane Coordinate System, North American Horizontal Datum of 1983 (NAD 83).
2. ADJUSTMENT for the West Zone of Florida, have been established to a minimum of third order accuracy, and are supplemental data only. Originating Coordinate Station: 70N 4°

2. Subdivision plats by VNRs represent a determination on whether proposed work will or will not flood. Land within the boundaries of this plat may or may not be subject to flooding; the Development Review Division has information regarding flooding and restrictions on development.
3. Conditions Exemptions shall not contain permanent improvements, including but not limited to, driveways, impervious surfaces, access roads, ponds, etc. Driveways, structures, utility sheds, poles, fences, sprinkler systems, trees, shrubs, hedges, and landscaping plants other than grasses, except for landscaping of stormwater detention and retention ponds as required by the Land Development Code, except as approved by the County Administrator. This notice shall appear on each affected deed.
4. All placed utility easements shall provide that such easements shall also be easements for the construction, installation, maintenance, and operation of cable television services; provided, however, no said construction, installation, maintenance, and operation of cable television services shall interfere with the facilities and services of an electric, telephone, gas, or other public utility.

Areas of Subplot for Transportation Corridors will contain no permanent structures. Such areas may be occupied on an interim basis by underground utilities (as

[illegible]

BOARD OF COUNTY COMMISSIONERS

This plat has been approved for recordation.

Chairman

CLERK OF CIRCUIT COURT

County of Hillsborough
State of Florida

I hereby certify that this subdivision plat meets the requirements in form, of Chapter 177 Part I of the Florida Statutes and has been filed for record in Plat Book _____, Page _____, of the Public Records of Hillsborough County, Florida.

BY:

Clerk of Circuit Court

This _____ day of _____, 20 _____

CLERK FILE NUMBER

REVIEWING AGENCY SURVEYOR'S CERTIFICATE

PLAT APPROVAL. This plat has been reviewed in accordance with the Florida Statutes, Section 177.08 for Chapter conformity. The geometric data has not been verified.

Reviewed by:

Florida Professional Surveyor and Mapper, License No. _____
Survey Section, Geospatial & Land Acquisition Services Department, Hillsborough County

AMERRITY, INC.

LAND SURVEYING & MAPPING
Certificate of Authorization Number LB 7778

3010 W. Azeele Street, Suite 150

PHONE (813) 221-5200

File Name: P:\TripleCreek\TC-VILLAGE 0-01

TRACT DESIGNATION TABLE

PARALLEL, OFFSET DIMENSIONS NOTE:
EASEMENTS, BUFFERS AND OTHER SUCH LABELS AND DIMENSIONS OF A PARALLEL, NATURE AS SHOWN HEREIN ARE INDICATED TO THE NEAREST FOOT (I.E. 5' UTILITY EASEMENT) ARE ASSUMED TO BE THE SAME DIMENSION EXTENDED TO THE NEAREST HUNDRETH OF A FOOT WITH NO GREATER OR LESSER VALUE.
(I.E. 5' = 5.00' (INT. 7.5' = 7.50'), THIS IS NOT INTENDED TO APPLY TO OTHER STANDARD DIMENSIONS

The Wetland (Wetland/Preservation) Area shall be attended pursuant to the Hillsborough County Land Development Code (LDC) as amended; the Hillsborough County Environmental Protection Act, Chapter 84-446; and Chapter 1-11, Rules of the Hillsborough County Environmental Protection Commission (EPC). In addition, a (30/50)-foot setback from the Wetland (Conservation/Preservation) Area is required and shall conform to the provisions stipulated within the Hillsborough Ordinance 2006-01, Chapter 1-11, Rules of the EPC (LDC) and Chapter 1-11, Rules of the EPC. Wetland definitions 372.00(1)(c) and 372.00(1)(d) shall be applied to the Wetland (Conservation/Preservation) Area as long as physical conditions on the property do not change so as to alter the boundaries of wetlands during that time. After 5 years, the boundaries of a Wetland (Conservation/Preservation) Area, are subject to review and modification by the EPC, and the (30/50)-foot setback shall be applied to the boundaries of the Wetland (Conservation/Preservation) Area, as revised.

Owners do hereby dedicate to the public in general and to Hillsborough County, Florida (the "County") all (Public) streets, roads, Rights-of-Way, as shown hereon for public use.

Owners further do hereby dedicate the Utility Easements as shown hereon, to the County for the benefit of the public, for access and utility purposes, and for other purposes incidental thereto.

Owners do hereby grant the Hillsborough County government and providers of law enforcement, fire emergency, emergency medical, mail, package delivery, solid waste/sanitation, and other similar governmental and quasi-governmental services, a non-exclusive access easement over and across TRACS "A-1", "D-1" and "R", as shown hereon for ingress and egress for the performance of their official duties.

Owner does hereby state and declare the following:

Fee interest in TRACTS "A-1", "D-1" and "R" is hereby reserved by owner and will be maintained by CDD.

Fee Interest in TRACT "F-1" is hereby reserved by owner and will be maintained by AG EHC II.

The (CDD) Drainage Easements as shown hereon are hereby reserved by Owner for conveyance by separate instrument to the Triple Creek Community Development District, a unit of special purpose local government organized and existing pursuant to Chapter 190, Florida Statutes or other custodial and maintenance entity, subsequent to the recording of this Plat, for the benefit of the lot owners within the subdivision. Said easements are not dedicated to the public and will be privately maintained.

such Tracts, are subject to any and all easements, rights of way and tracts dedicated to public use as shown on this plat.

The maintenance of Own-reserved tracts and areas and private easement reserved by Owners will be the responsibility of the Owners, their assigns and successors in title, which may include the Triple Creek Community Development District, a unit of special purpose local government organized and existing pursuant to Chapter 190, Florida Statutes or other custodial and maintenance entity.

OWNER - AG EHC II (IEN) MULTI STATE 1, LLC, a Delaware limited liability company
By: Essential Housing Asset Management, LLC, an Arizona limited liability company,
Its Authorized Agent

Witness

ACKNOWLEDGEMENT: State of Arizona, County of Maricopa

The foregoing instrument was acknowledged before me by means of ☐ physical presence or ☐ online notarization, this _____ day of _____, 20____, by Steven S. Benson, as Manager of Essential Housing Asset Management, LLC, an Arizona limited liability company the authorized agent for AG EHC II (LEN) MULTI STATE 1, LLC, a Delaware limited liability company, on behalf of the company. Personally known to me _____ or has produced _____ as identification.

My Commission expires:

Commission Number

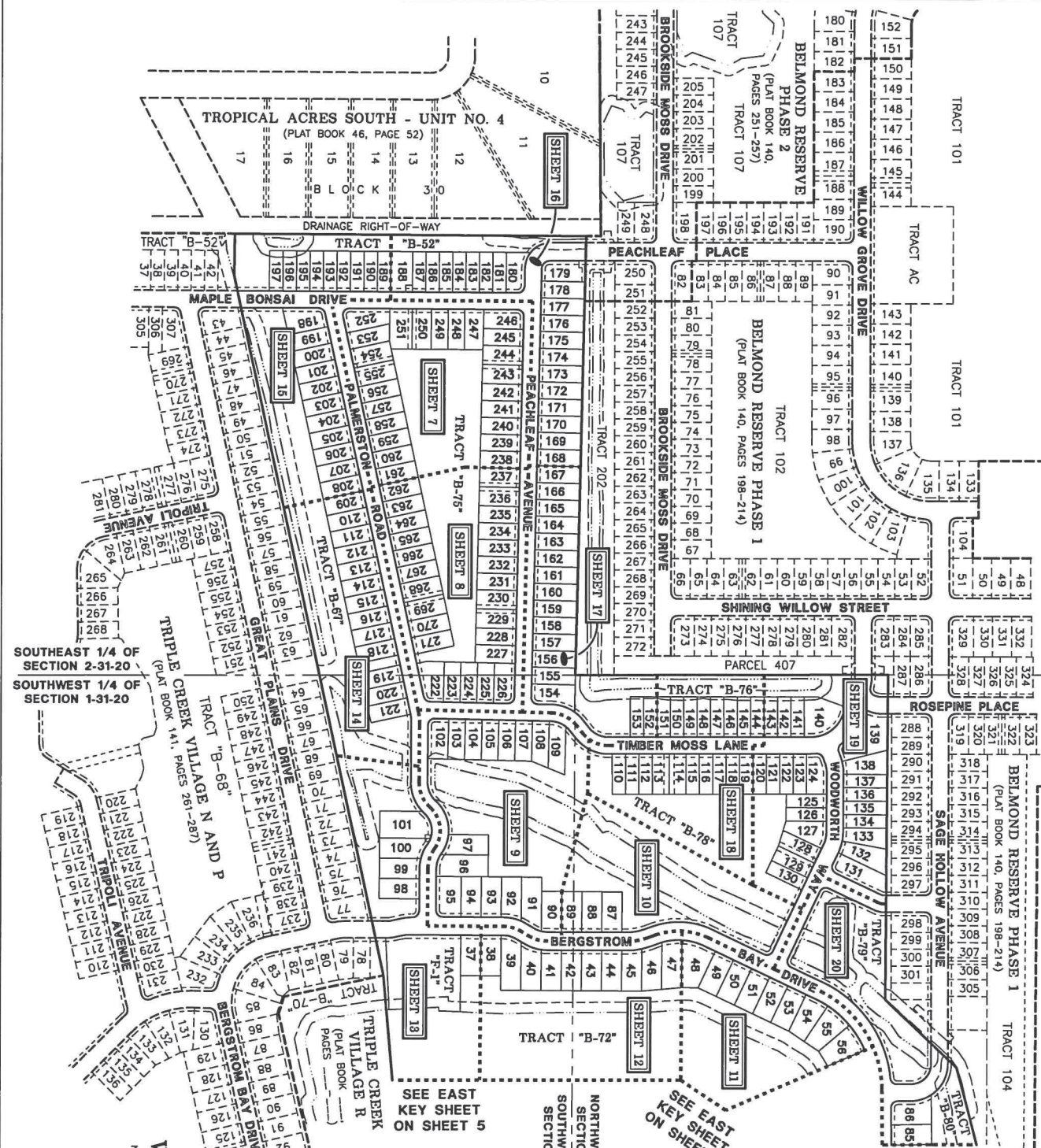
AMERPRITY, INC.
LAND SURVEYING & MAPPING
Certificate of Authorization Number LB 7778

TRIPLE CREEK VILLAGE D

SECTIONS 1 AND 2, TOWNSHIP 31 SOUTH, RANGE 20 EAST AND
SECTION 36, TOWNSHIP 30 SOUTH, RANGE 20 EAST HILLSBOROUGH COUNTY, FLORIDA

PLAT BOOK

PAGE



WEST KEY SHEET

NOTE: REFER TO THE FOLLOWING SHEETS OF THIS PLAT FOR DETAILED LABELING AND DIMENSIONING.

FMERITT, INC.
LAND SURVEYING & MAPPING
Certificate of Authorization Number 18 7778
3010 W. Asclepe Street, Suite 150
Tampa, FL 33609
PHONE: (813) 231-5500

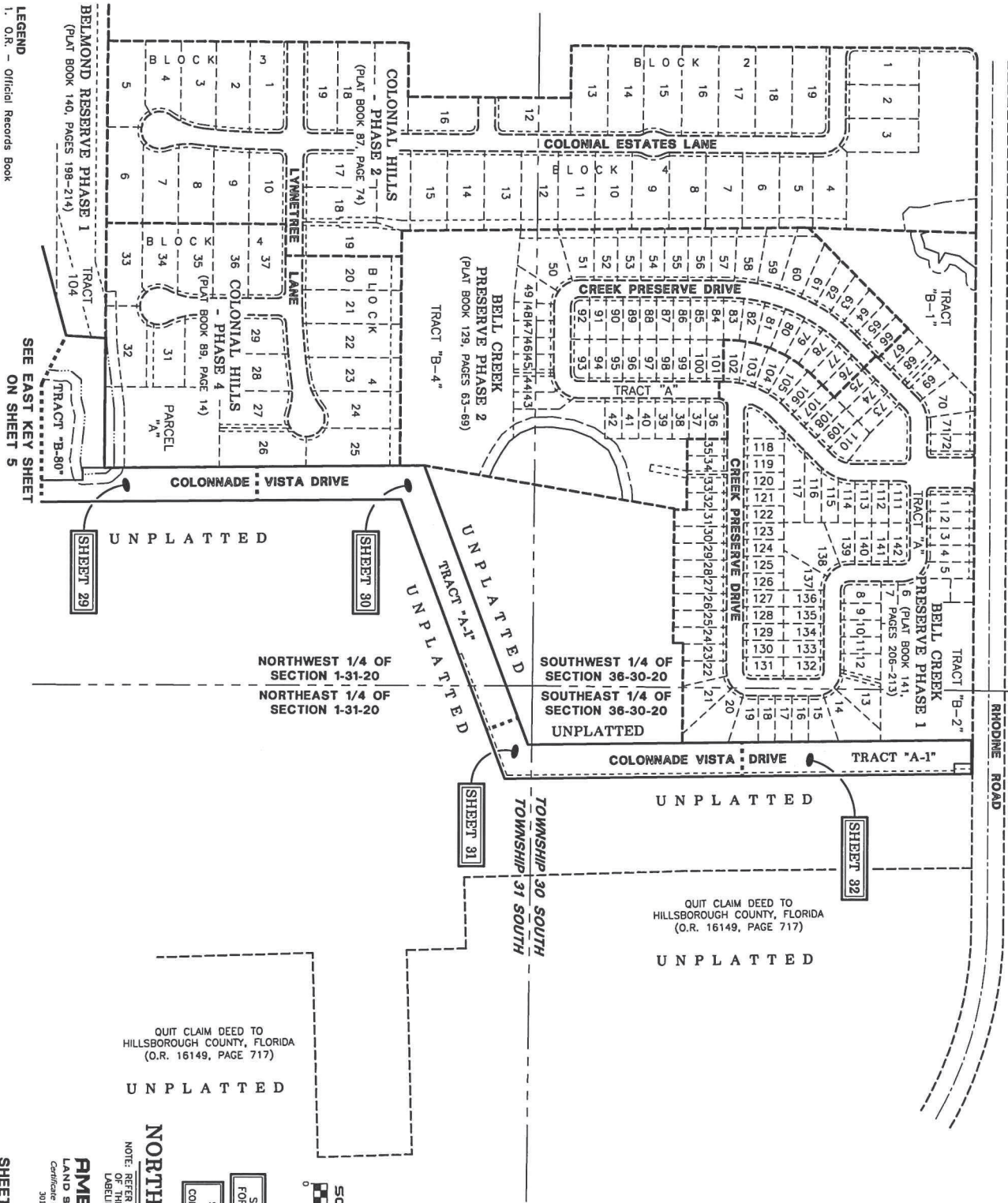
SHEET 4 OF 38 SHEETS

SECTIONS 1 AND 2, TOWNSHIP 31 SOUTH, RANGE 20 EAST AND
SECTION 36, TOWNSHIP 30 SOUTH, RANGE 20 EAST HILLSBOROUGH COUNTY, FLORIDA

PAGE

TRIPLE CREEK VILLAGE Q

SECTIONS 1 AND 2, TOWNSHIP 31 SOUTH, RANGE 20 EAST AND
SECTION 36, TOWNSHIP 30 SOUTH, RANGE 20 EAST HILLSBOROUGH COUNTY, FLORIDA



NORTH KEY SHEET

NOTE: REFER TO THE FOLLOWING SHEETS
OF THIS PLAT FOR DETAILED
LABELING AND DIMENSIONING.

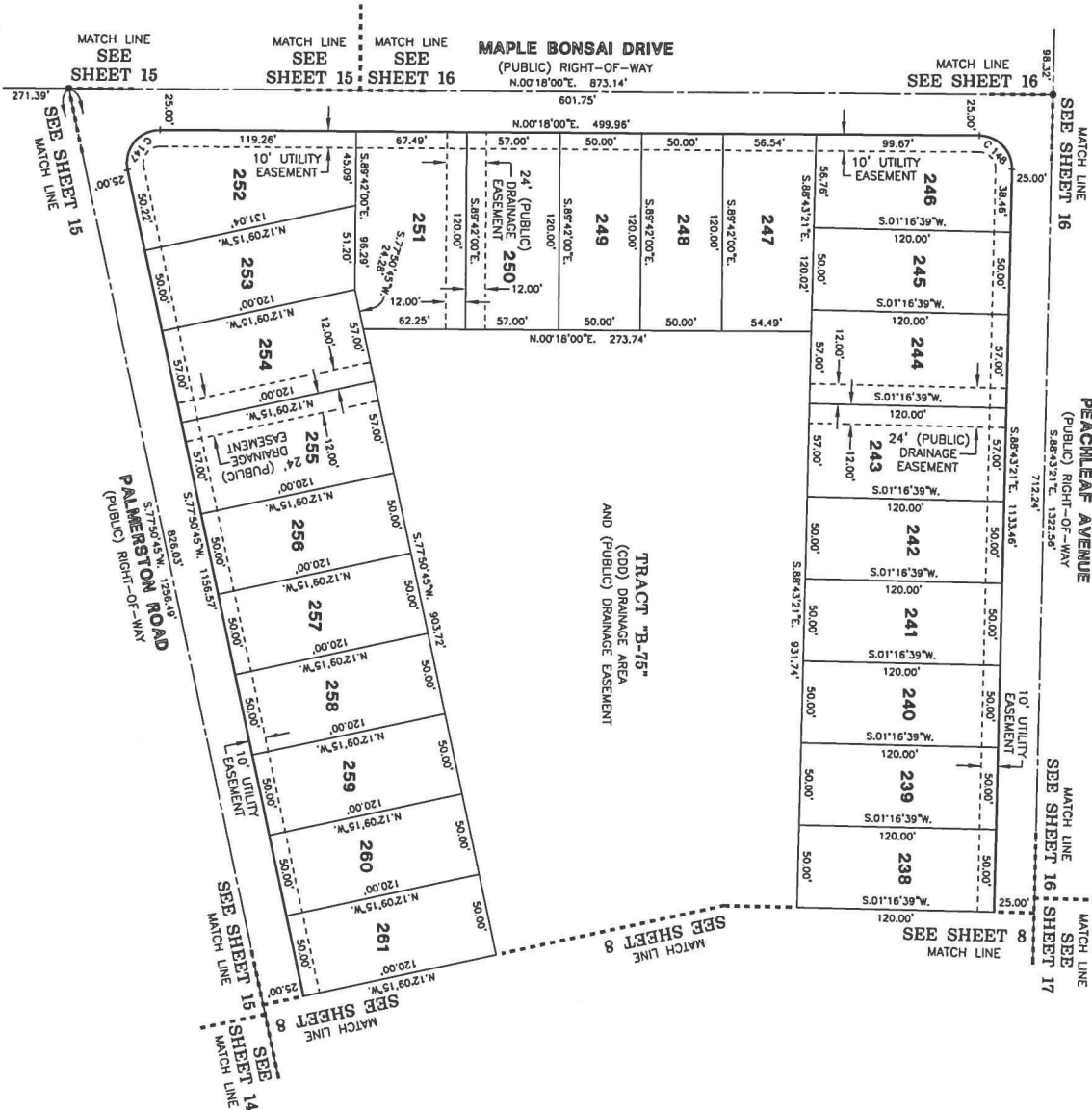
AMERITT, INC.
LAND SURVEYING & MAPPING
Certificate of Authorization Number LB 7778
3010 W. Access Street, Suite 150
Naples, FL 33909
PHONE: (813) 221-5500

SEE SHEET 2 OF 38
FOR BASIS OF BEARINGS
CONSERVATION AREA NOTE

SEE SHEET 3 OF 38
FOR BASIS OF BEARINGS



TRIPLE CREEK VILLAGE D SECTIONS 1 AND 2, TOWNSHIP 31 SOUTH, RANGE 20 EAST AND SECTION 36, TOWNSHIP 30 SOUTH, RANGE 20 EAST HILLSBOROUGH COUNTY, FLORIDA



LEGEND

1. Symbol Indicates (P.R.M.) Permanent Reference Monument
2. Symbol Indicates (C.M.) Concrete Monument, unless otherwise noted.
3. Symbol Indicates (O.P.R.M.) Offset Permanent Reference Monument
4. Symbol Indicates (C.M.) Concrete Monument, unless otherwise noted.
5. Symbol Indicates (R) Indicates radial line
6. (NR) Indicates non-radial line
7. RB - Reference Record Book
8. (CDD) - Triple Creek Community Development District

CURVE DATA TABLE

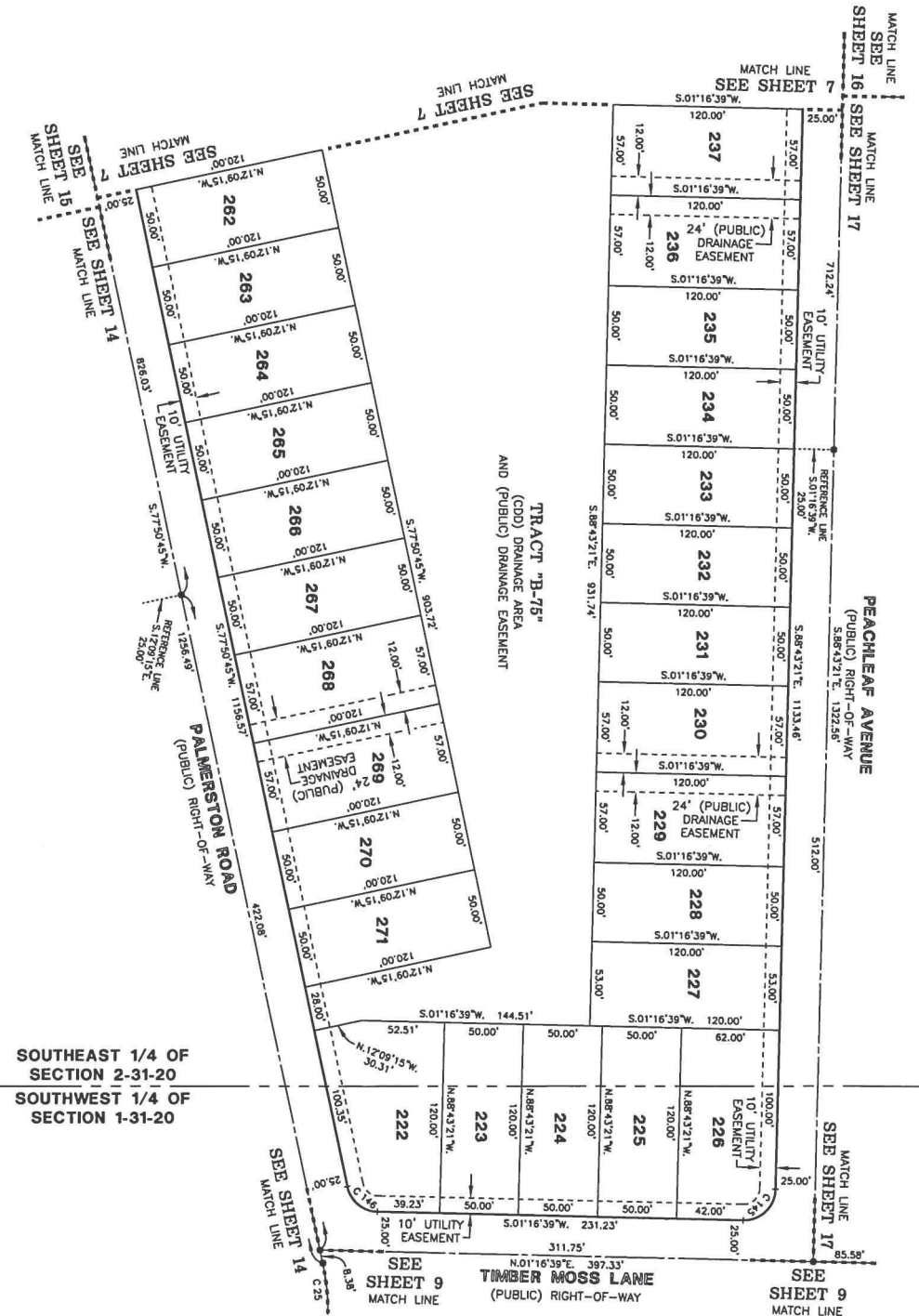
NO.	PIRMS	DELTA	ARC	CHORD	BEARING
147	20.00	102°27'15"	35.76	31.19	N.50°55.38'W.
148	20.00	90°58'39"	31.76	28.52	N.45°47'19'E.



