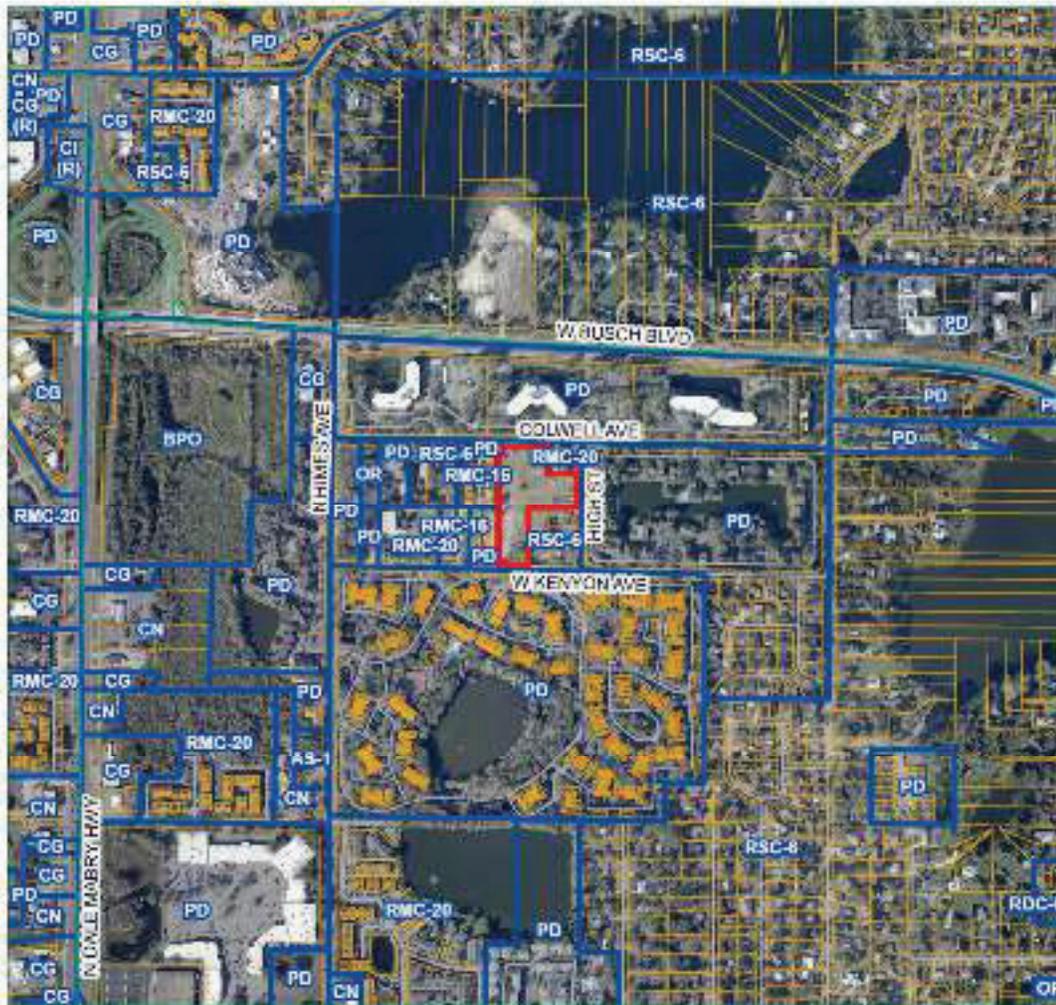




Hillsborough County Florida

STAFF REPORT

SUBJECT:	PRS 21-0209	PLANNING AREA:	Egypt Lake
REQUEST:	Minor Modification to an Approved PD	SECTOR:	Northwest
APPLICANT:	Michael D. Horner (Applicant's Representative)/Maplebrook Realty Corporation		
Existing Zoning:	PD 17-1288 (PRS 19-1094)	Comp Plan Category:	RES-20



Hillsborough County Florida
General Aerial Zoning Map
PRS 21-0209
 Scale: 24700:0000

STR: 22-08-18

NOTE: THIS MAP IS FOR INFORMATIONAL PURPOSES ONLY AND DOES NOT CONSTITUTE AN OFFICIAL ZONING MAP. THE OFFICIAL ZONING MAP IS THE ZONING MAP AS ADOPTED BY THE BOARD OF COUNTY COMMISSIONERS. THIS MAP IS NOT TO BE USED FOR ANY PURPOSES THAT REQUIRE A ZONING MAP. THE BOARD OF COUNTY COMMISSIONERS IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS MAP. THE BOARD OF COUNTY COMMISSIONERS IS NOT RESPONSIBLE FOR ANY DAMAGES, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THIS MAP. THE BOARD OF COUNTY COMMISSIONERS IS NOT RESPONSIBLE FOR ANY DAMAGES, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THIS MAP.

