



ZONING HEARING MASTER AGENDA - FINAL

6:00 P.M. MONDAY, October 18, 2021

**R. W. Saunders Sr. Public Library
Ada T. Payne Community Room
1505 N. Nebraska Ave.**

WELCOME AND THANK YOU FOR YOUR PARTICIPATION IN COUNTY GOVERNMENT.

HEARING SCHEDULE:

The Following Items on the ZHM Agenda Will Be Heard Beginning at 6:00 P.M. With No New Petitions Starting After 12:00 A.M.: Rezoning (RZ) and Major Modifications (MM) to Planned Developments

HEARING ORDER:

- CALL TO ORDER BY THE HEARING OFFICER
- CONSIDERATION OF CHANGES TO THE AGENDA
- HEARING FOR INDIVIDUAL CASES

WHEN ADDRESSING THE HEARING OFFICER, PLEASE STATE YOUR NAME AND ADDRESS INTO THE MICROPHONE.

IF YOU WISH TO SUBMIT ADDITIONAL MATERIALS REGARDING YOUR APPLICATION TO THE HEARING OFFICER, PLEASE PROVIDE A MINIMUM OF FIVE (5) COPIES OF EACH ITEM. PLEASE BE ADVISED THAT MATERIALS SUBMITTED BECOME PART OF THE PERMANENT RECORD AND CANNOT BE RETURNED.



In accordance with the Americans with Disabilities Act, persons needing special accommodations to participate in the proceeding, and those seeking an interpreter, should contact the Customer Service Center at telephone number (813) 272-5900 or Hearing/Voice Impaired call 711 no later than 48 hours prior to the proceedings. This meeting is closed captioned for the hearing impaired.

The following dates pertain only to applications heard at the October 18, 2021 hearing. The Hearing Officer shall file a Recommendation or Final Decision for each application on November 08, 2021.

For Rezoning (RZ) and Major Modification (MM) applications, the Hearing Officer makes a recommendation to the Board of County Commissioners, which renders a final decision. These applications (RZ, MM) are currently scheduled to be heard by the Board of County Commissioners at the December 14, 2021 Land Use Meeting.

The participants at the ZHM public hearing shall consist of the Applicant, County Staff, County Agencies, Proponents, and Opponents, including the public and witnesses with relevant testimony. Each participant's presentation shall be limited in time as described below; however, the ZHM may grant additional time provided that good cause is shown.

The order of presentation for each petition is as follows:

- a. Applicant and witnesses; proposal: 15 minutes
- b. Administrator, summary of the applicant, County Staff and department findings: 5 minutes
- c. Planning Commission Staff; statement of compliance or non-compliance: 5 minutes
- d. Proponents; argument for the application: 15 minutes
- e. Opponents; argument against the application: 15 minutes
- f. Staff; amended recommendations, if any: 5 minutes
- g. Applicant; rebuttal and summation: 5 minutes

To the maximum extent practicable, the public hearing shall be informal. The ZHM's decision or recommendation must be filed with the Clerk of the BOCC within fifteen (15) working days after the conclusion of the public hearing. Anyone wishing to receive a copy of the recommendation or decision by mail must supply the Clerk of the BOCC with his/her name, address, and a stamped, self-addressed envelope for that purpose.

Please call 813-272-5600 for further information.

REVIEW PROCESS & STANDING TO SPEAK BEFORE THE BOCC FOR REZONING (RZ) REQUESTS, AND MAJOR MODIFICATIONS (MM) TO PLANNED DEVELOPMENTS

The Land Development Code (LDC) requires that a public hearing be conducted on certain land development requests (RZ, MM) prior to final decision by the Hillsborough County Board of County Commissioners (BOCC). Land Use Hearing Officers (LUHOs) conduct hearings. LUHOs do not make final decisions, but instead render recommendations to the BOCC. Final decisions by the BOCC are made at a public meeting governed by the requirements of the LDC.

The BOCC considers the recommendation of the LUHO at a public meeting. The BOCC can, by law, consider only the record of the proceedings before the LUHO. Additional evidence requests may be filed pursuant to the criteria in the LDC. The BOCC will consider the requests and may grant them if the appropriate criteria are met by the party making the requests.

Those persons wishing to speak before the BOCC at the public meeting may only do so if they qualify as a Party of Record. A Party of Record is a person that meets one of the following criteria:

- A. A person who was present at the hearing before the Land Use Hearing Officer (LUHO) and presented with oral testimony or documentary evidence.
- B. A person who was notified by Proof of Mailing on the hearing before the LUHO. This includes the Designated Representative(s) of the registered Neighborhood Organizations within 1 mile of the site for which the request was made.
- C. A person who submitted documentary evidence to the master file two (2) business days prior to the LUHO hearing or by proxy during the LUHO hearing.

Testimony from Parties of Record will be permitted at the BOCC public meeting for those applications placed on the Regular Agenda. Applications that do not meet the criteria for placement on the Regular Agenda are placed on the Consent Agenda. Testimony is not provided on Consent Agenda items. As no new evidence or testimony is permitted at the BOCC Land Use Meeting, qualifying Parties of Record can only speak to the oral testimony and/or documentary evidence submitted at the LUHO hearing or placed into the master file two (2) business days prior to the LUHO hearing. The BOCC Land Use Meeting Agenda can be viewed at HCFLGov.at at least 5 days prior the meeting.

Requests for Additional Evidence must be filed on the appropriate forms within ten (10) calendar days after the date of the filing of the LUHO's recommendation. All requests for Additional Evidence must be filed with the Clerk to the BOCC no later than close of business on [Insert Date]. You can file Request for Additional Evidence with the Clerk via email boccrec@hillsclerk.com or in person at 601 E. Kennedy Blvd, Tampa, FL 33601 or 419 Pierce Street, Room 140, Station 14 and 15, Tampa, FL 33602; fax (813) 272-5044; telephone: (813) 276- 8100, ext. 4567. The appropriate forms will be available at the LUHO Hearing.

A. WITHDRAWALS AND CONTINUANCES**A.1. RZ-PD 18-0798 Johnson Pope Bokor Ruppel & Bums, LLP**

This application is out of order to be heard and is being **Continued** to the **November 15, 2021** ZHM Hearing.

Attachments: [18-0798](#)

A.2. RZ-PD 20-1142 Rigoberto Reyes, Jr.

This application is out of order to be heard and is being **Continued** to the **January 18, 2022** ZHM Hearing.

Attachments: [20-1142](#)

A.3. MM 21-0316 University Community Hospital, Inc. / Dima Didenko

This application is being **Withdrawn** by the **Zoning Administrator** in accordance with **LDC Sec 10.03.02.C.2**

Attachments: [21-0316](#)

A.4. RZ-PD 21-0626 Francisco J. Otero-Cossio

This application is out of order to be heard and is being **Continued** to the **November 15, 2021** ZHM Hearing.

Attachments: [21-0626](#)

A.5. RZ-PD 21-0647 David Wright / TSP Companies, Inc.

This application is out of order to be heard and is being **Continued** to the **November 15, 2021** ZHM Hearing.

Attachments: [21-0647](#)

A.6. RZ-PD 21-0650 David Wright / TSP Companies, Inc.

This application is out of order to be heard and is being **Continued** to the **November 15, 2021** ZHM Hearing.

Attachments: [21-0650](#)

A.7. RZ-PD 21-0701 Soney FM LLC / Ram A. Goel

This application is being **Continued** by the **Applicant** to the **November 15, 2021** ZHM Hearing. .

Attachments: [21-0701](#)

A.8. RZ-PD 21-0745 Bricklemyer Law Group

This application is being **Continued** by the **Applicant** to the **November 15, 2021** ZHM Hearing.

Attachments: [21-0745](#)

A.9. RZ-PD 21-0748 Northstar Tampa Medical LLP

This application is being **Continued** by **Staff** to the **November 15, 2021** ZHM Hearing

Attachments: [21-0748](#)

A.10. RZ-PD 21-0863 BDG Sheldon, LLC

This application is being **Continued** by the **Applicant** to the **November 15, 2021** ZHM Hearing.

Attachments: [21-0863](#)

A.11. RZ-PD 21-0864 Belleair Development, LLC.

This application is being **Continued** by the **Applicant** to the **November 15, 2021** ZHM Hearing.

Attachments: [21-0864](#)

A.12. MM 21-0884 Build to Suit, Inc.

This application is being **Continued** by the **Applicant** to the **November 15, 2021** ZHM Hearing.

Attachments: [21-0884](#)

A.13. RZ-PD 21-0959 Lennar Homes, LLC

This application is being **Continued** by the **Applicant** to the **November 15, 2021** ZHM Hearing.

Attachments: [21-0959](#)

A.14. RZ-PD 21-0969 2nd Wave Development, LLC

This application is being **Continued** by the **Applicant** to the **November 15, 2021** ZHM Hearing.

Attachments: [21-0969](#)

A.15. RZ-PD 21-1042 Danva Real Estate, LLC.

This application is being **Continued** by the **Applicant** to the **December 13, 2021** ZHM Hearing.

Attachments: 21-1042

A.16. RZ-PD 21-1076 Lark Ventures, LLC/KISS Properties, LLC/Royce Kroenke

This application is out of order to be heard and is being **Continued** to the **November 15, 2021** ZHM Hearing.

Attachments: 21-1076

A.17. MM 21-1090 Boos Development / Jose Martinez

This application is being **Continued** by the **Applicant** to the **November 15, 2021** ZHM Hearing.

Attachments: 21-1090

A.18. RZ-PD 21-1092 PPF SS 1601 South Kingsway Road LLC.

This application is being **Continued** by the **Applicant** to the **November 15, 2021** ZHM Hearing.

Attachments: 21-1092

A.19. MM 21-1106 Cypress Creek Land Corp.

This application is being **Continued** by the **Applicant** to the **November 15, 2021** ZHM Hearing.

Attachments: 21-1106

A.20. MM 21-1108 Homes for Hillsborough, Inc. / Michael Morina

This application is out of order to be heard and is being **Continued** to the **November 15, 2021** ZHM Hearing.

Attachments: 21-1108

A.21. RZ-STD 21-1193 Planning, Design, & Mgt., Solutions, Inc. / Travis Hills

This application is being **Withdrawn** from the ZHM process.

Attachments: 21-1193

A.22. RZ-STD 21-1208 Graceland Real Estate Investment, Corp.

This application is being **Continued** by the **Applicant** to the **November 15, 2021** ZHM Hearing.

Attachments: 21-1208

B. REMANDS

B.1. Application Number:	RZ-PD 20-1266 (Remanded)
Applicant:	REVESTART LLC
Location:	11841 Balm Riverview Rd.
Folio Number:	77357.0007
Acreage:	4.86 acres, more or less
Comprehensive Plan:	RES-4
Service Area:	Urban
Existing Zoning:	AS-0.4
Request:	Rezone to PD

Attachments: [20-1266](#)

B.2. **Application Number:** **RZ-PD 21-0110**
 Applicant: GHASSAN S MOUSA
 Location: 11216 McMullen Rd.
 Folio Number: 76828.5382
 Acreage: 1 acre, more or less
 Comprehensive Plan: RES-4
 Service Area: Urban
 Existing Zoning: RSC-2
 Request: Rezone to PD

Attachments: [21-0110](#)

C. REZONING STANDARD (RZ-STD):

C.1. **Application Number:** **RZ-STD 21-0985**
 Applicant: Carlos A. Fuentes
 Location: 500' SE of E Martin Luther King Blvd & Orient Rd Intersection
 Folio Number: 0419993.0000
 Acreage (+/-): 4.75 acres, more or less
 Comprehensive Plan: OC-20 & R-12
 Service Area: Urban
 Existing Zoning: PD, 92-0056, RMC-12 & RDC-12
 Request: Rezone to CI-R

Attachments: [21-0985](#)

C.2. **Application Number:** **RZ-STD 21-1085**
 Applicant: Jomarcell Nguyen
 Location: W side of N Himes Ave & 140' S of W Minnehaha St
 Folio Number: 029306.0050
 Acreage (+/-): 0.14 acres, more or less
 Comprehensive Plan: R-20
 Service Area: Urban
 Existing Zoning: BPO & RSC-9
 Request: Rezone to RSC-9

Attachments: [21-1085](#)

- C.3. Application Number: RZ-STD 21-1099**
Applicant: RU Project Management Group, LLC.
Location: N side of Ann Ballard Rd & 520' W of Benjamin Rd
Folio Number: 027419.0000
Acreage (+/-): 0.97 acres, more or less
Comprehensive Plan: LI
Service Area: Urban
Existing Zoning: AI
Request: Rezone to M

Attachments: 21-1099

- C.4. Application Number: RZ-STD 21-1220**
Applicant: Jacob Goldstein
Location: SW corner of Causeway Blvd & S 70th St.
Folio Number: 047283.0000
Acreage (+/-): 3.66 acres, more or less
Comprehensive Plan: OC-20
Service Area: Urban
Existing Zoning: CN
Request: Rezone CI-R

Attachments: 21-1220

D. REZONING-PLANNED DEVELOPMENT (RZ-PD) & MAJOR MODIFICATION (MM):

- D.1. Application Number: RZ-PD 21-0113**
Applicant: WRH Valrico Station, LLLP.
Location: 45' N of Intersection: Silver Ln / Pullman Car Dr
Folio Number: 086164.0000, 086165.0000 & 086188.0250
Acreage (+/-): 15.61 acres, more or less
Comprehensive Plan: R-4 & R-9
Service Area: Urban
Existing Zoning: RSC-6 (MH), PD, 14-1098
Request: Rezone to Planned Development

Attachments: [21-0113](#)

- D.2. Application Number:** MM 21-0313
Applicant: Bullfrog MHC, LLC.
Location: North Side of Symmes Rd and Messler Rd
Folio Number: 050712.0100
Acreage (+/-): 6.78 acres, more or less
Comprehensive Plan: R-6
Service Area: Urban
Existing Zoning: PD (85-0306)
Request: Major Modification to a Planned Development

Attachments: [21-0313](#)

- D.3. Application Number:** MM 21-0865
Applicant: D. Marguerite Estate/Lin You-Feng
Location: SW corner of Big Bend Rd & Simmons Loop
Folio Number: 077731.0000 & 077734.0000
Acreage (+/-): 12.34 acres, more or less
Comprehensive Plan: UMU-20
Service Area: Urban
Existing Zoning: PD (11-0415 & 16-0209)
Request: Major Modification to a Planned Development

Attachments: [21-0865](#)

- D.4. Application Number:** MM 21-0877
Applicant: Lennar Homes, LLC/Hill Ward Hendersen
Location: NW corner of Geraci Rd & Crystal Lake Rd
Folio Number: 013366.0000, 014519.0050, 014519.0100 & 014519.0500
Acreage (+/-): 173.44 acres, more or less
Comprehensive Plan: CMU-12, R-1, R-2 & R-9
Service Area: Rural & Urban
Existing Zoning: PD, 98-0917
Request: Major Modification to a Planned Development

Attachments: [21-0877](#)

- D.5. Application Number:** RZ-PD 21-0961
Applicant: Tampa Bay Community Church, Inc.
Location: N side of W Fletcher Ave & 1000' E from Orange Grove Dr
Folio Number: 019473.0000 & 019474.0100
Acreage (+/-): 3.51 acres, more or less
Comprehensive Plan: R-4
Service Area: Urban
Existing Zoning: PD, 19-1037 & BPO-R
Request: Rezone to Planned Development

Attachments: [21-0961](#)

- D.6. Application Number:** RZ-PD 21-0962
Applicant: Stephen J. Dibbs
Location: S side of Hoedt Rd & 345' W from Kings Pkwy
Folio Number: 016388.0000
Acreage (+/-): 2.67 acres, more or less
Comprehensive Plan: R-4
Service Area: Urban
Existing Zoning: ASC-1 & RSC-3
Request: Rezone to Planned Development

Attachments: [21-0962](#)

ADJOURNMENT

NOTE: Future zoning application information can be accessed directly on the internet at the following web address <http://www.hillsboroughcounty.org/index.aspx?nid=904>

APPLICATION: RZ-PD 18-0798
ZHM HEARING DATE: October 18, 2021
BOCC MEETING DATE: N/A

CASE REVIEWER: J. Brian Grady

This application is out of order to be heard is continuing to the November 15, 2021 Zoning Hearing Master Hearing.

Zoning
Administrator
Sign-off:


J. Brian Grady
Tue Oct 5 2021 12:40:45

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APPLICATION: PD 20-1142


ZHM HEARING DATE: October 18, 2021

BOCC MEETING DATE: December 14, 2021

CASE REVIEWER: Michelle Heinrich, AICP

This application is out of order and is being continued to the January 18, 2022 Zoning Hearing Master Hearing.

Zoning
Administrator
Sign-off:


J. Brian Grady
Tue Oct 5 2021 12:29:16

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APPLICATION: MM 21-0316


ZHM HEARING DATE: October 18, 2021

BOCC MEETING DATE: December 14, 2021

CASE REVIEWER: Michelle Heinrich, AICP

This application is being withdrawn by the Zoning Administrator in accordance with LDC Section 10.03.02.C.2.

