

SUBJECT: Avila Unit 14 Phase 2E
DEPARTMENT: Development Review Division of Development Services Department
SECTION: Project Review & Processing
BOARD DATE: February 9, 2021
CONTACT: Lee Ann Kennedy

RECOMMENDATION:

Accept the plat for recording for Avila Unit 14 Phase 2E, A Private Subdivision, located in Section 26, Township 27, and Range 18. Construction has been completed and has been certified by Clint R. Cuffle, a Florida Professional Engineer, with Water Resource Associates, LLC.

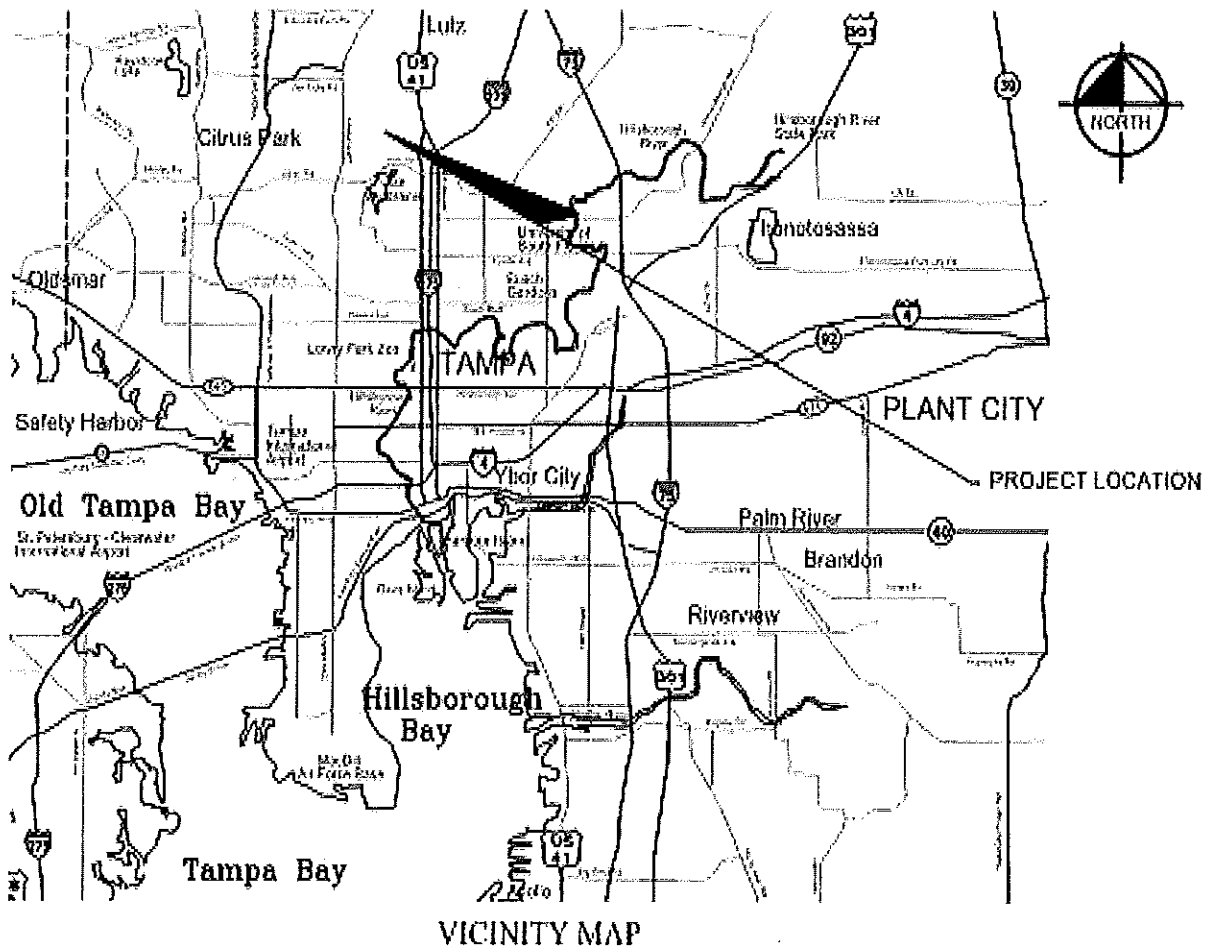
BACKGROUND:

On February 29, 2016, Permission to Construct Prior to Platting was issued for the Avila Unit 14 Phase 2E. Lot corners are in place and placement has been certified by Arthur W. Merritt, Professional Surveyor and Mapper with Amerritt, Inc. The developers are Sierra-Properties, and the engineer is Water Resource Associates, LLC.



4260 West Linebaugh Avenue
Tampa, Florida 33618
813-265-3130 phone
813-265-6610 fax
www.wraengineering.com

Avila Unit 14 Vicinity Map



AMERRITT, INC.
LAND SURVEYING & MAPPING

Arthur W. Merritt
Florida Registered
Professional Land Surveyor

3010 W. Azeele Street, Suite 150
Tampa, Florida 33609

Phone: (813) 221-5200
Email: ArtM@AMerrittinc.com

AVILA UNIT NO. 14 PHASE 2E
LOT CORNER CERTIFICATION

The Lot Corners for the above referenced project, which is a one lot plat, were set as Permanent Reference Monuments (P.R.M.s), prior to submittal of the Original Plat Document for approval and recording. Therefore, by doing so, there is no Bonding required for setting the Lot Corners.

The following Surveyor's Certificate is taken from the signed and sealed Original Plat Document that was submitted for recording to Hillsborough County for the above referenced project:

SURVEYOR'S CERTIFICATE

I, the undersigned surveyor, hereby certify that this Platted Subdivision is a correct representation of the lands being subdivided; that this plat was prepared under my direction and supervision and complies with all the survey requirements of Chapter 177, Part I, Florida Statutes, and the Hillsborough County Land Development Code; and that all Permanent Reference Monuments (P.R.M.'s) within the subdivision as required by said Chapter 177 of the Florida Statutes were set on the 19th, day of October, 2020, as shown hereon, and there are no lot corners or Permanent Control Points (P.C.P.s) on this plat to be set.

AMERRITT, INC., (Certificate of Authorization Number LB7778)
3010 W. Azeele Street, Suite 150
Tampa, Florida 33609



Arthur W. Merritt, (License No. LS4498)
Florida Professional Surveyor and Mapper



AVILA UNIT NO. 14 PHASE 2E
SECTION 26, TOWNSHIP 27 SOUTH, RANGE 18 EAST,
HILLSBOROUGH COUNTY, FLORIDA

PLAT BOOK PAGE

DESCRIPTION: A parcel of land lying in Section 26, Township 27 South, Range 18 East, Hillsborough County, Florida, and being more particularly described as follows:

COMMENCE at the Southwest corner of the Southeast 1/4 said Section 26, run thence along the West boundary of the Southwest 1/4 of said Section 26, the following three (3) courses: 1) N.09°01'28"W., 220.00 feet to the Point of Beginning; 2) S.89°58'34"W., 191.04 feet to the Point of Beginning; 3) S.00°15'54"W., 32.98 feet; thence S.89°58'34"W., 191.04 feet to the **POINT OF BEGINNING**.

Containing 0.541 acres, more or less.

BOARD OF COUNTY COMMISSIONERS

This plat has been approved for recordation.

Date _____ Chairman _____

CLERK OF CIRCUIT COURT

County of Hillsborough
 State of Florida

I hereby certify that this subdivision plat meets the requirements in term, of Chapter 177 Part 1 of the Florida Statutes and has been filed for record in Plat Book _____, Page _____, of the Public Records of Hillsborough County, Florida.