Date: 5/20/22 File: 20210209-0209-0000-0000

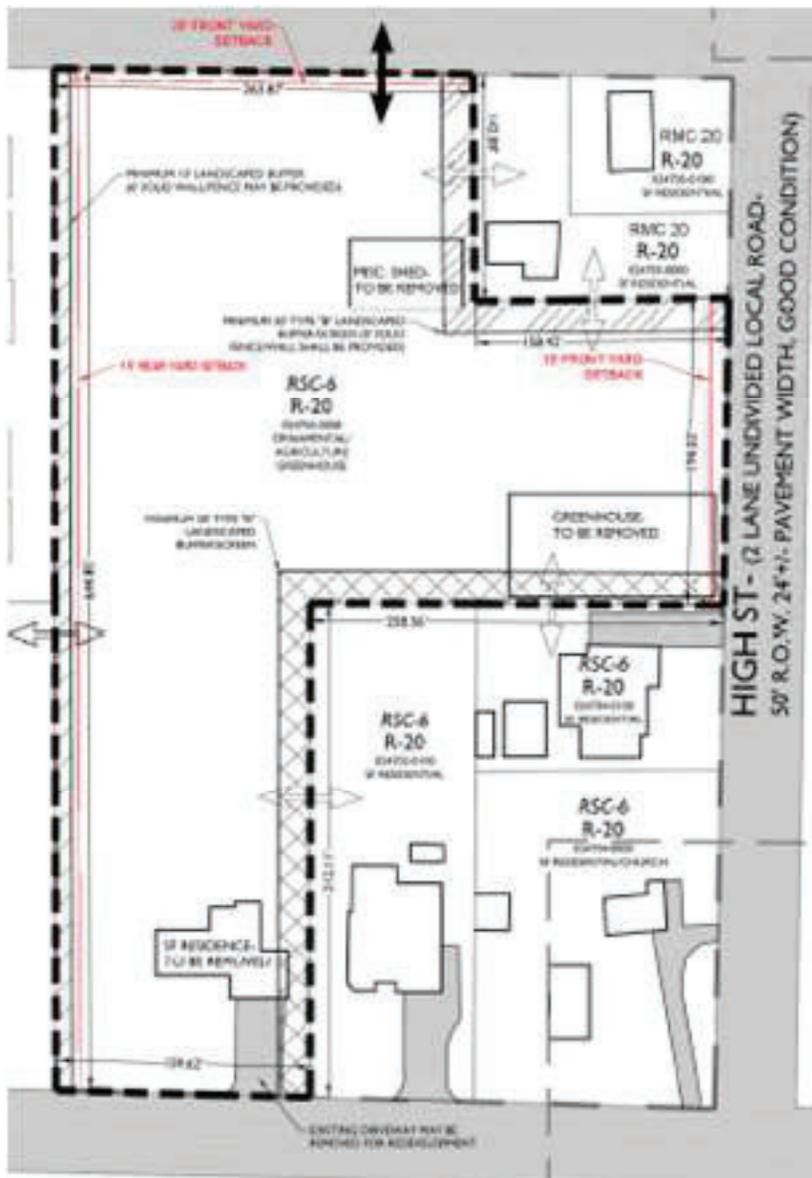
Application Review Summary and Recommendation

1.0 Summary

1.1 Request

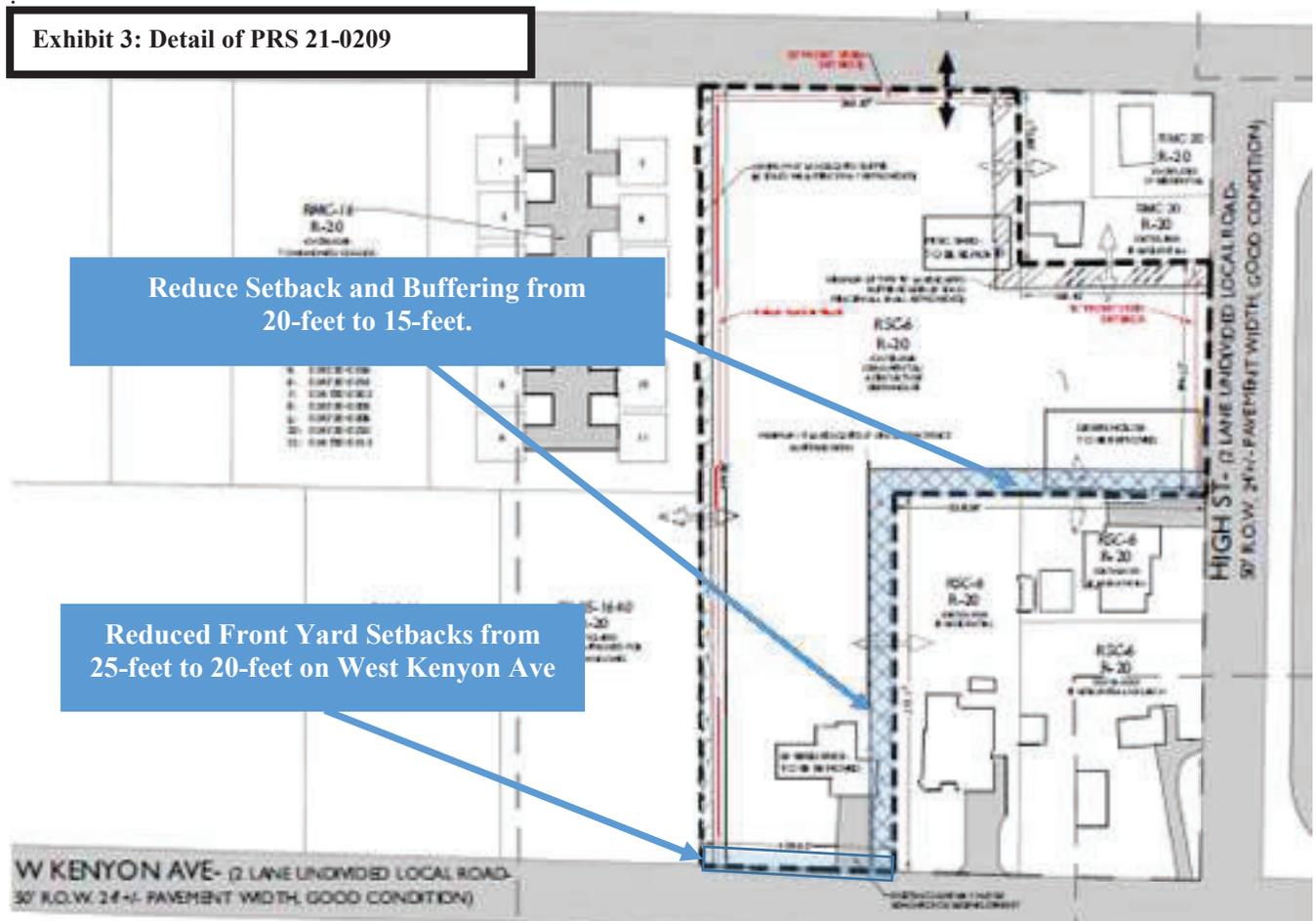
The applicant is requesting a minor modification to an approved Planned Development (PD 17-1288), last modified by PRS 19-1094. The subject property is located southwest of the intersection of Colwell Avenue and High Street, north of Kenyon Avenue West. The PD is approved for 77 Townhome units. As part of the most recent minor modification to the PD, multiple required front, side and rear yard setbacks were modified as shown on the approved site plan for PRS 19-1094 - see below.