SEE SHEET 3 OF 38
 FOR BASIS OF BEARINGS
 SEE SHEET 2 OF 38
 FOR PARALLEL OFFSET
 DIMENSIONS NOTE

FMERITT, INC.
 LAND SURVEYING & MAPPING
 Certificate of Authorization Number LB 7778
 3010 W. Acacia Street, Suite 150
 Fort Myers, FL 33901
 PHONE (813) 225-5500

TRIPLE CREEK VILLAGE D SECTIONS 1 AND 2, TOWNSHIP 31 SOUTH, RANGE 20 EAST AND SECTION 36, TOWNSHIP 30 SOUTH, RANGE 20 EAST HILLSBOROUGH COUNTY, FLORIDA



LEGEND

1. Symbol indicates (P.R.M.) Permanent Reference Monument
2. Symbol indicates (P.R.M.) Concrete Monument L87778, unless otherwise noted.
3. Symbol indicates (P.R.M.) Offset Permanent Reference Monument
4. Symbol indicates (P.C.P.) Permanent Control Point L87778
5. (R) indicates radial line
6. (NR) indicates non-radial line
7. RB - Reference Bearing
8. (CDD) - Official Records Book
9. (CDD) - Triple Creek Community Development District

CURVE DATA TABLE

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
25	150.00	12.20	31.1°	32.75	S.84°05'01"W.
145	20.00	90°00'00"	31.42	28.28	S.43°43'21"E.
146	20.00	78.31	06°	26.73	S.39°33'42"W.

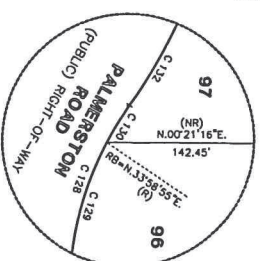
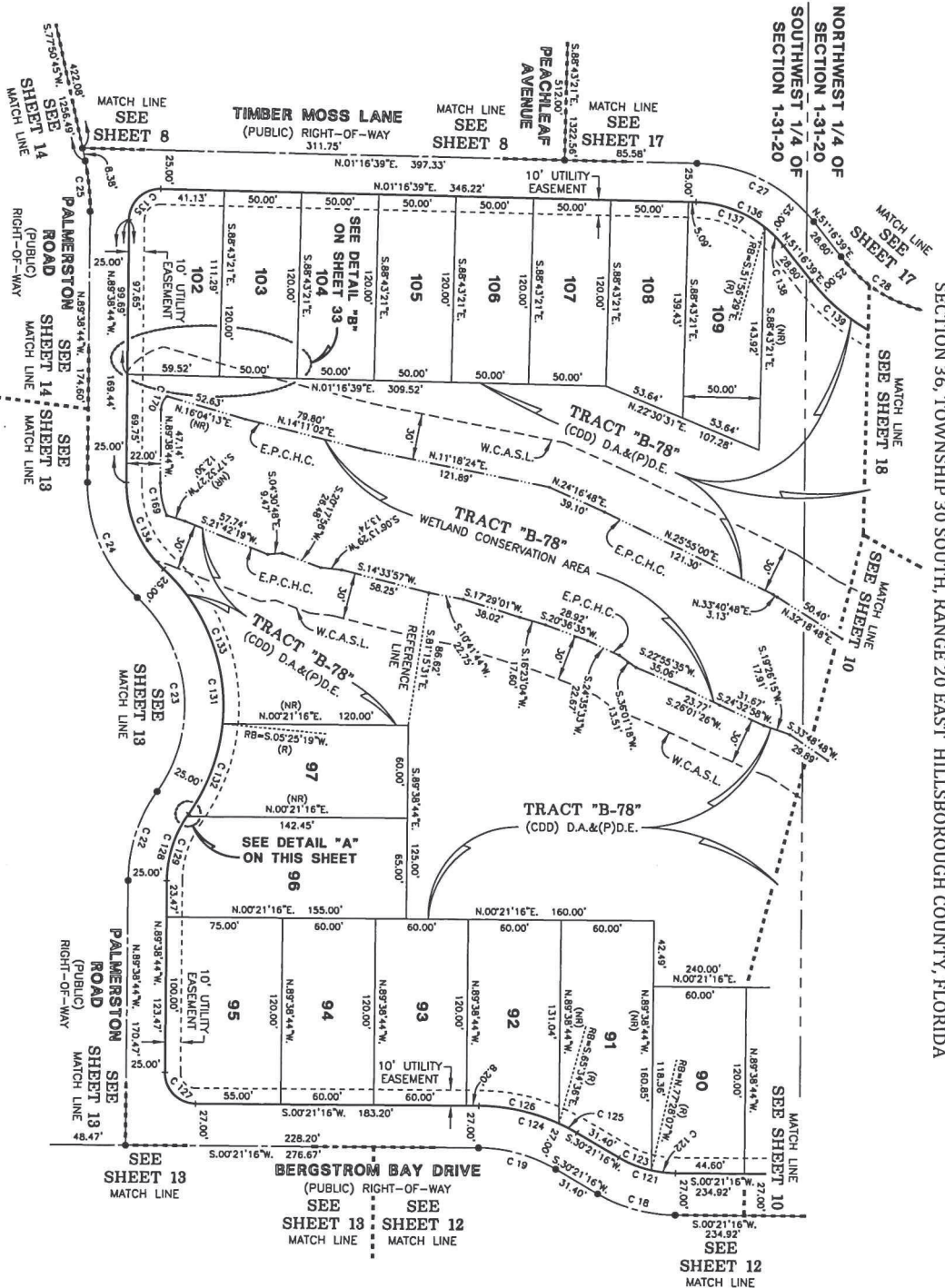


SEE SHEET 3 OF 38
 FOR BASIS OF BEARINGS
 SEE SHEET 2 OF 38
 FOR PARALLEL OFFSET
 DIMENSIONS NOTE

PRIMERITT, INC.
 LAND SURVEYING & MAPPING
 Certificate of Authorization Number LB 7778
 3010 W. Acacia Street, Suite 150
 PHONE (813) 221-5500

TRIPLE CREEK VILLAGE D

SECTIONS 1 AND 2, TOWNSHIP 31 SOUTH, RANGE 20 EAST AND SECTION 36, TOWNSHIP 30 SOUTH, RANGE 20 EAST, HILLSBOROUGH COUNTY, FLORIDA



LEGEND

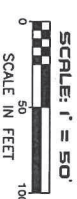
1. Symbol \oplus indicates (P.R.M.) Permanent Reference Monument.
2. Symbol \otimes indicates (P.R.M.) Offset Permanent Reference Monument.
3. Symbol \otimes indicates (P.C.P.) Permanent Control Point LB7778.
4. (R) indicates rod line.
5. (NR) indicates non-rod line.
6. RB - Reference Bearing.
7. O.R. - Official Records Book.
8. E.P.C.H.C. - Environmental Protection Commission of Hillsborough County Wetland Line.
9. W.C.A.S.L. - Wetland Conservation Area Setback Line.
10. (COD) - Triple Creek Community Development District.
11. D.A. & (P) D.E. - Drainage Area and (Public) Drainage Easement.

CURVE DATA TABLE

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
18	100.00	30.0000°	52.36	51.76	S.152°11'16"W
19	100.00	30.0000°	52.36	51.76	S.152°11'16"W
20	100.00	30.0000°	52.36	51.76	S.152°11'16"W
21	100.00	30.0000°	52.36	51.76	S.152°11'16"W
22	100.00	30.0000°	52.36	51.76	S.152°11'16"W
23	100.00	30.0000°	52.36	51.76	S.152°11'16"W
24	100.00	30.0000°	52.36	51.76	S.152°11'16"W
25	100.00	30.0000°	52.36	51.76	S.152°11'16"W
26	100.00	30.0000°	52.36	51.76	S.152°11'16"W
27	100.00	30.0000°	52.36	51.76	S.152°11'16"W
28	100.00	30.0000°	52.36	51.76	S.152°11'16"W
29	100.00	30.0000°	52.36	51.76	S.152°11'16"W
30	100.00	30.0000°	52.36	51.76	S.152°11'16"W
31	100.00	30.0000°	52.36	51.76	S.152°11'16"W
32	100.00	30.0000°	52.36	51.76	S.152°11'16"W
33	100.00	30.0000°	52.36	51.76	S.152°11'16"W
34	100.00	30.0000°	52.36	51.76	S.152°11'16"W
35	100.00	30.0000°	52.36	51.76	S.152°11'16"W
36	100.00	30.0000°	52.36	51.76	S.152°11'16"W
37	100.00	30.0000°	52.36	51.76	S.152°11'16"W
38	100.00	30.0000°	52.36	51.76	S.152°11'16"W
39	100.00	30.0000°	52.36	51.76	S.152°11'16"W
40	100.00	30.0000°	52.36	51.76	S.152°11'16"W
41	100.00	30.0000°	52.36	51.76	S.152°11'16"W
42	100.00	30.0000°	52.36	51.76	S.152°11'16"W
43	100.00	30.0000°	52.36	51.76	S.152°11'16"W
44	100.00	30.0000°	52.36	51.76	S.152°11'16"W
45	100.00	30.0000°	52.36	51.76	S.152°11'16"W
46	100.00	30.0000°	52.36	51.76	S.152°11'16"W
47	100.00	30.0000°	52.36	51.76	S.152°11'16"W
48	100.00	30.0000°	52.36	51.76	S.152°11'16"W
49	100.00	30.0000°	52.36	51.76	S.152°11'16"W
50	100.00	30.0000°	52.36	51.76	S.152°11'16"W
51	100.00	30.0000°	52.36	51.76	S.152°11'16"W
52	100.00	30.0000°	52.36	51.76	S.152°11'16"W
53	100.00	30.0000°	52.36	51.76	S.152°11'16"W
54	100.00	30.0000°	52.36	51.76	S.152°11'16"W
55	100.00	30.0000°	52.36	51.76	S.152°11'16"W
56	100.00	30.0000°	52.36	51.76	S.152°11'16"W
57	100.00	30.0000°	52.36	51.76	S.152°11'16"W
58	100.00	30.0000°	52.36	51.76	S.152°11'16"W
59	100.00	30.0000°	52.36	51.76	S.152°11'16"W
60	100.00	30.0000°	52.36	51.76	S.152°11'16"W
61	100.00	30.0000°	52.36	51.76	S.152°11'16"W
62	100.00	30.0000°	52.36	51.76	S.152°11'16"W
63	100.00	30.0000°	52.36	51.76	S.152°11'16"W
64	100.00	30.0000°	52.36	51.76	S.152°11'16"W
65	100.00	30.0000°	52.36	51.76	S.152°11'16"W
66	100.00	30.0000°	52.36	51.76	S.152°11'16"W
67	100.00	30.0000°	52.36	51.76	S.152°11'16"W
68	100.00	30.0000°	52.36	51.76	S.152°11'16"W
69	100.00	30.0000°	52.36	51.76	S.152°11'16"W
70	100.00	30.0000°	52.36	51.76	S.152°11'16"W
71	100.00	30.0000°	52.36	51.76	S.152°11'16"W
72	100.00	30.0000°	52.36	51.76	S.152°11'16"W
73	100.00	30.0000°	52.36	51.76	S.152°11'16"W
74	100.00	30.0000°	52.36	51.76	S.152°11'16"W
75	100.00	30.0000°	52.36	51.76	S.152°11'16"W
76	100.00	30.0000°	52.36	51.76	S.152°11'16"W
77	100.00	30.0000°	52.36	51.76	S.152°11'16"W
78	100.00	30.0000°	52.36	51.76	S.152°11'16"W
79	100.00	30.0000°	52.36	51.76	S.152°11'16"W
80	100.00	30.0000°	52.36	51.76	S.152°11'16"W
81	100.00	30.0000°	52.36	51.76	S.152°11'16"W
82	100.00	30.0000°	52.36	51.76	S.152°11'16"W
83	100.00	30.0000°	52.36	51.76	S.152°11'16"W
84	100.00	30.0000°	52.36	51.76	S.152°11'16"W
85	100.00	30.0000°	52.36	51.76	S.152°11'16"W
86	100.00	30.0000°	52.36	51.76	S.152°11'16"W
87	100.00	30.0000°	52.36	51.76	S.152°11'16"W
88	100.00	30.0000°	52.36	51.76	S.152°11'16"W
89	100.00	30.0000°	52.36	51.76	S.152°11'16"W
90	100.00	30.0000°	52.36	51.76	S.152°11'16"W
91	100.00	30.0000°	52.36	51.76	S.152°11'16"W
92	100.00	30.0000°	52.36	51.76	S.152°11'16"W
93	100.00	30.0000°	52.36	51.76	S.152°11'16"W
94	100.00	30.0000°	52.36	51.76	S.152°11'16"W
95	100.00	30.0000°	52.36	51.76	S.152°11'16"W
96	100.00	30.0000°	52.36	51.76	S.152°11'16"W
97	100.00	30.0000°	52.36	51.76	S.152°11'16"W
98	100.00	30.0000°	52.36	51.76	S.152°11'16"W
99	100.00	30.0000°	52.36	51.76	S.152°11'16"W
100	100.00	30.0000°	52.36	51.76	S.152°11'16"W

CURVE DATA TABLE

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
126	75.00	35.0000°	45.35	45.23	N.72°48'55"W
127	75.00	35.0000°	45.35	45.23	N.72°48'55"W
128	75.00	35.0000°	45.35	45.23	N.72°48'55"W
129	75.00	35.0000°	45.35	45.23	N.72°48'55"W
130	75.00	35.0000°	45.35	45.23	N.72°48'55"W
131	75.00	35.0000°	45.35	45.23	N.72°48'55"W
132	75.00	35.0000°	45.35	45.23	N.72°48'55"W
133	75.00	35.0000°	45.35	45.23	N.72°48'55"W
134	75.00	35.0000°	45.35	45.23	N.72°48'55"W
135	75.00	35.0000°	45.35	45.23	N.72°48'55"W
136	75.00	35.0000°	45.35	45.23	N.72°48'55"W
137	75.00	35.0000°	45.35	45.23	N.72°48'55"W
138	75.00	35.0000°	45.35	45.23	N.72°48'55"W
139	75.00	35.0000°	45.35	45.23	N.72°48'55"W
140	75.00	35.0000°	45.35	45.23	N.72°48'55"W
141	75.00	35.0000°	45.35	45.23	N.72°48'55"W
142	75.00	35.0000°	45.35	45.23	N.72°48'55"W
143	75.00	35.0000°	45.35	45.23	N.72°48'55"W
144	75.00	35.0000°	45.35	45.23	N.72°48'55"W
145	75.00	35.0000°	45.35	45.23	N.72°48'55"W
146	75.00	35.0000°	45.35	45.23	N.72°48'55"W
147	75.00	35.0000°	45.35	45.23	N.72°48'55"W
148	75.00	35.0000°	45.35	45.23	N.72°48'55"W
149	75.00	35.0000°	45.35	45.23	N.72°48'55"W
150	75.00	35.0000°	45.35	45.23	N.72°48'55"W
151	75.00	35.0000°	45.35	45.23	N.72°48'55"W
152	75.00	35.0000°	45.35	45.23	N.72°48'55"W
153	75.00	35.0000°	45.35	45.23	N.72°48'55"W
154	75.00	35.0000°	45.35	45.23	N.72°48'55"W
155	75.00	35.0000°	45.35	45.23	N.72°48'55"W
156	75.00	35.0000°	45.35	45.23	N.72°48'55"W
157	75.00	35.0000°	45.35	45.23	N.72°48'55"W
158	75.00	35.0000°	45.35	45.23	N.72°48'55"W
159	75.00	35.0000°	45.35	45.23	N.72°48'55"W
160	75.00	35.0000°	45.35	45.23	N.72°48'55"W
161	75.00	35.0000°	45.35	45.23	N.72°48'55"W
162	75.00	35.0000°	45.35	45.23	N.72°48'55"W
163	75.00	35.0000°	45.35	45.23	N.72°48'55"W
164	75.00	35.0000°	45.35	45.23	N.72°48'55"W
165	75.00	35.0000°	45.35	45.23	N.72°48'55"W
166	75.00	35.0000°	45.35	45.23	N.72°48'55"W
167	75.00	35.0000°	45.35	45.23	N.72°48'55"W
168	75.00	35.0000°	45.35	45.23	N.72°48'55"W
169	75.00	35.0000°	45.35	45.23	N.72°48'55"W
170	75.00	35.0000°	45.35	45.23	N.72°48'55"W
171	75.00	35.0000°	45.35	45.23	N.72°48'55"W
172	75.00	35.0000°	45.35	45.23	N.72°48'55"W
173	75.00	35.0000°	45.35	45.23	N.72°48'55"W
174	75.00	35.0000°	45.35	45.23	N.72°48'55"W
175	75.00	35.0000°	45.35	45.23	N.72°48'55"W
176	75.00	35.0000°	45.35	45.23	N.72°48'55"W
177	75.00	35.0000°	45.35	45.23	N.72°48'55"W
178	75.00	35.0000°	45.35	45.23	N.72°48'55"W
179	75.00	35.0000°	45.35	45.23	N.72°48'55"W
180	75.00	35.0000°	45.35	45.23	N.72°48'55"W



DETAIL "A" NOT TO SCALE (SEE THIS SHEET)

PRIMERITY, INC.
LAND SURVEYING & MAPPING
Certificate of Authorization Number LB 7778
3010 W. Lake Street, Suite 150
Palm Bay, FL 32909
Phone: (321) 221-5500

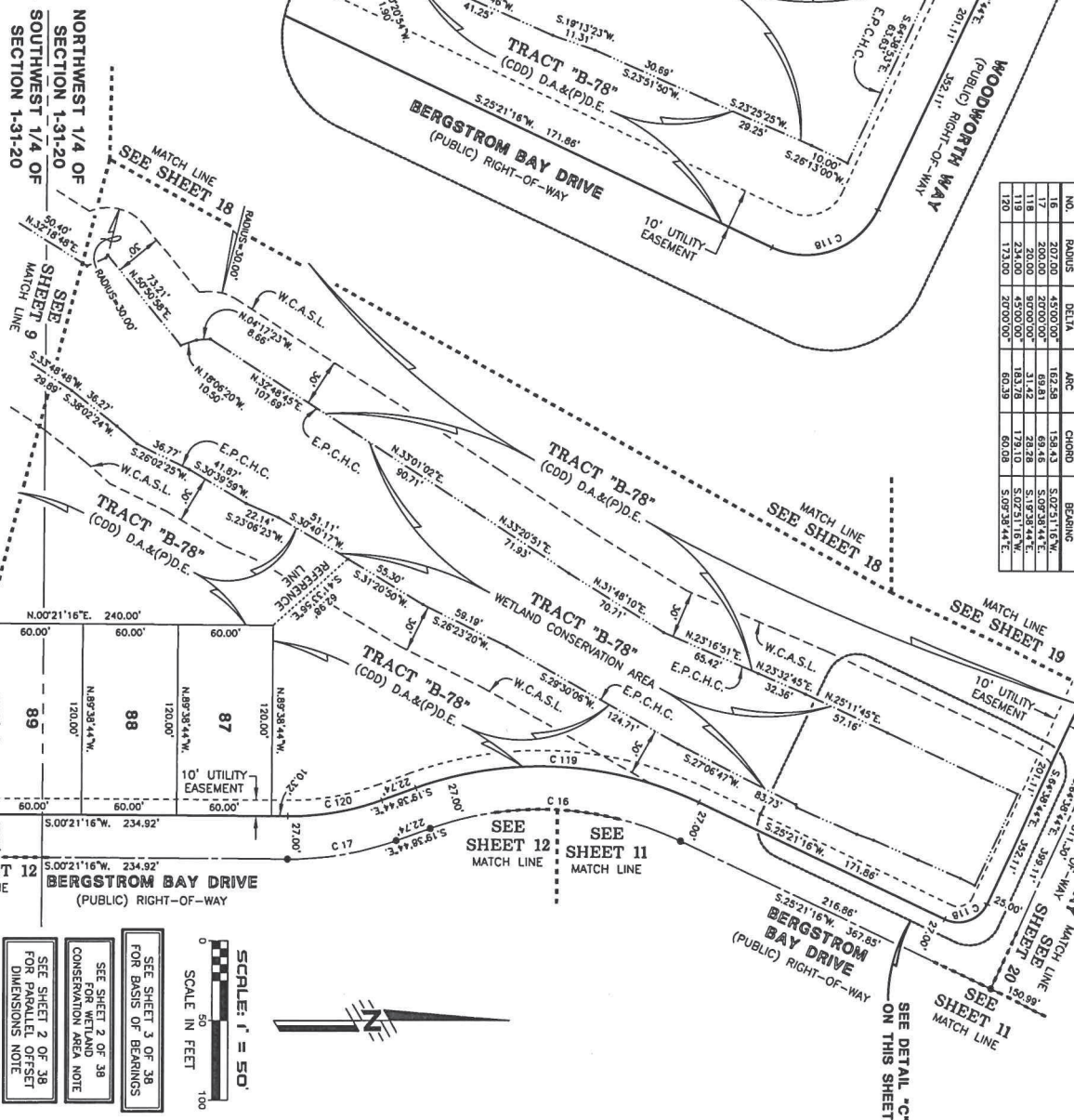
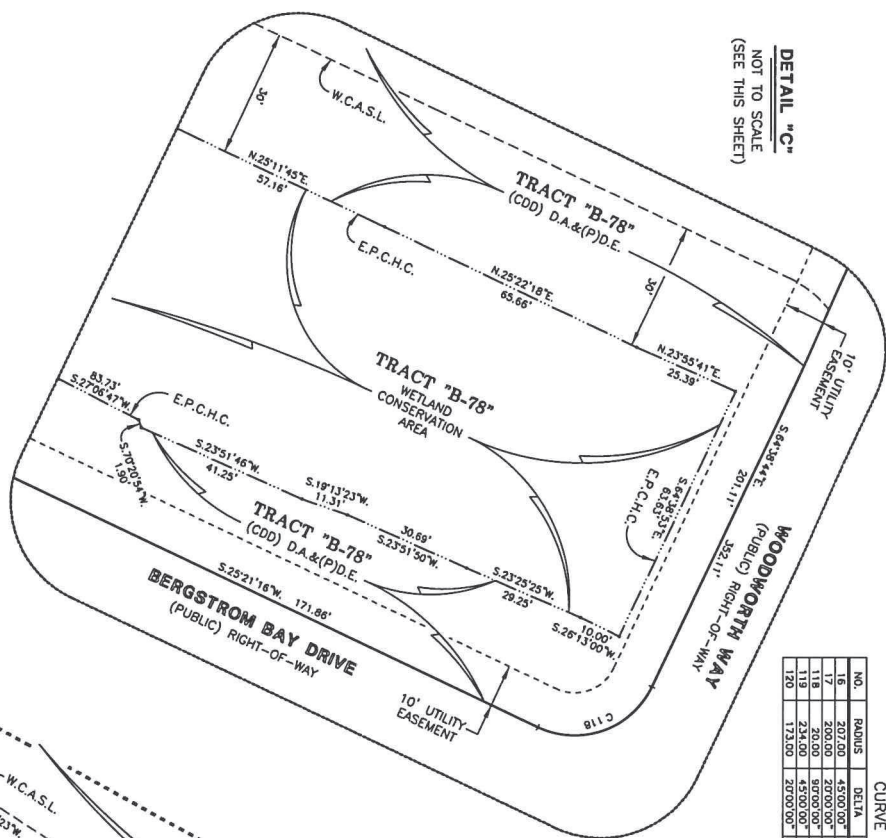
SHEET 9 OF 38 SHEETS

PAGE

CURVE DATA TABLE

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
16	207.00	45.0000"	162.58	158.43	S.02.51.16" W.
17	200.00	45.0000"	69.61	69.45	S.09.38.44" E.
118	20.00	90.0000"	31.42	29.28	S.19.38.44" E.
119	234.00	45.0000"	183.78	179.10	S.02.51.16" W.
120	173.00	20.0000"	60.39	60.08	S.09.38.44" E.