Zoning
Administrator
Sign-off:


J. Brian Grady
Tue Oct 5 2021 12:31:10

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APPLICATION: PD 21-0626


ZHM HEARING DATE: October 18, 2021

BOCC MEETING DATE: December 14, 2021

CASE REVIEWER: Michelle Heinrich, AICP

This application is out of order and therefore continued to the November 15, 2021 Zoning Hearing Master Hearing.

Zoning
Administrator
Sign-off:


J. Brian Grady
Tue Oct 5 2021 12:28:32

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APPLICATION: PD 21-0647


ZHM HEARING DATE: October 18, 2021

BOCC MEETING DATE: December 14, 2021

CASE REVIEWER: Israel Monsanto

This application is out of order to be heard and is being continued to the November 15, 2021 Zoning Hearing Master hearing at 6:00 P.M.

Zoning
Administrator
Sign-off:



J. Brian Grady
Thu Oct 7 2021 16:35:18

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The application is out of order to be heard and is being continued to the November 15, 2021 Zoning Hearing Master Meeting.

Zoning
Administrator
Sign-off:


J. Brian Grady
Thu Oct 7 2021 16:33:21

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APPLICATION: RZ-PD 21-0701
ZHM HEARING DATE: October 18, 2021
BOCC MEETING DATE:

CASE REVIEWER: Kevie Defranc

The applicant has requested a continuance to the November 15, 2021 Zoning Hearing Master hearing. The request was timely filed.

Zoning
Administrator
Sign-off:


J. Brian Grady
Thu Oct 7 2021 16:31:54

From: [Soney FM LLC](#)
To: [Defranc, Kevie](#); [Timoteo, Rosalina](#)
Cc: [Ratliff, James](#); [Andrea Papandrew](#); [Perez, Richard](#); [Tirado, Sheida](#); [Grady, Brian](#)
Subject: Re: 21-0701 - Transportation Issues
Date: Wednesday, October 6, 2021 3:32:06 PM
Attachments: [image003.png](#)
[image004.png](#)
[image005.png](#)

External email: Use caution when clicking on links and attachments from outside sources.

Hi Ms. Rosalina: Due to Transportation Comments, we will request a Continuance hearing extension in November.

Dr. Ram Goel, P.E.
Soney FM LLC
Ph: 727-420-4796

On Wednesday, October 6, 2021, 03:02:37 PM EDT, Defranc, Kevie <defranck@hillsboroughcounty.org> wrote:

Good afternoon,

I am following up to see if you received the email below providing the outstanding transportation issues related to your case, RZ-PD 21-0701. I also must inform you that today is the deadline to submit a continuance request as a matter of right.

Best regards,

Kevie Defranc

Senior Planner

Community Development Division
Development Services Department

P: (813) 274-6714

E: DefrancK@HCFLGov.net

W: HCFLGov.net

APPLICATION: PD 21-0745


ZHM HEARING DATE: October 18, 2021

BOCC MEETING DATE: December 14, 2021

CASE REVIEWER: Tim Lampkin

This applicant has requested a continuance to the November 15, 2021 Zoning Hearing Master Hearing. The request was timely filed and is a matter of right.

Zoning
Administrator
Sign-off:


J. Brian Grady
Tue Oct 5 2021 12:35:52



K. Clayton Brickleymyer
Attorney at Law
clayton@bricklawgroup.com

VIA EMAIL TO: ZoningIntake-DSD@hcflgov.net

October 4, 2021

Hillsborough County
Development Services Department
Attn: Timothy Lampkin
601 E Kennedy Boulevard - 20th Floor
Tampa, FL 33602

Re: Brickleymyer Law Group, P.L.
Rezoning Application – RZ PD 21-0745

The Applicant is requesting the above-referenced Rezoning Application be continued from the Zoning Hearing Master Meeting on October 18, 2021 at 6 pm to the November 15, 2021 Zoning Hearing Master Meeting at 6 pm. This continuance is necessary in order to provide additional time for the Applicant to work with staff, commenting agencies, and our neighbors.

Thank you for your assistance regarding this request.

Yours truly,

BRICKLEYMYER LAW GROUP, P.L.

A handwritten signature in blue ink, appearing to be 'KCB', followed by a long, horizontal, wavy line.

By: K. Clayton Brickleymyer

KCB/mlb

cc: Rosa Timoteo

4427 W. Kennedy Blvd., Suite 250
Tampa, Florida 33609
Phone 813.229.7700
Fax 813.255.2714
bricklawgroup.com

APPLICATION: PD 21-0748


ZHM HEARING DATE: October 18, 2021

BOCC MEETING DATE: December 14, 2021

CASE REVIEWER: Michelle Heinrich, AICP

Staff requests a continuance of this application to the November 15, 2021 Zoning Hearing Master Hearing.

Zoning
Administrator
Sign-off:


J. Brian Grady
Tue Oct 5 2021 12:27:52

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APPLICATION: PD 21-0863


ZHM HEARING DATE: October 18, 2021

BOCC MEETING DATE: December 14, 2021

CASE REVIEWER: Israel Monsanto

The applicant has requested a continuance of the application to the November 15, 2021 Zoning Hearing Master hearing at 6:00 P.M. The continuance is a matter of right.

Zoning
Administrator
Sign-off:


J. Brian Grady
Thu Oct 7 2021 08:56:01

IntegrSign
Desktop

From: [Carol Walden](#)
To: [Zoning Intake-DSD](#); [Zoning Intake-DSD](#); [Timoteo, Rosalina](#)
Cc: [Monsanto, Israel](#)
Subject: RZ-PD 21-0863 - Belleair Development - Gunn Highway Convenience Store
Date: Tuesday, October 5, 2021 12:45:04 PM

External email: Use caution when clicking on links and attachments from outside sources.

Good afternoon,

Please accept this email as our request to continue RZ-PD 21-0863 from the October 18, 2021 Zoning Hearing Master hearing to the November 15, 2021 Zoning Hearing Master hearing.

Thank you for your assistance regarding this request.

Carol Walden, Land Development Paralegal
Stearns Weaver Miller Weissler
Alhadeff & Sitterson, P.A.
401 East Jackson Street, Suite 2100
Tampa, FL 33602
Direct Number: (813) 222-5035
Main Number: (813) 223-4800
Email: cwalden@stearnsweaver.com
www.stearnsweaver.com



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APPLICATION: PD 21-0864

ZHM HEARING DATE: October 18, 2021

BOCC MEETING DATE: December 14, 2021

CASE REVIEWER: Israel Monsanto

The applicant has requested a continuance of the application to the November 15, 2021 Zoning Hearing Master hearing at 6:00 P.M. The continuance is a matter of right.

Zoning
Administrator
Sign-off:


J. Brian Grady
Thu Oct 7 2021 08:55:29

From: [Carol Walden](#)
To: [Timoteo, Rosalina](#); [Zoning Intake-DSD](#); [Zoning Intake-DSD](#)
Cc: [Monsanto, Israel](#)
Subject: RZ-PD 21-0864 - Belleair Development - Gunn Highway Car Wash
Date: Tuesday, October 5, 2021 12:26:54 PM

External email: Use caution when clicking on links and attachments from outside sources.

Good afternoon,

Please accept this email as our request to continue RZ-PD 21-0864 from the October 18, 2021 Zoning Hearing Master hearing to the November 15, 2021 Zoning Hearing Master hearing.

Thank you for your assistance regarding this request.

Carol Walden, Land Development Paralegal
Stearns Weaver Miller Weissler
Alhadeff & Sitterson, P.A.
401 East Jackson Street, Suite 2100
Tampa, FL 33602
Direct Number: (813) 222-5035
Main Number: (813) 223-4800
Email: cwalden@stearnsweaver.com

www.stearnsweaver.com



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APPLICATION: RZ-PD 21-0884

ZHM MEETING DATE: October 18, 2021


BOCC MEETING DATE: December 14, 2021

CASE REVIEWER: Tania Chapela

This application is being continued by the Applicant to the November 15, 2021 Zoning Hearing Master Hearing.

The request was timely filed and is a matter of right.

Zoning
Administrator
Sign-off:


J. Brian Grady
Fri Oct 8 2021 08:37:05

From: [John Grandoff](#)
To: [Timoteo, Rosalina](#)
Cc: [Grady, Brian](#); [Chapela, Tania](#)
Subject: Re: 21-0884
Date: Friday, October 8, 2021 11:09:47 AM
Attachments: [image001.png](#)
[image009.png](#)
[image012.png](#)
[image013.png](#)
[image014.png](#)
[image015.png](#)
[image016.png](#)
[image707368.png](#)
[image120741.png](#)
[image083265.png](#)
[image174002.png](#)

External email: Use caution when clicking on links and attachments from outside sources.

I agree to 11/15.
Are you confirming to me?

John B. Grandoff, III

Hill Ward Henderson
[3700 Bank of America Plaza](#)
[101 East Kennedy Boulevard](#)
[Tampa, FL 33602](#)
<http://www.hwhlaw.com>
Main: [813-221-3900](#)
Fax: [813-221-2900](#)
Direct: [813-227-8445](#)
john.grandoff@hwhlaw.com

John Grandoff

Shareholder

o: 813.221.3900 | d: 813.227.8445 | john.grandoff@hwhlaw.com | hwhlaw.com
101 E. Kennedy Blvd., Suite 3700, Tampa, FL 33602



On Oct 8, 2021, at 11:01 AM, Timoteo, Rosalina <TimoteoR@hillsboroughcounty.org> wrote:

[External email; exercise caution]

Good morning John,

Please confirm continuance to the 11/15/21 ZHM hearing.

Thank you, Rosa

Rosa Timoteo
Senior Planning & Zoning Technician

APPLICATION: PD 21-0959


ZHM HEARING DATE: October 18, 2021

BOCC MEETING DATE: December 14, 2021

CASE REVIEWER: Michelle Heinrich, AICP

The applicant has requested a continuance to the November 15, 2021 Zoning Hearing Master Hearing. The request was timely filed.

Zoning
Administrator
Sign-off:


J. Brian Grady
Tue Oct 5 2021 12:27:07



Notice of Continuance

October 1, 2021

Please accept this Notice as the Applicant's request for continuance as a matter of right for RZ 21-0959 to the November 15, 2021, Zoning Hearing Master agenda. The reason for the continuance is to allow the Applicant additional time to finalize a design exception for improvements to West Lake Boulevard and to further assess on-site environmental conditions and external access connections.

Please contact our office if any additional items are needed to effectuate this Notice.

Sincerely,

BROOKS, SHEPPARD & ROCHA, PLLC

A handwritten signature in black ink, appearing to read "Michael Brooks". The signature is fluid and cursive, with a prominent dot above the "i" in "Michael".

By: Michael Brooks

APPLICATION: PD 21-0969


ZHM HEARING DATE: October 18, 2021

BOCC MEETING DATE: December 14, 2021

CASE REVIEWER: Israel Monsanto

The applicant has requested a continuance of the application to the November 15, 2021 Zoning Hearing Master hearing at 6:00 P.M. The continuance is a matter of right.

Zoning
Administrator
Sign-off:


J. Brian Grady
Thu Oct 7 2021 08:55:01



HILL WARD HENDERSON
ATTORNEYS AT LAW

SENDER'S DIRECT DIAL:
(813) 227-8421

SENDER'S E-MAIL:
Kami.Corbett@hwlaw.com

October 6, 2021

Via Email: MonsantoI@hillsboroughcounty.org

Israel Monsanto
Principal Planner
Development Services Department
Hillsborough County
601 E. Kennedy Boulevard
Tampa, Florida 33602

Re: PD 21-0969

Dear Mr. Monsanto:

This letter serves to confirm that the Applicant is requesting a Matter of Right Continuance to the November 15th, 2021 Zoning Hearing Master hearing.

Should you have any questions, please do not hesitate to contact me.

Sincerely,

HILL WARD HENDERSON

Kami Corbett

KC/bc

APPLICATION: RZ-PD 21-1042

ZHM HEARING DATE: October 18, 2021

BOCC MEETING DATE:

CASE REVIEWER: Kevie Defranc

The applicant has requested a continuance to the December 13, 2021 Zoning Hearing Master hearing. The request was timely filed.

Zoning
Administrator
Sign-off:


J. Brian Grady
Wed Oct 6 2021 14:06:47

From: John.LaRocca@MurphyLaRocca.com
To: [Timoteo, Rosalina](#)
Cc: [Grady, Brian](#); [Defranc, Kevie](#)
Subject: RE: PD 21-1042 (Request for Continuance)
Date: Wednesday, October 6, 2021 10:08:06 AM
Attachments: [image002.png](#)
[image004.png](#)

External email: Use caution when clicking on links and attachments from outside sources.

Rosa,

Per our telephone conversation this morning regarding the subject case matter (PD-21-1042), on behalf of the Owner/Applicant, I am requesting a continuation of the ZHM public hearing to December 13, 2021. I understand you will be transmitting updated information regarding the re-noticing for the public hearing.

Thank you.

John

John N. LaRocca
Agent for the Owner/Applicant
Principal/Partner
Murphy LaRocca Consulting Group, Inc.
101 E. Kennedy Blvd.
Suite 2420
Tampa, FL 33602
(813)222-8923 Office Direct
(813)695-0469 Mobile

From: Timoteo, Rosalina <TimoteoR@HillsboroughCounty.ORG>
Sent: Monday, October 4, 2021 1:28 PM
To: John.LaRocca@MurphyLaRocca.com
Cc: Grady, Brian <GradyB@HillsboroughCounty.ORG>; Defranc, Kevie <DefrancK@hillsboroughcounty.org>
Subject: RE: PD 21-1042 (Request for Continuance)

Good afternoon John,

Deadline to provide a hearing date preference is this Wednesday, October 6, 2021. On Thursday, October 7, 2021 a sign reposting will need to be requested to communications department. Please advise a hearing date, otherwise it will be continued to 11/15/21.

Thank you, Rosa

APPLICATION: PD 21-1076


ZHM HEARING DATE: October 18, 2021

BOCC MEETING DATE: December 14, 2021

CASE REVIEWER: Michelle Heinrich, AICP

This application is out of order and therefore continued to the November 15, 2021 Zoning Hearing Master Hearing.

Zoning
Administrator
Sign-off:


J. Brian Grady
Tue Oct 5 2021 11:34:38

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APPLICATION: MM 21-1090


ZHM HEARING DATE: October 18, 2021

BOCC MEETING DATE: December 14, 2021

CASE REVIEWER: Michelle Heinrich, AICP

The applicant has requested a continuance to the November 15, 2021 Zoning Hearing Master Hearing. The request was timely filed.

Zoning
Administrator
Sign-off:


J. Brian Grady
Tue Oct 5 2021 12:30:20



Real estate. Real solutions.

Notice of Continuance

September 27, 2021

Please accept this notice as the applicant's request for continuance as a matter of right for 21-1090 to the November 15, 2021, Zoning Hearing Master Agenda. Please contact our office if any additional items are needed to effectuate this notice. Thank you.

Sincerely,

BROOKS, SHEPPARD & ROCHA, PLLC

A handwritten signature in black ink, appearing to read "Michael Brooks", with a stylized flourish at the end.

By: Michael Brooks

APPLICATION: RZ-PD 21-1092

ZHM MEETING DATE: October 18, 2021


BOCC MEETING DATE: December 14, 2021

CASE REVIEWER: Tania Chapela

This application is being continued by the Applicant to the November 15, 2021 Zoning Hearing Master Hearing.

The request was timely filed and is a matter of right.

Zoning
Administrator
Sign-off:


J. Brian Grady
Thu Oct 7 2021 16:39:14

From: [Alex Schaler](#)
To: [Chapela, Tania](#); [Timoteo, Rosalina](#); [Salma Ahmad](#); [Perez, Richard](#)
Cc: [GBMM Land Use](#); [Grady, Brian](#)
Subject: RE: PD 21-1092 Continuance Request
Date: Thursday, October 7, 2021 9:52:07 AM
Attachments: [image006.png](#)
[image001.png](#)

External email: Use caution when clicking on links and attachments from outside sources.

Good morning Tania,

Updated hearing date will be 11/15/2021.

Thanks,

Alex Schaler, P.E.



O: (813) 221-9600
M: (850) 319-0782
gbmmlaw.com

From: Chapela, Tania <ChapelaT@hillsboroughcounty.org>
Sent: Thursday, October 7, 2021 9:49 AM
To: Timoteo, Rosalina <TimoteoR@HillsboroughCounty.ORG>; Salma Ahmad <ahmads@plancom.org>; Perez, Richard <PerezRL@hillsboroughcounty.org>
Cc: GBMM Land Use <landuse@gbmmmlaw.com>; Alex Schaler <aschaler@gbmmmlaw.com>; Grady, Brian <GradyB@HillsboroughCounty.ORG>
Subject: FW: PD 21-1092 Continuance Request

Good morning,

Per the email below, the applicant is requesting a continuance for PD 21-1092 from the 10-18 ZHM to a further hearing date. I asked the applicant to confirm the updated hearing date.