Exhibit 2: Detail of Certified Site Plan PRS 19-1094



Subsequently, the applicant has determined that their intent to request setback reductions for two areas of the PD Boundaries were inadvertently missed and seeks modifications to the PD Plan as follows:

1. A reduction by 5-feet from the 20-foot required setback and buffering to 15-feet along the eastern boundary of the PD beginning in the area abutting West Kenyon Ave and running north and then east to High Street (See Exhibit 2 - area shaded in blue).
2. A reduction by 5-feet from the 25-foot required front yard setback to 20-feet along the southern boundary of the PD abutting West Kenyon Ave. (See Exhibit 2 - area shaded blue)



The parcels on the southwest corner of Coldwell Avenue and High Street are under common ownership with the subject PD and will be developed as one site resulting in the addition of 5 townhomes to the project as shown on Exhibit 4 – next page.

APPLICATION: PRS 21-0209

ZHM HEARING DATE: N/A

BOCC MEETING DATE: February 9, 2021

CASE REVIEWER: Steve Beachy, AICP

will provide an 8 foot fence in place of 6-foot PVC fence. The applicant will also enhance the landscaping along the area of reduced buffer by increasing the height of the landscaping and tree planting from 10 feet to 12 feet at time of planting.

The applicant requests no PD variations from the routine site development requirements found in LDC Part 6.07.00, Fences and Walls Requirements except to increase the height of the fencing. The applicant requests no PD variations from the requirements found in LDC Part LDC Part 6.05.00.

1.3 Analysis of Recommended Conditions

Condition 1.a is altered to reflect the applicant's request to reduce the required setbacks along West Kenyon Avenue from 25-feet to 20-feet.

Condition 1.c is altered to reflect the applicant's request to alter required setbacks adjacent to property folios 24702.0100 and 24704.0100. This change is proposed as a concurrent reduction of the buffer adjacent to the same parcels.

Condition 1.d is proposed to be removed as the PD parcel folio 24703.0000 and parcel folio 24705.0000 are now under common ownership and the condition establishing setbacks from the parcel is no longer needed as the parcels will be developed as one project.

Condition 3 is proposed to be removed as the PD parcel folio 24703.0000 and parcel folio 24705.0000 are now under common ownership and the condition establishing screening and buffer between the two parcels are no longer needed as the parcels will be developed as one project.

1.4 Evaluation of Existing and Planned Public Facilities

No impact to existing or planned public facilities are associated with this request. The site is located within the Hillsborough County Urban Service Area, therefore the subject property should be served by Hillsborough County Water and Wastewater Service. This does not guarantee water or wastewater service or a point of connection. Developer is responsible for submitting a utility request at the time of development plan review and will be responsible for any on-site improvements as well as possible off-site improvements.

1.5 Agency Comments

No reviewing agencies objected to this request. Transportation Review Section staff has no objection to this request.

1.6 Compatibility

Staff finds the proposed modification to the approved Planned Development to be compatible with the surrounding area.

The reduced setback along West Kenyon Avenue is adjacent to the public right-of-way and conforms to the setbacks approved for the project where it has frontage on Colwell Avenue as part of the most recent PD modification.

The proposed reduced buffer area and setbacks adjacent to the parcels on the northeast corner of High Street and West Kenyon Avenue mirror the setbacks on the western boundary of the project. However, it should be acknowledged that the two bordering areas differ in terms of developed density and therefore are not symmetrical in terms of buffering and screening requirements. Therefore, it is appropriate for the applicant to increase the height of the fence separating the properties and increasing the height of the landscaping at the time of planting to compensate for the requested 5-foot reduction in the buffer width.

1.7 Exhibits

- Exhibit 1: Zoning Map
- Exhibit 2: Detail of Existing PD Plan (PRS 19-1094)
- Exhibit 3: Detail Proposed PD Plan (PRS 21-0209)
- Exhibit 4: Detail of Proposed Site Plan (Kenyon MF)
- Exhibit 5: Proposed PD Plan
- Exhibit 6: Proposed Site Plan for Kenyon MF
- Exhibit 7: Intermediate Zoning Map

2.0 Recommendation

Staff recommends approval.

RECOMMENDED CONDITIONS

Approval - Approval of the request, subject to the conditions listed below, is based on the general site plan submitted ~~August 26, 2019~~ January 25, 2021.

1. The project shall be limited to a maximum of 77 townhome units and/or multi-family residential units developed in accordance with RMC-20 zoning district standards unless otherwise specified herein. The project shall be permitted to maintain the existing single-family residential use of the subject property until such time the proposed project redevelops.

MINIMUM BUILDING SETBACKS

- a. Minimum Front Yard Setback: 25 Feet
 - i. Exception: 15 Feet Along High Street
 - ii. Exception: 20 Feet Along Colwell Avenue
 - iii. Exception: 20 Feet Along West Kenyon Avenue
 - b. Minimum West Boundary Setback: 10 Feet
 - i. Exception: 15 Feet Adjacent to Folio 24720.0200
 - c. Minimum East & South Boundary Setback: 20 Feet
 - ~~i. Exception: 15 Feet Along High Street~~
 - i. Exception: 15 Feet Adjacent to Folio 24702.0100
 - ii. Exception: 15 Feet adjacent to Folio 24704.0100
 - ~~d. Minimum Adjacent to Folio 24705.0000: 30 Feet~~
 - ~~i. A minimum building setback of 30 feet shall be provided adjacent to the property identified by folio number 24705.0000. If, at the time of site development review for the subject PD, the property identified by folio number 24705.0000, is under common ownership with the subject PD or is the subject of a rezoning petition for greater density or use that otherwise does not require screening/buffering per LDC 6.06.06, the 30' minimum building setback adjacent to folio number 024705.0000 shall not apply, and the minimum setback shall be in accordance with the LDC (RMC 20 standards), if applicable.~~
2. Buildings shall be a maximum of 3 stories with a maximum building height of 45 feet. Buildings shall not be subject to the increased setback requirements for buildings with a height over 20 feet.