DETAIL "C"
NOT TO SCALE
(SEE THIS SHEET)



LEGEND

1. Symbol indicates (P.R.M.) Permanent Reference Monument
2. 4 x 4" Concrete Monument LB7778, unless otherwise noted.
3. Symbol \oplus indicates (P.R.M.) Offset Permanent Reference Monument
4. 4 x 4" Concrete Monument LB7778, unless otherwise noted.
3. Symbol \oplus indicates (P.C.P.) Permanent Control Point LB7778
4. (R) indicates radial line
5. (NR) indicates non-radial line
6. RB - Reference Bearing
7. OR - Official Records Book
8. E.C.H.C. - Environmental Protection Commission of Hillsborough County Wetland Node
9. W.C.A.S.L. - Wetland Conservation Area Subtask Line
10. DAD - Triple Creek Community Development District
11. (D&P)DE - Drainage Area and (Public) Drainage Easement

NORTHWEST 1/4 C
SECTION 1-31-20
SOUTHWEST 1/4 C
SECTION 1-31-20

SEE SHEET 9
MATCH LINE

S. 35° 48' 48" W.
29.89' S. 38° 02'

N.00°21'16"E.
60.00°

120.00'

60.00'

89

5.00'21"1

SEE SHEET
FOR PARALLEL
DIMENSIONS

FILE 2 OF 38
LLEL OFFSET
IONS NOTE

AMERRITY, INC.
LAND SLIDING & MAPPING

Certificate of Authorization Number 18-7778

3010 W. Azeele Street, Suite 150
 Oceanic of Professional Financial Ltd 7770

Tampa, FL 33609

PHONE (813) 221-5200

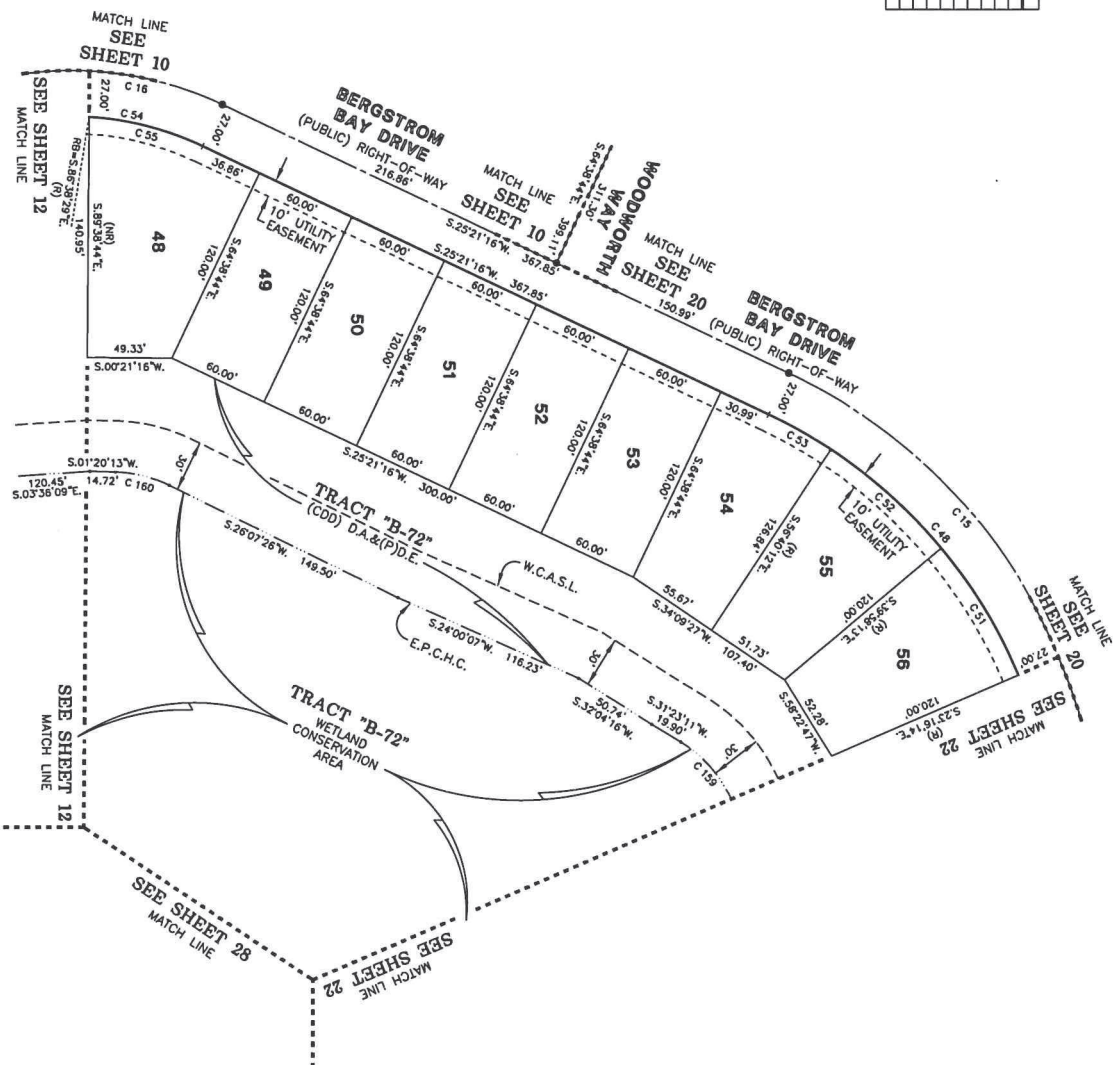
SHEET 10 OF 38 SHEET

OFFICE

TRIPLE CREEK VILLAGE D SECTIONS 1 AND 2, TOWNSHIP 31 SOUTH, RANGE 20 EAST AND SECTION 36, TOWNSHIP 30 SOUTH, RANGE 20 EAST HILLSBOROUGH COUNTY, FLORIDA

CURVE DATA TABLE

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
15	327.00	64°11'18"	346.34	347.48	S.57°26'55"W.
16	207.00	45°00'00"	162.58	164.43	S.02°31'16"W.
48	300.00	64°11'18"	316.09	318.79	S.57°26'55"W.
51	300.00	16°41'59"	87.44	87.13	S.58°22'47"W.
52	300.00	16°41'59"	87.44	87.13	S.41°00'48"W.
53	300.00	16°41'59"	87.44	87.13	S.02°31'16"W.
54	180.00	45°00'00"	141.37	143.72	S.02°31'16"W.
55	180.00	21°59'45"	68.10	68.66	S.14°21'23"W.
159	76.00	48°53'07"	64.84	62.80	S.55°49'44"W.
160	76.00	24°48'39"	32.91	32.65	S.13°44'32"W.



LEGEND

1. Symbol \blacksquare indicates (P.R.M.) Permanent Reference Monument
2. Symbol \blacksquare indicates (P.R.M.) Official Permanent Reference Monument
3. Symbol \blacktriangle indicates (P.C.P.) Permanent Control Point LB7778
4. (R) indicates radial line
5. (NR) indicates non-radial line
6. RB - Reference Bearing
7. O.R. - Official Records Book
8. E.P.C.H.C. - Environmental Protection Commission of Hillsborough County Wetland Line
9. W.C.A.S.L. - Wetland Conservation Area Setback Line
10. (CDD) - Triple Creek Community Development District
11. D.A.(P)D.E. - Drainage Area and (Public) Drainage Easement

SEE SHEET 2 OF 38
 FOR WETLAND
 CONSERVATION AREA NOTE

SEE SHEET 3 OF 38
 FOR BASIS OF BEARINGS

SEE SHEET 2 OF 38
 FOR PARALLEL OFFSET
 DIMENSIONS NOTE

AMERITY, INC.
 LAND SURVEYING & MAPPING
 Certificate of Authorization Number LB 7778
 3010 W. Lake Street, Suite 150
 PHOENIX, ARIZONA 85016-5000

SHEET 11 OF 38 SHEETS

TRIPLE CREEK VILLAGE Q

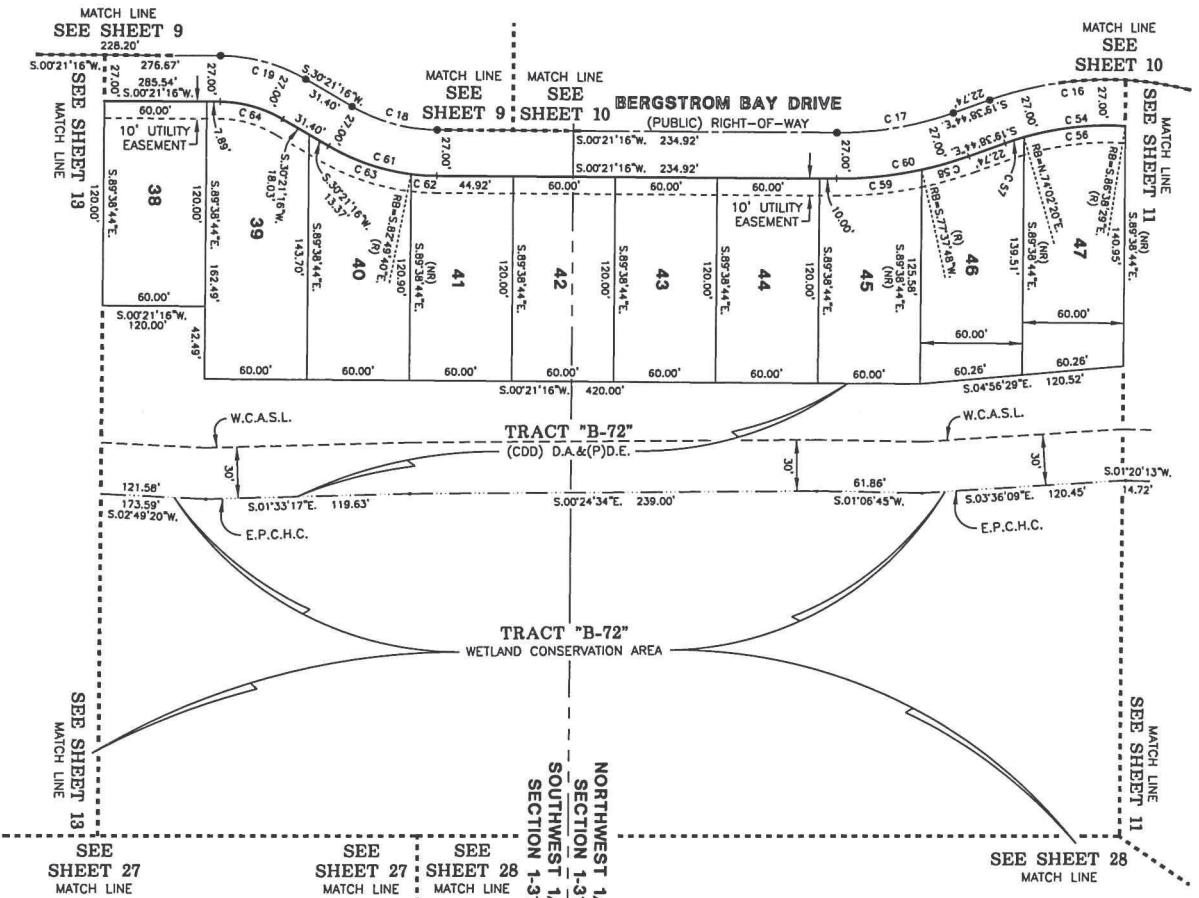
SECTIONS 1 AND 2, TOWNSHIP 31 SOUTH, RANGE 20 EAST AND SECTION 36, TOWNSHIP 30 SOUTH, RANGE 20 EAST HILLSBOROUGH COUNTY, FLORIDA

NO.	BOUND.	DELTA	ARC	CHORD	BEARING
16	207.00	450.00	162.58	168.43	S.07°21'16"W.
17	207.00	450.00	162.58	168.43	S.07°21'16"W.
18	100.00	300.00	52.36	51.76	S.15°21'16"W.
19	100.00	300.00	52.36	51.76	S.15°21'16"W.
54	180.00	450.00	141.37	137.77	S.07°21'16"W.
56	180.00	197.10	60.69	60.41	S.06°18'04"E.
57	180.00	03.41	11.58	11.57	S.17°48'12"E.
58	222.00	07.15	26.82	26.81	S.16°00'28"E.
59	222.00	17.45	48.91	48.89	S.15°21'16"W.
60	222.00	300.00	78.24	78.84	S.09°38'44"E.
61	127.00	300.00	65.50	65.74	S.15°21'16"W.
62	127.00	06.49	15.11	15.10	S.03°54'48"W.
63	127.00	23.10	51.38	51.04	S.18°45'48"W.
64	73.00	300.00	38.22	37.79	S.15°21'16"W.

CURVE DATA TABLE

LEGEND

1. Symbol \star indicates (P.R.M.) Permanent Reference Monument
2. Symbol \oplus indicates (P.R.M.) Offset Permanent Reference Monument
3. Symbol \otimes indicates (P.C.P.) Permanent Control Point LB7778
4. (R) indicates radial line
5. (NR) indicates non-radial line
6. RB - Reference Bearing
7. O.R. - Official Records Book
8. E.P.C.H.C. - Environmental Protection Commission of Hillsborough County Wetland Line
9. W.C.A.S.L. - Wetland Conservation Area Setback Line
10. (CDD) - Triple Creek Community Development District
11. D.A.&(P)D.E. - Drainage Area and (Public) Drainage Easement



SEE SHEET 3 OF 38 FOR BASIS OF BEARINGS

SEE SHEET 2 OF 38 FOR PARALLEL OFFSET DIMENSIONS NOTE

AMERITTY, INC.
LAND SURVEYING & MAPPING
Certificate of Authorization Number LB 7778
3010 W. Lake Street, Suite 150
Tampa, FL 33609
PHONE (813) 221-5200

SHEET 12 OF 38 SHEETS

CARDINAL BEARING NOTE:
Cardinal bearings where shown on this plat shall be assumed to have the same bearings as follows:
NORTH - N.00°00'00"E.
SOUTH - S.00°00'00"W.
EAST - N.90°00'00"E.
WEST - N.90°00'00"W.



SCALE: 1" = 50'



A horizontal scale bar with a black and white checkered pattern at the left end. Below the bar are markings for 0, 50, and 100 feet.

SCALE IN FEET

SEE SHEET 2 OF 38
FOR WETLAND
CONSERVATION AREA NOTE

LAND SURVEYING & MAPPING
Certificate of Authorization Number LB 7778

SHEET 13 OF 38 SHEETS

SECTIONS 1 AND 2, TOWNSHIP 31 SOUTH, RANGE 20 EAST AND SECTION 36, TOWNSHIP 30 SOUTH, RANGE 20 EAST HILLSBOROUGH COUNTY, FLORIDA

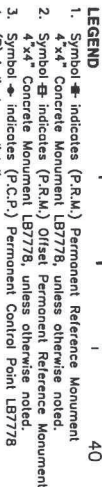


NO.	RADIUS	DELTA	ARC	CHORD	BEARING
25	150.00	12°30'31"	32.75	32.68	5.84/06°1'W.
79	125.00	12°30'31"	27.29	27.24	5.84/06°1'W.

CURVE DATA TABLE

AMERPRITTY, INC.
LAND SURVEYING & MAPPING
Certificate of Authorization Number LB 7778
3010 W. Asclepe Street, Suite 150
Tampa, FL 33609
PHONE (813) 221-5200

TROPICAL ACRES SOUTH
- UNIT NO. 4
(PLAT BOOK 46, PAGE 52) B L O C K 3 0



SCALE: 1" = 50'

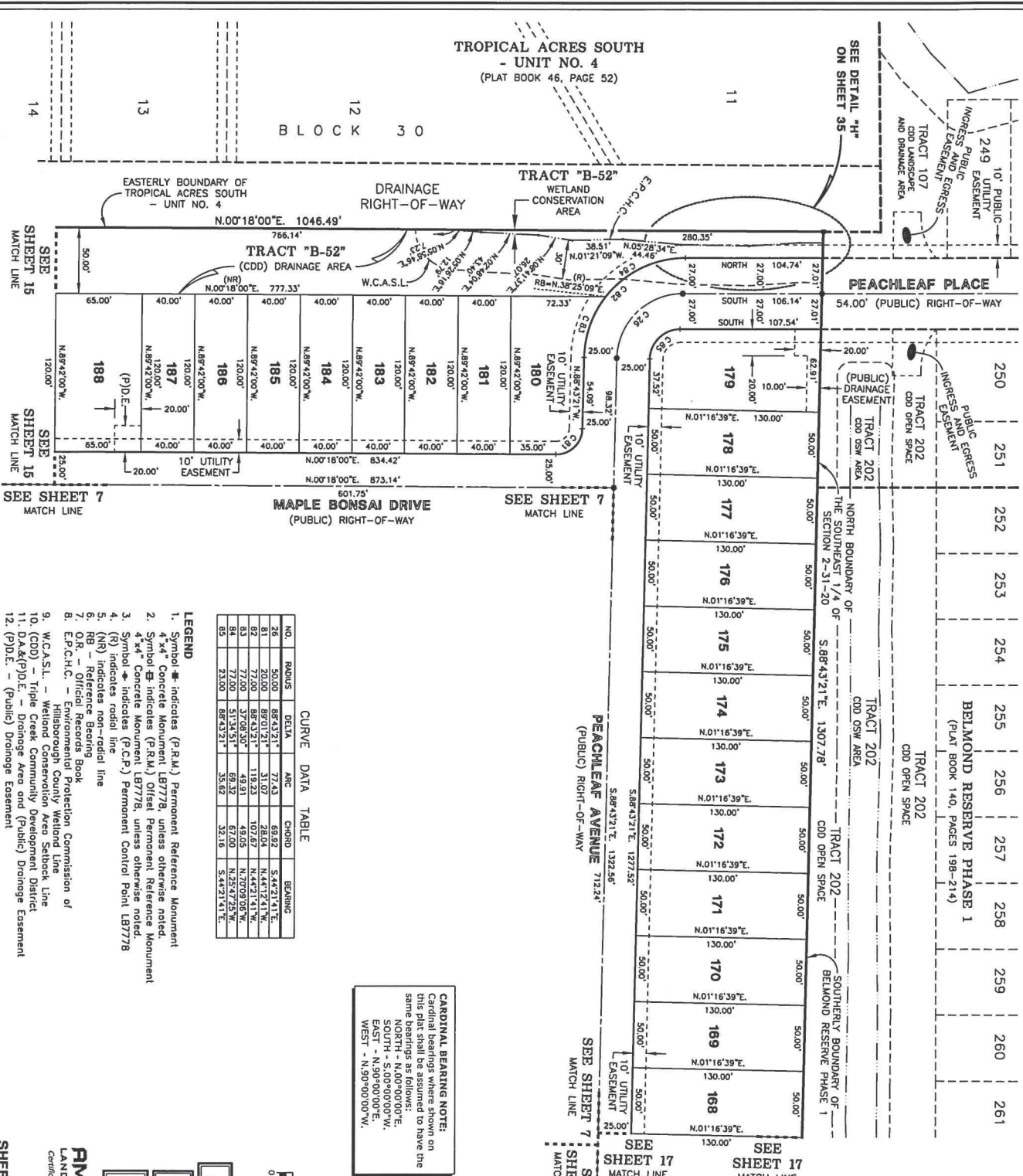


SCALE IN FEET

AMERITTY, INC.
LAND SURVEYING & MAPPING
Certificate of Authorization Number LA 7778
3010 W. Azeele Street, Suite 150
Tampa, FL 33609
PHONE (813) 221-5200

TRIPLE CREEK VILLAGE D

SECTIONS 1 AND 2, TOWNSHIP 31 SOUTH, RANGE 20 EAST AND
SECTION 36, TOWNSHIP 30 SOUTH, RANGE 20 EAST HILLSBOROUGH COUNTY, FLORIDA



CURVE DATA TABLE

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
26	50.00	88°43'21"	77.43	68.92	S.44°21'41"E
27	50.00	88°43'21"	77.43	68.92	N.44°21'41"W
28	50.00	88°43'21"	77.43	68.92	N.44°21'41"E
29	50.00	88°43'21"	77.43	68.92	S.44°21'41"W
30	50.00	88°43'21"	77.43	68.92	S.44°21'41"E
31	50.00	88°43'21"	77.43	68.92	N.44°21'41"W
32	50.00	88°43'21"	77.43	68.92	N.44°21'41"E
33	50.00	88°43'21"	77.43	68.92	S.44°21'41"W
34	50.00	88°43'21"	77.43	68.92	S.44°21'41"E
35	50.00	88°43'21"	77.43	68.92	N.44°21'41"W

CARDINAL BEARING NOTE:
Cardinal bearings where shown on this plat shall be assumed to have the same bearings as follows:
NORTH - N.00°00'00"E.
SOUTH - S.00°00'00"W.
EAST - N.90°00'00"E.
WEST - N.270°00'00"W.