Sincerely,
Tania C. Chapela
Senior Planner
Development Services

P: (813) 635-7302
E: chapelat@HCFLGov.net
W: HCFLGov.net

Hillsborough County
601 E. Kennedy Blvd., Tampa, FL 33602

The applicant is requesting a continuance of the petition to the November 15, 2021 Zoning Hearing Master Meeting. The request was filed timely as a matter of right.

Zoning
Administrator
Sign-off:


J. Brian Grady
Fri Oct 8 2021 13:59:31

From: [Carol Walden](#)
To: [Zoning Intake-DSD](#); [Zoning Intake-DSD](#)
Cc: [Timoteo, Rosalina](#)
Subject: MM 21-1106 - Cypress Creek - Request for Continuance of the October 18, 2021 ZHM Hearing
Date: Friday, September 24, 2021 3:29:44 PM

External email: Use caution when clicking on links and attachments from outside sources.

Please accept this email as our request to continue MM 21-1106 from the October 18, 2021 Zoning Hearing Master hearing to the November 15, 2021 Zoning Hearing Master hearing.

Thank you for your assistance regarding this request.

Carol Walden, Land Development Paralegal
Stearns Weaver Miller Weissler
Alhadeff & Sitterson, P.A.
401 East Jackson Street, Suite 2100
Tampa, FL 33602
Direct Number: (813) 222-5035
Main Number: (813) 223-4800
Email: cwalden@stearnsweaver.com

www.stearnsweaver.com

STEARNS WEAVER MILLER

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APPLICATION: PD 21-1108


ZHM HEARING DATE: October 18, 2021

BOCC MEETING DATE: December 14, 2021

CASE REVIEWER: Tim Lampkin

This application is out of order to be heard and is being **Continued** to the **November 15, 2021** ZHM Hearing.

Zoning
Administrator
Sign-off:


J. Brian Grady
Mon Oct 11 2021 08:31:56

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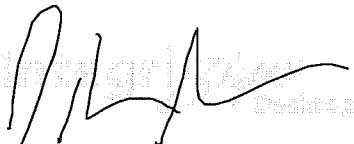
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APPLICATION: PD 21-1193
ZHM HEARING DATE: October 18, 2021
BOCC MEETING DATE: N/A

CASE REVIEWER: J. Brian Grady

This application has been withdrawn.

Zoning
Administrator
Sign-off:



J. Brian Grady
Mon Oct 11 2021 08:36:14

From: [Travis Hills](#)
To: [Grady, Brian](#)
Cc: [Medrano, Maricela](#); [Timoteo, Rosalina](#)
Subject: Re: FW: Standard RZ assignments for 10/18 ZHM - RZ 21-1193
Date: Tuesday, September 21, 2021 11:26:58 AM
Attachments: [image002.png](#)
[image003.png](#)
[image006.png](#)

External email: Use caution when clicking on links and attachments from outside sources.

Good morning Mr. Grady,

Thank you for your prompt response and thorough explanation regarding this matter.

1. I would like to withdraw my application [ZHM - RZ 21-1193], as you have suggested, for rezoning on this property and receive a refund for the associated fees.
2. Going back to where I started a few months back, I requested a pre-submittal meeting to make sure that any potential issues would be addressed prior to submitting the application.
 - A pre-submittal meeting packet was fully filled out and submitted months ago when I was told that the meeting was optional, which I opted to have...
 - Is this service no longer available? If it is, I'd still like to have that meeting.

Please advise. Thanks!

Kind regards,

Travis E. Hills, Sr.
Planning, Design & Mgt. Solutions
Phone: (813) 603-7363
Fax: (813) 331-0405
Email: pdmsolutions.us@gmail.com
Alt. Email: info@pdmsolutions.us

website: www.pdmsolutions.us

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APPLICATION: RZ STD 21-1208


ZHM HEARING DATE: October 18, 2021

BOCC MEETING DATE: December 14, 2021

CASE REVIEWER: Sam Ball

The applicant has requested a continuance to the November 15, 2021 Zoning Hearing Master hearing. The request was timely filed.

Zoning
Administrator
Sign-off:


J. Brian Grady
Fri Oct 8 2021 09:32:26

From: [Timoteo, Rosalina](#)
To: [Ball, Fred \(Sam\)](#)
Subject: RE: Continuance Request RZ 21-1208
Date: Monday, October 4, 2021 2:25:00 PM
Attachments: [image001.png](#)

Thank you, Rosa

From: wmolloy@mjlaw.us <wmolloy@mjlaw.us>
Sent: Monday, October 4, 2021 1:38 PM
To: Ball, Fred (Sam) <BallF@hillsboroughcounty.org>
Subject: RE: Preliminary Comments RZ 21-1208

Sam,

Please consider this communication a request to continue 21-1208 to the November ZHM while we sort out a few outstanding issues.

-Billy

From: Ball, Fred (Sam) <BallF@hillsboroughcounty.org>
Sent: Monday, October 4, 2021 1:33 PM
To: William Molloy <wmolloy@mjlaw.us>
Subject: RE: Preliminary Comments RZ 21-1208

Hello William,

Thank you for following up with me. For the records, I need something to document the continuance. The attachment is the zoning hearing master schedule. If you can send me an email asking for a continuance until a specific date, that will cover all the bases.

Sam

Sam Ball
Senior Planner
Community Development Section
Development Services Department

P: (813) 307-1876
E: BallF@hillsboroughcounty.org
W: HCFLGov.net

Hillsborough County
601 E. Kennedy Blvd., Tampa, FL 33602

[Facebook](#) | [Twitter](#) | [YouTube](#) | [LinkedIn](#) | [HCFL Stay Safe](#)

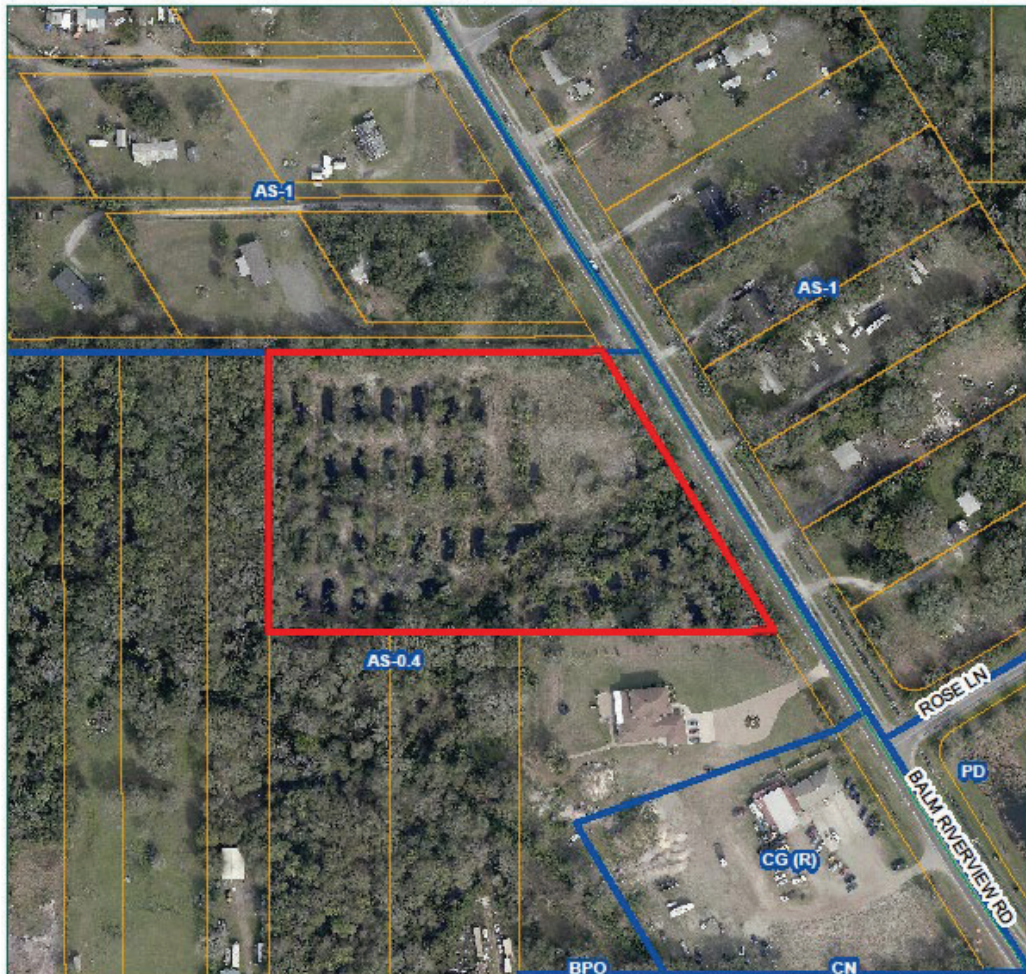
Please note: All correspondence to or from this office is subject to Florida's Public Records law.



Hillsborough County Florida

STAFF REPORT

SUBJECT:	RZ 20-1266 (REMAND-2nd)	PLANNING AREA:	Riverview
REQUEST:	Rezoning to Planned Development	SECTOR	Central
APPLICANT:	Revestart, LLC		
Existing Zoning: AS-0.4		Comp Plan Category: RES-4	



Immediate Aerial Zoning Map

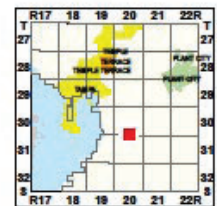
RZ-PD 20-1266

Folio: 77357.0007

- Application Site
- Zoning Boundary
- Parcels



STR: 34-30-20, 33-30-20



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Users of this map are hereby notified that the aforementioned public information sources do not constitute a warranty of the information contained on this map.

Date: 08/11/2021 Path: G:\DOWNGRADING\Map\Zoning_Site.aprx

Store Retail

- Proposing enhanced and enlarged buffers/open space
- Proposed operating hours of 7 am to 9 pm
- Enhanced Architectural Design.

The remand hearing was conducted on July 26, 2021. At the subsequent BOCC Land Use Meeting on September 8, 2021, the application was remanded by the Board of County Commissioner. While no items/issues were specifically directed to be addressed as part of the remand, topics of discussion at the September 8, 2021 BOCC Land Use Meeting did include the placement of a conservation easement on the existing wetlands, the building design/rendering to be more consistent with Riverview Community Plan, connectivity and amount of existing/available retail in the area.

In response to the remand the applicant has offered the following changes/amendments and additional information for the record:

- A commitment to place a conservation easement over the existing wetland.
- A revised building rendering incorporating the following additional design features:
 - Window glazing for the building sides visible from the right-of-way
 - The sides of building visible from the roadway include split-face block the base along with lap siding, glazing and shake siding accents
 - Portion of the window glazings include awnings
 - Enhance cornice detail on the parapet
 - Revised color scheme for the building
 - Full length entrance doors with glazing
 -
- Parking to be located behind building setback line.
- Enhanced landscaping
- Information comparing the suitability for development of the subject parcel versus undeveloped commercially zoned parcels at the intersection of Balm Riverview Road and Rhodine Road.
- Revised exhibit showing extent of sidewalks to be provided along Balm Riverview to the north and south of the parcel (based on sidewalks to be provided by applicant and those to be constructed by the County).

1.2 Compliance Overview with Land Development Code and Technical Manuals

The application does not require any variations to Land Development Code Part 6.05.00 (Parking and Loading) 6.06.00 (Landscaping/Buffering) or 6.07.00 (Fences and Walls).

1.3 Evaluation of Existing and Planned Public Facilities

The project area is located in the Urban Service Area with water and wastewater service provided by the Hillsborough County.

Transportation staff offered no objection. The proposed project is anticipated to increase (by 666 average daily trips, 33 a.m. peak hour trips, and 72 p.m. peak hour trips) the maximum trip generation potential of the subject property.

Balm Riverview Rd. is a substandard collector roadway. The applicant is requesting a Design Exception for the roadway. The Design Exception would generally allow the roadway to remain in its existing configuration; however, the developer is proposing to construct +/- 690 feet of additional sidewalk north of the project. If the zoning is approved, the County Engineer will approve the Design Exception.

The applicant requested a Section 6.04.02.B Administrative Variance from the Section 6.04.07 access spacing standards. If the zoning is approved, the County Engineer will approve the Administrative Variance request.

Per the Impact & Mobility Fee Coordinator, various use types allowed. Below are estimates of sample of potential development and related fees).

Industrial (Per 1,000 s.f.) Mobility: \$2,727.00 Fire: \$57.00	Retail - Shopping Center (50k s.f. or less) (Per 1,000 s.f.) Mobility: \$8,382.00 Fire: \$313.00	Warehouse (Per 1,000 s.f.) Mobility: \$877.00 Fire: \$34.00
Retail - Conv Mkt. w/Gas (Per 1,000 s.f.) Mobility: \$29,658.00 Fire: \$313.00	Retail - Fast Food w/Drive Thru (Per 1,000 s.f.) Mobility: \$56,660.00 Fire: \$313.00	

1.4 Natural Resources/Environmental

Staff with the Environmental Protection Commission noted the presence of wetlands on the site and offered no objection to the Planned Development as presently designed.

The site is not located within a Wellhead Resource Protection Area Zone, a Surface Water Resource Protection Area Zone, a Potable Water Wellfield Protection Area Zone, a Significant Wildlife Habitat or the Coastal High Hazard Area. Additionally, the site is not adjacent to any ELAPP property.

1.5 Comprehensive Plan Consistency

Planning Commission staff has found the revised request to be **INCONSISTENT** with the *Future of Hillsborough* Comprehensive Plan. The parcel does not meet Commercial Location Criteria. The applicant has submitted a request for waiver to the Commercial Location Criteria but is not being recommended for approval by Planning Commission staff. The updated staff report from the Planning Commission includes additional information/clarification regarding the basis for non-compliance with location criteria. Planning Commission staff acknowledged the applicant has moved closer towards meeting the intent through the recent amendments to the project but concluded that the project would still allow for development that is not compatible with the existing development and not provide for a gradual transition from commercial to residential uses.

1.6 Compatibility

The parcel is immediately surrounded by large lot agricultural zoned properties to the north (AS-1), west (AS-0.4), south (AS-04) and east (AS-1), across Balm Boyette Road. These zoning districts permits agricultural, residential and residential support uses. Further to the southeast at the intersection Balm Boyette Road and Rhodine Road are commercial zoned and developed parcels. The subject parcel is separated from those parcels by an intervening parcel developed with a single-family home. As noted,

the subject parcel does not meet commercial location criteria and Planning Commission staff is not in support of the requested waiver to location criteria based on concerns about the compatibility of the proposed use with the surrounding development pattern. Staff acknowledges that the revised proposal which includes additional architectural enhancements, enhanced landscaping and placement of the parking further from Balm Riverview Road helps to improve compatibility with the surrounding development area. However, staff concurs with Planning Commissions findings of inconsistency based upon locational criteria policies of the Hillsborough County Comprehensive Plan. The extension of a commercial use at this location, despite the revised proposal, will expand the area of commercial development beyond the intersection and be in conflict with the planning objective of creating appropriate transitions of lesser intense uses between residential and non-residential areas of the community.