3. Buffering and screening shall be required as shown on the General Development Plan received on ~~August 26, 2019~~ December 25, 2020, or unless otherwise specified herein.
 - a. ~~A minimum 20 foot landscaped buffer/screen shall be provided adjacent to the property identified by folio number 24705.0000. The landscaped buffer shall include: a) an eight-foot (8') solid fence/wall (finished side out); and, b) a row of evergreen shade trees, minimum ten feet (10') high and two inch (2") caliper at the time of planting, planted not more than ten feet (10') apart and within ten feet (10') of the property line; and c) lawn, low growing evergreen plants, evergreen ground cover, or rock mulch covering the balance of the buffer. If, at the time of site development review for the subject PD, the property identified by folio number 24705.0000, is under common ownership with the subject PD or is the subject of a rezoning petition for greater density or use that otherwise does not require screening/buffering per LDC 6.06.06, this condition shall not apply, and buffering/screening shall be in accordance with the LDC.~~
 - A. In the buffer area adjacent to folios 24702.0100 and 24704.0100, in the southeast corner of the project, an eight-foot fence shall be required and required tree plantings shall be 12 feet in height at the time of planting.
4. This site is located within the City of Tampa Water and Wastewater Service Area. The applicant should contact the City of Tampa's Water and Wastewater Departments to determine the availability of Water and/or Wastewater Service and for their Comments.
5. The project shall be limited to one (1) access driveway to Colwell Avenue. Vehicular cross-access between the subject PD and the development adjacent to the west PD boundary may be provided as shown on the General Development Plan.
6. The developer shall construct a sidewalk along its property frontage on Colwell Avenue.
7. The Developer shall be allowed an optional emergency access.
8. The type, location, size and number of signs permitted shall be as set forth in Part 7.03.00 of the Land Development Code with the following exception(s):
 - 8.1 Ground Signs shall be limited to Monument Signs.
 - 8.2 Billboards, pennants and banners shall be prohibited.
9. If the notes and/or graphic on the site plan are in conflict with specific zoning conditions and/or the Land Development Code (LDC) regulations, the more restrictive regulation shall apply, unless specifically conditioned otherwise. References to development standards of the LDC in the above stated conditions shall be interpreted as the regulations in effect at the time of preliminary site plan/plat approval.
10. The placement of a dumpster and/or community swimming pool shall not be located within 50 feet of the adjacent property identified by folio number 024705.0000. If, at the time of site development review for the subject PD, the property identified by folio number 24705.0000, is under common

APPLICATION: PRS 21-0209

ZHM HEARING DATE: N/A

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ownership with the subject PD or is the subject of a rezoning petition for greater density this condition shall not apply.

11. The Development of the project shall proceed in strict accordance with the terms and conditions contained in the Development Order, the General Site Plan, the land use conditions contained herein, and all applicable rules, regulations, and ordinances of Hillsborough County.
12. Within 90 days of approval of ~~PRS 19-1094~~ PRS 21-0209 by the Hillsborough County Board of County Commissioners, the applicant shall submit to the Development Services Department a revised General Development Plan for certification which conforms the notes and graphics of the plan to the conditions outlined above and the Land Development Code (LDC). Subsequent to certification of the plan, if it is determined the certified plan does not accurately reflect the conditions of approval or requirements of the LDC, said plan will be deemed invalid and certification of a revised plan will be required.

Staff's Recommendation: Approval, subject to conditions

Zoning
Administrator



Brian Grady

Sign-off: Mon Jan 25 2021 16:15:18

MAIER
 LANDSCAPE ARCHITECTURE
 1100 N. W. 15th Ave., Suite 100
 Fort Lauderdale, FL 33304
 Phone: (954) 561-1100
 Fax: (954) 561-1101
 Email: info@maier.com

NO.	DATE	DESCRIPTION
1	08/20/2008	PRELIMINARY PLAN
2	09/15/2008	REVISED PLAN
3	10/10/2008	REVISED PLAN
4	11/05/2008	REVISED PLAN
5	12/01/2008	REVISED PLAN
6	01/07/2009	REVISED PLAN
7	02/04/2009	REVISED PLAN
8	03/02/2009	REVISED PLAN
9	03/30/2009	REVISED PLAN
10	04/27/2009	REVISED PLAN
11	05/25/2009	REVISED PLAN
12	06/22/2009	REVISED PLAN
13	07/20/2009	REVISED PLAN
14	08/17/2009	REVISED PLAN
15	09/14/2009	REVISED PLAN
16	10/12/2009	REVISED PLAN
17	11/09/2009	REVISED PLAN
18	12/07/2009	REVISED PLAN
19	01/04/2010	REVISED PLAN
20	02/01/2010	REVISED PLAN
21	02/25/2010	REVISED PLAN
22	03/20/2010	REVISED PLAN
23	04/15/2010	REVISED PLAN
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25	06/05/2010	REVISED PLAN
26	07/01/2010	REVISED PLAN
27	08/01/2010	REVISED PLAN
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98	07/01/2016	REVISED PLAN
99	08/01/2016	REVISED PLAN
100	09/01/2016	REVISED PLAN

PROJECT DATA
 PROJECT NUMBER: 08493-0000
 PROPERTY SIZE: 3.6411 AC
 EXISTING ZONING: RESIDENTIAL SINGLE-FAMILY CONVENTIONAL-4 (RSC4)
 PROPOSED ZONING: PLANNED DEVELOPMENT (PD)
 FUTURE LAND USE CATEGORY: RESIDENTIAL 20 (R-20)
 EXISTING USE: SINGLE FAMILY RESIDENTIAL
 PROPOSED USE: MULTI-FAMILY RESIDENTIAL TOWNHOMES
 PROPOSED DENSITY: 20 DWELLING UNITS/ACRE (77 DWELLING UNITS)

BUILDING SETBACKS:
 FRONT: 35'
 SIDE (EAST & SOUTH BOUNDARY): 20'
 SIDE (WEST BOUNDARY): 10'
 REAR: 10'

MAXIMUM BUILDING HEIGHT:
 3 STORIES/45'
 THE ADDITIONAL 15' MAXIMUM HEIGHT IS FOR BUILDING HEIGHTS EXCEEDING 20 FEET (NOT APPLY)

PROPERTY OWNER:
 BRYAN WAGNER
 10000 WILLOW VILLA DR, APT. 100
 TAMPA, FL 33613

APPLICANT:
 MAPLEBROOK REALTY CORPORATION
 701 HIGHWAY 48, SUITE 200
 FORT PIERCE, FL 33905

PLANNER/REPRESENTATIVE:
 TONY HANEY, AICP
 MAIER CONSULTING, P.A.
 1100 N. W. 15th AVE, SUITE 100
 TAMPA, FL 33608

RE ZONING FOR MAPLEBROOK REALTY CORPORATION

TO SITE ADDRESS:
 3429 W. KENYON AVE
 HILLSBOROUGH COUNTY, FLORIDA

SCALE: 1" = 40'