- LEGEND**
- Symbol \star indicates (P.R.M.) Permanent Reference Monument
 - Symbol \star indicates (P.R.M.) Offset Permanent Reference Monument
 - Symbol \star indicates (P.R.M.) Offset Permanent Reference Monument
 - Symbol \star indicates (P.R.M.) Permanent Control Point LB7778
 - (R) indicates radial line
 - (NR) indicates non-radial line
 - OB - Reference Bearing Book
 - Official Records Book
 - W.C.A.S.L. - Wetland Conservation Area Setback Line
 - (CDD) - Triple Creek Community Development District
 - DA&(P)D.E. - Drainage Area and (Public) Drainage Easement
 - (P)D.E. - (Public) Drainage Easement

AMERITTY, INC.
LAND SURVEYING & MAPPING
Certificate of Authorization Number LB 7778
3010 W. Access Street, Suite 150
P.O. Box 111111
Tampa, FL 33611
PHONE (813) 221-5000

SEE SHEET 2 OF 38
FOR WETLAND
CONSERVATION AREA NOTE

SEE SHEET 2 OF 38
FOR PARALLEL OFFSET
DIMENSIONS NOTE

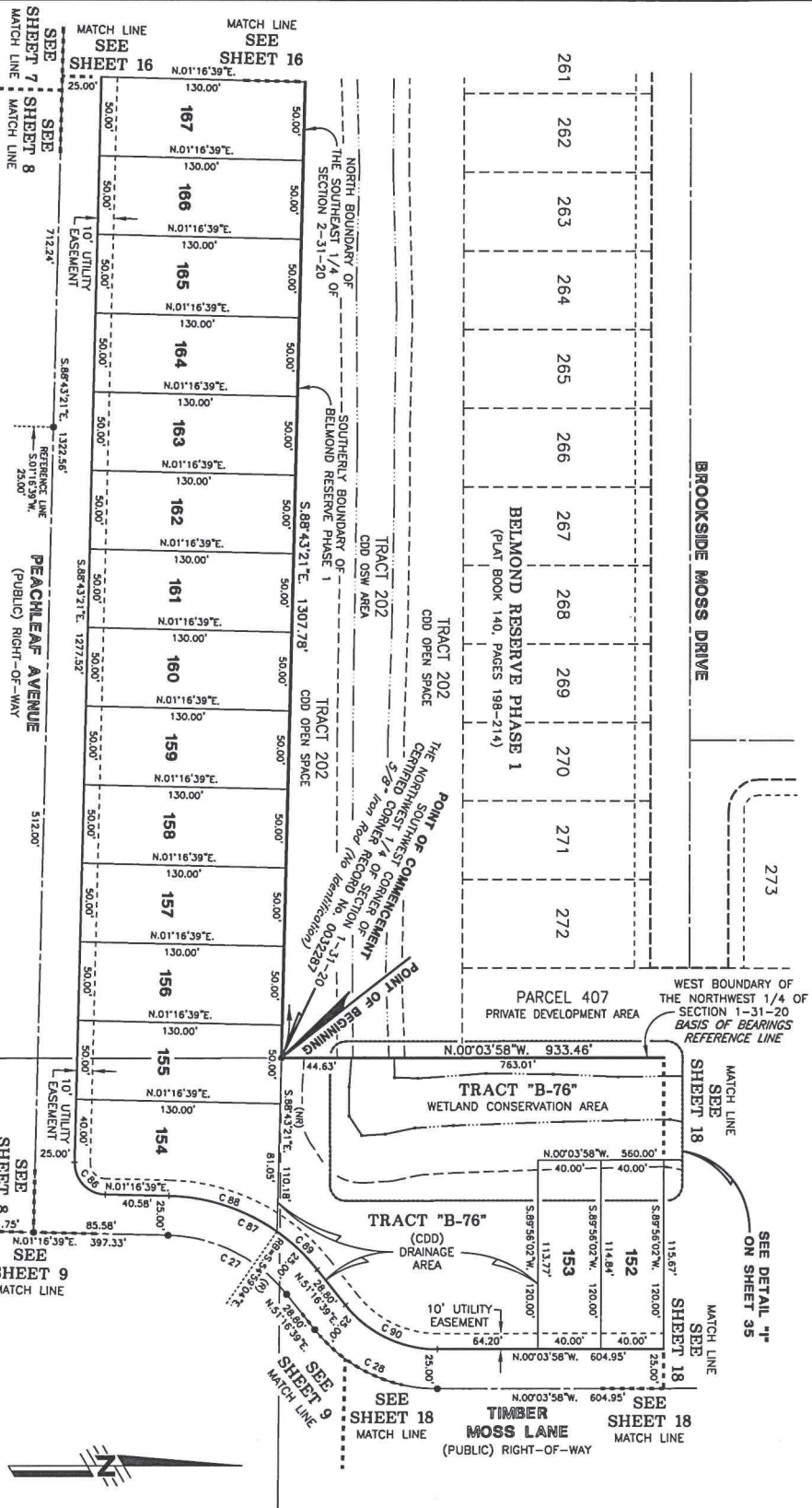
SEE SHEET 3 OF 38
FOR BASIS OF BEARINGS

SCALE: 1" = 50'
0 50 100
SCALE IN FEET

SHEET 16 OF 38 SHEETS

TRIPLE CREEK VILLAGE D

SECTIONS 1 AND 2, TOWNSHIP 31 SOUTH, RANGE 20 EAST AND
SECTION 36, TOWNSHIP 30 SOUTH, RANGE 20 EAST HILLSBOROUGH COUNTY, FLORIDA



- LEGEND**
1. Symbol # indicates Permanent Reference Monument
 2. Symbol # indicates Concrete Monument LB7778 unless otherwise noted
 3. Symbol # indicates (P.R.M.) Official Permanent Reference Monument
 4. Symbol # indicates (P.C.P.) Permanent Control Point LB7778
 5. Symbol # indicates rodent line
 6. (NR) indicates non-rodent line
 7. R.R. - Reference Bearing
 8. E.P.C.H.C. - Environmental Protection Commission of Hillsborough County Wetland Line
 9. W.C.A.S.L. - Wetland Conservation Area Setback Line
 10. (CDD) - Triple Creek Community Development District
 11. D.A.(P)D.E. - Drainage Area and (Public) Drainage Easement

CURVE DATA TABLE

NO.	RADIUS	DELTA	ASC	CURVED	BEARING
27	100.00	50.0000	81.27	84.52	N.67°16'39"E
28	100.00	50.0000	81.27	84.52	N.67°16'39"E
29	100.00	50.0000	81.27	84.52	N.67°16'39"E
30	100.00	50.0000	81.27	84.52	N.67°16'39"E
31	100.00	50.0000	81.27	84.52	N.67°16'39"E
32	100.00	50.0000	81.27	84.52	N.67°16'39"E
33	100.00	50.0000	81.27	84.52	N.67°16'39"E
34	100.00	50.0000	81.27	84.52	N.67°16'39"E
35	100.00	50.0000	81.27	84.52	N.67°16'39"E
36	100.00	50.0000	81.27	84.52	N.67°16'39"E
37	100.00	50.0000	81.27	84.52	N.67°16'39"E
38	100.00	50.0000	81.27	84.52	N.67°16'39"E
39	100.00	50.0000	81.27	84.52	N.67°16'39"E
40	100.00	50.0000	81.27	84.52	N.67°16'39"E
41	100.00	50.0000	81.27	84.52	N.67°16'39"E
42	100.00	50.0000	81.27	84.52	N.67°16'39"E
43	100.00	50.0000	81.27	84.52	N.67°16'39"E
44	100.00	50.0000	81.27	84.52	N.67°16'39"E
45	100.00	50.0000	81.27	84.52	N.67°16'39"E
46	100.00	50.0000	81.27	84.52	N.67°16'39"E
47	100.00	50.0000	81.27	84.52	N.67°16'39"E
48	100.00	50.0000	81.27	84.52	N.67°16'39"E
49	100.00	50.0000	81.27	84.52	N.67°16'39"E
50	100.00	50.0000	81.27	84.52	N.67°16'39"E



SEE SHEET 3 OF 38
FOR BASIS OF BEARINGS

SEE SHEET 2 OF 38
FOR WETLAND
CONSERVATION AREA NOTE

SEE SHEET 2 OF 38
FOR PARALLEL OFFSET
DIMENSIONS NOTE

AMERITTY, INC.
LAND SURVEYING & MAPPING
Certificate of Authorization Number LB 7778
3010 W. Kees Street, Suite 150
Tampa, FL 33609
PHONE (813) 281-5800

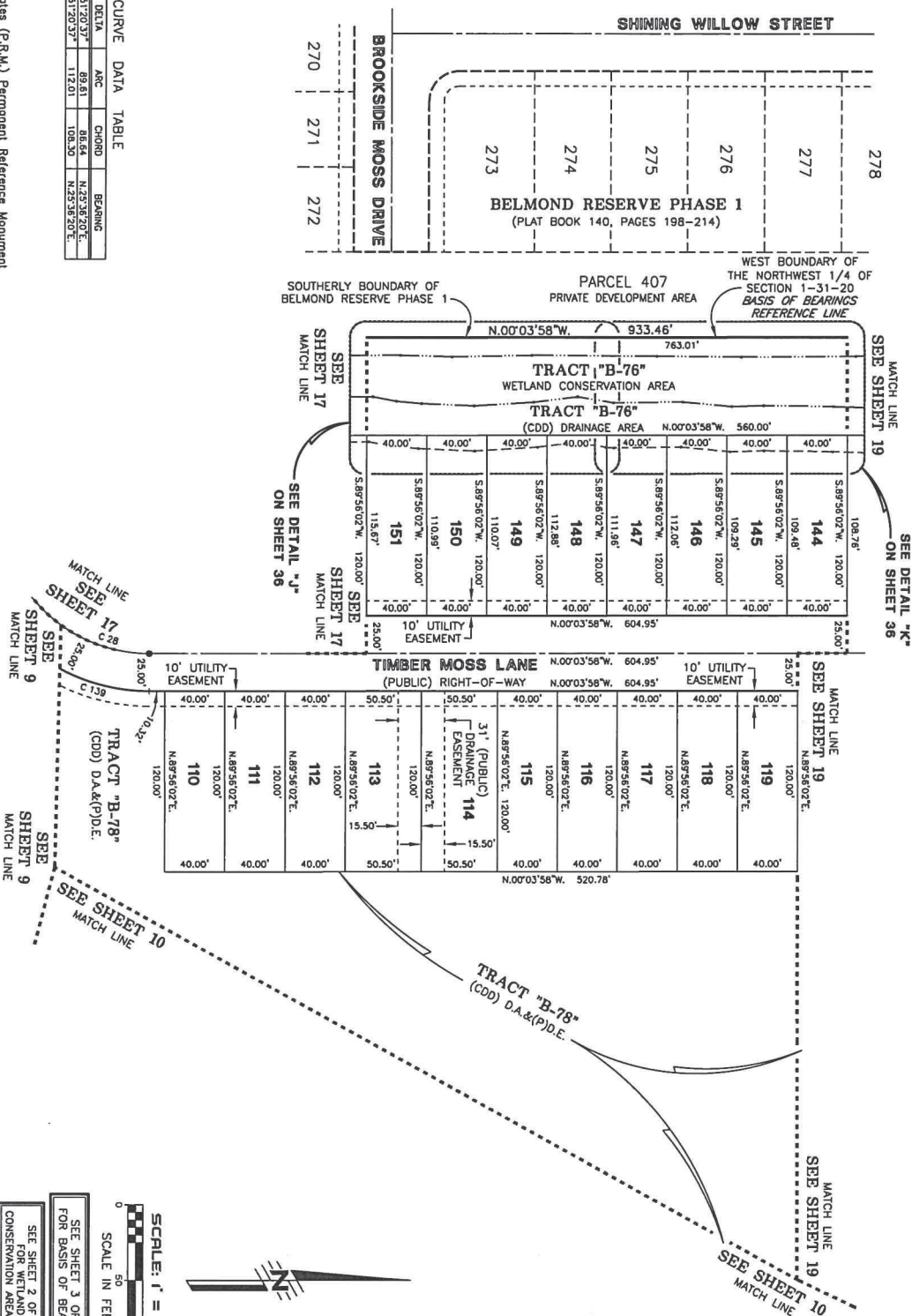
SECTIONS 1 AND 2, TOWNSHIP 31 SOUTH, RANGE 20 EAST AND SECTION 36, TOWNSHIP 30 SOUTH, RANGE 20 EAST HILLSBOROUGH COUNTY, FLORIDA

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
28	100.00	51°20'37"	89.61	86.64	N.25°36'20"E.
139	125.00	51°20'37"	112.01	108.30	N.25°36'20"E.

CURVE DATA TABLE

LEGEND

1. Symbol indicates (P.R.M.) Permanent Monument 4+44
2. Symbol indicates (P.R.M.) Offset Permanent Reference Monument 4+44
3. Symbol indicates (P.C.P.) Permanent Control Point LB7778
4. (R) indicates radial line
5. (NR) indicates non-radial line
6. RB - Reference Bearing
7. O.R. - Official Records Book
8. E.P.C.H.C. - Environmental Protection Commission of Hillsborough County Wetland Line
9. W.C.A.S.L. - Wetland Conservation Area Setback Line
10. (D.C.) - Tule Creek Community Development District
11. (D&D)(P.D.E.) - Drainage Area and (Public) Damage Easement



SCALE: 1" = 50'

SCALE IN FEET

SEE SHEET 3 OF 38
FOR BASIS OF BEARINGS

SEE SHEET 2 OF 38
FOR WETLAND
CONSERVATION AREA NOTE

SEE SHEET 2 OF 38
FOR PARALLEL OFFSET
DIMENSIONS NOTE

AMERRITT, INC.

LAND SURVEYING & MAPPING
Certificate of Authorization Number LB 7778

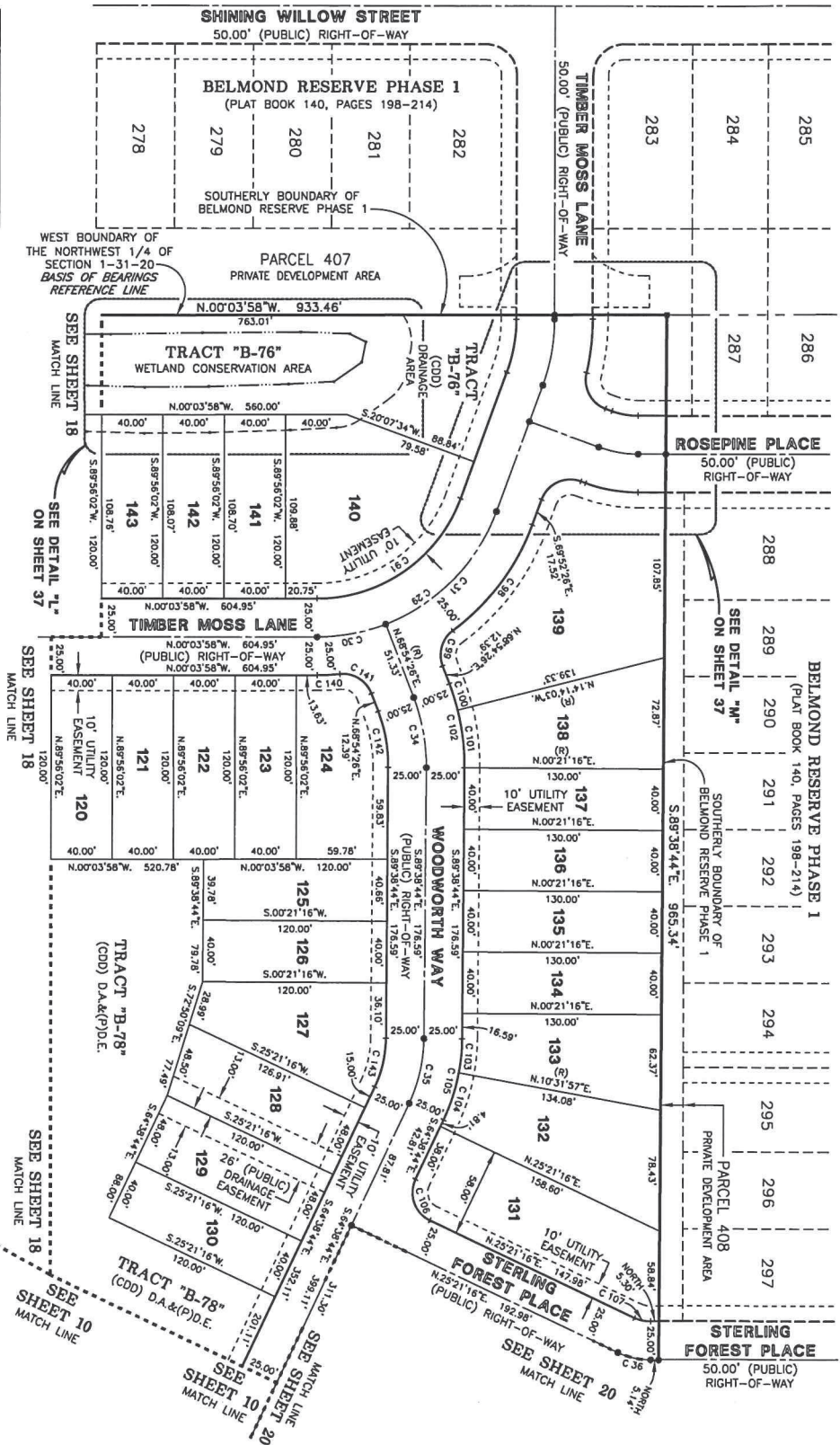
Tampa, FL 33609
PHONE (813) 221-5200

SHEET 18 OF 38 SHEETS

TRIPLE CREEK VILLAGE Q

SECTIONS 1 AND 2, TOWNSHIP 31 SOUTH, RANGE 20 EAST AND
SECTION 36, TOWNSHIP 30 SOUTH, RANGE 20 EAST HILLSBOROUGH COUNTY, FLORIDA

PLAT BOOK PAGE



CARDINAL BEARING NOTE:
Cardinal bearings were shown on this plat to have the same bearings as follows:
NORTH - N.00°00'00"E.
SOUTH - S.00°00'00"W.
EAST - E.90°00'00"W.
WEST - W.90°00'00"E.

LEGEND

1. Symbol indicates (P.R.M.) Permanent Reference Monument.
2. Symbol indicates (C.M.) Concrete Monument.
3. Symbol indicates (P.C.M.) Permanent Control Point.
4. (R) indicates rod line.
5. (NR) indicates non-rod line.
6. RB - Reference Bearing.
7. E.P.C.H.C. - Environmental Protection Commission of Hillsborough County Wetland Line.
8. W.C.A.S.L. - Wetland Conservation Area Setback Line.
9. (CDD) - Triple Creek Community Development District.
10. (D.A.K.(P).E. - Drainage Area and (Public) Drainage Easement.

CURVE DATA TABLE

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
29	125.00	68°48'28"	152.30	143.05	N.45°48'12"W.
30	125.00	21°01'36"	45.87	45.62	N.10°44'46"W.
31	125.00	48°46'52"	106.42	103.24	N.45°39'00"W.
32	125.00	21°26'50"	46.78	46.52	N.7°39'51"E.
33	100.00	25°00'00"	43.63	43.39	N.7°20'44"E.
34	100.00	25°00'00"	43.63	43.39	N.7°20'44"E.
35	100.00	25°00'00"	43.63	43.39	N.7°20'44"E.
36	100.00	25°00'00"	43.63	43.39	N.7°20'44"E.
37	100.00	25°00'00"	43.63	43.39	N.7°20'44"E.
38	100.00	25°00'00"	43.63	43.39	N.7°20'44"E.
39	100.00	25°00'00"	43.63	43.39	N.7°20'44"E.
40	100.00	25°00'00"	43.63	43.39	N.7°20'44"E.
41	100.00	25°00'00"	43.63	43.39	N.7°20'44"E.
42	100.00	25°00'00"	43.63	43.39	N.7°20'44"E.
43	100.00	25°00'00"	43.63	43.39	N.7°20'44"E.
44	100.00	25°00'00"	43.63	43.39	N.7°20'44"E.
45	100.00	25°00'00"	43.63	43.39	N.7°20'44"E.
46	100.00	25°00'00"	43.63	43.39	N.7°20'44"E.
47	100.00	25°00'00"	43.63	43.39	N.7°20'44"E.
48	100.00	25°00'00"	43.63	43.39	N.7°20'44"E.
49	100.00	25°00'00"	43.63	43.39	N.7°20'44"E.
50	100.00	25°00'00"	43.63	43.39	N.7°20'44"E.