1.7 Agency Comments

The following agencies have reviewed the application and offer no objections:

- Water Resource Services
- Conservation and Environmental Land Management
- Transportation

1.8 Exhibits

Exhibit 1: Future Land Use Map


Exhibit 2: Aerial/Zoning Map– General Area

Exhibit 3: Aerial/Zoning Map– Immediate Area

Exhibit 4: Proposed Site Plan

2.0 Recommendation

Based on the above consideration, staff finds the request not supportable

Staff's Recommendation: Not Supportable	
Zoning Administrator Sign-off:	 J. Brian Grady Mon Oct 11 2021 09:59:10

HILLSBOROUGH COUNTY
2020 FUTURE LAND USE

RZ PD 20-1266

Rezoning

<all other values>

STATUS

- APPROVED
- CONTINUED
- DENIED
- WITHDRAWN
- PENDING

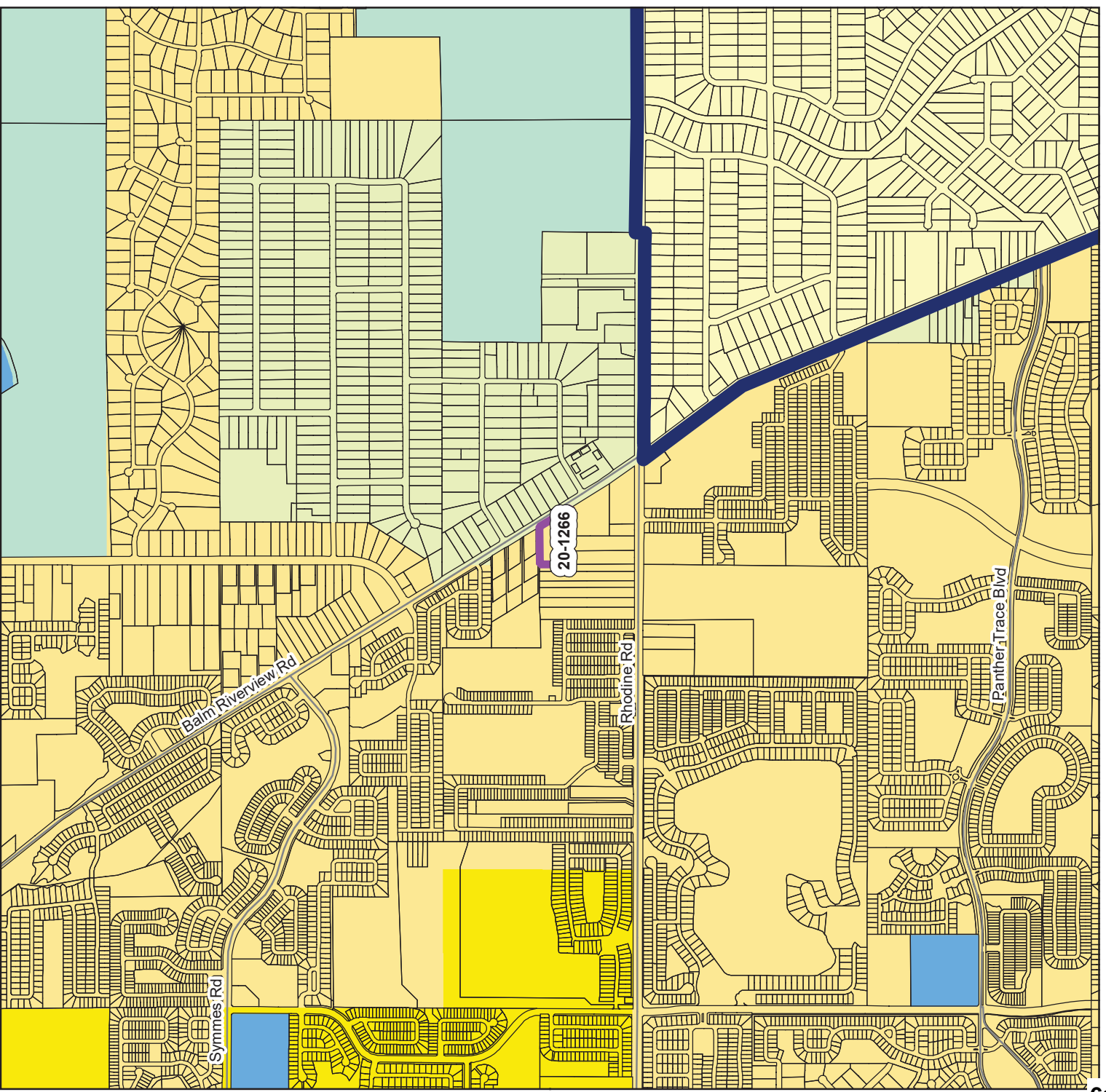
- Tampa Service Area
- Urban Service Area
- Storeline
- County Boundary
- Jurisdiction Boundary
- Major Roads

- Parcels
- AGRICULTURAL/MINING-120 (25 FAR)
- PEC PLANNED ENVIRONMENTAL COMMUNITY-1/2 (25 FAR)
- AGRICULTURAL-1/10 (25 FAR)
- AGRICULTURAL/RURAL-1/5 (25 FAR)
- AGRICULTURAL ESTATE-1/2.5 (25 FAR)
- RESIDENTIAL-1 (25 FAR)
- RESIDENTIAL-2 (25 FAR)
- RESIDENTIAL PLANNED-2 (35 FAR)
- RESIDENTIAL-4 (25 FAR)
- RESIDENTIAL-6 (25 FAR)
- RESIDENTIAL-9 (35 FAR)
- RESIDENTIAL-12 (35 FAR)
- RESIDENTIAL-16 (35 FAR)
- RESIDENTIAL-20 (35 FAR)
- RESIDENTIAL-35 (1.0 FAR)
- NEIGHBORHOOD MIXED USE-4 (3) (35 FAR)
- SUBURBAN MIXED USE-6 (35 FAR)
- COMMUNITY MIXED USE-12 (50 FAR)
- URBAN MIXED USE-20 (1.0 FAR)
- REGIONAL MIXED USE-35 (2.0 FAR)
- OC-20
- RESEARCH/CORPORATE PARK (1.0 FAR)
- ENERGY INDUSTRIAL PARK (.50 FAR USES OTHER THAN RETAIL, .25 FAR RETAIL/COMMERCE)
- LIGHT INDUSTRIAL PLANNED (.50 FAR)
- LIGHT INDUSTRIAL (.50 FAR)
- HEAVY INDUSTRIAL (.50 FAR)
- PUBLIC/QUASI-PUBLIC
- NATURAL PRESERVATION
- WIMAUMA VILLAGE RESIDENTIAL-2 (25 FAR)
- CITRUS PARK VILLAGE
- WATER
- WATER

DATA SOURCES: Rezoning boundaries from The Planning Commission and are not official. Parcel lines and data from Hillsborough County Property Appraiser. This map is intended for informational purposes only and is not to be used for any legal or official purposes without specific approval of the Hillsborough County City-County Planning Commission. ACCURACY: It is intended that the map be used for informational purposes only. It is not intended to be used for any legal or official purposes. Hillsborough County City-County Planning Commission. This map is for informational purposes only. For the most current data and information, use the appropriate source.



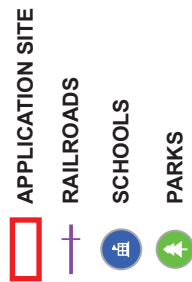
Map Printed from Rezoning System: 9/25/2020
Author: Beverly F. Daniels
File: G:\Rezoning\System\MapProject\HillCoReg_HillRezoning.mxd



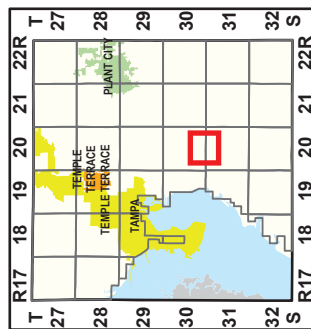


RZ-PD 20-1266

Folio: 77357.0007



STR: 34-30-20, 33-30-20



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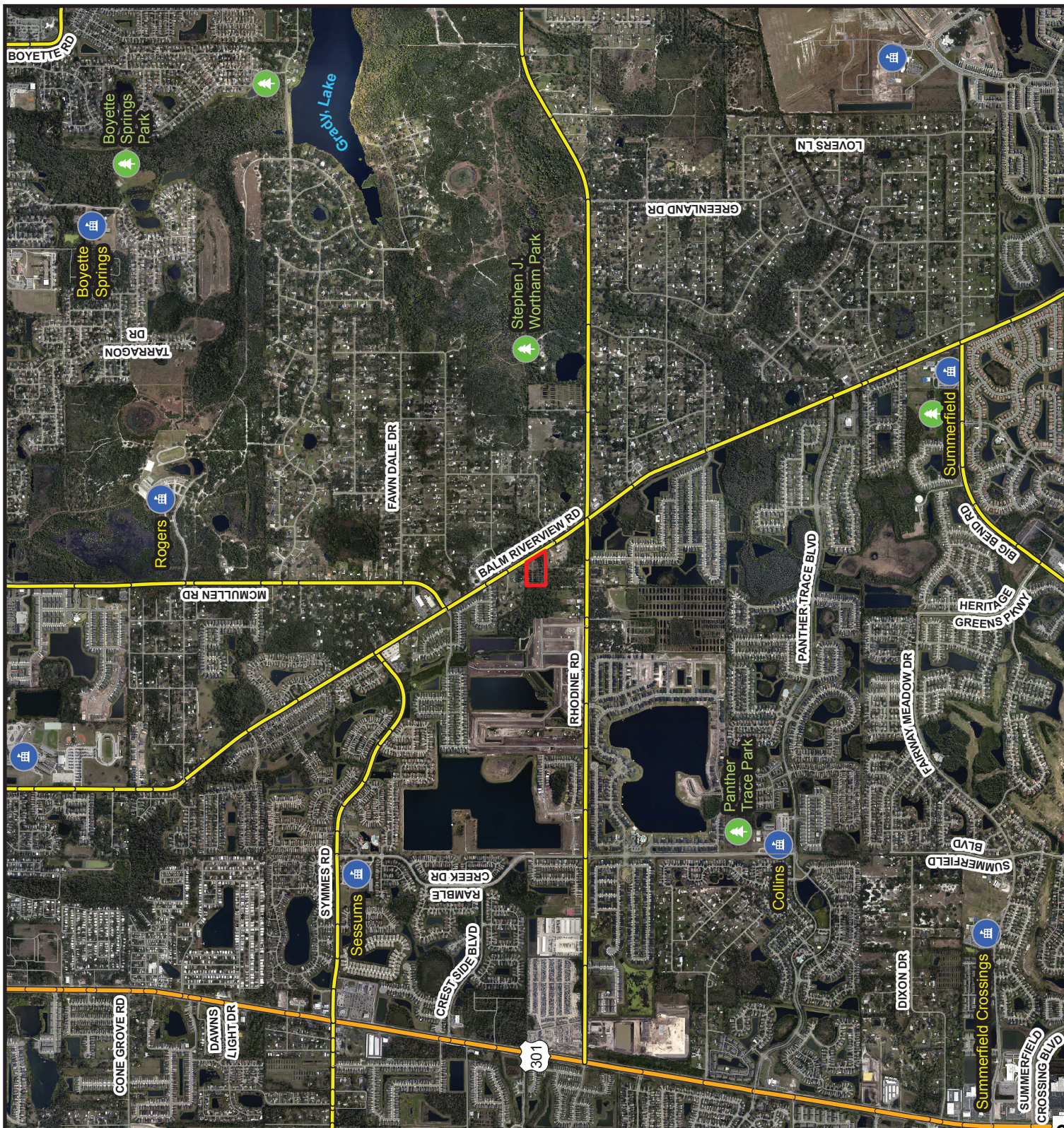
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Date: 06/01/2021
Path: G:\ZONING\GIS\Data\Vicinity_Map.aprx

Produced By : Development Services Department



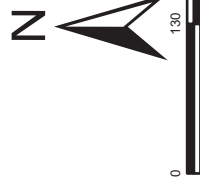


Immediate Aerial Zoning Map

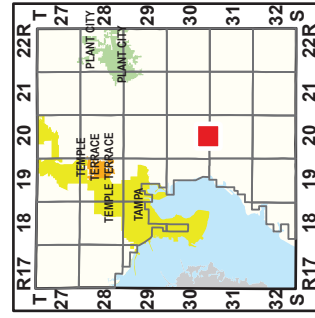
RZ-PD 20-1266

Folio: 77357.0007

- Application Site
- Zoning Boundary
- Parcels



STR: 34-30-20, 33-30-20

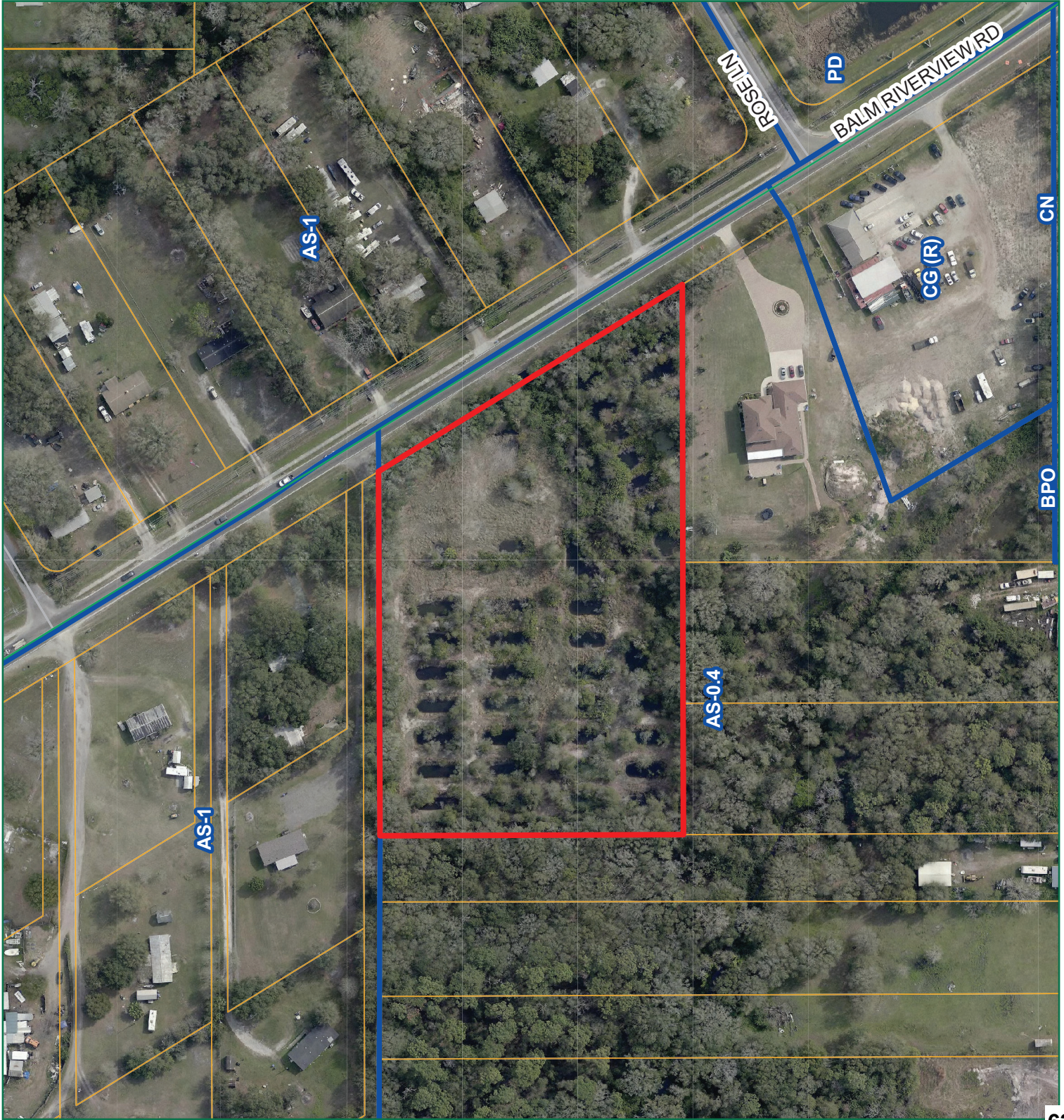


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Palmetto Capital Group
Riverview - Balm Riverview Rd, LLC
Riverview, Florida

10.07.2021

NORR



EAST ELEVATION



SOUTH ELEVATION

PRIOR RECORD

CAPTIONING
MAY 11, 2021
HILLSBOROUGH COUNTY BOARD OF COUNTY COMMISSIONERS
LAND USE MEETING

***This is not an official, verbatim transcript of the
***following meeting. It should be used for informational
***purposes only. This document has not been edited;
***therefore, there may be additions, deletions, or words
***that did not translate.

>> PAT KEMP: GOOD MORNING AND WELCOME TO THE HILLSBOROUGH COUNTY
BOARD OF COUNTY COMMISSIONERS LAND USE MEETING.

WILL EVERYONE PLEASE RISE FOR THE PLEDGE OF ALLEGIANCE WHICH
WILL BE FOLLOWED BY AN INVOCATION, GIVEN BY OUR CHAPLAIN,
COMMISSIONER WHITE.

>> STACY WHITE: THANK YOU, MADAM CHAIR.

WE'LL BEGIN WITH THE PLEDGE.

ATTENTION, SALUTE, PLEDGE.

[PLEDGE OF ALLEGIANCE]

HEAVENLY FATHER, I PRAY YOU WILL GUIDE THIS BOARD, OUR STAFF
AND STAKEHOLDERS THIS MORNING AS WE MAKE DECISIONS ABOUT A
FINITE RESOURCE.

I HOPE THAT YOU WILL GUIDE US IN A DIRECTION OF RESPECTING
PRIVATE PROPERTY RIGHTS WHILE ALSO HEARING THE CONCERNS OF THE
SURROUNDING COMMUNITY MEMBERS AND ALSO THING ABOUT FUTURE

GENERATIONS AS WE MAKE THESE DECISIONS.

AS ALWAYS, I ASK FOR BLESSINGS FOR FIRST RESPONDERS AND MEMBERS OF THE ARMED FORCES THROUGHOUT OUR COMMUNITY, AND ALL ACROSS THE NATION AND ABROAD.

I PRAY THAT YOU WILL KEEP THEM SAFE AND GUIDE THEM EACH AND EVERY DAY.