PD 82-0364 R-20
 60' R.O.W. 24'+- PAVEMENT WIDTH, GOOD CONDITION

COLWELL AVE - (2 LANE UNDIVIDED LOCAL ROAD)
 60' R.O.W. 24'+- PAVEMENT WIDTH, GOOD CONDITION

20' Bldg Setback

PD 05-1640 R-20
 50' R.O.W. 24'+- PAVEMENT WIDTH, GOOD CONDITION

W KENYON AVE - (2 LANE UNDIVIDED LOCAL ROAD)
 50' R.O.W. 24'+- PAVEMENT WIDTH, GOOD CONDITION

PD 87-0034 R-20
 50' R.O.W. 24'+- PAVEMENT WIDTH, GOOD CONDITION

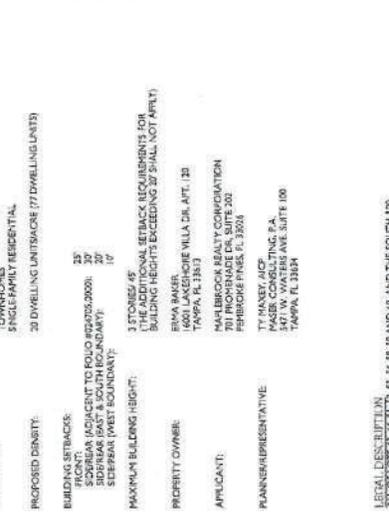
PD 89-0177 R-20
 50' R.O.W. 24'+- PAVEMENT WIDTH, GOOD CONDITION

LEGEND

- PD BOUNDARY
- PARCEL LINES
- EXISTING ZONING DISTRICT
- COMPREHENSIVE FUTURE LAND USE CATEGORY
- EXISTING ZONING DISTRICT BOUNDARY
- 150' PARCEL BUFFER
- PROPOSED FULL MOVEMENT ACCESS POINT (SEE NOTE #17 THIS SHEET)
- PROPOSED LIMITED MOVEMENT ACCESS POINT (SEE NOTE #18 THIS SHEET)
- MINIMUM 10' LANDSCAPED BUFFER
- MINIMUM 10' TYPE "B" LANDSCAPED BUFFER (IF SOLID FENCIBLE WALL SHALL BE PROVIDED)
- MINIMUM 11' TYPE "B" LANDSCAPED BUFFER (IF SOLID FENCIBLE WALL SHALL BE PROVIDED)



LEGAL DESCRIPTION:
 ALL OF PORTION 24, 11, 12, 13, 14, 15, 16, 17 AND 18 OF THE SOUTH 100 FEET OF LOT 27 OF WILLIAMS FARMS SUBDIVISION, ACCORDING TO A RECORD PLAT THEREON, BEING PART OF THE PUBLIC RECORDS OF RECORDS OF HILLSBOROUGH COUNTY, FLORIDA.



- NOTES:**
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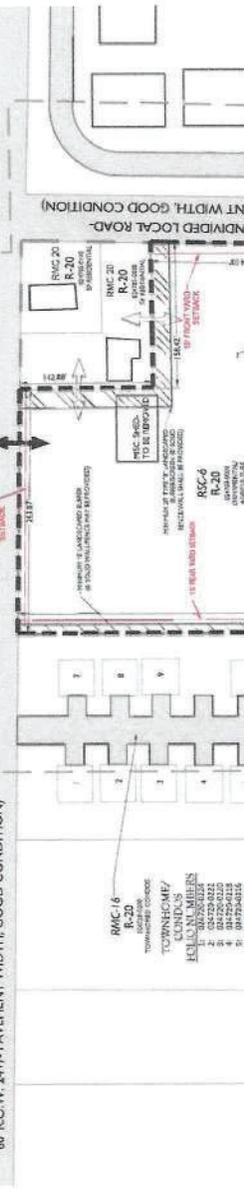
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 FORT PIERCE, FL 33905

PLANNER/REPRESENTATIVE:
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 MAIER CONSULTING, P.A.
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 - 26) THE SUBJECT PROPERTY IS LOCATED WITHIN THE UNINCORPORATED AREA OF HILLSBOROUGH COUNTY, FLORIDA.
 - 27) THE SUBJECT PROPERTY IS LOCATED WITHIN THE UNINCORPORATED AREA OF HILLSBOROUGH COUNTY, FLORIDA.

RE ZONING FOR MAPLEBROOK REALTY CORPORATION

TO SITE ADDRESS:
 3429 W. KENYON AVE
 HILLSBOROUGH COUNTY, FLORIDA

SCALE: 1" = 40'

PD 82-0364 R-20
 60' R.O.W. 24'+- PAVEMENT WIDTH, GOOD CONDITION

COLWELL AVE - (2 LANE UNDIVIDED LOCAL ROAD)
 60' R.O.W. 24'+- PAVEMENT WIDTH, GOOD CONDITION

20' Bldg Setback

PD 05-1640 R-20
 50' R.O.W. 24'+- PAVEMENT WIDTH, GOOD CONDITION

W KENYON AVE - (2 LANE UNDIVIDED LOCAL ROAD)
 50' R.O.W. 24'+- PAVEMENT WIDTH, GOOD CONDITION

PD 87-0034 R-20
 50' R.O.W. 24'+- PAVEMENT WIDTH, GOOD CONDITION

PD 89-0177 R-20
 50' R.O.W. 24'+- PAVEMENT WIDTH, GOOD CONDITION

LEGEND

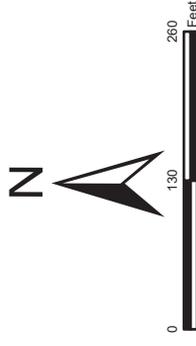
- PD BOUNDARY
- PARCEL LINES
- EXISTING ZONING DISTRICT
- COMPREHENSIVE FUTURE LAND USE CATEGORY
- EXISTING ZONING DISTRICT BOUNDARY
- 150' PARCEL BUFFER
- PROPOSED FULL MOVEMENT ACCESS POINT (SEE NOTE #17 THIS SHEET)
- PROPOSED LIMITED MOVEMENT ACCESS POINT (SEE NOTE #18 THIS SHEET)
- MINIMUM 10' LANDSCAPED BUFFER
- MINIMUM 10' TYPE "B" LANDSCAPED BUFFER (IF SOLID FENCIBLE WALL SHALL BE PROVIDED)
- MINIMUM 11' TYPE "B" LANDSCAPED BUFFER (IF SOLID FENCIBLE WALL SHALL BE PROVIDED)