SCALE: 1" = 50'

SCALE IN FEET

AMERITTY, INC.
LAND SURVEYING & MAPPING
Certificate of Authorization Number LB 7778
3010 W. Lake Street, Suite 150
PHOENIX, AZ 85029

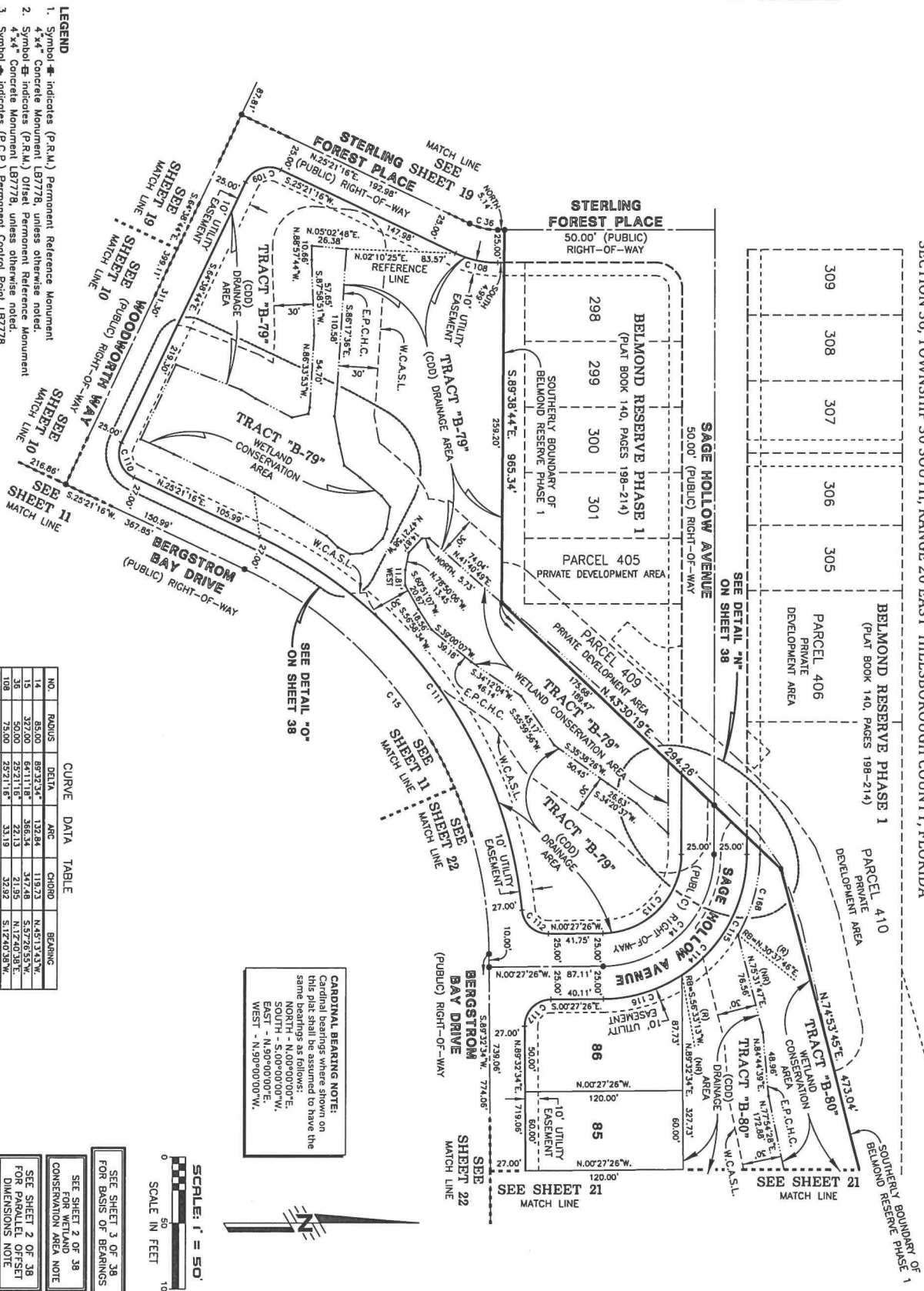
- SEE SHEET 3 OF 38 FOR BASIS OF BEARINGS
- SEE SHEET 2 OF 38 FOR CONSERVATION AREA NOTE
- SEE SHEET 2 OF 38 FOR PARALLEL OFFSET DIMENSIONS NOTE

SHEET 19 OF 38 SHEETS

TRIPLE CREEK VILLAGE D

SECTIONS 1 AND 2, TOWNSHIP 31 SOUTH, RANGE 20 EAST AND
SECTION 36, TOWNSHIP 30 SOUTH, RANGE 20 EAST HILLSBOROUGH COUNTY, FLORIDA

PLAT BOOK PAGE



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PHOENIX, AZ 85029

SHEET 20 OF 38 SHEETS

TRIPLE CREEK VILLAGE Q

SECTIONS 1 AND 2, TOWNSHIP 31 SOUTH, RANGE 20 EAST AND SECTION 36, TOWNSHIP 30 SOUTH, RANGE 20 EAST HILLSBOROUGH COUNTY, FLORIDA

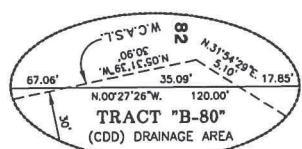
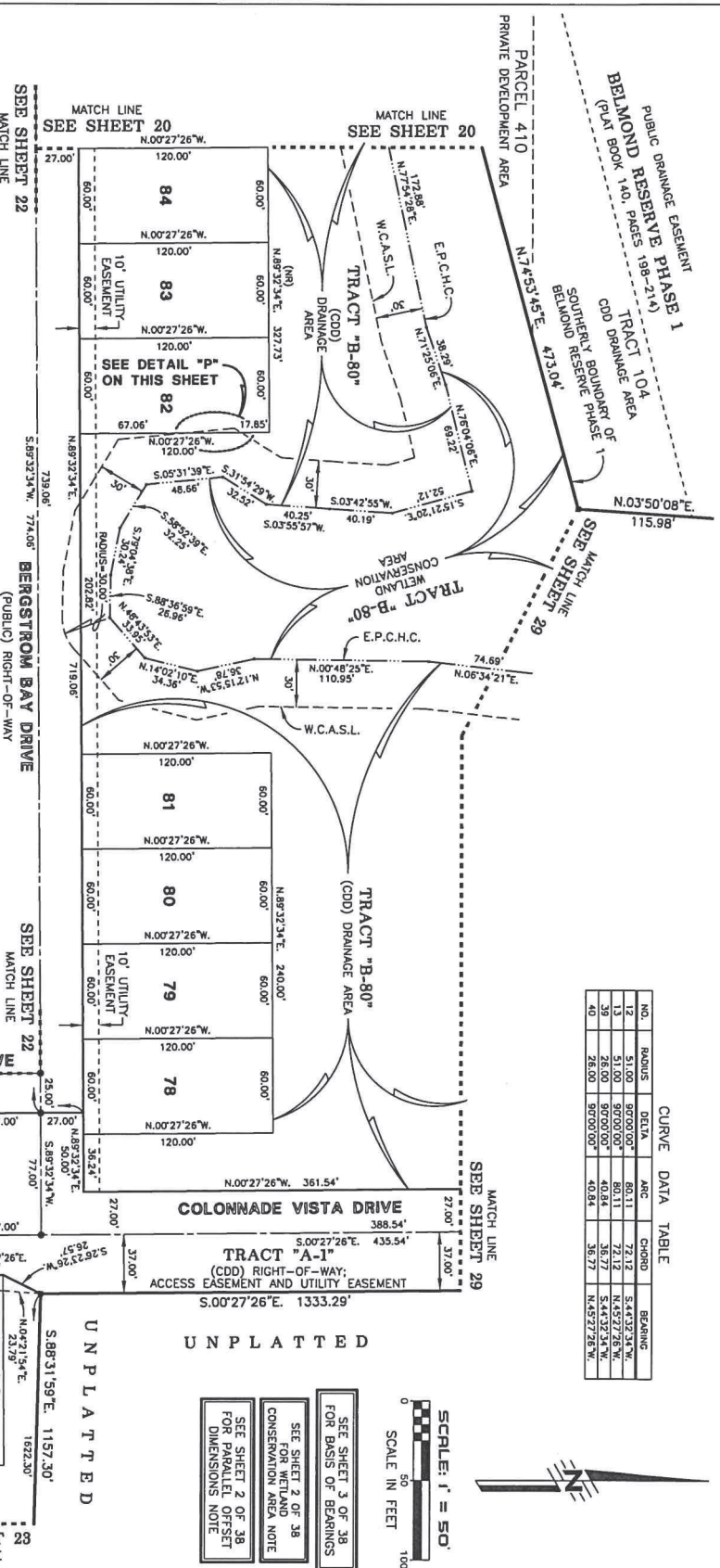
CURVE DATA TABLE

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
12	51.00'	90°00'00"	60.11'	72.12'	S.44°32'34"W.
13	51.00'	90°00'00"	60.11'	72.12'	N.45°27'26"W.
39	26.00'	90°00'00"	40.84'	36.77'	S.44°32'34"W.
40	26.00'	90°00'00"	40.84'	36.77'	N.45°27'26"W.



SCALE: 1" = 50'
SCALE IN FEET

SEE SHEET 3 OF 38 FOR BASIS OF BEARINGS
SEE SHEET 2 OF 38 FOR WETLAND CONSERVATION AREA NOTE
SEE SHEET 2 OF 38 FOR PARALLEL OFFSET DIMENSIONS NOTE



- LEGEND**
1. Symbol \equiv indicates (P.R.M.) Permanent Reference Monument
 2. Symbol \equiv indicates (P.R.M.) Offset Permanent Reference Monument
 3. Symbol \equiv indicates (P.C.P.) Permanent Control Point LB7778
 4. (R) indicates radial line
 5. (NR) indicates non-radial line
 6. RB - Reference Bearing
 7. O.R. - Official Records Book
 8. E.P.C.H.C. - Environmental Protection Commission of Hillsborough County Wetland Line
 9. W.C.A.S.L. - Wetland Conservation Area Setback Line
 10. (CDD) Triple Creek Community Development District
 11. D.A.(P)D.E. - Drainage Area and (Public) Drainage Easement

DETAIL "P"
NOT TO SCALE
(SEE THIS SHEET)

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LAND SURVEYING & MAPPING
Certificate of Authorization Number LB 7778
3010 W. Lake Street, Suite 150
Tampa, Florida 33609
PHONE (813) 221-5000

TRIPLE CREEK VILLAGE D

SECTIONS 1 AND 2, TOWNSHIP 31 SOUTH, RANGE 20 EAST AND
SECTION 36, TOWNSHIP 30 SOUTH, RANGE 20 EAST, HILLSBOROUGH COUNTY, FLORIDA

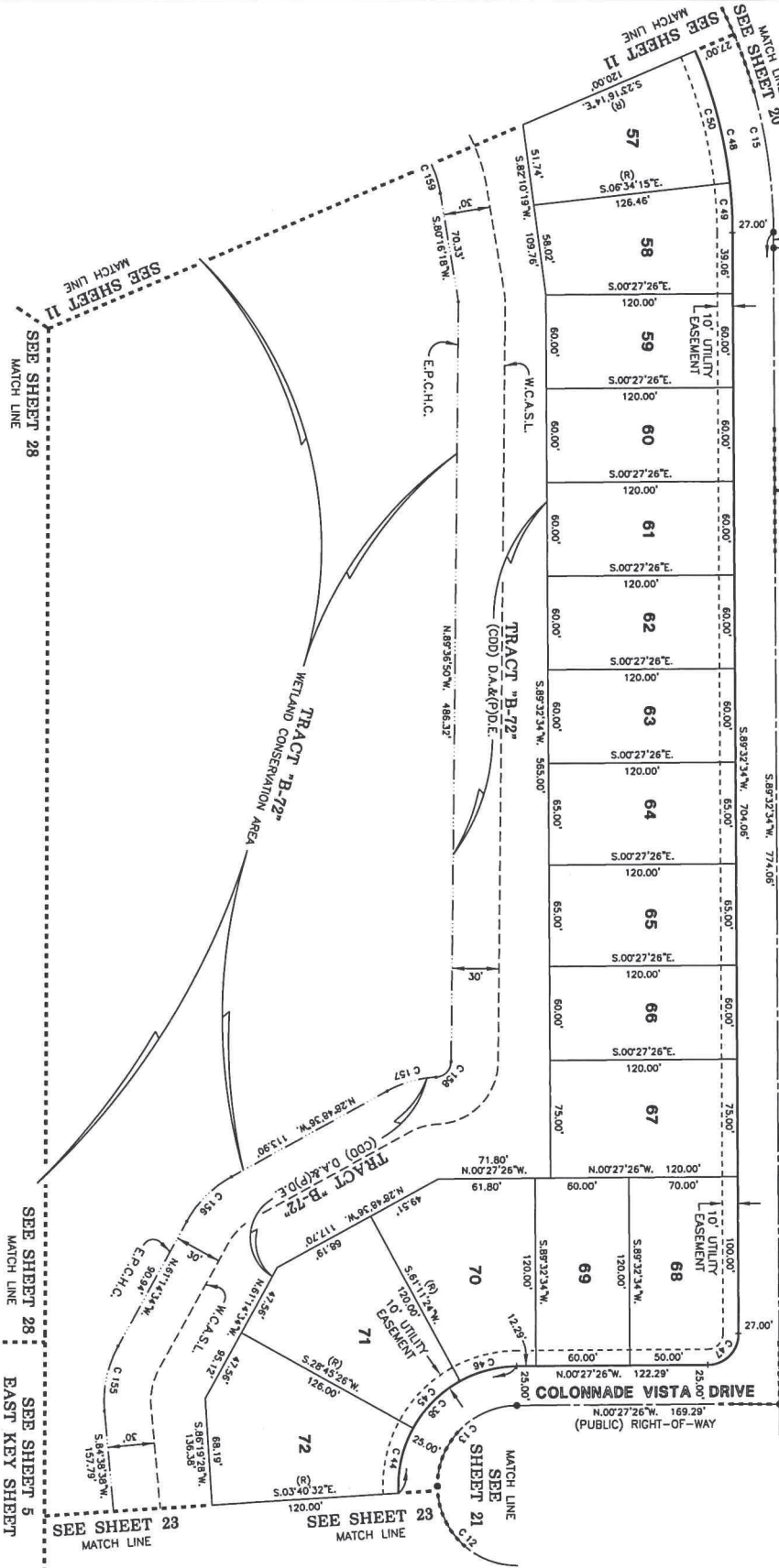
SAGE
HOLLOW
AVENUE

MATCH LINE
SEE SHEET 20; SEE SHEET 21

BERGSTROM BAY DRIVE
(PUBLIC) RIGHT-OF-WAY

MATCH LINE
SEE SHEET 21

COLONNADE VISTA DRIVE
(PUBLIC) RIGHT-OF-WAY



LEGEND

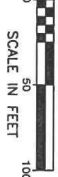
1. Symbol \blacksquare indicates (P.R.M.) Permanent Reference Monument
2. Symbol \blacksquare indicates (P.R.M.) Offset Permanent Reference Monument
3. Symbol \blacksquare indicates (P.C.P.) Permanent Control Point LB7778
4. (R) indicates radial line
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9. W.C.A.S.L. - Wetland Conservation Area Setback Line
10. (CDD) - Triple Creek Community Development District
11. D.A.K.(P)D.E. - Drainage Area and (Public) Drainage Easement

CURVE DATA TABLE

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
12	51.00	60.0000°	80.11	72.12	S.45°23'12\"
13	51.00	60.0000°	80.11	72.12	N.44°37'12\"
14	327.00	64.1118°	366.34	347.48	S.57°28'55\"
38	76.00	93.1305°	123.65	110.46	N.47°03'59\"
44	76.00	32.7538°	43.02	42.45	N.77°27'33\"
45	76.00	32.7538°	43.02	42.45	N.45°01'55\"
46	76.00	28.7110°	37.61	37.23	N.14°38'01\"
47	76.00	28.7110°	37.61	37.23	S.57°27'42\"
48	300.00	64.1118°	336.95	320.00	S.68°29'10\"
49	300.00	06.0648°	32.01	32.00	S.75°04'46\"
50	300.00	16.4159°	67.44	67.13	S.75°04'46\"
155	72.00	34.0648°	42.87	42.24	N.78°17'58\"
156	72.00	32.7538°	40.76	40.21	N.45°01'55\"
157	72.00	26.0753°	32.44	32.45	N.15°44'48\"
158	72.00	26.0753°	32.44	32.45	S.57°27'42\"
159	76.00	48.5307°	67.64	62.99	S.55°49'44\"



SCALE: 1" = 50'



SEE SHEET 3 OF 38
FOR BASIS OF BEARINGS

SEE SHEET 2 OF 38
FOR WETLAND
CONSERVATION AREA NOTE

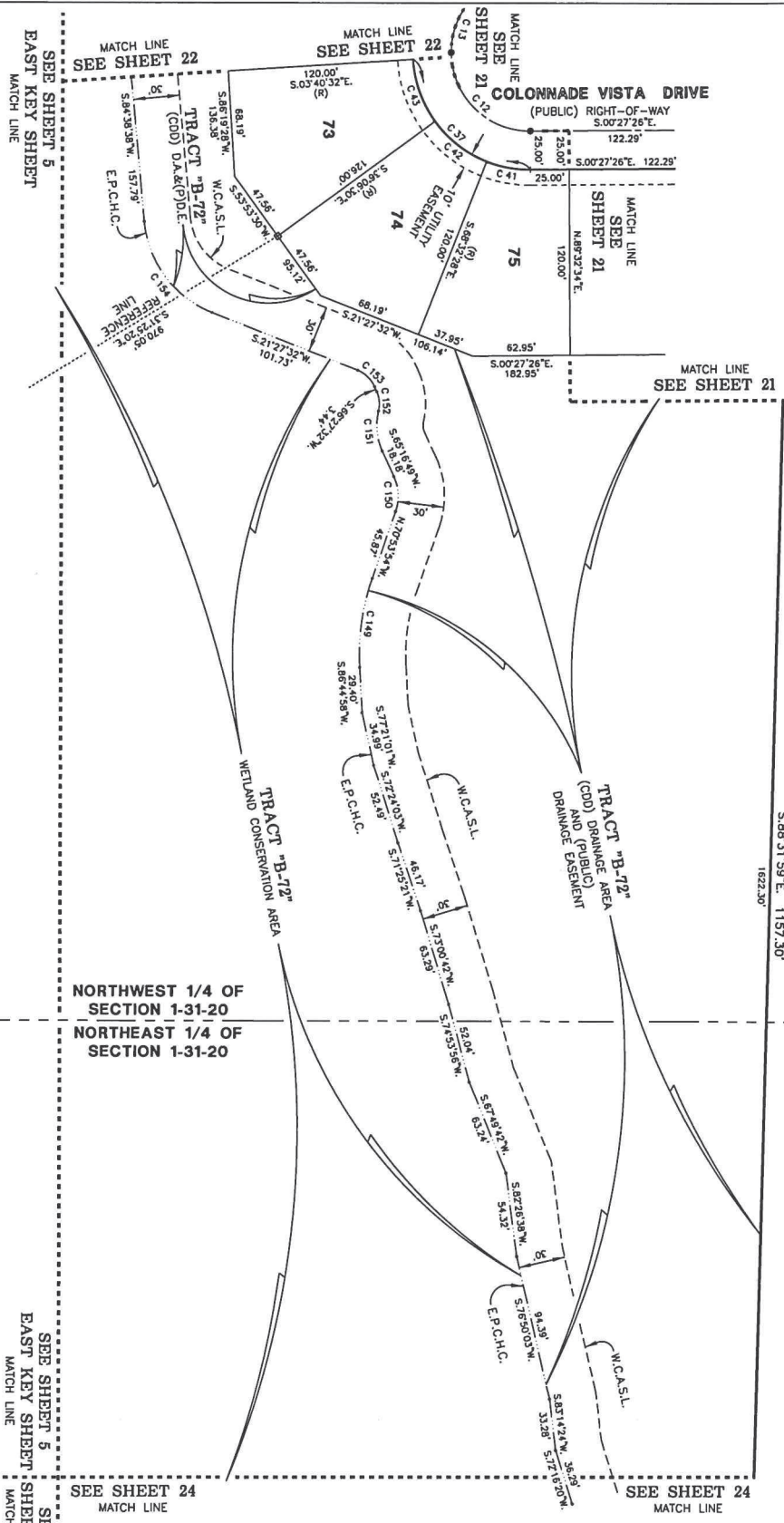
SEE SHEET 2 OF 38
FOR PARALLEL OFFSET
DIMENSIONS NOTE

AMERITTY, INC.
LAND SURVEYING & MAPPING
Certificate of Authorization Number LA 7778
3010 W. Lake Street, Suite 150
PHOENIX, AZ 85018

TRIPLE CREEK VILLAGE Q
SECTIONS 1 AND 2, TOWNSHIP 31 SOUTH, RANGE 20 EAST AND
SECTION 36, TOWNSHIP 30 SOUTH, RANGE 20 EAST, HILLSBOROUGH COUNTY, FLORIDA

U N P L A T T E D

U N P L A T T E D



LEGEND

- 1. Symbol \bullet indicates (P.R.M.) Permanent Reference Monument
- 2. Symbol \circ indicates (P.R.M.) Offset Permanent Reference Monument
- 3. Symbol \circ indicates (P.C.P.) Permanent Control Point LB7778
- 4. (R) indicates radial line
- 5. (NR) indicates non-radial line
- 6. RB - Reference Bearing
- 7. O.R. - Official Records Book
- 8. E.P.C.H.C. - Environmental Protection Commission of Hillsborough County Wetland Line
- 9. W.C.A.S.L. - Wetland Conservation Area Setback Line
- 10. (CDD) - Triple Creek Community Development District
- 11. D.A.&(P)D.E. - Drainage Area and (Public) Drainage Easement

CURVE DATA TABLE

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
12	51.00	90°00'00"	80.11	72.12	S.42°33'13"W
13	51.00	90°00'00"	80.11	72.12	N.42°33'26"W
37	76.00	86°46'54"	115.11	104.42	S.42°36'03"W
41	76.00	21°54'58"	29.07	28.89	S.10°20'03"W
42	76.00	32°25'58"	43.02	42.45	S.37°40'31"W
43	76.00	32°25'58"	43.02	42.45	S.37°05'29"W
149	150.00	22°21'08"	58.52	56.15	N.87°04'28"W
150	150.00	22°21'08"	58.52	56.15	N.87°04'28"W
151	40.00	32°59'24"	26.52	26.04	S.84°11'31"W
152	20.00	36°48'41"	12.85	12.63	S.84°51'52"W
153	20.00	45°00'00"	15.71	15.31	S.43°57'32"W
154	70.00	63°11'05"	77.19	73.34	S.53°03'05"W



SCALE: 1" = 50'
SCALE IN FEET
0 50 100

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Certificate of Authorization Number LA 7778
3010 W. Lake Street, Suite 150
Palm Beach, FL 33411-5900

- SEE SHEET 3 OF 38
FOR BASIS OF BEARINGS
- SEE SHEET 2 OF 38
CONSERVATION AREA NOTE
- SEE SHEET 2 OF 38
FOR PARALLEL OFFSET
DIMENSIONS NOTE

TRIPLE CREEK VILLAGE Q

SECTIONS 1 AND 2, TOWNSHIP 31 SOUTH, RANGE 20 EAST AND SECTION 36, TOWNSHIP 30 SOUTH, RANGE 20 EAST, HILLSBOROUGH COUNTY, FLORIDA

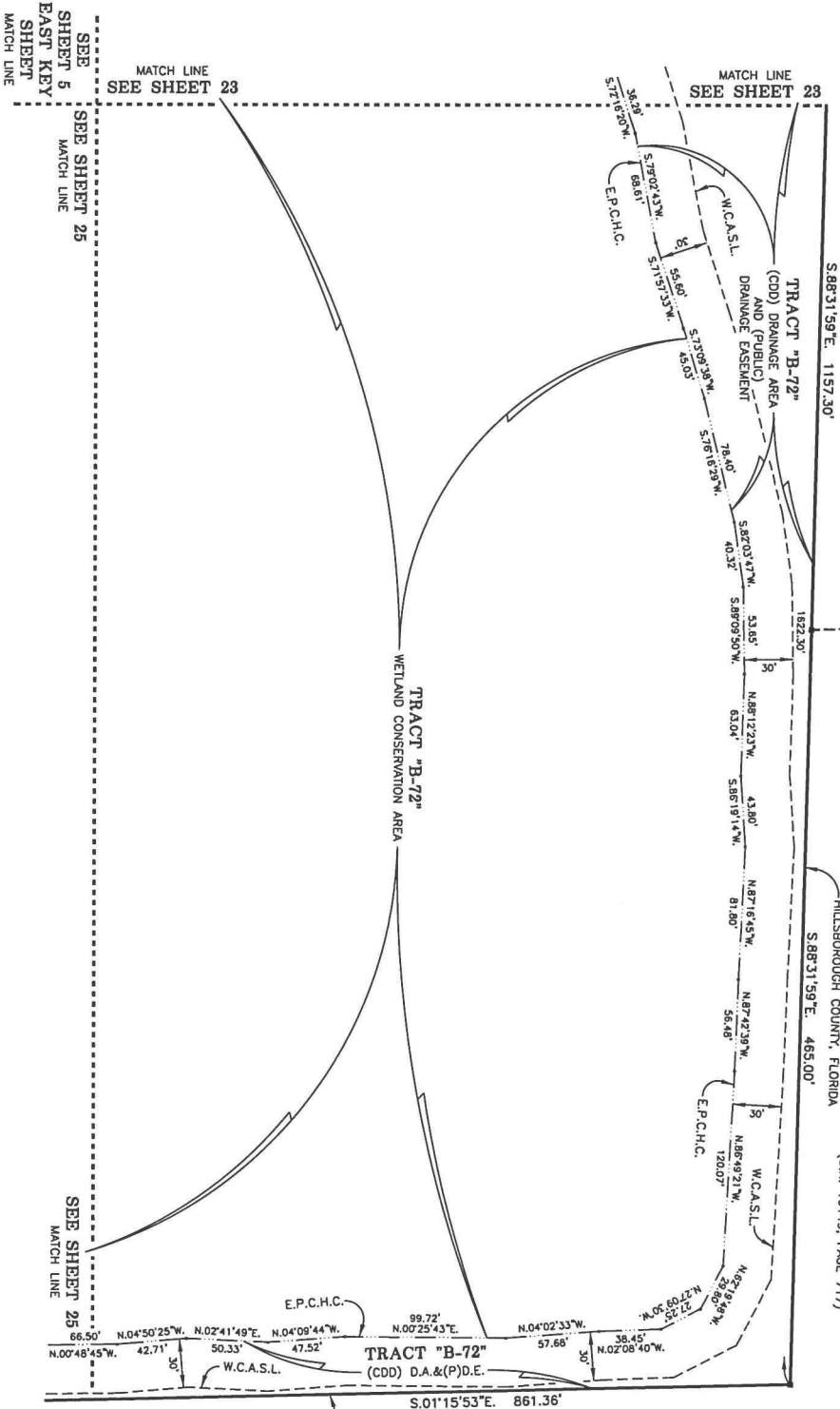
UNPLATTED

UNPLATTED

UNPLATTED

QUIT CLAIM DEED TO HILLSBOROUGH COUNTY, FLORIDA (O.R. 16149, PAGE 717)