I ASK FOR THESE BLESSINGS IN YOUR HEAVENLY NAME, AMEN.

>> PAT KEMP: OKAY, THIS MORNING I SEE WE HAVE SEVEN COMMISSIONERS PRESENT IN PERSON, SO I DON'T NEED A ROLL CALL, CORRECT? OR DO I?

NO, THAT'S WHAT I THOUGHT.

I JUST WANTED TO CHECK.

I'VE GOTTEN SO USED TO IT.

AND WITH THAT, MR. MOREDA, YOU ARE RECOGNIZED.

>> GOOD MORNING, COMMISSIONERS.

JOE MOREDA DEVELOPMENT SERVICES FOR THE RECORD.

I WILL GO RIGHT TO THE CHANGES TO THE AGENDA.

THE CHANGES WERE DISTRIBUTED YESTERDAY AFTERNOON AND THEY HAD SOME ATTACHMENTS THAT RELATE TO THESE ITEMS, AND I'LL SPEAK TO THOSE WHEN WE MAKE THE CHANGES.

ON AGENDA PAGE 7 ITEM B6 APPLICATION RZ-PD 21-0121.

THE AGENCY COMMENT SECTION IS IN THE BACKUP SECTION, AND THIS IS WITH RESPECT TO THE SCHOOL BOARD'S COMMENT THAT WAS REVIEWED, MENTIONED IN THE REPORT, BUT SOMEHOW FOUND IT'S WAY OUT OF THE

RECORD HAS BEEN REINSERTED BACK INTO THE RECORD AND PROVIDED BACK TO THE BOARD WITHIN THE RECORD PRIOR TO THE ZHM AND UP THROUGH.

SO I JUST WANTED TO MAKE THAT CLEAR.

AGENDA PAGE 18, ITEM G3, THE APPLICANT IS ASKING THAT THIS BE REMANDED TO THE JUNE 14th ZONING HEARING MASTER MEETING.

AGENDA PAGE 7, ITEM G2, REZONING PD-20-0394, THE REVISED CONDITIONS HAVE BEEN ADDED TO THE BACKUP FOR THIS ITEM.

AS AN ATTACHMENT TO THE E-MAIL.

HAVING SAID THAT, I'LL GO AHEAD AND GET INTO THE CHANGES THAT ARE LISTED ON THE AGENDA ITSELF.

ITEM A1, PD18-0996.

STAFF IS REQUESTING THE ITEM BE CONTINUED TO THE JUNE 8th BOARD MEETING AT 9:00 A.M.

ITEM A2, DRI19-0841.

STAFF IS REQUESTING THE ITEM BE CONTINUED TO THE JUNE 8th BOARD MEETING STARTING AT 9:00 A.M.

ITEM A3, REZONING PD-20-1255.

STAFF IS REQUESTING THE ITEM BE REMANDED TO THE JUNE 14th ZONING HEARING MASTER MEETING STARTING AT 6:00 P.M.

ITEM A4, MAJOR MODIFICATION 21-0033.

STAFF IS REQUESTING THE ITEM BE CONTINUED TO THE JUNE 8th, 2021, BOARD MEETING STARTING AT 9:00 A.M.

ITEM A5, PERSONAL APPEARANCE 21-0204.

THE APPLICATION HAS BEEN WITHDRAWN BY STAFF.

ITEM A6 PERSONAL APPEARANCE 21-0254.

THIS APPLICATION IS OUT OF ORDER TO BE HEARD AND IS BEING
CONTINUED TO THE JUNE 8th BOARD MEETING STARTING AT 9:00 A.M.

ITEM A7, PERSONAL APPEARANCE 21-0255.

THE APPLICANT IS REQUESTING THE ITEM BE CONTINUED AS A MATTER
OF RIGHT TO THE JUNE 8th BOARD MEETING STARTING AT 9:00 A.M.

ITEM A8, PERSONAL APPEARANCE 21-0259.

THE APPLICANT IS REQUESTING THE ITEM BE CONTINUED AS A MATTER
OF RIGHT TO THE JUNE 8th BOARD MEETING STARTING AT 9:00 A.M.

ITEM A9, PERSONAL APPEARANCE 21-0311.

THE APPLICATION IS OUT OF ORDER TO BE HEARD AND IS BEING
CONTINUED TO THE JUNE 8th BOARD MEETING STARTING AT 9:00 A.M.

ITEM A-10, THE APPLICANT IS REQUESTING THE ITEM BE CONTINUED
AS A MATTER OF RIGHT TO THE JUNE 8th BOARD MEETING STARTING AT
9:00 A.M.

ITEM A11, PERSONAL APPEARANCE 21-0363.

THE APPLICANT IS REQUESTING THE ITEM BE CONTINUED AS A MATTER
OF RIGHT TO THE JUNE 8th MEETING AT 9:00 A.M.

THEN ITEM A12, PERSONAL APPEARANCE 21-0474.

THIS APPLICATION IS OUT OF ORDER TO BE HEARD AND IS BEING
CONTINUED TO THE JUNE 8th AND NOW FINALLY WE HAVE ITEM A13,
PERSONAL APPEARANCE 21-0060.

STAFF IS REQUESTING THE ITEM BE CONTINUED TO THE JUNE 8th BOARD

MEETING STARTING AT 9:00 A.M.

COMMISSIONERS, THAT CONCLUDES ALL THE CHANGES.

THANK YOU.

>> MOVE THE CHANGES.

>> SECOND.

>> PAT KEMP: WE HAVE A MOTION TO MOVE THE CHANGES BY COMMISSIONER WHITE, SECOND BY COMMISSIONER OVERMAN.

LOSING MY VOICE HERE.

AND IF WE COULD HAVE A ROLL CALL VOTE, PLEASE.

>> YOU CAN RECORD YOUR VOTE ON YOUR TABLET.

>> PAT KEMP: I'M SORRY, THAT'S RIGHT.

THANK YOU.

>> MOTION CARRIED 7-0.

>> PAT KEMP: THANK YOU.

I HAVE TO GET RETRAINED, YES.

THAT'S IT.

OKAY.

SO THANK YOU, MR. MOREDA, AND LET'S MOVE TO THE BOARD, CAN I HAVE A MOTION THEN TO APPROVE CHANGES TO THE -- OR TO APPROVE THE CONSENT AGENDA?

>> SO MOVED.

>> SECOND.

>> PAT KEMP: COMMISSIONER WHITE SECONDED BY COMMISSIONER OVERMAN --

>> GWEN MYERS: NO, MYERS.

>> PAT KEMP: MYERS.

I'M JUST GOING TO MAKE IT DEFAULT TO COMMISSIONER MYERS AND THEN WE'LL -- I'LL CHANGE FROM THERE.

I'LL DO THAT.

AND WITH THAT, IF WE CAN SEEING NO FURTHER DISCUSSION, PLEASE RECORD YOUR VOTE.

>> MOTION CARRIED 7-0.

>> PAT KEMP: THANK YOU AND SO WITH THAT IF YOU HAVE A B ITEM, YOUR ITEM HAS BEEN APPROVED.

AND WE WILL NOW MOVE TO THE OATH.

RIGHT NOW IF YOU'RE PLANNING TO TESTIFY TODAY, PLEASE RAISE YOUR RIGHT HAND AND BE SWORN IN BY THE CLERK.

>> [SWEARING IN]

>> PAT KEMP: THANK YOU AND WE'RE AT PUBLIC HEARINGS AND WE'LL SEE IF WE HIT A BUMP IN THE ROAD.

WE'RE MOVING RIGHT ALONG.

BEFORE WOO WE BEGIN OUR FIRST PUBLIC HEARINGS OF THE MORNING I WOULD LIKE TO TAKE THE OPPORTUNITY TO REMIND ALL OF THOSE PARTICIPATING AT SAUNDERS LIBRARY AND PARTICIPATING REMOTELY OF OUR MEETING PARTICIPATION PROCESS.

WHEN IT'S YOUR TURN TO SPEAK I'LL RECOGNIZE YOU AS SPEAKER FOR THOSE PARTICIPATING IN PERSON AT THE SAUNDERS LIBRARY, I ASK THAT YOU RESPECT OUR SOCIAL DISTANCING GUIDELINES HERE, REMAIN

SEATED, AND PLEASE DO NOT APPROACH THE PODIUM TO SPEAK UNTIL I'VE CALLED ON YOU.

THANK YOU.

AND WE WILL NOW MOVE TO THE I BELIEVE VACATING PORTION OF THE AGENDA.

MR. MOREDA, YOU ARE RECOGNIZED.

>> THANK YOU, COMMISSIONERS.

THIS MOVES TO ITEM C1 ON THE AGENDA.

THIS IS A PUBLIC HEARING FOR VACATING PETITION V21-0001.

THIS ITEM WILL BE PRESENTED, AND STAFF WILL BE AVAILABLE FOR QUESTIONS AND ANSWERS BY THE REAL ESTATE DEPARTMENT.

>> THANK YOU AND GOOD MORNING, COMMISSIONERS.

YOU CAN SEE THE LOCATION MAP ON THE SCREEN.

>> YES, IT IS.

>> THANK YOU.

THIS IS ITEM C1.

ITEM C1 IS A PLATTED SUBDIVISION VACATE WITH V21-0001.

THIS IS A PETITION BY TAMPA ELECTRIC COMPANY AND J-HAJ ENTOURAGE, LLC, TO VACATE THE WINDING CREEK PLATTED SUBDIVISION PLAT RECORDED IN PLAT BOOK 102, PAGE 208 OF THE PUBLIC RECORDS OF HILLSBOROUGH COUNTY.

PETITIONERS DESIRE TO VACATE THE AREA TO ALLOW A REZONING OF THE UNDERLYING PROPERTY TO AGRICULTURAL RURAL FOR PURPOSES OF FUTURE DEVELOPMENT OF THE PARCEL.

THE PROPOSED VACATE AREA IS LOCATED NORTH OF VAL ROY ROAD, SOUTH OF STEVENS ROAD, AND WEST OF U.S. INTERSTATE 75 IN RUSKIN. THE PROPOSED VACATE CONSISTS OF APPROXIMATELY 3,544,254 SQUARE FEET.

THE PETITION WAS ROUTED TO APPROPRIATE DEPARTMENTS AND AGENCIES AND THERE HAVE BEEN NO OBJECTIONS TO THE VACATION OF THE PLAT. BUT STAFF RECOMMENDS APPROVAL OF THE PETITION REQUEST.

>> PAT KEMP: OKAY.

I'M SORRY.

THANK YOU.

THANK YOU.

AND THIS IS A PUBLIC HEARING, AND ANYONE WHO WOULD LIKE TO SPEAK TO THE ITEM CAN BE RECOGNIZED NOW.

APPARENTLY THERE IS -- IS THERE ANYONE TO SPEAK TO THE ITEM?

>> NO, THERE ISN'T.

>> PAT KEMP: OKAY.

THANK YOU.

COMMISSIONER WHITE, AND I SAID I WAS GOING TO DEFAULT BY COMMISSIONER MYERS BY THE SECONDS, BUT I'LL RECOGNIZE COMMISSIONER SMITH.

THE SECOND BY COMMISSIONER SMITH.

AND SEEING NO FURTHER DISCUSSION, I'LL JUST SAY THAT I ASKED --

>> MADAM CHAIR?

>> PAT KEMP: YES?

IS THERE SOMEBODY THERE?

>> NO, THIS IS THE CLERK.

THAT WAS NOT ON THE RECORD.

I NEED HIS MOTION ON THE RECORD.

I DIDN'T GET IT THROUGH THE AUDIO.

>> PAT KEMP: OH, OKAY.

I'M SORRY.

>> STACY WHITE: WELL, I JUST WOULD LIKE CLARIFICATION FROM THE CLERK STAFF.

IN THE PAST I'VE NEVER USED A MIC TO MAKE MOTIONS AND THE CHAIR HAS JUST ALWAYS ANNOUNCED WHO MADE IT.

DO YOU WANT US TO START USING THE MICS?

>> IT WOULD BE PREFERRED, YES, SIR.

>> STACY WHITE: OKAY, I MOVE THE ITEM THEN.

>> SECOND.

>> ALL RIGHT, THANK YOU.

>> PAT KEMP: OKAY WE HAVE COMMISSIONER WHITE AND COMMISSIONER SMITH HAS SECONDED THE ITEM, AND I'LL JUST SAY THAT I SAW -- I ASKED THEM IT WAS 3,544,254 SQUARE FEET.

AND I WAS LIKE WHAT?

WHAT DOES THAT MEAN IN TERMS OF -- BUT ANYONE IT'S 81 ACRES, AND IT MAY TURN INTO A SOLAR FARM AT SOME TIME.

SO I'M LOOK FORWARD TO THAT IF THAT HAPPENS.

AND WITH THAT, CAN WE HAVE NO FURTHER DISCUSSION.

CAN WE HAVE A -- I KEEP WANTING TO SAY ROLL CALL VOTE.

PLEASE RECORD YOUR VOTE.

>> MOTION CARRIED 7-0.

>> AND WE WILL MOVE NOW TO MR. MOREDA.

>> THANK YOU.

THIS BRINGS US TO ITEM C2.

THIS IS VACATING PETITION V21-0005.

THIS AGAIN WILL BE PRESENTED BY REAL ESTATE DEPARTMENT.

THANK YOU.

>> THRONG, ONCE AGAIN BRIAN YOUNG FROM THE REAL ESTATE SERVICES DEPARTMENT.

THIS PETITION BY HILLSBOROUGH COUNTY ASSOCIATES IV, L LLP TO VACATE A 20-FOOT WIDE DRAINAGE EASEMENT WITHIN THE VALENCIA DEL SOL PHASE 1 PLAT AS RECORDED IN PLAT BOOK 133 PAGE 34 OF THE PUBLIC RECORDS OF HILLSBOROUGH COUNTY.

THIS IS FOR THE PURPOSE OF RELOCATING THE EXISTING DRAINAGE EASEMENT THE PETITIONER IS PROVIDING ADEQUATE REPLACEMENT DRAINAGE TO THE COUNTY WITHIN THE APPROVED PLAT OF VALENCIA DEL SOL PLAT 3B.

THE PROPOSED VACATE CONSISTS OF APPROXIMATELY 5,920 SQUARE FEET.

STAFF RECOMMENDS APPROVAL OF THIS PETITION REQUEST.

THANK YOU.

>> PAT KEMP: THANK YOU.

THIS IS A PUBLIC HEARING, AND ANYONE WHO WOULD LIKE TO SPEAK HAS THREE MINUTES.

>> SO MOVED.

>> SECOND.

>> PAT KEMP: WE HAVE A MOTION BY COMMISSIONER WHITE, SECONDED BY COMMISSIONER COHEN, AND SEEING NO FURTHER DISCUSSION, PLEASE RECORD YOUR VOTE.

>> MOTION CARRIED 7-0.

>> PAT KEMP: THANK YOU.

MR. MOREDA?

>> THANK YOU, COMMISSIONERS.

THIS BRINGS US UP TO ITEM E1.

THIS IS A PERSONAL APPEARANCE FOR A MINOR MODIFICATION TO A PLANNED DEVELOPMENT.

THEY'RE INCREASING THE ENTITLEMENTS BY 74 SQUARE FEET FROM 2,026 TO 2,100 SQUARE FEET.

I'LL MOVE THROUGH THE GRAPHIC.

THE GRAPHIC ON THE LEFT WILL INDICATE THIS IS THE EXISTING SITE PLAN BELL SHOALS ROAD TO THE WEST, LITHIA ROAD TO THE EAST.

THE CURRENT SITE PLAN HAS ACCESS TO BELL SHOALS ROAD, EXISTING STRUCTURE AS SHOWN.

THE APPLICANT IS PROPOSING TO ELIMINATE THE ACCESS TO THE WEST AND ALSO TO EXPAND THE STRUCTURE PLACEMENT TO ELIMINATE 10 FEET IN THE FRONT YARD OF SETBACK, AND THEN ADDITIONALLY MOVE THE

ACCESS AWAY FROM THE INTERSECTION HEADING SOUTHEASTERLY
DIRECTION ALONG LITHIA AND THAT WILL INCLUDE THE SOLE ACCESS
FOR THE PROJECT.

OUR TRANSPORTATION STAFF HAS REVIEWED IT.

OUR PLANNING STAFF HAS REVIEWED IT.

AND WE ARE RECOMMENDING APPROVAL WITH CONDITIONS.

>> PAT KEMP: THANK YOU.

AND IS THE APPLICANT PRESENT?

>> GOOD MORNING, COMMISSIONERS.

I'M VIRTUAL.

MY NAME IS DAVID WRIGHT, PRESIDENT OF TSP COMPANIES.

OF OUR ADDRESS IS PO BOX 1016 TAMPA, FLORIDA, 33601.

THIS REQUEST IS THE RESULT OF AN EMINENT DOMAIN TAKING BY THE
COUNTY FOR THE WIDENING OF LITHIA PINECREST ROAD.