Immediate Aerial Zoning Map

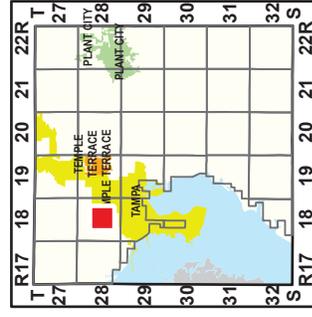
PRS 21-0209

Folio: 24703.0000

-  Application Site
-  Zoning Boundary
-  Parcels



STR: 22-28-18



NOTE: Every reasonable effort has been made to assure the accuracy of this map. Hillsborough County does not assume any liability arising from use of this map.
 THIS MAP IS PROVIDED WITHOUT WARRANTY OF ANY KIND, either expressed or implied, including, but not limited to, the implied warranties of merchantability and fitness for a particular purpose.
 SOURCE: This map has been prepared for the inventory of real property found within Hillsborough County and is compiled from recorded deeds, plats, and other public records; it has been based on BEST AVAILABLE data.
 Users of this map are hereby notified that the aforementioned public primary information sources should be consulted for verification of the information contained on this map.





**CURRENTLY
APPROVED**



Hillsborough County Florida

DEVELOPMENT SERVICES

PO Box 1110 Tampa, FL 33601-1110

September 20, 2019

Reference: PRS 19-1094 EGL
Maplebrook Realty Corporation
3409 W. Kenyon Ave./24703.0000

Michael D. Horner, AICP
14502 N. Dale Mabry Hwy., #200
Tampa, FL 33618

Dear Applicant:

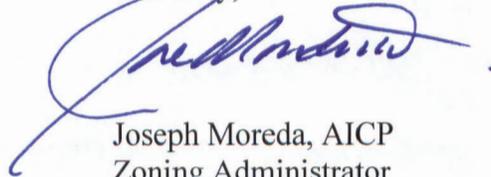
At the regularly scheduled public meeting on September 10, 2019, the Board of County Commissioners approved your request for a minor modification to PD 17-1288, with the attached amended final conditions.

A condition of approval is that the applicant submit a revised General Site Plan reflecting all changes, within 90 days of approval. Failure to submit the site plans within the time period will place your property in violation.

To comply with this condition, please complete and submit to the Development Services Department, 20th floor of the County Center, 601 E. Kennedy Boulevard, the enclosed application for General Site Plan Review/Certification. For information concerning the certification process, please contact our office at 272-5600. Please keep this letter for your records.

If you have any questions regarding this, please feel free to contact Brian Grady at 813-276-8343 or by email at GradyB@HCFLGov.net.

Sincerely,



Joseph Moreda, AICP
Zoning Administrator

JM/mn
Attachments

BOARD OF COUNTY COMMISSIONERS

Ken Hagan

Pat Kemp

Lesley "Les" Miller, Jr.

Sandra L. Murman

Kimberly Overman

Mariella Smith

Stacy R. White

COUNTY ADMINISTRATOR

Michael S. Merrill

COUNTY ATTORNEY

Christine M. Beck

INTERNAL AUDITOR

Peggy Caskey

CHIEF DEVELOPMENT & INFRASTRUCTURE SERVICES

ADMINISTRATOR

Lucia E. Garsys

Approval of the request, subject to the conditions listed, is based on the revised general site plan submitted August 26, 2019.

1. The project shall be limited to a maximum of 77 townhome units and/or multi-family residential units developed in accordance with RMC-20 zoning district standards unless otherwise specified herein. The project shall be permitted to maintain the existing single-family residential use of the subject property until such time the proposed project redevelops.

MINIMUM BUILDING SETBACKS

- a. Minimum Front Yard Setback: 25 Feet
 - i. Exception: 15 Feet Along High Street
 - ii. Exception: 20 Feet Along Colwell Avenue
 - b. Minimum West Boundary Setback: 10 Feet
 - i. Exception: 15 Feet Adjacent to Folio 24720.0200
 - c. Minimum East & South Boundary Setback: 20 Feet
 - i. Exception: 15 Feet Along High Street
 - d. Minimum Adjacent to Folio 24705.0000: 30 Feet
 - i. A minimum building setback of 30 feet shall be provided adjacent to the property identified by folio number 24705.0000. If, at the time of site development review for the subject PD, the property identified by folio number 24705.0000, is under common ownership with the subject PD or is the subject of a rezoning petition for greater density or use that otherwise does not require screening/buffering per LDC 6.06.06, the 30' minimum building setback adjacent to folio number 024705.0000 shall not apply, and the minimum setback shall be in accordance with the LDC (RMC-20 standards), if applicable.
2. Buildings shall be a maximum of 3 stories with a maximum building height of 45 feet. Buildings shall not be subject to the increased setback requirements for buildings with a height over 20 feet.
 3. Buffering and screening shall be required as shown on the General Development Plan received on August 26, 2019 or unless otherwise specified herein.
 - a. A minimum 20-foot landscaped buffer/screen shall be provided adjacent to the property identified by folio number 24705.0000. The landscaped buffer shall include: a) an eight foot (8') solid fence/wall (finished side out); and, b) a row of evergreen shade trees, minimum ten feet (10') high and two-inch (2") caliper at the time of planting, planted not more than ten feet (10') apart and within ten feet (10') of the property line; and c) lawn, low growing evergreen plants, evergreen ground cover, or rock mulch covering the balance of the buffer. If, at the time of site development review for the subject PD, the property identified by folio number 24705.0000, is under common ownership with the subject PD or is the subject of a rezoning petition for greater density or use that

otherwise does not require screening/buffering per LDC 6.06.06, this condition shall not apply, and buffering/screening shall be in accordance with the LDC.