WESTERLY BOUNDARY OF QUIT CLAIM DEED TO HILLSBOROUGH COUNTY, FLORIDA (O.R. 16149, PAGE 717)



LEGEND

1. Symbol indicates (P.R.M.) Permanent Reference Monument
2. Symbol indicates (P.R.M.) Concrete Monument LB7778, unless otherwise noted.
3. Symbol indicates (P.R.M.) Concrete Monument LB7778, unless otherwise noted.
4. Symbol indicates (P.C.P.) Permanent Control Point LB7778
5. (NR) indicates non-radial line
6. (R) indicates radial line
7. RB - Reference Bearing
8. E.P.C.H.C. - Environmental Protection Commission of Hillsborough County Wetland Line
9. W.C.A.S.L. - Wetland Conservation Area Setback Line
10. (CDD) - Triple Creek Community Development District
11. D.A. & (P)D.E. - Drainage Area and (Public) Drainage Easement

SEE SHEET 3 OF 38 FOR BASIS OF BEARINGS

SEE SHEET 2 OF 38 FOR WETLAND CONSERVATION AREA NOTE

SEE SHEET 2 OF 38 FOR PARALLEL OFFSET DIMENSIONS NOTE

AMERITTY, INC.
LAND SURVEYING & MAPPING
Certificate of Authorization Number LB 7778
3010 W. Lake Street, Suite 150
PHOENIX, AZ 85029

SECTIONS 1 AND 2, TOWNSHIP 31 SOUTH, RANGE 20 EAST AND SECTION 36, TOWNSHIP 30 SOUTH, RANGE 20 EAST HILLSBOROUGH COUNTY, FLORIDA

MATCH LINE
SEE
SHEET 28
MATCH LINE
SEE SHEET 24

MATCH LINE
SEE SHEET

MATCH LINE
SEE SHEET 5
EAST KEY SHEET

MATCH LINE
SEE SHEET 5
EAST KEY SHEET

MATCH LINE
SEE SHEET 26

MATCH LINE
SEE SHEET 26

TRACT "B-72"
WETLAND CONSERVATION AREA

**NORTHEAST 1/4 OF
SECTION 1-31-20
SOUTHEAST 1/4 OF
SECTION 1-31-20**

NORTHERLY BOUNDARY OF
TRIPLE CREEK VILLAGE R.
1089.29'
S. 76° 50' 44" W. 2392.29'

TRIPLE CREEK VILLAGE R
(PLAT BOOK ---, PAGES ---)

TRACT "B-72
WETLAND
CONSERVATION
AREA

TRACT "B-72"
WETLAND
CONSERVATION
AREA

QUIT CLAIM DEED TO
HILLSBOROUGH COUNTY, FLORIDA
(O.R. 16149, PAGE 717)

UNPLATTED

WESTERLY BOUNDARY OF
QUIT CLAIM DEED TO
ILLSBOROUGH COUNTY, FLORIDA

E.P.C.H.C.

TRACT "B-72
(CDD) D.A.&(P)D.E

S.01°15'53"E. 861.36'

QUIT CLAIM DEED TO
HILLSBOROUGH COUNTY, FLORIDA
(O.R. 16149, PAGE 717)

UNPLATTED

WESTERLY BOUNDARY OF
QUIT CLAIM DEED TO
ILLSBOROUGH COUNTY, FLORIDA




E.P.C.H.C.

TRACT "B-72
(CDD) D.A.&(P)D.E

S.01°15'53"E. 861.36'

QUIT CLAIM DEED TO
HILLSBOROUGH COUNTY, FLORIDA
(O.R. 16149, PAGE 717)

UNPLATTED

1. Symbol  indicates (P.R.M.) Permanent Reference Monument 4+54 Concrete Monument LB7778, unless otherwise noted.
2. Symbol  indicates (P.R.M.) Offset Permanent Reference Monument 4+54 Concrete Monument LB7778, unless otherwise noted.
3. Symbol  indicates (P.C.P.) Permanent Control Point LB7778
4. (R) indicates radial line
5. (NR) indicates non-radial line
6. RB – Reference Bearing
7. O.R. – Official Records Book
8. E.C.H.C. – Environmental Protection Commission of Hillsborough County Wetland Line
9. W.C.A.S.L. – Wetland Conservation Area Setback Line
10. DAD(P)DE – Triple Creek Community Development District Drainage Area and (Public) Drainage Easement

AMERRITY, INC.
LAND SURVEYING & MAPPING
Certificate of Authorization Number 18-2778

3010 W. Azeele Street, Suite 150
Columbus, GA 31906-1110

PHONE (813) 221-5200

SHEET 25 OF 38 SHEETS

SEE SHEET 3 OF 38
FOR BASIS OF BEARINGS

SEE SHEET 2 OF 38
FOR WELAND
CONSERVATION AREA NOTE

SEE SHEET 2 OF 38
FOR PARALLEL OFFSET
DIMENSIONS NOTE

SEE SHEET 2 OF 38
FOR WETLAND
CONSERVATION AREA NOTE

SEE SHEET 2 OF 38
FOR PARALLEL OFFSET
DIMENSIONS NOTE

SCALE: 1" = 50'



A horizontal scale bar with a checkered pattern at the left end. It is marked with '0' at the left, '50' in the middle, and '100' at the right. Below the bar, the text 'SCALE IN FEET' is written.

PLAT BOOK	PAGE
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SECTIONS 1 AND 2, TOWNSHIP 31 SOUTH, RANGE 20 EAST AND SECTION 36, TOWNSHIP 30 SOUTH, RANGE 20 EAST HILLSBOROUGH COUNTY, FLORIDA

MATCH LINE
SEE SHEET 5
EAST KEY SHEET

MATCH LINE
SEE SHEET 5
EAST KEY SHEET

MATCH LINE
SEE SHEET 28

SEE SHEET
MATCH LINE

MATCH LINE : MATCH LINE
SEE SHEET 27 : SEE SHEET 28

SEE SHEET
MATCH LINE

MATCH LINE
SEE SHEET 27

TRACT "B-72"
WETLAND
CONSERVATION
AREA

TRIPLE CREEK VILLAGE R
(PLAT BOOK ---, PAGES ---)

TRACT "B-72"
WETLAND
CONSERVATION
AREA

TRACT "B-72"
AND CONSERVATION AREA

**SOUTHWEST 1/4 OF
SECTION 1-31-20**
**SOUTHEAST 1/4 OF
SECTION 1-31-20**

**NORTHWEST 1/4 OF
SECTION 1-31-20**
**NORTHEAST 1/4 OF
SECTION 1-31-20**

CERTIFIED CORNER RECORD No. 1-31-20
No Corner set or found (falls in lake)

5.7650
- NORTHERLY BOUNDARY OF
TRIPLE CREEK VILLAGE R

TRACT "B-72"
WETLAND
CONSERVATION
AREA

LEGEND

1. Symbol α indicates (P.M.M.) Permanent Reference Monument
2. Symbol α^* indicates (P.M.M.) α Offset Permanent Reference Monument
3. $4 \times 4'$ Concrete Monument LB7778, unless otherwise noted.
4. (R) indicates (P.C.P.) Permanent Control Point LB7778
5. (NR) indicates radial line
6. (NR) indicates non-radial line
7. RB - Reference Bearing
8. O.R. - Official Records Book
9. E.P.O.H.C. - Environmental Protection Commission of Hillsborough County
10. W.C.A.S.L. - Wetland Conservation Area Sublock Line
11. (CDD) - Tripe Creek Community Development District
12. D.A.R.P.(D.E.) - Drainage Area and (Public) Drainage Easement

PLAT BOOK

PAGE

AMERRITY, INC.

LAND SURVEYING & MAPPING
Certificate of Authorization Number LB 7778
3010 W. Arzoo Street Suite 150

Tampa, FL 33609
PHONE (813) 221-5200

SHEET 26 OF 38 SHEETS

SEE SHEET 3 OF 38
FOR BASIS OF BEARINGS

SEE SHEET 2 OF 38
FOR WETLAND
CONSERVATION AREA NOTE

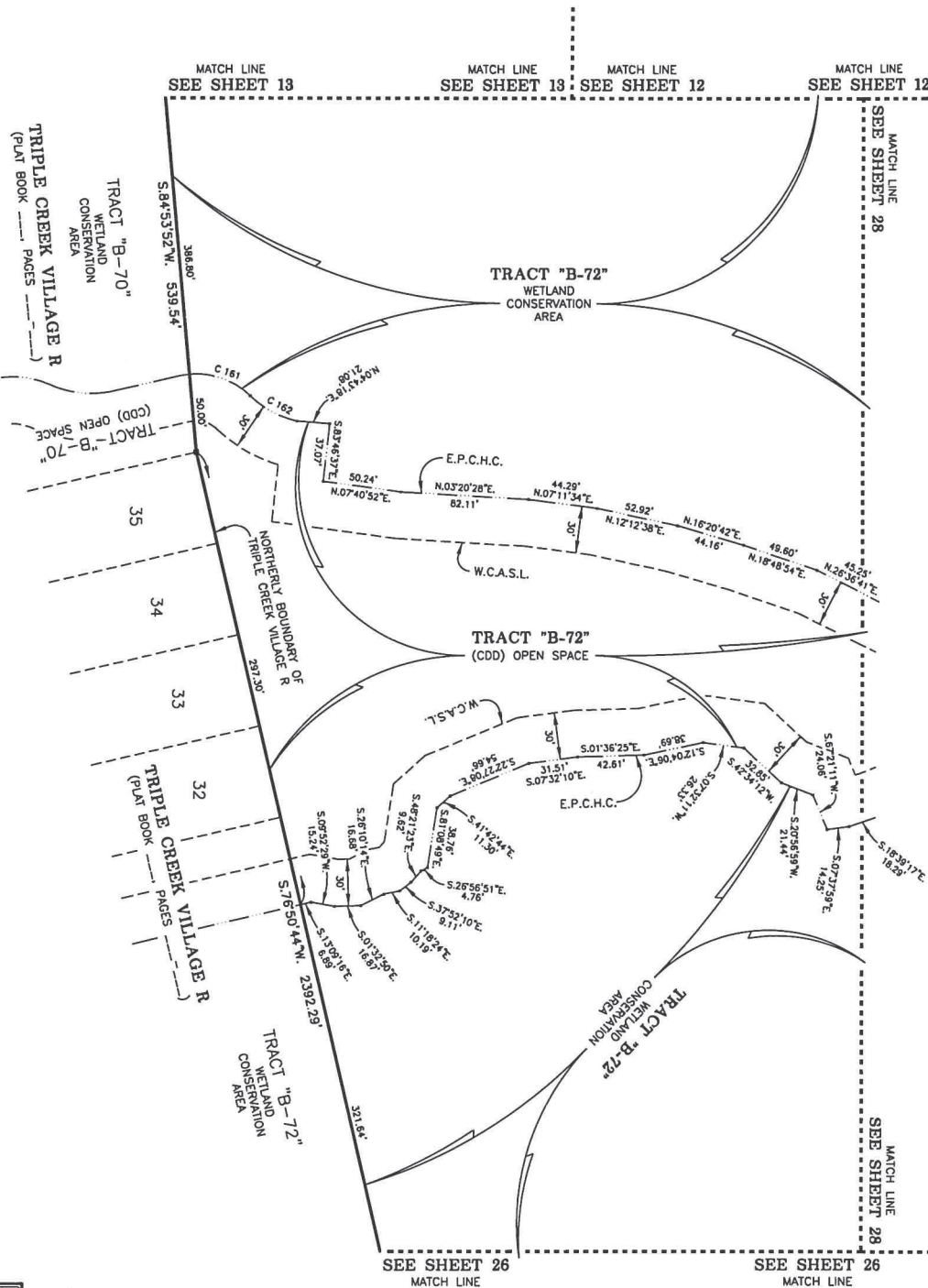
SEE SHEET 2 OF 3
FOR PARALLEL OFFS
DIMENSIONS NOTE



SCALE: 1" = 50'

0 50 100
SCALE IN FEET

TRIPLE CREEK VILLAGE D
SECTIONS 1 AND 2, TOWNSHIP 31 SOUTH, RANGE 20 EAST AND
SECTION 36, TOWNSHIP 30 SOUTH, RANGE 20 EAST HILLSBOROUGH COUNTY, FLORIDA



LEGEND

- 1. Symbol indicates (P.R.M.) Permanent Reference Monument
- 2. Symbol indicates (C.M.) Concrete Monument, unless otherwise noted.
- 3. Symbol indicates (O.P.R.M.) Offset Permanent Reference Monument, unless otherwise noted.
- 4. Symbol indicates (P.C.P.) Permanent Control Point LB7778
- 5. (R) indicates radial line
- 6. RB - Reference Bearing
- 7. E.P.C.H.C. - Official Records Book
- 8. W.C.A.S.L. - Hillsborough County Wetland Line
- 9. (CDD) - Triple Creek Community Development District
- 10. (D&D) - Drainage Area and (Public) Drainage Easement
- 11. (D&D) - Drainage Area and (Public) Drainage Easement

CURVE DATA TABLE

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
151	50.00	45.57°	42.60	41.33	N.19°18'26"E
152	61.00	35.53°	34.48	31.06	N.6°17'50"E



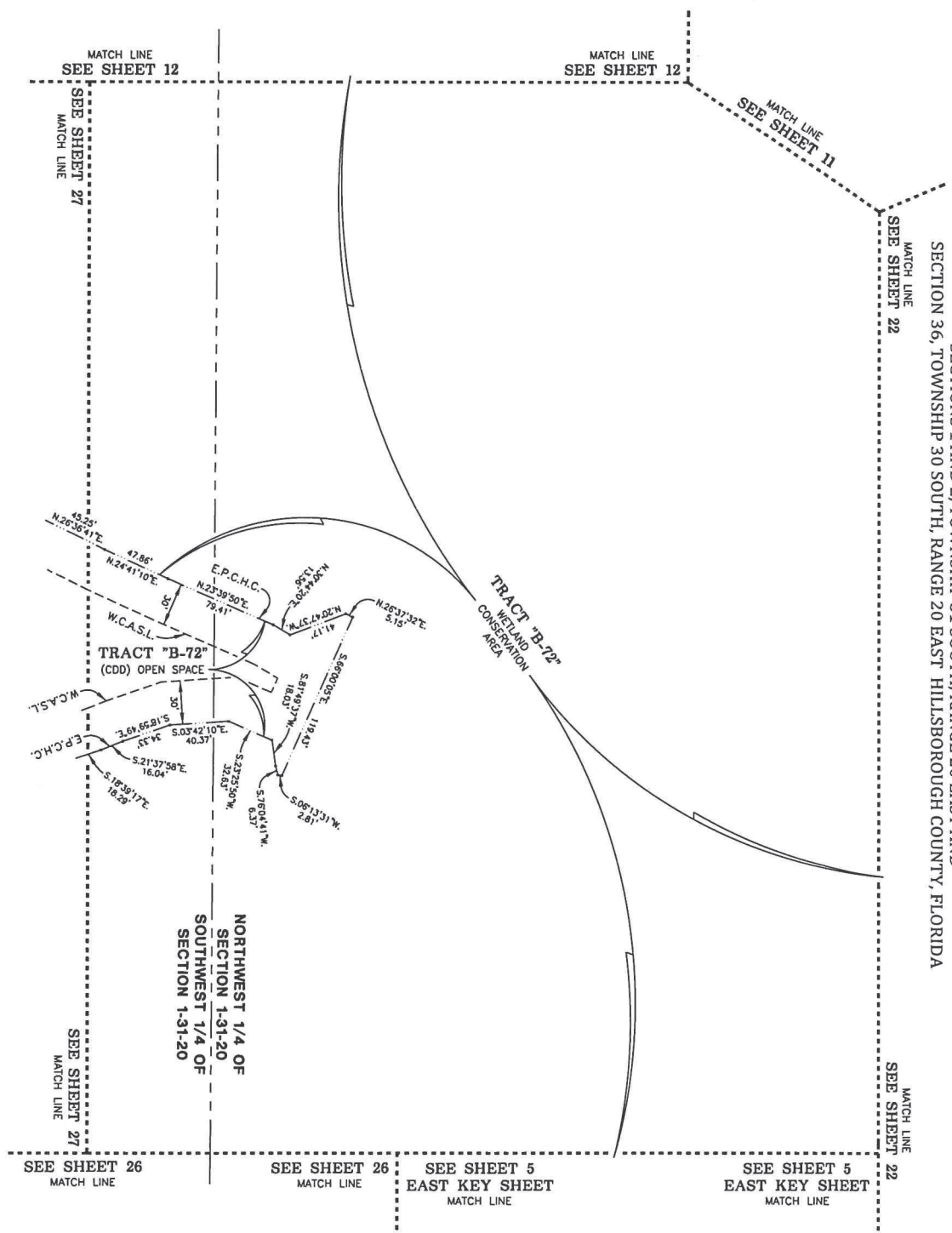
SEE SHEET 3 OF 38
FOR BASIS OF BEARINGS

SEE SHEET 2 OF 38
FOR WETLAND
CONSERVATION AREA NOTE

SEE SHEET 2 OF 38
FOR PARALLEL OFFSET
DIMENSIONS NOTE

AMERITTY, INC.
LAND SURVEYING & MAPPING
Certificate of Authorization Number LB 7778
3010 W. Lake Street, Suite 150
P.O. Box 150
Phone (813) 221-5000

TRIPLE CREEK VILLAGE D SECTIONS 1 AND 2, TOWNSHIP 31 SOUTH, RANGE 20 EAST AND SECTION 36, TOWNSHIP 30 SOUTH, RANGE 20 EAST HILLSBOROUGH COUNTY, FLORIDA



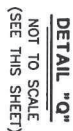
- LEGEND**
1. Symbol $\#$ indicates (P.R.M.) Permanent Reference Monument
 2. Symbol \times indicates (P.R.M.) Offset Permanent Reference Monument
 3. Symbol \diamond indicates (P.C.P.) Permanent Control Point LB7778
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 5. (NR) indicates non-radial line
 6. RB - Reference Bearing
 7. O.R. - Official Records Book
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 10. (CDD) - Triple Creek Community Development District
 11. D.A.&(P)D.E. - Drainage Area and (Public) Drainage Easement



SEE SHEET 3 OF 38
 FOR BASIS OF BEARINGS
 SEE SHEET 2 OF 38
 FOR PARALLEL OFFSET
 DIMENSIONS NOTE

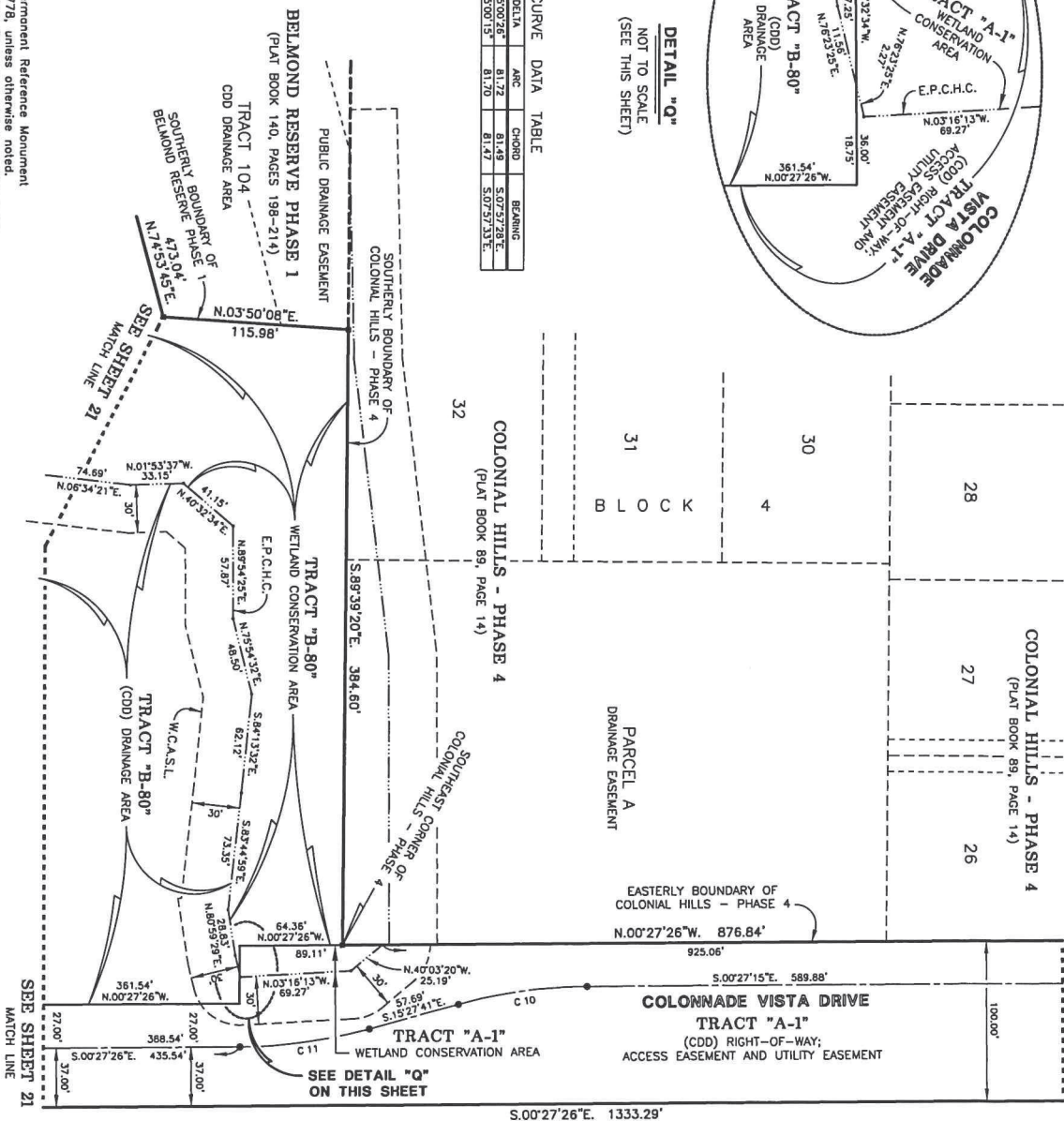
SECTIONS 1 AND 2, TOWNSHIP 31 SOUTH, RANGE 20 EAST AND SECTION 36, TOWNSHIP 30 SOUTH, RANGE 20 EAST HILLSBOROUGH COUNTY, FLORIDA

PLAT BOOK	PAGE
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CURVE DATA TABLE					
NO.	RADIUS	DELTA	ARC	CHORD	BEARING
10	312.00	15°00'26"	81.72	81.49	5.0757°8 E.
11	312.00	15°00'15"	81.70	81.47	5.0757°3 E.