BY: _____ BY: _____
 Clerk of Circuit Court Deputy Clerk
 This _____ day of _____, 20____ TIME _____
 CLERK FILE NUMBER _____

REVIEWING AGENCY SURVEYOR'S CERTIFICATE

PLAT APPROVAL: This plat has been reviewed in accordance with the Florida Statutes, Section 177.081 for Chapter conformity. The geometric data has not been verified.

Reviewed by: _____
 Florida Professional Surveyor and Mapper, License No. _____
 Survey Section, Geospatial & Land Acquisition Services Department, Hillsborough County

NOTICE: This plat, as recorded in its graphic form, is the official declaration of the subdivided lands described herein and will, in no circumstances, be supplanted in authority by any other graphic or digital form of the plat. There may be additional restrictions that are not recorded on this plat that may be found in the Public Records of this County.

SURVEYOR'S CERTIFICATE

I, the undersigned surveyor, hereby certify that this plat is a correct representation of the lands being subdivided; that this plat was prepared under my direction and supervision and complies with all the survey requirements of Chapter 177, Part 1, Florida Statutes, and the Hillsborough County Land Development Ordinance, Chapter 177, Part 1, Florida Statutes, and the Hillsborough County Ordinance, Chapter 177, Part 1, Florida Statutes, and the Florida Statutes, and that the plat is required by said Chapter 177 of the Florida Statutes were set on the 19th day of October, 2024, as shown hereon, and there are no lot corners or Permanent Control Points (P.C.P.s) on this plat to be set.

AMERITT, INC. (Certificate of Authorization Number LB7778)
 3010 W. Asclepe Street, Suite 150
 Tampa, Florida 33609

Arthur W. Merritt, (License No. LS4498)
 Florida Professional Surveyor and Mapper

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SHEET 1 OF 4 SHEETS

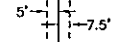
AVILA UNIT NO. 14 PHASE 2E
SECTION 26, TOWNSHIP 27 SOUTH, RANGE 18 EAST,
HILLSBOROUGH COUNTY, FLORIDA

NOTES:

1. Northing and Easting coordinates (indicated in feet) as shown herein refer to the State Plane Coordinate System, North American Horizontal Datum of 1983 (NAD 83 - 2011 ADJUSTMENT) for the West Zone of Florida, have been established to a minimum of third order accuracy, and are supplemental data only. Control point used for originating coordinates: National Geodetic Survey (NGS) Control Station "CALDWELL".
2. Subdivision plats by no means represent a determination on whether properties will or will not flood. Land within the boundaries of this plat may or may not be subject to flooding; the Development Services Division has information regarding flooding and restrictions on development.
3. Public Drainage Easements shall not contain permanent improvements, including, but not limited to, sidewalks, driveways, impervious surfaces, patios, decks, pools, air conditioning, driveways, utility poles, fences, sprinkler systems, trees, shrubs, hedges, and landscaping plants other than grass, except for landscaping of stormwater detention and retention ponds as required by the Land Development Code, except as approved by the County Administrator. This note shall appear on each affected deed.
4. All related utility easements shall provide that such easements shall also be easements for the construction, installation, maintenance, and operation of cable television services; provided, however, no such construction, installation, maintenance, and operation of cable television services shall interfere with the facilities and services of an electric, telephone, gas, or other public utility.

PARALLEL, OFFSET DIMENSIONS NOTE:

ESSENTIAL SURFACES AND OTHER SUCH LABELS AND DIMENSIONS OF A PARALLEL NATURE SHALL BE MEASURED TO THE NEAREST FOOT (IE: 5' UTILITY EASEMENT) TO THE BE THE SAME DIMENSION EXTENDED TO THE NEAREST HUNDREDTH OF A FOOT WITH NO GREATER OR LESSER VALUE. (IE: 5' = 5.00') (IE: 7.5' = 7.50'). THIS IS NOT INTENDED TO APPLY TO OTHER STANDARD DIMENSIONS.