THE TAKING REQUIRED THE OFFICE STRUCTURE THAT PREVIOUSLY
EXISTED ON THE PROPERTY TO BE DEMOLISHED, AND THE PROPERTY WAS
UTILIZED BY THE COUNTY FOR CONSTRUCTION STAGING DURING THE
WIDENING OF THE ROAD.

THE PROPERTY OWNER IS SEEKING THE MINOR MODIFICATION TO THE PD
TO ALLOW THE OFFICE TO BE REDEVELOPED NOW THAT THE BELL SHOALS
ROAD CONSTRUCTION HAS -- LITHIA PINECREST ROAD CONSTRUCTION HAS
BEEN COMPLETED.

AND AS MR. MOREDA STATED, IT ALSO INCLUDES THE ELIMINATION OF
THE BELL SHOALS ROAD ACCESS POINT.

IF THERE IS -- I HAVE NOTHING FURTHER SO I'M AVAILABLE TO ANSWER ANY QUESTIONS.

THANK YOU.

>> PAT KEMP: THANK YOU.

AND DO WE HAVE, THIS IS A PUBLIC HEARING, AND IF WE HAVE PROPONENT TESTIMONY.

IS THERE ANY PROPONENT TESTIMONY IN SUPPORT?

WE WILL MOVE TO OPPONENT TESTIMONY.

IS THERE ANY PROPONENT TESTIMONY AGAINST?

>> WE HAVE NO ONE IN THE AUDIENCE HERE.

>> PAT KEMP: OKAY SO WE'LL MOVE ONTO THE ANY RECOMMENDATIONS AT THIS POINT.

>> STACY WHITE: MOVE APPROVAL.

>> GWEN MYERS: SECOND.

>> PAT KEMP: OKAY.

WE HAVE A MOTION BY COMMISSIONER WHITE, SECONDED BY COMMISSIONER OVERMAN --

>> GWEN MYERS: MYERS.

>> PAT KEMP: MYERS.

I SAID I WAS GOING TO DEFAULT AND I DIDN'T DO IT.

MYERS.

COMMISSIONER WHITE AND SECONDED BY COMMISSIONER MYERS, AND SEEING NO FURTHER DISCUSSION, PLEASE RECORD YOUR VOTE.

>> MOTION CARRIED 7-0.

>> PAT KEMP: OKAY.

IT LOOKS LIKE WE'RE NOW ON THE SECTION OF THE AGENDA WITH NO ORAL ARGUMENT FILED SO MR. MOREDA, YOU ARE RECOGNIZED.

>> THAT IS CORRECT, COMMISSIONERS.

WE'RE ON ITEM F1, THIS IS A PROPOSAL TO REZONE TO A STANDARD DISTRICT.

IT'S APPLICATION NUMBER 21-0303.

THE COMP PLAN IS R1.

IT'S IN THE RURAL SERVICE AREA.

THE REQUEST IS TO REZONE FROM AR PERMITTING ONE UNIT PER FIVE ACRE TO ONE DWELLING UNIT PER ACRE.

THE APPLICATION DID NOT QUALIFY FOR CONSENT.

IT HAS NO ORAL ARGUMENT FILED.

HOWEVER, IT IS AN INCREASE IN DENSITY IN THE RURAL SERVICE AREA, AND THEREFORE, IT LANDED ON THE F AREA OF THE AGENDA.

STAFF IS RECOMMENDING APPROVAL.

IT HAS ALL APPROVALS FROM ZONING HEARING MASTER AND PLANNING COMMISSION AS WELL.

WE'RE AVAILABLE FOR QUESTIONS IF NEEDED.

>> STACY WHITE: MOVE APPROVAL.

>> GWEN MYERS: SECOND.

>> PAT KEMP: WE HAVE A MOTION BY COMMISSIONER WHITE TO MOVE APPROVAL, AND WAS THAT COMMISSIONER MYERS, THANK YOU.

WITH A SECOND BY COMMISSIONER MYERS AND COMMISSIONER OVERMAN,

YOU'RE RECOGNIZED.

>> KIMBERLY OVERMAN: I NOTICED THERE IS NO SCHOOL CAPACITY REFERENCE TO THIS PARTICULAR ITEM.

AND THERE IS THE POTENTIAL FOR A GRID ALTHOUGH THE CSX LINES THERE.

I'M LOOKING FOR CONNECTIVITY.

WE'RE ACTUALLY INCREASING THE DENSITY IN THE AREA BUT WE HAVE NO OPINION FROM THE AREA SCHOOLS TO GIVE US AN IDEA OF WHETHER THERE IS ANY CAPACITY IN THAT AREA FROM MANAGING THE SCHOOLS. HAS -- I KNOW THAT COMES LATER BUT I'M A LITTLE CONCERNED ABOUT MOVING FORWARD WITH CREATING DENSITY IN THE RURAL AREA WITHOUT A COMMITMENT FROM THE SCHOOL OR REVIEW FROM THE SCHOOL.

SO WHILE I WOULDN'T NECESSARILY BE AGAINST THE PROJECT AT THIS POINT, MOVING FORWARD WITHOUT THAT INFORMATION SEEMS LIKE NOT THE RIGHT THING TO DO.

SO CAN SOMEONE GIVE ME SOME GUIDANCE ON WHY THAT WAS NOT INCLUDED IN THIS PARTICULAR REQUEST?

STAFF OR IS THERE SOMEONE THAT CAN SPEAK TO THAT?

I MEAN NORMALLY WE DO HAVE THAT AS PART OF THIS PROCESS, CORRECT?

>> PAT KEMP: IS THERE ANYONE FROM DEVELOPMENT SERVICES, ATTORNEY, ANYBODY?

>> YEAH, COMMISSIONERS, I'M LOOKING AT THE BACKUP AND IT APPEARS WE HAVE TWO COMMENTS FROM THE SCHOOL.

ONE OF WHICH DOESN'T HAVE SUBSTANTIVE COMMENTS, THE OTHER ONE

DOES, BUT IT APPEARS THAT THAT IS NOT THE RIGHT CASE NUMBER FOR THAT BACKUP.

SO LET ME --

>> KIMBERLY OVERMAN: I'M NOT SEEING IT.

IF IT'S THERE, THAT'S GREAT.

I'D LOVE TO HAVE SOMEONE REVIEW IT WITH US BEFORE WE APPROVE THIS PROJECT.

>> I APOLOGIZE TO THAT, COMMISSIONER.

I WILL GET TO THE COMMENT.

>> PAT KEMP: I'M GOING TO TAKE THE HEAT FOR A SECOND OFF MR. GORMLY AND WE'LL SEE COMMISSIONER WHITE I KNOW WANTS TO SPEAK.

SO YOU'RE RECOGNIZED.

>> STACY WHITE: I WANT TO POINT OUT THEY WANT TO BE REZONED TO AN AGRICULTURAL AREA, ONE-ACRE LOTS.

I KNOW THE AREA VERY WELL.

I MEAN, I DON'T HAVE THE INFORMATION IN FRONT OF ME, BUT I'M GOING TO SAY I'M PROBABLY 95-PLUS PERCENT SURE THAT THESE HOMES WILL BE BOUNDARIED FOR PINECREST ELEMENTARY, PROBABLY TURKEY CREEK MIDDLE AND DURANT HIGH.

I'M A DURANT PARENT.

I KNOW FOR A FACT THAT THAT SCHOOL IS WELL UNDERCAPACITY.

PINECREST I'VE NEVER HEARD OF ANY CAPACITY ISSUES THERE.

IF I'M RIGHT ABOUT IT BEING TURKEY CREEK MIDDLE, I MEAN I DON'T

THINK THEY HAVE ANY MAJOR CAPACITY ISSUES THERE EITHER.

I WILL ALWAYS WANT STAFF TO SUBSTANTIATE THAT BUT I CERTAINLY
DON'T -- IN THIS PARTICULAR CASE, I DON'T HAVE ANY CONCERNS
ABOUT SCHOOLS AT ALL.

BUT DEFINITELY WANT TO HEAR FROM OUR EXPERTS ON STAFF THOUGH.

>> COMMISSIONERS?

>> PAT KEMP: YES?

>> WE WERE ABLE TO FIND A COMMENT.

WE COULD, WE COULD --

>> IF YOU WOULD PUT THAT UP ON THE ELMO SO EVERYBODY CAN SEE
IT, PLEASE?

>> IS IT ACCEPTABLE TO SEND THE COMMENTS TO THE COMMISSION AND
YOURSELF, ADAM, THROUGH E-MAIL?

>> YES, BUT WE PUT IT UP SO WE CAN SEE IT WHILE WE'RE TALKING
ABOUT IT, PLEASE.

>> WE'LL HAVE TO SEND IT TO SOMEONE'S COMPUTER AND SEE IF WE
CAN SHARE THE SCREEN.

WE'LL WORK ON THAT AND GET BACK TO YOU IN A SECOND.

>> PAT KEMP: IN THE MEANTIME I AM GOING TO LET COMMISSIONER
OVERMAN WANTED TO SPEAK.

>> KIMBERLY OVERMAN: THANK YOU.

AND COMMISSIONER WHITE, THANK YOU FOR YOUR, YOUR COMMENTS
BECAUSE REAL TIME ALWAYS HELPS.

THE OTHER ITEM AND THE ONLY OTHER REASON WHY I WOULD FEEL

COMFORTABLE WITH THIS, IT DOES APPEAR AS THOUGH THIS PROJECT IS AN EXTENSION OF THE GROWTH.

I WASN'T GOING TO CALL IT SPRAWL, BUT THE GROWTH OF PLANT CITY, WHICH IS GREAT.

AND IF IN FACT THE CSX LINE ACTS AS A NATURAL BARRIER, I WOULD SUPPORT THAT GROWTH.

>> WHILE WE'RE GETTING UP I DO HAVE THE COMMENT IN FRONT OF ME, IT IS PINECREST ELEMENTARY WITH THE EXISTING ENROLLMENT PLUS PROJECT TRAFFIC PROPOSED UTILIZATION WILL BE 86% FOR THE ELEMENTARY.

TURKEY CREEK MIDDLE SCHOOL WOULD BE ENROLLMENT AND PROJECT CAPACITY.

IT WOULD BE AT 80% CAPACITY.

AND OH, MY GOSH.

I JUST LOST IT.

AND IT WOULD BE DURANT HIGH SCHOOL WITH THE EXISTING ENROLLMENT, AND STUDENT GENERATION IT WOULD BE AT 89%.

SO ALL THREE SCHOOLS ARE BELOW 90% WITH THE PROJECT TRAFFIC AND EXISTING TRAFFIC AND I DO APOLOGIZE FOR NOT HAVING THAT IN THE BACKUP FOR YOU.

>> KIMBERLY OVERMAN: THANK YOU VERY MUCH.

THAT ADDRESSES MY CONCERNS.

THANK YOU VERY MUCH.

>> PAT KEMP: OKAY.

GOLD STAR FOR COMMISSIONER WHITE.

AND WITH THAT, I DON'T THINK SEEING ANY FURTHER DISCUSSION, GOOD TO RECOGNIZE THAT THE INFORMATION WASN'T AVAILABLE THERE.

SO THANK YOU FOR THAT.

AND SEEING NO FURTHER DISCUSSION, I'M SORRY I DON'T KNOW IF WE HAD A MOTION AS TO THIS AT THIS TIME.

WAS IT COMMISSIONER WHITE DID YOU MAKE A MOTION TO APPROVE? OKAY.

SORRY.

AND COMMISSIONER OVERMAN, SECOND?

>> KIMBERLY OVERMAN: NO, MYERS.

>> PAT KEMP: MYERS.

[LAUGHTER]

OKAY.

AND WITH THAT, I SEE NO FURTHER DISCUSSION.

PLEASE RECORD YOUR VOTE.

>> MOTION CARRIED 7-0.

>> PAT KEMP: THANK YOU.

MR. MOREDA.

>> THANK YOU, COMMISSIONERS.

THIS BRINGS US UP TO ITEM G1.

>> PAT KEMP: OUR REGULAR AGENDA.

[LAUGHTER]

>> ARE WE GOOD?

>> PAT KEMP: YES, WE'RE GOOD.

>> OKAY, THANK YOU.

BACK TO ITEM G1.

THESE ARE CASES THAT HAVE ORAL ARGUMENT FILED.

THIS IS REZONING FOR OUR STANDARD DISTRICT.

20-0374.

THE APPLICATION IS LOCATED BETWEEN WILLIAMS ROAD, LAKEWOOD DRIVE ON THE SOUTH SIDE OF MARTIN LUTHER KING.

IT'S SEVERAL HUNDRED FEET AWAY FROM LAKEWOOD DRIVE.

IT'S ACTUALLY CLOSER BETWEEN THE TWO, AND I'LL PROPOSE TO PUT THE GRAPHIC UP ON THE -- TO GIVE YOU PROXIMITY, LAKEWOOD, MARTIN LUTHER KING DRIVE.

THE APPLICANT IS PROPOSING TO REZONE TO CG, THE CURRENT ZONING IS RDC12 WHICH PERMITS DUPLEX ZONING AT 12 UNITS PER ACRE.

STAFF IS RECOMMENDING DENIAL OF THE REQUEST.

THE REQUEST IS TO REZONE TO CG WITH AN R CONDITION.

THE R CONDITION PLACES A RESTRICTIONS ON THE, ON THE APPLICATION THAT WOULD, THE APPLICANTS AGREE TO RESTRICT THEMSELVES TO PLACING A SIX-FOOT PVC FENCE.

THERE IS ALSO LISTED SOME PRIMARY USES OF THE SITE THAT WILL NOT BE UTILIZED.

IF A CAR WASH IS USED WITH THE SITE AS AN ACCESSORY USE, THEN IT WOULD BE ALLOWED BUT NOT AS A PRIMARY USE OF THE SITE.

ALSO INDICATED THAT MAJOR AND MINOR VEHICLE REPAIR WILL NOT BE

ALLOWED.

HOWEVER, IF IT'S ALLOWED AS AN ACCESSORY USE FOR EXAMPLE FOR CAR SALES THEN THAT TYPE OF USE WOULD BE ALLOWED.

THE APPLICATION IS PROPOSING OPEN STORAGE NOT BE ALLOWED, PLASMA BANKS AND ADULT USE NOT BE ALLOWED AS WELL.

STAFF FOUND IT TO BE NOT SUPPORTABLE BASED ON THE COMPREHENSIVE PLAN FINDING OF INCONSISTENCY.

PLANNING COMMISSION WILL BE SPEAKING TO THAT IN THEIR PRESENTATION.

BUT THEY PRIMARILY LISTED OF TRANSITIONAL USE WITH POLICIES LIST IN THE COMP PLAN AND ALSO THOSE LISTED IN SEFFNER MANGO COMMUNITY PLAN.

AGAIN, ORAL ARGUMENT HAS BEEN FILED.

STAFF IS NOT SUPPORTING IT, AND YOU ALSO WILL HEAR NOW FROM PLANNING COMMISSION.

AND ALSO THE ZHM.

THANK YOU.

>> PAT KEMP: OKAY, THANK YOU.

SO ORAL ARGUMENT HAS BEEN FILED FOR THIS AND A MOTION TO OPEN ORAL ARGUMENT.

>> PAT KEMP: A MOTION AND A SECOND BY COMMISSIONER MYERS. COMMISSIONER OVERMAN.

I THINK I'M GOING TO NEED HAND RAISING.

AND SEEING NO FURTHER DISCUSSION, PLEASE RECORD YOUR VOTE.

>> MOTION CARRIED 7-0.

>> PAT KEMP: OKAY, MR. MOREDA.

I GUESS, WITH YOUR IDENTIFICATION OF THE ITEM, WE'LL MOVE TO ORAL ARGUMENT BY THE APPLICANT.

>> GOOD MORNING, COMMISSIONERS, NAME IS TODD PRESSMAN, ST. PETERSBURG, FLORIDA.

GOOD MORNING TO YOU ALL.

I DO HAVE A POWERPOINT FOR YOU AND I DO HAVE MR. JOHN GRYGIEL, THE PROPERTY OWNER HERE.

MADAM CHAIR, CAN YOU SEE THE POWERPOINT?

>> PAT KEMP: YES, WE CAN.

>> THIS IS RZ20-0374.

LOCATED IN SEFFNER MANGO.

IT'S ACTUALLY COMPOSED OF TWO SEPARATE PARCELS WHICH WOULD BE ONE ENTIRE PROJECT AREA.

NEXT SLIDE, PLEASE.

THE ISSUE IS .58 ACRES GOING FROM RDC12 TO CG-R SO THAT IS COMMERCIAL GENERAL WITH A SIGNIFICANT RESTRICTION WHICH WOULD ONLY ALLOW FOR A CAR SALES LOT.

SO THE USES PROPOSED WOULD BE A CAR WASH BUT ONLY AS AN ACCESSORY USE FOR VEHICLES, NOT LIKE AN OPEN PRIMARY USE CAR WASH BUT JUST IN REGARD TO THE PARCEL LOT.