CURVE	DATA	TABLE
-------	------	-------



S.00°27'26"E. 1333.29'

UNPLATTED

UNPLATTED



SEE SHEET 3 OF 38
FOR BASIS OF BEARINGS

SEE SHEET 2 OF 38
FOR WETLAND
CONSERVATION AREA NOTE

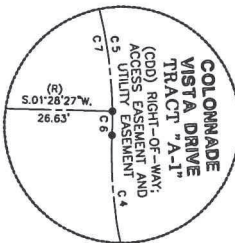
SEE SHEET 2 OF 38
FOR PARALLEL OFFSET
DIMENSIONS NOTE

1. Symbol indicates (P.R.M.) Permanent Reference Monument
2. Symbol ∇ indicates (P.R.M.) 1877/78, unless otherwise noted.
3. Symbol ∇ indicates (P.R.M.) 1917/18, unless otherwise noted.
4. Symbol ∇ indicates (P.C.P.) Permanent Control Point 1877/78
5. (R) indicates rodial line
6. (NR) indicates non-rodial line
7. R.R. - Reference Bearing
8. E.C.P.H.C. - Environmental Protection Commission of Hillsborough County Wetland Line
9. W.C.A.S.L. - Wetland Conservation Area Suback Line
10. (G.D.) - Tripe Creek Community Development District
11. (D.D.(F))D.E. - Drainage Area and (Public) Drainage Easement

AMERRITT, INC.
LAND SURVEYING & MAPPING
Certificate of Authorization Number LB 7778
3010 W. Alameda Street, Suite 150
Tampa, FL 33609
PHONE (813) 221-5200

SECTIONS 1 AND 2, TOWNSHIP 31 SOUTH, RANGE 20 EAST AND SECTION 36, TOWNSHIP 30 SOUTH, RANGE 20 EAST HILLSBOROUGH COUNTY, FLORIDA

PAGE



NO.	RADIUS	DELTA	ANC	CHORD	BEARING
3	272.00	78.05°	332.95	312.55	5.34/29.18 W.
4	262.00	22.92°	102.50	102.50	5.80/52.52 W.
5	262.00	22.92°	103.64	102.57	5.80/52.52 W.
6	262.00	07°33.57'	3.35	3.35	N.88°09.35 W.
7	262.00	21°35.58'	100.29	99.68	N.88°20.75 W.
8	60.00	21°34.54'	22.95	22.81	5.09/29.00° E.
9	272.00	65°59.42'	332.29	312.01	5.34/32.37 W.

1. Symbol \equiv : indicates (P.R.M.) Permanent Reference Monument
2. 4+4': Concrete Monument LB7776, unless otherwise noted.
3. Symbol \oplus : indicates (P.R.M.) Offset Permanent Reference Monument
4. 4'x4' Concrete Monument LB7776, unless otherwise noted.
5. Symbol \rightarrow : indicates (P.C.P.T.) Permanent Control Point LB7778
6. (R) indicates radial line
7. (NR) indicates non-radial line
8. RB: Reference Bearing
9. R: Radial
10. E.C.H.C.: Environmental Conservation Commission Back
11. E.C.H.C.: Environmental Protection Commission of Hillsborough County Wetland Line
12. W.C.A.S.L.: Wetland Conservatory Area Setback Line
13. (CDD) - Triple Creek Community Development District
14. D.A.K.(P)D.E.: Drainage Area and (Public) Drainage Easement

DETAIL "R"
NOT TO SCALE
(SEE THIS SHEET)

**NORTHWEST 1/4 OF
SECTION 1-31-20
NORTHEAST 1/4 OF
SECTION 1-31-20**


AMERPRITT, INC.
LAND SURVEYING & MAPPING
Certificate of Authorization Number LB 7778
3010 W. Azalea Street, Suite 150
Tampa, FL 33609
PHONE (813) 221-5200

SEE SHEET 3 OF 38
FOR BASIS OF BEARINGS

SEE SHEET 2 OF 38
FOR WETLAND
CONSERVATION AREA NOTE

SEE SHEET 2 OF 38
FOR PARALLEL OFFSET
DIMENSIONS NOTE

SCALE: 1" = 50'



SCALE IN FEET

PLAT BOOK	PAGE
-----------	------

MATCH LINE
SEE SHEET 32



CURVE DATA TABLE					
NO.	RADIUS	DELTA	ARC	CHORD	BEARING
3	272.00	70°08'05"	332.95	312.55	S.34°29'18"W.

CURVE DATA TABLE

LEGEND

1. Symbol indicates (P.R.M.) Permanent Reference Monument
- 4+4 Concrete Monument LB7778, unless otherwise noted.
2. Symbol indicates (P.R.M.) Oriskany Permanent Reference Monument
- 4+4 Concrete Monument LB7778, unless otherwise noted.
3. Symbol indicates (P.C.P.) Permanent Control Point LB7778
4. (R) indicates radial line
5. (NR) indicates non-radial line
6. RB – Reference Bearing
7. (C.D.) – Official Records Book
8. (C.D.) – Triple Creek Community Development District

SEE SHEET 3 OF 38
FOR BASIS OF BEARINGS

SEE SHEET 2 OF 38
FOR PARALLEL OFFSET
DIMENSIONS NOTE

AMERRITY, INC.
LAND SURVEYING & MAPPING
Certificate of Authorization Number 18-2720

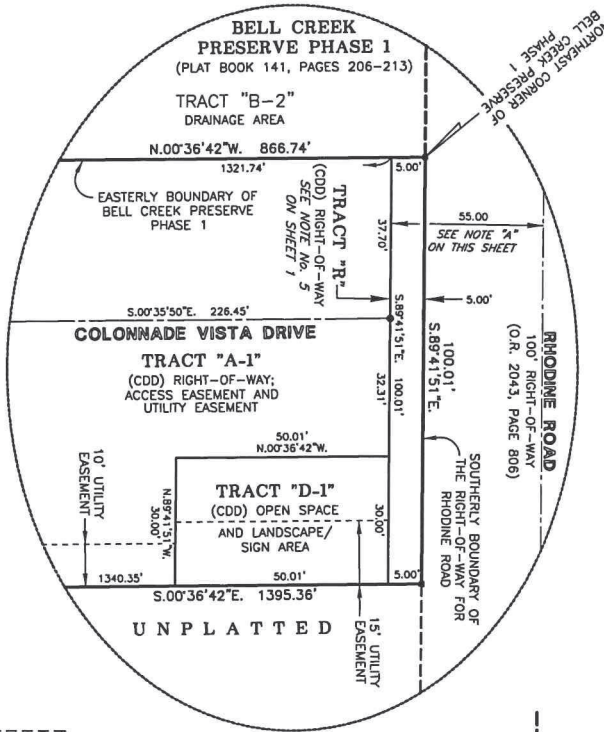
PHONE (813) 221-5200

SHEET 31 OF 38 SHEETS

TRIPLE CREEK VILLAGE Q

SECTIONS 1 AND 2, TOWNSHIP 31 SOUTH, RANGE 20 EAST AND
SECTION 36, TOWNSHIP 30 SOUTH, RANGE 20 EAST HILLSBOROUGH COUNTY, FLORIDA

PLAT BOOK PAGE



DETAIL "S"
NOT TO SCALE
(SEE THIS SHEET)

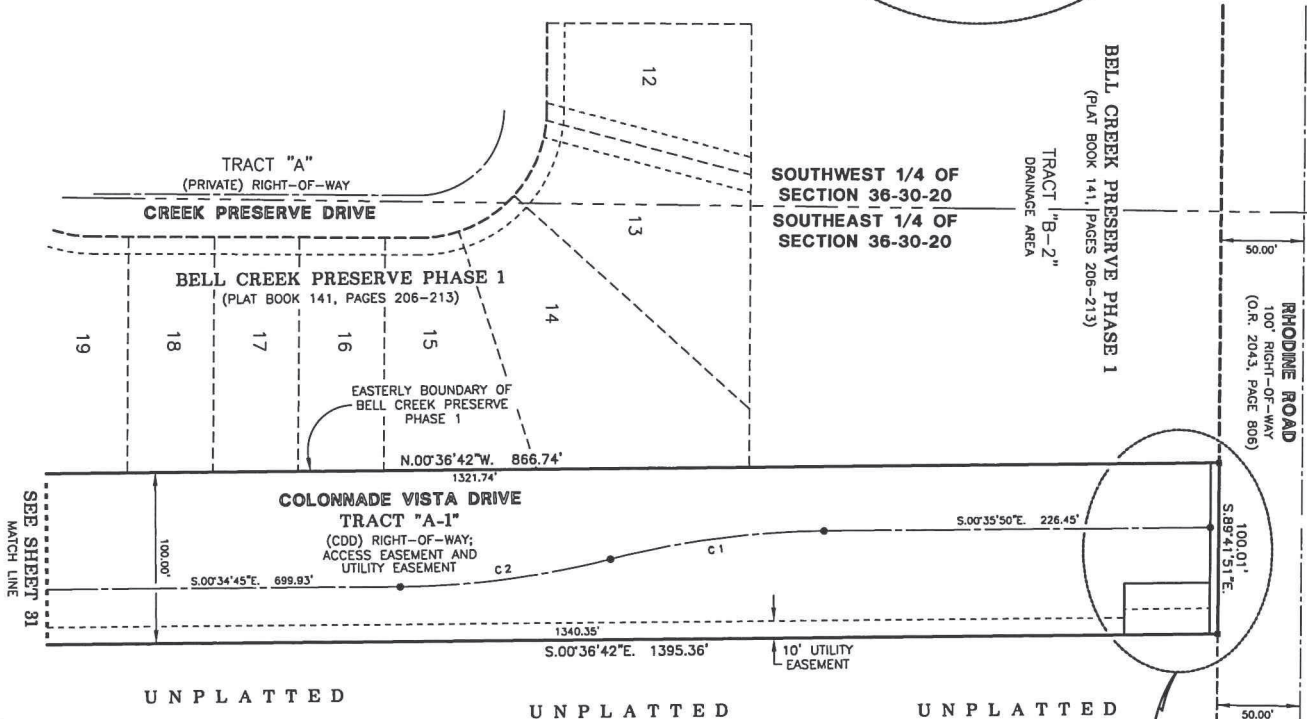
NOTE "A"
Required width (5.00') of the Setback for the Transportation Corridor to be preserved in accordance with the Hillsborough County Corridor Preservation Plan, per Hillsborough County Land Development Code, Part 5.11.00.

CURVE DATA TABLE

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
1	323.50	135°4'30"	127.08	126.77	S.07°23'05"E.
2	312.00	135°5'35"	124.45	124.14	S.07°22'32"E.

LEGEND

1. Symbol indicates (P.R.M.) Permanent Reference Monument
2. Symbol indicates (P.R.M.) Offset Permanent Reference Monument
3. Symbol indicates (P.C.P.) Permanent Control Point LB7778
4. (R) indicates radial line
5. (NR) indicates non-radial line
6. RB - Reference Bearing
7. O.R. - Official Records Book
8. (CDD) - Triple Creek Community Development District



SEE DETAIL "S"
ON THIS SHEET



SCALE: 1" = 50'
SCALE IN FEET

SEE SHEET 3 OF 38
FOR BASIS OF BEARINGS

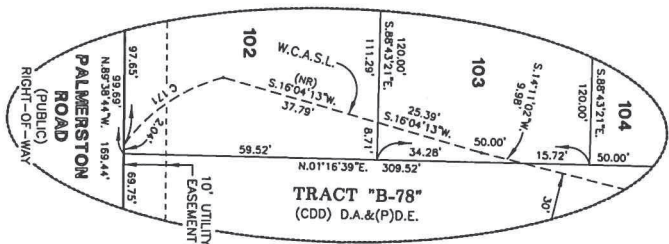
SEE SHEET 2 OF 38
FOR PARALLEL OFFSET
DIMENSIONS NOTE

AMERITTY, INC.
LAND SURVEYING & MAPPING
Certificate of Authorization Number LB 7778
3010 W. Acacia Street, Suite 150
Palm Beach, FL 33409
Phone: (561) 283-5800

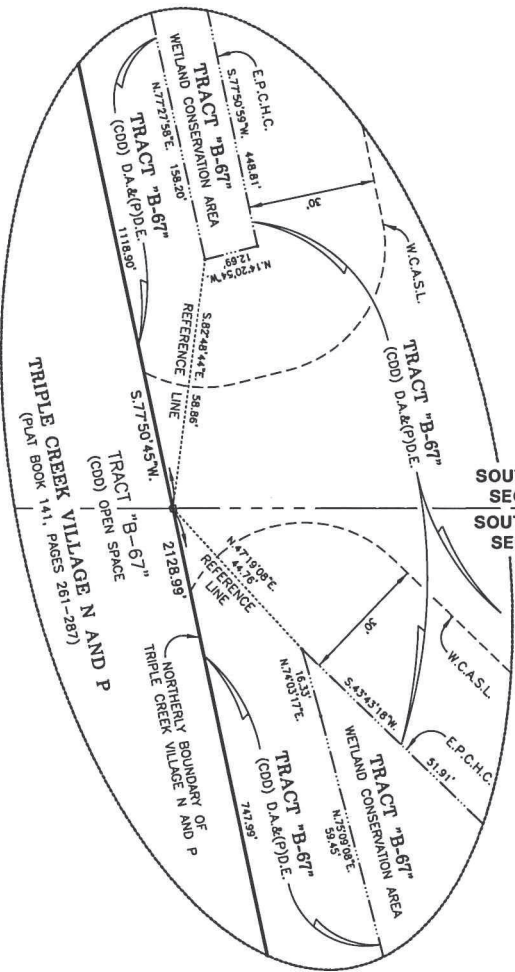
SHEET 32 OF 38 SHEETS

TRIPLE CREEK VILLAGE D

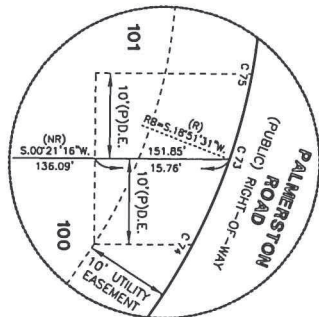
SECTIONS 1 AND 2, TOWNSHIP 31 SOUTH, RANGE 20 EAST AND
SECTION 36, TOWNSHIP 30 SOUTH, RANGE 20 EAST, HILLSBOROUGH COUNTY, FLORIDA



DETAIL "B"
NOT TO SCALE
(SEE SHEET 9)



DETAIL "E"
NOT TO SCALE
(SEE SHEET 14)



DETAIL "D"
NOT TO SCALE
(SEE SHEET 13)

SEE SHEET 3 OF 38
FOR BASIS OF BEARINGS

SEE SHEET 2 OF 38
FOR WETLAND
CONSERVATION AREA NOTE

SEE SHEET 2 OF 38
FOR PARALLEL OFFSET
DIMENSIONS NOTE

AMERITTY, INC.
LAND SURVEYING & MAPPING
Certificate of Authorization Number LA 7778
3010 W. Azalea Street, Suite 150
Tampa, FL 33609
Phone (813) 261-5300

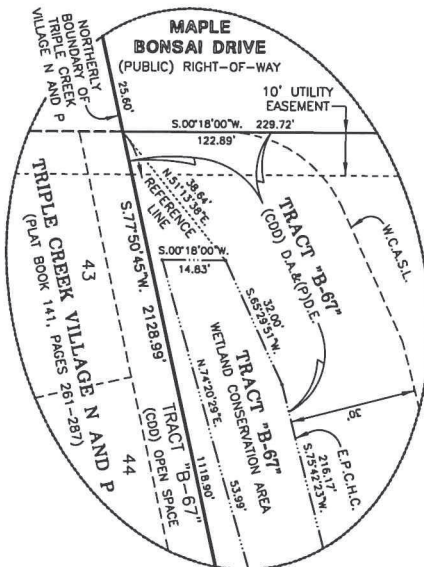
CURVE DATA TABLE

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
73	70.00	82°56'15"	101.33	92.71	S.83°59'13"W.
74	70.00	16°35'55"	20.28	20.21	N.62°50'31"W.
75	70.00	16°35'55"	20.28	20.21	S.27°09'29"E.
76	42.00	39°14'55"	28.77	28.61	S.34°54'15"E.

- LEGEND
- Symbol: Permanent Reference Monument
 - 4"x4" Concrete Monument LB7778, unless otherwise noted.
 - Symbol: Offset Permanent Reference Monument
 - 4"x4" Concrete Monument LB7778, unless otherwise noted.
 - Symbol: Permanent Control Point LB7778
 - (R) indicates radial line
 - (NR) indicates non-radial line
 - RB - Reference Bearing
 - O.R. - Official Records Book
 - E.P.C.H.C. - Environmental Protection Commission of Hillsborough County Wetland Line
 - W.C.A.S.L. - Wetland Conservation Area Setback Line
 - CDD - Triple Creek Community Development District
 - D.A. & (P) D.E. - Drainage Area and (Public) Drainage Easement
 - (P) D.E. - (Public) Drainage Easement

TRIPLE CREEK VILLAGE D

SECTIONS 1 AND 2, TOWNSHIP 31 SOUTH, RANGE 20 EAST AND
SECTION 36, TOWNSHIP 30 SOUTH, RANGE 20 EAST HILLSBOROUGH COUNTY, FLORIDA



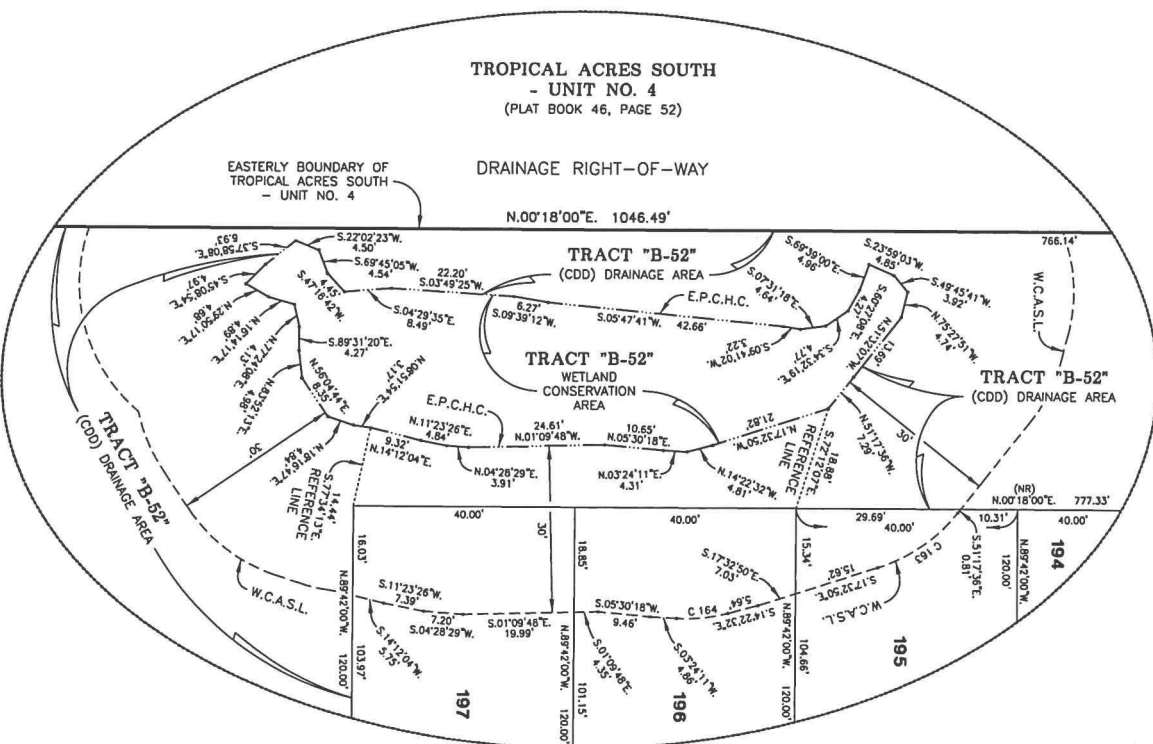
DETAIL "F"
NOT TO SCALE
(SEE SHEET 15)

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
13	30.00	33.44°	17.67	17.42	S.34°25'13"E.
14	30.00	17.46°	9.31	9.27	S.02°29'10"E.

CURVE DATA TABLE

LEGEND

1. Symbol * indicates (P.R.M.) Permanent Reference Monument
2. Symbol # indicates (P.R.M.) unless otherwise noted.
3. Symbol & indicates (P.R.M.) Offset Permanent Reference Monument
4. Symbol & indicates (P.C.P.) Permanent Control Point LB7778
5. (R) indicates radial line
6. (NR) indicates non-radial line
7. O.R. - Official Records Book
8. E.P.C.H.C. - Environmental Protection Commission of Hillsborough County Wetland Line
9. W.C.A.S.L. - Wetland Conservation Area Setback Line
10. (CDD) - Triple Creek Community Development District
11. D.A.K.(P)D.E. - Drainage Area and (Public) Drainage Easement



DETAIL "G"
NOT TO SCALE
(SEE SHEET 15)



SEE SHEET 3 OF 38
FOR BASIS OF BEARINGS

SEE SHEET 2 OF 38
FOR WETLAND
CONSERVATION AREA NOTE

SEE SHEET 2 OF 38
FOR PARALLEL OFFSET
DIMENSIONS NOTE

AMERITTY, INC.
LAND SURVEYING & MAPPING
Certificate of Authorization Number LB 7778
3010 W. Acacia Street, Suite 150
PHOENIX (602) 225-5500

SHEET 34 OF 38 SHEETS

SECTIONS 1 AND 2, TOWNSHIP 31 SOUTH, RANGE 20 EAST AND SECTION 36, TOWNSHIP 30 SOUTH, RANGE 20 EAST HILLSBOROUGH COUNTY, FLORIDA

CARDINAL BEARING NOTE:
Cardinal bearings where shown on this plat shall be assumed to have the same bearings as follows:
NORTH - N.00°00'00"E.
SOUTH - S.00°00'00"W.
EAST - N.90°00'00"E.
WEST - N.90°00'00"W.