DEDICATION:

The undersigned, LLATS, LLC, a Florida limited liability company, as owner of the lands plotted herein does hereby dedicate this plat of AVILA UNIT NO. 14 PHASE 2E for record. Owner hereby states and declares the following:
 The land contained in this plat is declared to be part of the Avila Subdivision, and is subject to the terms, conditions and covenants of the following instruments (all recording reference to the Public Records of Hillsborough County, Florida):
 Decedent's Will of the undersigned, dated 10/11/2007, which contains provisions for a private change of easement, including any amendments or modifications thereto, recorded in Official Record Book 22785, Page 760 and Supplemental Instrument Number 20100329447, together with such amendments as may be made from time to time in the future and any amendments that may have been made, but not listed herein.
 The private drainage easements as shown herein are not dedicated to the public, but are expressly reserved as private easements for the beneficial use of the AVILA PROPERTY OWNERS ASSOCIATION, INC., or other custodial and maintenance entity for purposes incidental thereto.
 The maintenance of private easements reserved by owner will be the responsibility of the owner, its assigns and its successors in title.

LLATS, LLC, a Florida limited liability company - OWNER

John R. Sierra, III, Vice President

Witness:

Witness:

Printed Name

Printed Name

ACKNOWLEDGEMENT: State of Florida, County of Hillsborough

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this _____ day of _____, 20____, by John R. Sierra, III as Vice President of LLATS, LLC, a Florida limited liability company, on behalf of the company. Personally known to me _____ or has produced _____ as identification.

Notary Public, State of Florida at Large

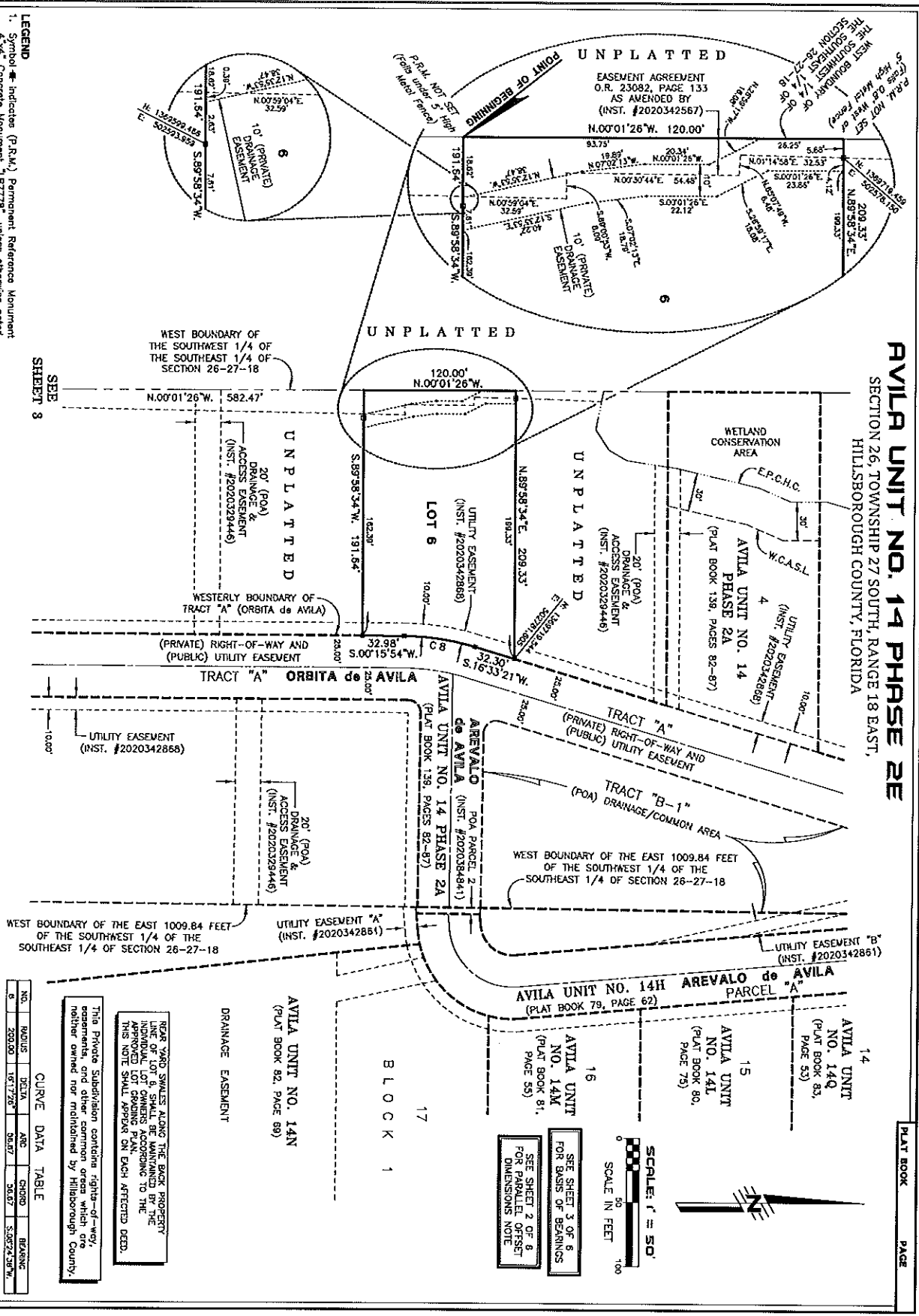
My Commission expires:

(Printed Name of Notary)

Commission Number:

AVILA UNIT NO. 14 PHASE 2E

SECTION 26, TOWNSHIP 27 SOUTH, RANGE 18 EAST,
HILLSBOROUGH COUNTY, FLORIDA



- LEGEND**
1. Symbol \bullet - Indicate (P.R.M.) Permanent Reference Monument.
 2. Symbol \circ - Indicate (P.R.M.) Offset Permanent Reference Monument.
 3. Symbol \square - Indicate (P.R.M.) Offset Permanent Reference Monument.
 4. Symbol \triangle - Indicate (P.C.P.) Permanent Control Point "B17778".
 5. (R) Indicate radial line.
 6. (NR) Indicate non-radial line.
 7. RB - Reference Bearing.
 8. O.R. - Official Records Book.
 9. P.O.A. - Avila Property Owner's Association, Inc.
 10. E.P.C.H.C. - Environmental Protection Commission of Hillsborough County.
 11. W.C.A.S.L. - Wetland Conservation Area Section Line.

WETLAND CONSERVATION AREA NOTE:

The Wetland Conservation Area as shown hereon shall be retained in a natural state and shall remain in Hillsborough County, Florida, Land Development Code (LDC) as amended, the Hillsborough County, Florida, Ordinance 98-448 and Chapter 1-11.1. Rules of the Environmental Protection Act, Chapter 18-448, Hillsborough County, in addition, a 30-foot setback from the Wetland Conservation Area is required and shall conform to the provisions stipulated within the Hillsborough County Land Development Code.

CURVE DATA TABLE

NO.	ADIUS	DELTA	ARC	CHORD	BEARING
1	300.00	161.726°	36.67'	36.67'	S.89°24.58'W.

NOTE: ROAD SWALES ALONG THE BACK PROPERTY LINE SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS ACCORDING TO THE APPROVED LOT GRADING PLAN. THIS NOTE SHALL APPEAR ON EACH AFFECTED DEED.

This Private Subdivision contains rights-of-way, easements, and other common areas which are neither owned nor maintained by Hillsborough County.

AMERRITT, INC.
LAND SURVEYING & MAPPING
Certificate of Authorization Number 18 7778
3010 W. Avenue Street, Suite 110
Hialeah, FL 33013-2215-5000

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