OPEN STORAGE, MAJOR MINOR VEHICLE REPAIR IS NEEDED, NOTHING LIKE BLOOD PLASMA BANKS OR DONATIONS, NO ADULT USES LIKE THAT ARE

RESTRICTED.

COMMISSIONERS, THE COMP PLAN IN OUR EVALUATION STRONGLY SUPPORTS THE SITE AND FIRST OF ALL, IT MEETS LOCATIONAL CRITERIA.

GOAL 3 OF THE SEFFNER MANGO COMMUNITY PLAN DOES INCLUDE STRATEGIES TO CONCENTRATE COMMERCIAL DEVELOPMENT JUST LIKE THIS ALONG EAST MARTIN LUTHER KING, JR. BOULEVARD.

NEXT SLIDE, PLEASE.

PROVIDES FOR GROWTH IN THE URBAN SERVICE AREA AS REQUIRED BY OBJECTIVE 1 AND UNDER THE SEFFNER MANGO COMMUNITY PLAN SUPPORT INFILL DEVELOPMENT OR REDEVELOPMENT IN THE URBAN SERVICE AREA WHICH WE ARE DOING.

IN THE FUTURE LAND USE MAP IT IS R9 WHICH ALLOWS NONRESIDENTIAL USES AND SHALL MEET ESTABLISHED LOCATIONAL CRITERIA WHICH WE DO NEED.

NEXT SLIDE, PLEASE.

ZONING MAP.

NEXT SLIDE, PLEASE.

NOW CRITICALLY, WE HAVE A COMMERCIAL INTENSIVE USE, CG, ON THE EAST SIDE.

WE HAVE SUBMITTED LETTERS FROM NEIGHBORS AND ABUTTING NEIGHBORS OF NO OPPOSITION ON THE WEST SIDE AND TO THE SOUTH.

SO THIS IS SURROUNDED BY NO OPPOSITION AND COMMERCIAL USES AND COMMERCIAL USES ACROSS THE STREET.

LOCATED ON A SIX-LANE MAJOR ARTERY 4,000 AVERAGE DAILY TRIPS,
NEXT SLIDE, PLEASE.

WE DON'T BELIEVE IN ANY CASE THAT IT'S SUITABLE FOR RESIDENTIAL
DEVELOPMENT, AT LEAST AS WE'RE LOOKING AT IT NOW.

NEXT SLIDE, PLEASE.

NOW, ACCORDING TO THE PLANNING COMMISSION, WE MADE GREAT LENGTHS
TO DEMONSTRATE TO STAFFS THAT THERE WAS NO OPPOSITION TO ANY
AFFECTED PROPERTY OWNER, BUT THE PLANNING COMMISSION DOES NOT
ACCEPT THOSE OR INCLUDE THAT IN THEIR EVALUATION FOR THEIR STAFF
REPORT AND THAT'S PRIMARY WHAT PG AND M RELIED UPON.

NEXT SLIDE, PLEASE.

WE'RE PROVIDING A SIX-FOOT PVC FENCE AGAINST THE RESIDENTIAL
USE, WHICH ARE IN THE RECORD FOR NO OPPOSITION, FOUR FOOT HIGH,
EVERGREEN SHADE TREES NOT LESS THAN 10 FEET HIGH AT THE
PLANTING, SPACED EVERY 10 FEET VERSUS 20 FEET SO WE'RE
BASICALLY DOUBLING THE PLANTING DENSITY.

NEXT SLIDE.

PG & M RECOMMENDATION, THIS IS IMPORTANT BECAUSE THEY BASE THEIR
RECOMMENDATION ON THE PLANNING COMMISSION INCONSISTENCY
FILING.

AS IT WOULD NOT PROVIDE FOR PROPER USE TRANSITION BETWEEN THE
EXISTING SINGLE-FAMILY USES, BUT AGAIN, WE'VE SHOWN YOU THAT
THE EXISTING SINGLE-FAMILY USES ARE NOT IN OPPOSITION AND IN
SUPPORT.

AND AGAIN THE PLANNING COMMISSION DOES NOT FACTOR THAT INTO THEIR STAFF REPORT.

NEXT SLIDE, PLEASE.

PLANNING COMMISSION PRIMARILY -- CONCEPTS OF POLICY 1.4 COMPATIBILITY AND PROTECTING EXISTING NEIGHBORHOODS BUT AGAIN WE'VE HEARD FROM THOSE NEIGHBORHOODS AND CG-R THAT WE'RE PROPOSING IS HEAVILY RESTRICTED AND BETTER BUFFERED AND MEETS THOSE CONCERNS.

NEXT SLIDE, PLEASE.

NEXT SLIDE, PLEASE.

GOALS, STRATEGY OF THE SEFFNER MANGO COMMUNITY PLAN IS RECOGNIZED THE COMMERCIAL CHARACTER OF U.S. 92 AND MLK WITHIN URBAN SERVICE AREA WHICH WE ARE INSIDE OF.

GOAL AND STRATEGY OF THE SEFFNER MANGO COMMUNITY PLAN SUPPORT INFILL DREAMT AND REDEVELOPMENT WITHIN THE USA WHILE PROVIDING FOR COMPATIBILITY WITH EXISTING USES.

WE BELIEVE WE'RE MEETING THOSE GOALS AND STRATEGIES.

NEXT SLIDE.

GOAL 3, AGAIN, COMMERCIAL DEVELOPMENT SHOULD BE DIRECTED TO U.S. 19 AT MLK BOULEVARD WHICH IS EXACTLY WHAT WE'RE DOING.

NEXT SLIDE, PLEASE.

AND IT'S A GOOD TRANSITIONAL USE FROM MLK TO THE USES BEHIND THE SITE.

NEXT SLIDE, PLEASE.

AND MIND YOU AGAIN THE SITE DOES MEET LOCATIONAL CRITERIA AND IT DOES PROVIDE GROWTH IN USA UNDER OBJECTIVE 1.

NEXT SLIDE, PLEASE.

SO IN SUMMARY, COMMISSIONERS, CG-R IS VERY RESTRICTIVE FOR THIS USE.

WE HAVE EXTREMELY STRONG RESIDENTIAL SUPPORT.

NO ONE HAS COME FORWARD AT ANY OF THE HEARINGS IN OPPOSITION.

WE'RE EXCEEDING LANDSCAPING REQUIREMENTS.

NOT TERRIBLY CONDUCIVE FOR RESIDENTIAL.

CG IS ABUTTING ON THE MLK, AND THERE ARE MANY COMP PLAN AND SEFFNER MANGO COMMUNITY PLAN POLICIES THAT SUPPORT AND DIRECT COMMERCIAL ON THIS SITE.

THANK YOU.

WE APPRECIATE YOUR ATTENTION.

HAPPY TO ANSWER ANY QUESTIONS YOU MIGHT HAVE.

MR. GRYGIEL WAS HOPING TO MAKE A QUICK COMMENT.

>> HELLO, MY NAME IS JOHN GRYGIEL, 11964 NEAL ROAD, LITHIA, FLORIDA, 33547 AND I WILL -- WE'VE BEEN WORKING ON THIS FOR OVER A YEAR AND WOULD REALLY APPRECIATE YOUR SUPPORT AND IT WOULD HELP MY FAMILY OUT GREATLY TO GET THIS DONE AND MAKE BETTER USE OF THIS PROPERTY THAN WHAT IT'S CURRENTLY BEING USED AS SO WITH THAT, THANK YOU.

>> PAT KEMP: THANK YOU.

AND THERE ARE NO FURTHER -- ANYONE SIGNED UP FOR OPPOSITION OR

SUPPORT IN THIS CASE.

SO I'M ASSUMING THAT THE APPLICANT WILL WAIVE THE REBUTTAL.

AND IF THAT IF WE CAN MOVE TO THE PLANNING COMMISSION.

>> THANK YOU, MELISSA LIENHARD, PLANNING COMMISSION STAFF.

THE SUBJECT PROPERTY IS LOCATED WITHIN THE RESIDENTIAL 9 FUTURE LAND USE CATEGORY, THE SITE IS LOCATED IN THE URBAN SERVICE AREA AND ALSO LOCATED WITHIN THE LIMITS OF THE SEFFNER MANGO COMMUNITY PLAN.

WHILE THE APPLICANT HAS PROPOSED THE USE RESTRICTION, AND AUGMENTED BUFFERING AND SCREENING, THE PROPOSAL DOES NOT MEET THE COMPATIBILITY CRITERIA OF THE FUTURE LAND USE ELEMENT, OR FLUE.

ACCORDING TO THIS POLICY COMPATIBILITY IS DEFINED AS THE CHARACTERISTIC OF DIFFERENT USES OR ACTIVITIES OR DESIGN WHICH ALLOW THEM TO BE LOCATED NEAR OR ADJACENT TO ONE ANOTHER IN HARMONY.

COMPATIBILITY DOES NOT MEAN THE SAME AS, RATHER REFERS TO THE SENSITIVITY OF DEVELOPMENT PROPOSALS IN MAINTAINING THE CHARACTER OF EXISTING DEVELOPMENT.

IT WOULD NOT BE HARMONIOUS OR COMPATIBILITY WITH THE SINGLE-FAMILY CHARACTER OF THE AREA DIRECTLY TO THE WEST AND THE AREA SOUTH OF THE SUBJECT PROPERTY ALONG THOMAS ROAD. REQUIRE PROTECTION OF EXISTING NEIGHBORHOODS THROUGH VARIOUS MECHANISMS.

FLUE POLICY 16.1 STATES THAT ESTABLISHED AND PLANNED NEIGHBORHOODS AND COMMUNITIES SHALL BE PROTECTED BY RESTRICTING INCOMPATIBLE LAND USES BY LIMITING COMMERCIAL DEVELOPMENT IN RESIDENTIAL LAND USE CATEGORIES TO NEIGHBORHOOD SCALE.

A REZONING TO COMMERCIAL GENERAL WOULD BE INCONSISTENT WITH THIS POLICY DIRECTION.

POLICY 16.2 STATES THAT GRADUAL TRANSITIONS OF INTENSITY BETWEEN DIFFERENT LAND USES SHALL BE PROVIDED FOR AS NEW DEVELOPMENT IS PROPOSED AND APPROVED THROUGH THE USE OF PROFESSIONAL SITE PLANNING, BUFFERING, SCREENING TECHNIQUES AND CONTROL OF SPECIFIC LAND USES.

IN THIS CASE, STAFF HAS DETERMINED THAT A REZONING TO CG WOULD NOT PROVIDE FOR A TRANSITION BETWEEN THE RESIDENTIAL AND COMMERCIAL GENERAL USES NEARBY AND MITIGATION MEASURES WOULD NOT BE ABLE TO ACHIEVE COMPATIBILITY.

POLICY 16.5 FURTHER RESTRICTS HIGHER INTENSITY USES ALONG ARTERIALS AWAY FROM ESTABLISHED NEIGHBORHOODS.

WHILE EAST DR. MARTIN LUTHER KING, JR. BOULEVARD IS AN ARTERIAL ROADWAY THE REAR OF THE SITE WOULD BE DIRECTLY ON THOMAS ROAD WHICH IS A LOCAL ROADWAY AND A REZONING WOULD ENCOURAGE THE ENCROACHMENT OF HIGHER INTENSITY USES INTO AN EXISTING RESIDENTIAL NEIGHBORHOOD.

AS A RESULT, THE USE IS NOT COMPATIBLE WITH THE SURROUNDING AREA, AND ALSO DOES NOT MEET THE INTENT OF FUTURE LAND USE POLICY

OBJECTIVE 16.

THE SITE MEETS COMMERCIAL LOCATIONAL CRITERIA AS OUTLINED IN OBJECTIVE 22 AND POLICY 22.2 AS IT IS LOCATED WITHIN A THOUSAND FEET OF THE COMMERCIAL NODE LOCATED AT LAKEWOOD DRIVE AND MARTIN LUTHER KING, JR. BOULEVARD.

HOWEVER, POLICY 22.7 STATES THAT COMMERCIAL LOCATIONAL CRITERIA IS NOT THE ONLY FACTOR TO BE CONSIDERED.

FACTORS SUCH AS LAND USE COMPATIBILITY ARE ALSO CONSIDERED AND IN THIS CASE, PLANNING COMMISSION STAFF HAS CONCERNS REGARDING THE COMPATIBILITY OF THE PROPOSED LAND USES IN CLOSE PROXIMITY TO THE SINGLE-FAMILY RESIDENTIAL DWELLING.

THE COMMERCIAL LOCATIONAL CRITERIA SECTION OF THE FUTURE LAND USE ELEMENT ALSO CONTAINS ADDITIONAL POLICY DIRECTION ABOUT THE LOCATION OF NEW NONRESIDENTIAL DEVELOPMENTS.

THIS POLICY DIRECTION OUTLINES THAT WITH NEW NONRESIDENTIAL DEVELOPMENTS AT INTERSECTIONS, MEETING LOCATIONAL CRITERIA, A TRANSITION IN LAND USE SHOULD BE ESTABLISHED THAT RECOGNIZES THE EXISTING SURROUNDING COMMUNITY CHARACTER AND SUPPORTS THE CREATION OF A WALKABLE ENVIRONMENT.

THE TRANSITION INCLUDES CLUSTERING THE MOST INTENSE LAND USES TOWARD THE INTERSECTION AND PROVIDING LESS INTENSE USES SUCH AS OFFICES, PROFESSIONAL SERVICES, OR SPECIALTY RETAIL TOWARD THE EDGES OF THE COMMERCIAL NODE.

IN THIS CASE, WHILE THE SITE DOES MEET COMMERCIAL LOCATIONAL

CRITERIA, IT IS LOCATED APPROXIMATELY 610 FEET WEST OF THE INTERSECTION WITHIN A THOUSAND FOOT NODE.

ACCORDING TO POLICY DIRECTION, THE USES SHOULD BE TRANSITIONING TO LESS INTENSE USES MOVING AWAY FROM THE INTERSECTION.

CURRENTLY AT THE INTERSECTION OF DR. MARTIN LUTHER KING, JR. BOULEVARD AND LAKEWOOD DRIVE, THERE IS APPROXIMATELY A 15-THOUSAND SQUARE FOOT DRUGSTORE USE WITH A DRIVE-THRU WHICH IS A WALGREENS PHARMACY.

ACCORDING TO THE AFOREMENTIONED POLICY DIRECTION, A REZONING TO COMMERCIAL GENERAL RESTRICTED WOULD NOT MEET THE TRANSITION OF USE POLICIES IN THE COMPREHENSIVE PLAN.

LASTLY, THE REZONING REQUEST IS NOT CONSISTENT WITH THE SEFFNER MANGO COMMUNITY PLAN DIRECTION.

GOAL 3 OF THE COMMUNITY PLAN DOES -- INCLUDES STRATEGIES TO CONCENTRATE COMMERCIAL DEVELOPMENT, OFFICE DEVELOPMENT, AND LIGHT INDUSTRIAL DEVELOPMENT ALONG DR. MARTIN LUTHER KING, JR. BOULEVARD.

HOWEVER, GOAL 2 PROHIBITS COMMERCIAL ENCROACHMENT IN RESIDENTIAL AREAS SOUTH OF MARTIN LUTHER KING, JR. BOULEVARD. THE SITE IS ADJACENT TO A RESIDENTIAL USES TO THE WEST AND ACROSS THOMAS STREET TO THE SOUTH WHICH IS APPROXIMATELY 60 FEET AWAY FROM THE LIMITS OF THE SUBJECT PROPERTY.

AS THE SUBJECT SITE IS DIRECTLY SOUTH OF MARTIN LUTHER KING, JR. BOULEVARD, AND IN AN EXISTING RESIDENTIAL AREA, A REZONING

TO COMMERCIAL GENERAL WOULD BE INCONSISTENT WITH THE VISION OF THE SEFFNER MANGO COMMUNITY PLAN.

BASED UPON THOSE CONSIDERATIONS, PLANNING COMMISSION STAFF FINDS THE PROPOSED REZONING INCONSISTENT WITH THE FUTURE OF HILLSBOROUGH COMPREHENSIVE PLAN FOR UNINCORPORATED HILLSBOROUGH COUNTY.

THANK YOU.

>> PAT KEMP: THANK YOU.

WE'LL NOW MOVE TO THE ZONING HEARING MASTER RECOMMENDATION.

>> THANK YOU.

THE ZONING HEARING MASTER CONSIDERED THE APPLICANT'S REQUEST FOR A REZONING OF THE PROPERTY TO A CG-R COMMERCIAL GENERAL RESTRICTED ZONING DISTRICT.

THIS PROPERTY IS .58 ACRES IN SIZE AND CURRENTLY ZONED RDC12 DESIGNATED RESIDENTIAL 9 BY THE COMPREHENSIVE PLAN.

AS YOU HEARD THE PLANNING COMMISSION STAFF DOES NOT SUPPORT THE REQUEST.