4. This site is located within the City of Tampa Water and Wastewater Service Area. The applicant should contact the City of Tampa's Water and Wastewater Departments to determine the availability of Water and/or Wastewater Service and for their Comments.
5. The project shall be limited to one (1) access driveway to Colwell Avenue. Vehicular cross-access between the subject PD and the development adjacent to the west PD boundary may be provided as shown on the General Development Plan.
6. The developer shall construct a sidewalk along its property frontage on Colwell Avenue.
7. The Developer shall be allowed an optional emergency access.
8. The type, location, size and number of signs permitted shall be as set forth in Part 7.03.00 of the Land Development Code with the following exception(s):
 - 8.1 Ground Signs shall be limited to Monument Signs.
 - 8.2 Billboards, pennants and banners shall be prohibited.
9. If the notes and/or graphic on the site plan are in conflict with specific zoning conditions and/or the Land Development Code (LDC) regulations, the more restrictive regulation shall apply, unless specifically conditioned otherwise. References to development standards of the LDC in the above stated conditions shall be interpreted as the regulations in effect at the time of preliminary site plan/plat approval.
10. The placement of a dumpster and/or community swimming pool shall not be located within 50 feet of the adjacent property identified by folio number 024705.0000. If, at the time of site development review for the subject PD, the property identified by folio number 24705.0000, is under common ownership with the subject PD or is the subject of a rezoning petition for greater density this condition shall not apply.
11. The Development of the project shall proceed in strict accordance with the terms and conditions contained in the Development Order, the General Site Plan, the land use conditions contained herein, and all applicable rules, regulations, and ordinances of Hillsborough County.
12. Within 90 days of approval of PRS 19-1094 by the Hillsborough County Board of County Commissioners, the applicant shall submit to the Development Services Department a revised General Development Plan for certification which conforms the notes and graphics of the plan to the conditions outlined above and the Land Development Code (LDC). Subsequent to certification of the plan, if it is determined the certified plan does not accurately reflect the conditions of approval or requirements of the LDC, said plan will be deemed invalid and certification of a revised plan will be required.

**HILLSBOROUGH COUNTY
DEVELOPMENT SERVICES DEPARTMENT
GENERAL SITE PLAN
REVIEW/CERTIFICATION APPLICATION INFORMATION PACKET**

The attached application form must be completed and submitted with the set of site plans to the Community Development Section, ATTENTION: SITE PLAN CERTIFICATION, 20th Floor of the County Center, 601 E. Kennedy Blvd., Tampa, FL 33602

INSTRUCTIONS

FOLDED copies of the general site plan must be provided.

DO NOT COPY FINAL CONDITIONS OF APPROVAL ON THE GENERAL SITE PLAN.

Certification Submittal Check List:

- 1. Rezoning (RZ) and Major Modification (MM) applications: **Three (3) folded copies** of the General Site Plan.
- 2. Personal Appearance (PRS) application: **Three (3) folded copies** of the General Site Plan.

NOTE: If you wish to receive a paper copy of the Certified Site Plan, you must submit your request in writing to Cindy-Jean Le Blanc, Hillsborough County Development Services Department, Community Development Section, 601 E. Kennedy Blvd. 20th Floor, Tampa, FL 33602 or email to leblancc@hillsboroughcounty.org.

REVIEW AND PROCESSING SCHEDULES

1. **Rezoning applications for Planned Development (PD) or Major Modification (MM):**

Within 21 calendar days of the submittal date of the general site plan, the Applicant/Applicant's Representative shall be notified by the Development Services Department of the plan approval/disapproval.

- 1-A If the general site plan is approved, then formal processing shall require ten (10) additional calendar days. Total processing time for an approved general site plan shall require a maximum of 30 calendar days.
- 1-B If the general site plan is disapproved, the Applicant/Applicant's Representative shall be required to submit a revised set of general site plans utilizing the same submittal requirements and time frames as outlined above.

2. **Rezoning applications for Planned Development (PD), Planned Development-Specific (PD-S), Planned Development-Specific with concurrent Site Development Review, or Major Modification (MM):**

Within ten (10) calendar days after the date of the filing of the Zoning Hearing Master's (ZHM) recommendation the Applicant/Applicant's Representative shall submit a set of general site plans for certification and approval by the BOCC at the BOCC Land Use Meeting.

- 2-A The general site plan will be reviewed by staff to determine if it is eligible for certification and approval by the BOCC at the BOCC Land Use Meeting.
 - 2-A-1 If the general site plan is determined to be eligible for certification, it will go before the BOCC for approval at the BOCC Land Use Meeting.
 - 2-A-2 If the general site plan is determined to **not** be eligible for certification, then the application will be automatically continued to the next scheduled BOCC Land Use Meeting, and a resubmittal of a set of revised general site plans for certification will be required.
- 2-B If the general site plan is approved for certification by the BOCC, then formal processing shall require ten (10) additional calendar days from the date of the BOCC Land Use Meeting.
- 2-C If the general site plan is **not** approved for certification by the BOCC, then the application will be automatically continued to the next scheduled BOCC Land Use Meeting and a resubmittal of a set of revised general site plans for certification will be required if applicable.

3. **Minor Modification (PRS) submitted any time:**

Within 21 calendar days of the submittal date of the general site plan, the Applicant's Representative shall be notified by the Development Services Department of the plan approval/disapproval.

- 3-A If the plan is approved for certification, then formal processing shall require ten (10) additional calendar days. Total processing time for an approved site plan shall require a maximum of 30 calendar days.
- 3-B If the plan is disapproved, the Applicant shall be required to submit a revised set of plans utilizing the same submittal requirements and time frames as outlined in 3-A above.

**HILLSBOROUGH COUNTY
PLANNING AND GROWTH MANAGEMENT DEPARTMENT
GENERAL SITE PLAN
REVIEW/CERTIFICATION APPLICATION**

To Be Completed by Applicant or Representative

Rezoning File No. RZ _____

Related File Number (if applicable): MM _____ PRS _____

BOCC Land Use Date: _____

Project Name: _____

Check the appropriate box(es):

- The attached site plan meets all conditions of approval and requirements of certification as required by Planning and Growth Management Staff and by the Zoning Hearing Master.
- The attached site plan does not meeting the following conditions of approval and/or requirements of certification:
- As required by PGM Staff: _____

- As required by the Zoning Hearing Master: _____

Applying for Oral Argument? Yes No

Applicant: _____ Phone Number: _____

Mailing _____ Address: _____

E-mail Address: _____

Representative: _____ Phone Number: _____

Mailing _____ Address: _____

E-mail Address: _____

I HEREBY CERTIFY that this application and all plans submitted herewith are true representations of all facts concerning the proposed General Site Plan Certification.