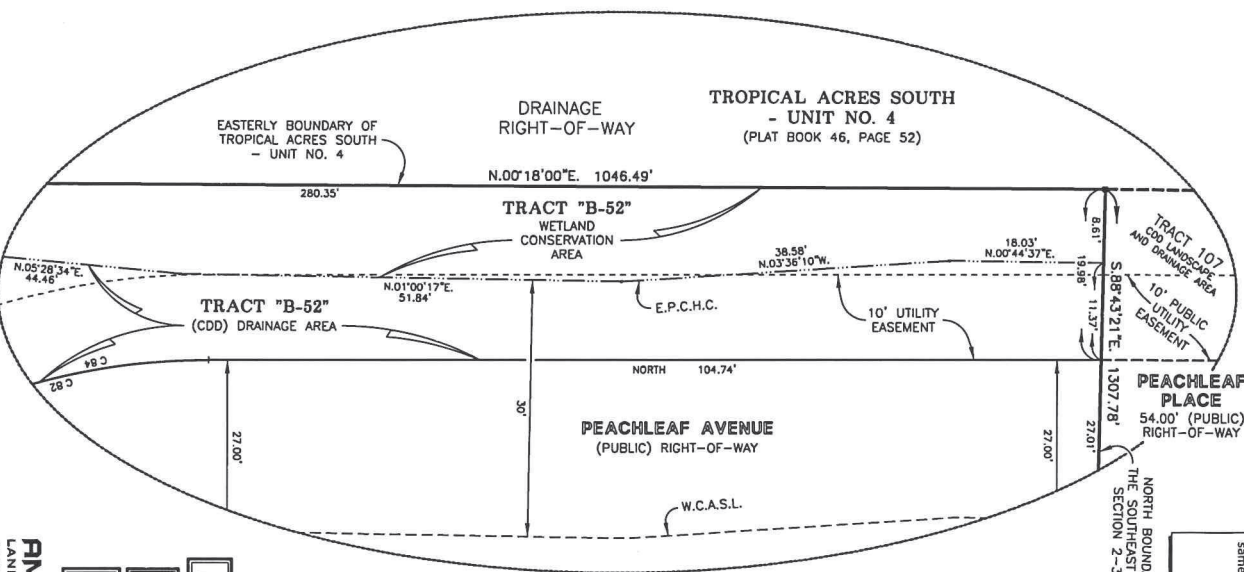


1. Symbol indicates (p.R.M.) Permanent Reference Monument
2. 4 x 4" Concrete Monument LB7778, unless otherwise noted.
3. Symbol indicates (p.R.M.) Oldest Permanent Reference Monument
4. 4 x 4" Concrete Monument LB7778, unless otherwise noted.
5. Symbol indicates (p.C.P.) Permanent Control Point LB7778
6. (R) indicates radial line
7. (NR) indicates non-radial line
8. (R) indicates radial line
9. (NR) - Official Records Book
10. E.P.H.C. - Environmental Protection Commission of Hillsborough County Wetland Line
11. W.C.A.S.L. - Wetland Conservation Area Sublot Line
12. (C.D.C.) - Triple Creek Community Development District

DETAIL "J"
NOT TO SCALE

CURVE DATA TABLE					
NO.	RADIUS	DELTA	ARC	CHORD	BEARING
82	77.00	86°43'21"	119.23	107.67	N.44°21'41"W.
84	77.00	51°34'51"	69.32	67.00	N.25°47'25"W.

CURVE DATA TABLE



AMERITTY, INC.
LAND SURVEYING & MAPPING
Certificate of Authorization Number LB 7778
3010 W. Azeele Street, Suite 150

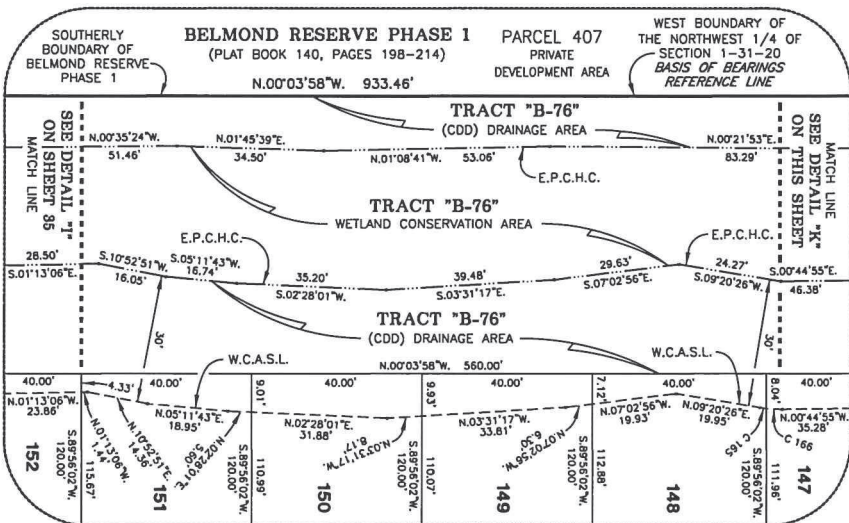
SHEET 35 OF 38 SHEETS

SEE SHEET 3 OF 38
FOR BASIS OF BEARINGS

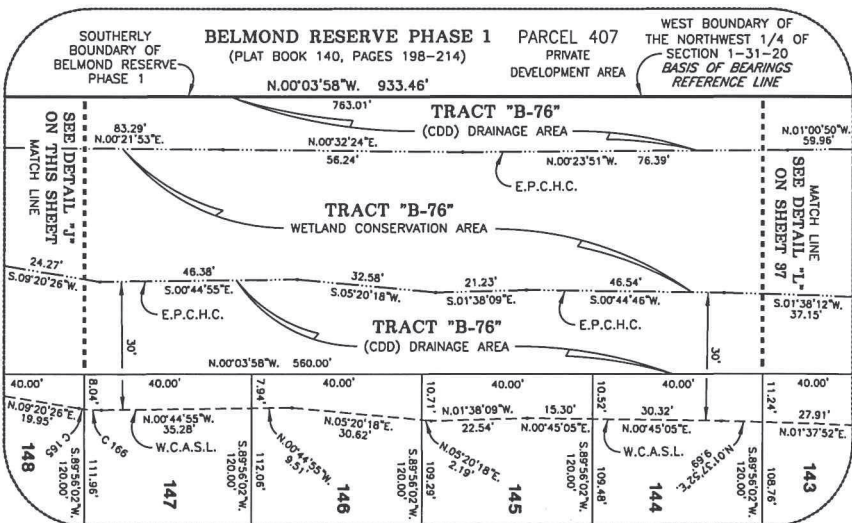
SEE SHEET 2 OF 38
FOR WETLAND
CONSERVATION AREA NOTE

SEE SHEET 2 OF 38
FOR PARALLEL OFFSET
DIMENSIONS NOTE

TRIPLE CREEK VILLAGE D SECTIONS 1 AND 2, TOWNSHIP 31 SOUTH, RANGE 20 EAST AND SECTION 36, TOWNSHIP 30 SOUTH, RANGE 20 EAST HILLSBOROUGH COUNTY, FLORIDA



DETAIL "J"
NOT TO SCALE
(SEE SHEET 18)



DETAIL "K"
NOT TO SCALE
(SEE SHEET 18)

LEGEND

1. Symbol indicates (P.R.M.) Permanent Reference Monument
2. Symbol indicates (C.M.) Concrete Monument, unless otherwise noted.
3. Symbol indicates (C.M.) Concrete Monument, unless otherwise noted.
4. Symbol indicates (C.M.) Concrete Monument, unless otherwise noted.
5. Symbol indicates (C.M.) Concrete Monument, unless otherwise noted.
6. Symbol indicates (C.M.) Concrete Monument, unless otherwise noted.
7. Symbol indicates (C.M.) Concrete Monument, unless otherwise noted.
8. Symbol indicates (C.M.) Concrete Monument, unless otherwise noted.
9. Symbol indicates (C.M.) Concrete Monument, unless otherwise noted.
10. Symbol indicates (C.M.) Concrete Monument, unless otherwise noted.
11. Symbol indicates (C.M.) Concrete Monument, unless otherwise noted.

CURVE DATA TABLE

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
185	30.00	01°02'05"	0.54	0.54	N.08°19'23"E.
186	30.00	09°03'16"	4.74	4.74	N.03°16'53"E.



SEE SHEET 3 OF 38
FOR BASIS OF BEARINGS

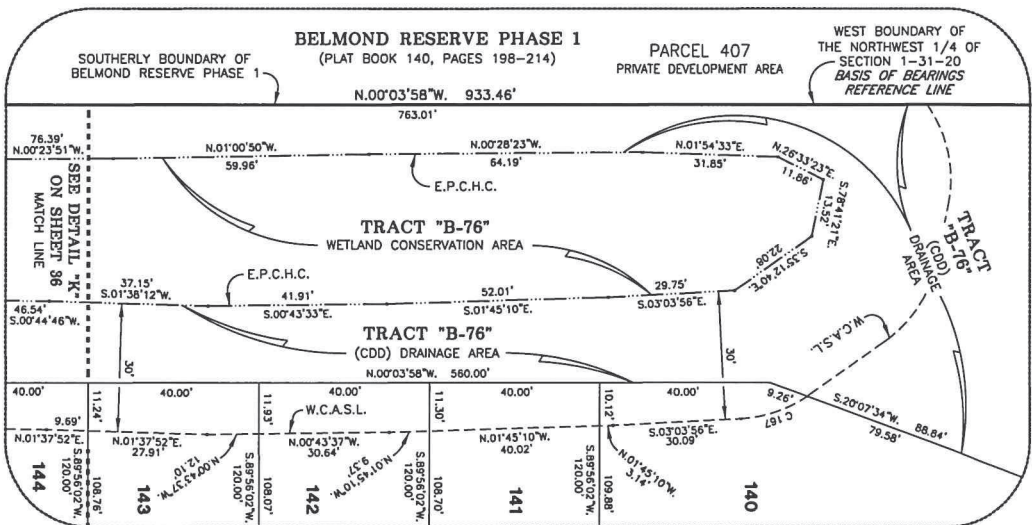
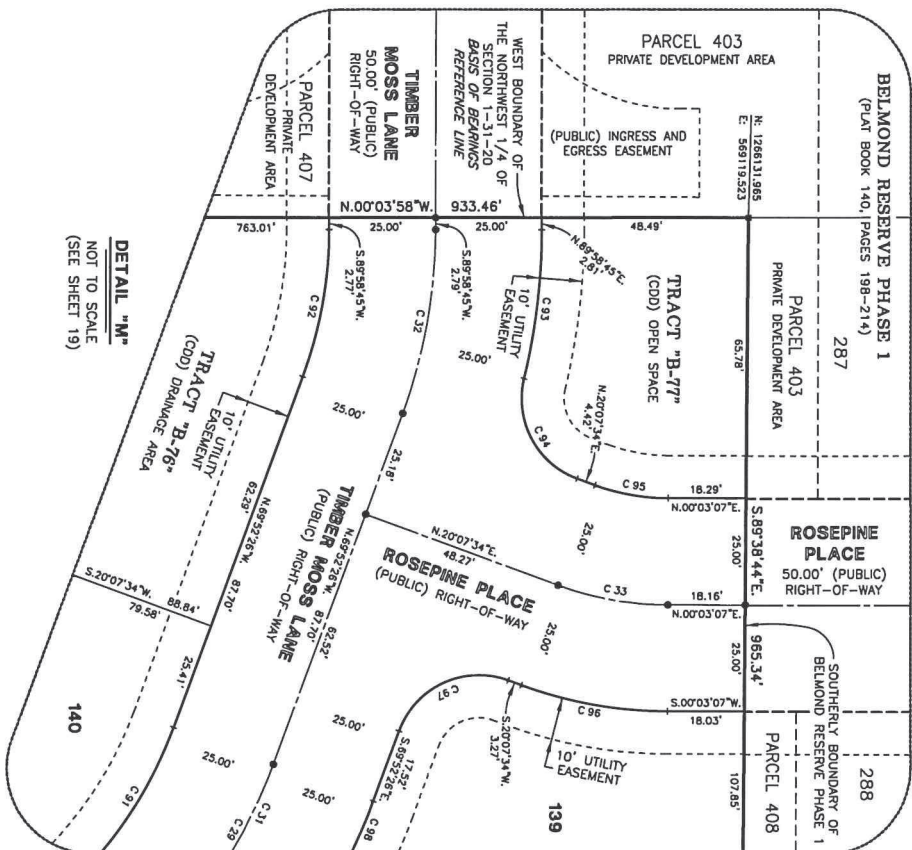
SEE SHEET 2 OF 38
FOR WETLAND
CONSERVATION AREA NOTE

SEE SHEET 2 OF 38
FOR PARALLEL OFFSET
DIMENSIONS NOTE

AMERITTY, INC.
LAND SURVEYING & MAPPING
Certificate of Authorization Number LB 7778
3010 W. Lake Street, Suite 150
PHOENIX, AZ 85016

TRIPLE CREEK VILLAGE Q

SECTIONS 1 AND 2, TOWNSHIP 31 SOUTH, RANGE 20 EAST AND
SECTION 36, TOWNSHIP 30 SOUTH, RANGE 20 EAST HILLSBOROUGH COUNTY, FLORIDA



LEGEND

1. Symbol \oplus indicates (P.R.M.) Permanent Reference Monument
2. Symbol \otimes indicates (P.R.M.) Offset Permanent Reference Monument
3. Symbol \otimes indicates (P.C.P.) Permanent Control Point LB7778
4. (R) indicates radial line
5. (NR) indicates non-radial line
6. RB - Reference Bearing
7. O.R. - Official Records Book
8. E.P.C.H.C. - Environmental Protection Commission of Hillsborough County Wetland Line
9. W.C.A.S.L. - Wetland Conservation Area Setback Line
10. (CDD) - Triple Creek Community Development District
11. D.A.(P)D.E. - Drainage Area and (Public) Drainage Easement

CURVE DATA TABLE

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
29	173.00	69°48'28"	150.30	143.05	N.34°59'12"W.
30	173.00	69°48'28"	150.30	143.05	N.34°59'12"W.
31	173.00	69°48'28"	150.30	143.05	N.34°59'12"W.
32	173.00	69°48'28"	150.30	143.05	N.34°59'12"W.
33	173.00	69°48'28"	150.30	143.05	N.34°59'12"W.
34	173.00	69°48'28"	150.30	143.05	N.34°59'12"W.
35	173.00	69°48'28"	150.30	143.05	N.34°59'12"W.
36	173.00	69°48'28"	150.30	143.05	N.34°59'12"W.
37	173.00	69°48'28"	150.30	143.05	N.34°59'12"W.
38	173.00	69°48'28"	150.30	143.05	N.34°59'12"W.
39	173.00	69°48'28"	150.30	143.05	N.34°59'12"W.
40	173.00	69°48'28"	150.30	143.05	N.34°59'12"W.
41	173.00	69°48'28"	150.30	143.05	N.34°59'12"W.
42	173.00	69°48'28"	150.30	143.05	N.34°59'12"W.
43	173.00	69°48'28"	150.30	143.05	N.34°59'12"W.
44	173.00	69°48'28"	150.30	143.05	N.34°59'12"W.
45	173.00	69°48'28"	150.30	143.05	N.34°59'12"W.
46	173.00	69°48'28"	150.30	143.05	N.34°59'12"W.
47	173.00	69°48'28"	150.30	143.05	N.34°59'12"W.
48	173.00	69°48'28"	150.30	143.05	N.34°59'12"W.
49	173.00	69°48'28"	150.30	143.05	N.34°59'12"W.
50	173.00	69°48'28"	150.30	143.05	N.34°59'12"W.

DETAIL "L"

NOT TO SCALE
(SEE SHEET 19)

SEE SHEET 2 OF 38
FOR WETLAND
CONSERVATION AREA NOTE

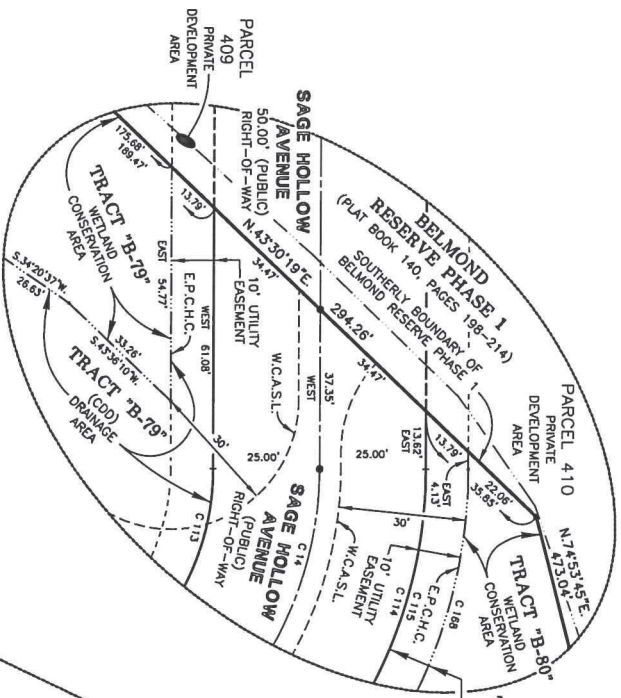
SEE SHEET 2 OF 38
FOR PARALLEL OFFSET
DIMENSIONS NOTE



TRIPLE CREEK VILLAGE Q

SECTIONS 1 AND 2, TOWNSHIP 31 SOUTH, RANGE 20 EAST AND
SECTION 36, TOWNSHIP 30 SOUTH, RANGE 20 EAST HILLSBOROUGH COUNTY, FLORIDA

CARDINAL BEARING NOTE:
Cardinal bearings shown on this plat shall be assumed to have the same meaning as follows:
NORTH - N.00°00'00"E.
SOUTH - S.00°00'00"W.
EAST - N.90°00'00"E.
WEST - N.90°00'00"W.

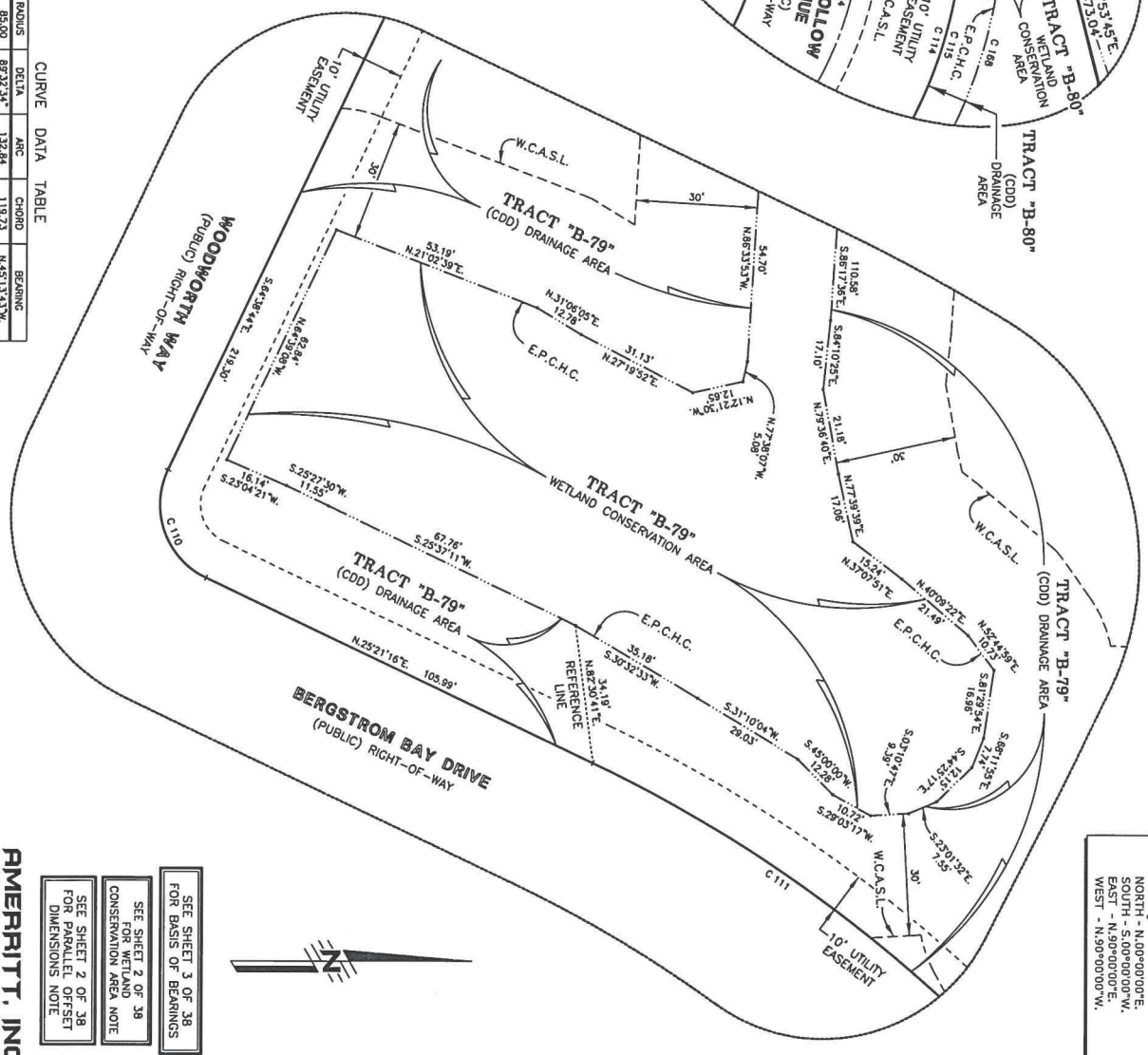


DETAIL "N"
NOT TO SCALE
(SEE SHEET 20)

CURVE DATA TABLE

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
14	85.00	89°32'34"	132.84	119.73	N.45°13'43"W.
110	20.00	90°00'00"	31.42	28.28	N.70°21'16"E.
111	35.00	58°49'07"	36.34	34.76	N.54°45'50"E.
113	60.00	89°32'34"	93.77	84.51	N.45°13'43"W.
114	100.00	59°31'34"	104.91	154.99	S.45°13'43"E.
115	110.00	59°31'34"	104.91	154.99	S.45°13'43"E.
116	120.00	30°37'46"	64.15	63.39	S.74°41'07"E.

DETAIL "O"
NOT TO SCALE
(SEE SHEET 20)



LEGEND

1. Symbol: — Indicates (P.R.M.) Permanent Reference Monument
2. Symbol: — Concrete Monument LB7778, unless otherwise noted.
3. Symbol: — Concrete Monument LB7778, unless otherwise noted.
4. Symbol: — Concrete Monument LB7778, unless otherwise noted.
5. Symbol: — Indicates (P.C.P.) Permanent Control Point LB7778
6. (R) indicates radial line
7. (NR) indicates non-radial line
8. O.R. — Reference Bearing
9. E.P.C.H.C. — Environmental Protection Commission of Hillsborough County Wetland Line
10. W.C.A.S.L. — Wetland Conservation Area Setback Line
11. (CDD) Triple Creek Community Development District
12. D.A.K.(P)D.E. — Drainage Area and (Public) Drainage Easement

AMERITTY, INC.
LAND SURVEYING & MAPPING
Certificate of Authorization Number LB 7778
3010 W. Keesee Street, Suite 150
P.O. Box 1213, Suite 150

SEE SHEET 3 OF 38
FOR BASIS OF BEARINGS

SEE SHEET 2 OF 38
FOR WETLAND
CONSERVATION AREA NOTE

SEE SHEET 2 OF 38
FOR PARALLEL OFFSET
DIMENSIONS NOTE