Signature of Applicant or Authorized Representative

Date

AIRPORT HAZARD EVALUATION

(Effective October 13, 2015)

Properties located within the map areas depicted below may be subject to a separate Airport Height Zoning Permit approval process of the Hillsborough County Aviation Authority (HCAA), pursuant to the HCAA's Airport Zoning Regulations. Additionally, pursuant to an Interlocal Agreement between the HCAA and Hillsborough County, any Land Development Proposal within proximity to Tampa International Airport and Tampa Executive Airport and Educational facilities and landfills located with certain mapped areas will be transmitted to HCAA for review.

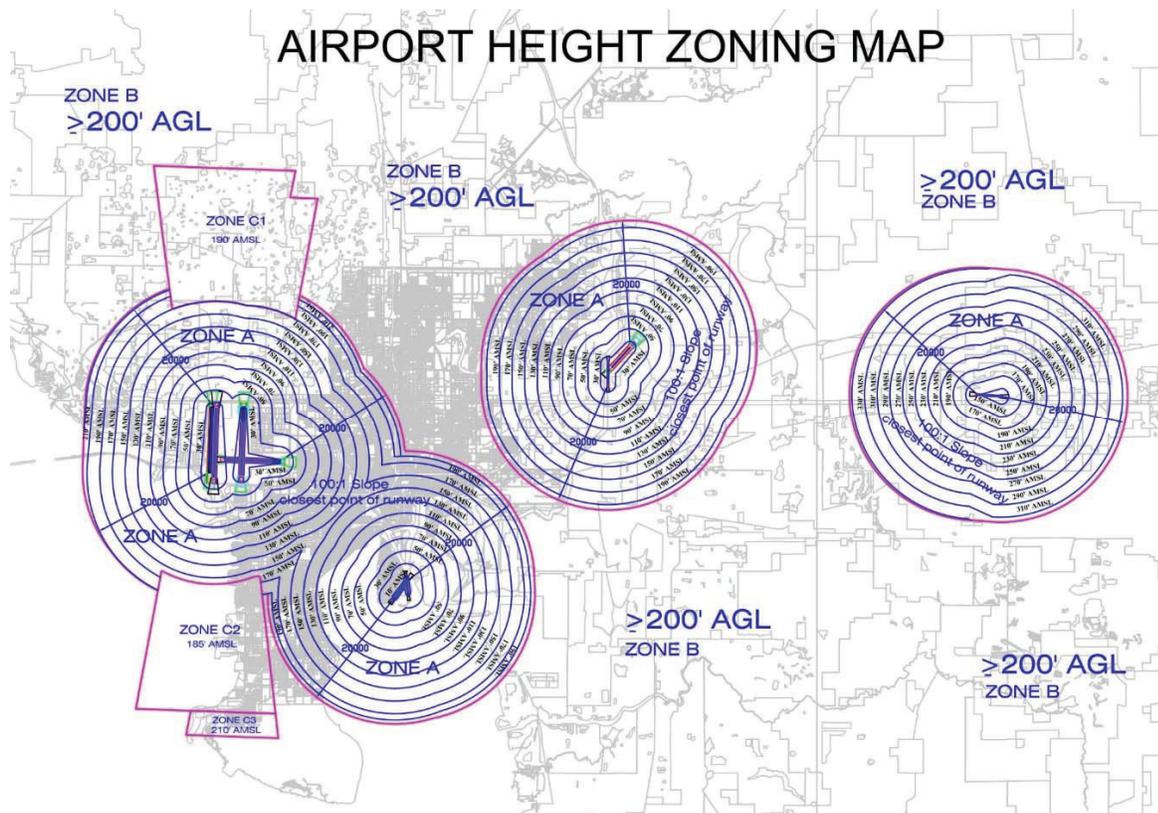
For additional information and questions:

Tampa International Airport Information Link: <http://www.tampaairport.com/airport-height-zoning>

Contact: Tony Mantegna / Tampa International Airport

Phone: (813) 870-7863

tmantegna@tampaairport.com





AGENCY COMMENTS

**WATER RESOURCE SERVICES
REZONING REVIEW COMMENT SHEET: WATER & WASTEWATER**

PETITION NO.: MM21-0209 **REVIEWED BY:** Randy Rochelle **DATE:** 1/8/2021

FOLIO NO.: 24703.0000

This agency would (support), (conditionally support) the proposal.

WATER

- The property lies within the City of Tampa Water Service Area. The applicant should contact the provider to determine the availability of water service.
- No Hillsborough County water line of adequate capacity is presently available.
- A ___ inch water main exists (adjacent to the site), (approximately ___ feet from the site) _____.
- Water distribution improvements may be needed prior to connection to the County's water system.
- No CIP water line is planned that may provide service to the proposed development.
- The nearest CIP water main (____ inches), will be located (adjacent to the site), (feet from the site at ____). Expected completion date is _____.

WASTEWATER

- The property lies within the City of Tampa Wastewater Service Area. The applicant should contact the provider to determine the availability of wastewater service.
- No Hillsborough County wastewater line of adequate capacity is presently available.
- A ___ inch wastewater main exists (adjacent to the site), (approximately _____ feet from the site) _____.
- Wastewater distribution improvements may be needed prior to connection to the County's wastewater system.
- No CIP wastewater line is planned that may provide service to the proposed development.
- The nearest CIP wastewater main (____ inches), will be located (adjacent to the site), (feet from the site at ____). Expected completion date is _____.

COMMENTS: This site is located within the City of Tampa Water and Wastewater Service Area. The applicant should contact the City of Tampa's Water and Wastewater Departments to determine the availability of Water and/or Wastewater Service and for their Comments.

AGENCY REVIEW COMMENT SHEET

TO: Zoning Technician, Development Services Department

DATE: 01/22/2021

REVIEWER: Sofia Garantiva, AICP, Senior Planner

AGENCY/DEPT: Transportation

PLANNING AREA/SECTOR: Egypt Lake (EGL)

PETITION NO: PRS 21-0209

- | | |
|----------|---|
| | This agency has no comments. |
| X | This agency has no objection. |
| | This agency has no objection, subject to the listed or attached conditions. |
| | This agency objects for the reasons set forth below. |

PROJECT OVERVIEW AND CONCLUSIONS

The applicant is requesting a minor modification to PD 17-1288 to modify setbacks. The intensity of the approved uses will not be changing.

As this change will have no impact on the adjacent transportation network, Transportation Review Section staff has no objection to this request.