STAFF TESTIFIED THAT THE SUBJECT PROPERTY MEETS COMMERCIAL LOCATIONAL CRITERIA BUT THAT OTHER FACTORS REGARDING COMPATIBILITY AND THE TRANSITION OF USES IN ACCORDANCE WITH THE COMPREHENSIVE PLAN FUTURE LAND USE ELEMENT RESULTED IN THEIR RECOMMENDATION FINDING OF INCONSISTENCY.

THE PLANNING COMMISSION FOUND THAT THE REQUEST IS INCONSISTENT WITH POLICY 16.1 REGARDING THE PROTECTION OF EXISTING

RESIDENTIAL NEIGHBORHOODS.

THE ZONING HEARING MASTER FOUND THAT THE PROPERTY IS BORDERED BY PROPERTY ZONED RDC12 TO THE WEST AND SOUTH ACROSS THOMAS STREET.

THE PARCEL DIRECTLY ACROSS THE STREET IS ZONED PLANNED DEVELOPMENT AND DEVELOPED WITH AN APARTMENT COMPLEX.

IMMEDIATELY TO THE EAST IS AN EXISTING RETAIL DRUGSTORE ZONED PLANNED DEVELOPMENT.

THE DRUGSTORE ZONING CONDITIONS PERMIT THE REDEVELOPMENT OF THE PROPERTY WITH CG USES ONLY IF THE TRAFFIC ANALYSIS IS SUBMITTED THAT SHOWS THAT THE TRAFFIC GENERATED BY THE PROPOSED USE IS CONSISTENT WITH THE EXISTING DRUGSTORE TRAFFIC.

THE ZONING HEARING MASTER FOUND THAT THE RESTRICTIONS POSED BY THE APPLICANT DO NOT LIMIT THE PROPERTY USE TO A SINGLE OR LIMITED NUMBER OF USES BUT RATHER PERMIT THE WIDE RANGE OF CG COMMERCIAL AND RETAIL USES THAT WOULD GENERATE A HIGH VOLUME OF TRAFFIC AND OPERATION AT ALL HOURS OF DAY AND NIGHT.

THE ZONING HEARING MASTER CONCLUDED THAT ALTHOUGH THE PROPERTY DOES MEET THE COMMERCIAL LOCATIONAL CRITERIA AS ESTABLISHED IN THE PLAN, THE REQUEST FOR A CAR SALES LOT WITH MINOR AND MAJOR VEHICLE REPAIR AND A CAR WASH AS WELL AS A RANGE OF CG USES IS INAPPROPRIATE FOR THE MIX OF SINGLE-FAMILY, MULTIFAMILY, AND LOW INTENSITY COMMERCIAL DEVELOPMENT IN THIS AREA AND THE ZONING HEARING MASTER THEREFORE RECOMMENDED DENIAL.

>> PAT KEMP: THANK YOU.

AND WITH THAT, WE'LL MOVE TO BOARD DISCUSSION.

COMMISSIONER SMITH.

>> MARIELLA SMITH: THANK YOU.

AND I AGREE WITH THE ZONING HEARING MASTER THAT ALTHOUGH THEY'RE PORTRAYING THIS AS BEING RESTRICTED USES WITHIN COMMERCIAL GENERAL, THE ONLY RESTRICTIONS ARE IT WON'T BE BLOOD PLASMA AND IT WON'T BE ADULT BUSINESS.

OTHER THAN THAT, THEY CAN HAVE A USED CAR SALES LOT, THEY CAN INCLUDE AUTO REPAIR WITH THAT, AND ALL THE REST OF AS THE ZONING HEARING MASTER SAID, THE WIDE RANGE OF USES IN COMMERCIAL GENERAL.

THERE ARE LESS INTENSIVE USES THAT INCLUDE SOME BUSINESS IF YOU WANTED TO GO THAT WAY HERE, OR THERE ARE MORE RESTRICTIONS YOU COULD PUT.

THEY HAVEN'T EVEN RESTRICTED THE OPERATIONS OF HOURS OR YOU KNOW THE INTENSITY OF TRAFFIC IN ANY WAY.

IT LEAVES THE DOOR TOO FAR OPEN AS OUR PLANNING COMMISSION AND DEVELOPMENT SERVICES STAFF AND THE ZONING HEARING MASTER HAS SAID.

SO I JUST, YOU KNOW, I THINK THEY SHOULDN'T HAVE, THEY SHOULD'VE LISTENED TO THAT ADVICE BEFORE THEY GOT HERE AND TRIED A LITTLE HARDER TO LIMIT THE COMMERCIAL USES IN THAT AREA.

THE FACT THAT THEY, THE DEVELOPER HAS BEEN ABLE TO PERSUADE A

COUPLE OF NEIGHBORS WHO ARE THERE RIGHT NOW THAT TO GO ALONG WITH IT IS, I MEAN, YOU HAVE TO CONSIDER THE FACT THAT THOSE NEIGHBORS MAY OR MAY NOT BE THERE FOREVER.

WE HAVE TO THINK ABOUT THE LONG-TERM PLAN FOR THE AREA.

SO I'LL MOVE THE RECOMMENDATION THAT HAS COME BEFORE US OF DENIAL.

>> PAT KEMP: WE HAVE A MOTION BY COMMISSIONER SMITH.

IS THERE -- OH, COMMISSIONER OVERMAN -- IS THERE A SECOND?

>> GWEN MYERS: SECOND.

>> PAT KEMP: OKAY.

COMMISSIONER OVERMAN AND COMMISSIONER OVERMAN, YOU'RE RECOGNIZED.

>> KIMBERLY OVERMAN: THANK YOU.

AND I HAVE SIMILAR CONCERNS.

I THINK THIS IS -- YOU KNOW, MARTIN LUTHER KING IS AT THIS POINT, IS AN AREA WHERE IT MAKES SENSE TO HAVE EITHER COMMERCIAL OR MULTIFAMILY BECAUSE YOU HAVE THE BARRIER TO THE RESIDENTS ON THE INSIDE.

AND WHILE I'M NOT REALLY EVER A BIG FAN OF CAR SALES LOTS, BUT JUST IT'S MY BIAS, THERE ARE OTHER PURPOSES FOR THIS PARTICULAR PROPERTY THAT ALSO COULD MAKE SENSE AND A CAR LOT COULD MAKE SENSE.

BUT HAVING THE, YOU KNOW, WIDE OPEN CG ZONING CODE OR APPROVAL DOES SORT OF COMPROMISE THE IDEA THAT AN INTENSE USE ON A, A

STREET THAT IS, HAS BECOME A MANAGER CORRIDOR WOULD MAKE SENSE EXCEPT FOR IN THIS PARTICULAR CASE YOU'RE BACKED UP RIGHT AGAINST HOMES.

SO THAT TRANSITION TO A NEIGHBORHOOD IS LESS ABLE IN THIS PARTICULAR CIRCUMSTANCE.

AND AS A CONSEQUENCE OF THAT, HAVING A, AN APPROVAL WITH CERTAIN RESTRICTIONS IN ORDER TO PROTECT THOSE RESIDENTS UNTIL THOSE HOMES ARE NO LONGER HOMES, I THINK IS AN APPROPRIATE COURSE OF ACTION.

WHAT I AM HAPPY TO SEE ABOUT THIS PARTICULAR PIECE THOUGH, WHICH ACTUALLY I THINK THE PLANNING COMMISSION AND THE DEPARTMENT HAD A, SOME CONCERN ABOUT, WAS THAT THERE WAS TWO WAYS TO COME IN AND OUT OF THE PROPERTY, WHICH DOES PROVIDE SOME RELIEF ON MLK AND PROVIDES FOR SOME CIRCULATION WHICH I ALWAYS LIKE TO SEE, BUT WITHOUT ANY UNDERSTANDING OF HOW THAT'S REALLY GOING TO WORK AT THIS POINT.

IT WOULD BE DIFFICULT TO MOVE FORWARD AS IT STANDS.

THERE IS REAL POTENTIAL HERE.

I THINK WE JUST REALLY NEED TO TAKE A LOOK AT HOW THAT ZONING WOULD APPLY TO THE PEOPLE THAT ACTUALLY LIVING RIGHT ON THAT CORRIDOR.

WHICH YOU KNOW IS CHALLENGING FOR THE PEOPLE LIVING ON THAT CORRIDOR.

BUT I THINK WITHIN IN THIS CASE THERE IS, THERE IS A SOLUTION.

I'M JUST DON'T THINK WE'RE THERE YET.

I'LL STOP THERE.

>> PAT KEMP: WE HAVE A MOTION BY COMMISSIONER SMITH, SECONDED BY COMMISSIONER OVERMAN.

>> KIMBERLY OVERMAN: MYERS.

>> PAT KEMP: MYERS.

MOTION TO DENY.

AND I DON'T SEE -- COMMISSIONER COHEN, YOU'RE RECOGNIZED.

>> HARRY COHEN: THIS IS REALLY A SHAME FOR THIS TO GO DOWN IN FLAMES BECAUSE I THINK THAT COMMISSIONER SMITH AND OVERMAN ARE RIGHT.

I MEAN, THERE'S, THERE COULD BE A FEW MORE RESTRICTIONS PLACED ON THIS THAT WOULD PROVIDE SOME ADDITIONAL BENEFIT TO THE OWNER WITHOUT THE ENTIRE, THE ENTIRE THING HAVING TO BE SCRAPPED.

I MEAN, I THINK, I THINK IT'S SALVAGEABLE, AND I ALWAYS HATE TO SEE IT, IT SEEMS TO ME IT'S, IT'S ALWAYS UNFORTUNATE WHEN THINGS COME THROUGH HERE AND YOU JUST CAN'T GET IT A LITTLE FURTHER ALONG.

I DON'T KNOW HOW MUCH CONTROL THE APPLICANT HAS OVER THAT AT THIS POINT IN THE PROCESS.

>> PAT KEMP: COMMISSIONER WHITE, YOU'RE RECOGNIZED.

>> STACY WHITE: TO COMMISSIONER COHEN'S POINT, WOULD A CONTINUANCE BE AN OPTION TO WORK THAT OUT, OR WHAT ARE THE OPTIONS AVAILABLE?

>> YOU HAVE TWO OPTIONS.

ONE WOULD BE A CONTINUANCE IF THE APPLICANT WANTED TO OFFER MORE RESTRICTIONS.

IF THAT WAS THE ROUTE, IT WOULDN'T HAVE ANOTHER REVIEW OR BENEFIT BY THE ZONING HEARING MASTER, BUT IT COULD BE AN OPPORTUNITY TO FURTHER RESTRICT THE APPLICATION.

IT OTHER WOULD BE TO REMAND IT BACK TO THE ZONING HEARING MASTER FOR A HEARING ON A MODIFIED APPLICATION THAT WOULD INCLUDE ADDITIONAL RESTRICTIONS CONSISTENT WITH WHAT THE BOARD'S --

>> STACY WHITE: SO IF THE APPLICANT HAS SOME MORE TIME TO DO SOME MORE WORK AND DECIDE WHETHER OR NOT THEY WANT TO ADD ADDITIONAL RESTRICTIONS, THEY COULD DO THAT IN THE ABSENCE OF A REMAND.

THAT COULD JUST BE DONE ON CONTINUANCE?

>> IT COULD BE DONE ON CONTINUANCE TO FURTHER RESTRICT WHAT'S BEING REQUESTED RIGHT NOW.

AND IT WOULDN'T HAVE THE -- IT WOULDN'T GET ANOTHER ZHM REVIEW.

>> STACY WHITE: COMMISSIONER COHEN, THAT WOULD BE AVAILABLE TO YOU AS A SUBSTITUTE MOTION.

>> HARRY COHEN: WELL, I, I DON'T KNOW IF I CAN MAKE THAT WITHOUT THE APPLICANT COMING FORWARD AND REQUESTING IT.

THAT I GUESS WAS MY, WAS MY QUESTION.

PROCEDURALLY, ON CITY COUNCIL YOU COULDN'T DO THAT.

THE APPLICANT HAD TO ASK FOR IT IN ORDER FOR IT TO, AND IF THAT'S

A DIFFERENT THAN THE RULE IS HERE, I, I, SO THAT WAS WHY I WAS A LITTLE UNCLEAR WHETHER IT WAS APPROPRIATE TO TRY TO DO THAT.

>> PAT KEMP: I BELIEVE IT'S DIFFERENT, BUT --

>> AND THERE IS, THERE IS AN ELEMENT HERE SINCE THIS IS A STANDARD ZONING DISTRICT WITH RESTRICTIONS, WE CAN ONLY IMPOSE THOSE RESTRICTIONS THAT ARE AFFIRMATIVELY OFFERED UP BY THE APPLICANT.

SO IT'S NOT LIKE A PLANNED DEVELOPMENT WHERE WE HAVE ADDITIONAL CONDITIONS.

THE APPLICANT HAS TO MAKE THAT REQUEST FOR, FOR, FOR ADDING ADDITIONAL RESTRICTIONS.

I THINK IT WOULD BE APPROPRIATE TO HEAR IF THE BOARD'S WOULD LIKE TO WHETHER THE APPLICANT IS WILLING TO SUGGEST OR PROPOSE ADDITIONAL RESTRICTIONS ON WHAT IS --

>> COMMISSIONERS?

>> PAT KEMP: YES?

>> I JUST IN SAUNDERS, THE APPLICANT HAS ADVISED US THEY'RE WILLING TO MAKE SOME ADDITIONAL CHANGES TO THE APPLICATION TO RESTRICT USE.

I DON'T KNOW IF THAT INFORMS THE DISCUSSION OR NOT, BUT THEY'RE AMENABLE TO EITHER A CONTINUANCE OR REMAND.

>> KIMBERLY OVERMAN: LET'S DO A CONTINUANCE.

>> HARRY COHEN: I'D LIKE TO MAKE A SUBSTITUTE MOTION FOR A CONTINUANCE.

>> STACY WHITE: SECOND.

>> PAT KEMP: OKAY.

WE HAVE A SUBSTITUTE MOTION FOR CONTINUANCE WITH COMMISSIONER COHEN AND SECONDED BY COMMISSIONER WHITE.

WE HAVE SEVERAL COMMISSIONERS IN THE QUEUE.

OKAY.

YOU'RE OUT.

OKAY.

COMMISSIONER SMITH, YOU'RE RECOGNIZED.

>> MARIELLA SMITH: YES, AND I'M GOING TO SUPPORT GIVING THE APPLICANT MORE TIME.

I WOULD'VE PREFERRED A REMAND BECAUSE THAT WOULD ALLOW THE PLANNING COMMISSION AND THE ZONING HEARING MASTER TO REVIEW AND WEIGH IN ON WHETHER THEY BECOME COMFORTABLE WITH THE CONDITIONS OR NOT.

MR. GORMLY, IS THERE, I THINK WHAT HAPPENS IF IT'S A CONTINUANCE IS THEN WE CAN ASK QUESTIONS OF THE PLANNING COMMISSION STAFF, WE CAN ASK QUESTIONS OF YOU IN OUR BRIEFINGS, AND BUT IF IT'S, IF IT'S COMMERCIAL GENERAL WITH -- IF IT STAYS COMMERCIAL GENERAL RATHER THAN SAY GOING TO COMMERCIAL NEIGHBORHOOD OR BUSINESS PROFESSIONAL OFFICE, WOULD YOU BE ABLE TO ADVISE US THAT THE RESTRICTIONS HAVE THAT THEY PROPOSE HAVE OVERCOME THE PROBLEMS THAT ARE, YOU CURRENTLY SEE COULD HAPPEN WITH THE WIDE RANGE OF USES ALLOWED?

>> DEPENDING ON WHAT THE APPLICANT OFFERS, WE WOULD ENDEAVOR TO GIVE THAT TYPE OF FEEDBACK TO THE BOARD.

THE RECORD WILL STILL BE SET IN TERMS OF FACTUAL EVIDENCE THAT COULD BE CONSIDERED, BUT YOU KNOW, IF THE APPLICANT WERE TO PROPOSE ADDITIONAL RESTRICTIONS ON THIS PROJECT, WE'D CERTAINLY COME BACK AND PROVIDE SOME, SOME PERSPECTIVE ON THE BOARD OF HOW THOSE ADDITIONAL RESTRICTIONS RELATE TO WHAT OR --

>> MARIELLA SMITH: GOOD AND LET ME JUST ASK MS. LEINHARD FROM THE PLANNING COMMISSION.

WOULD YOU BE ABLE TO ADVISE US, YOU KNOW, IN A NUANCED WAY ABOUT WHETHER OR NOT THE RESTRICTIONS PROPOSED BY THE APPLICANT HAVE OVERCOME YOUR CONCERNS ABOUT TRANSITION TO RESIDENTIAL USES, OR ARE YOU MORE RESTRICTED IN YOUR FINDING OF CONSISTENCY OR INCONSISTENCY WITH COMMERCIAL GENERAL?

CAN YOU, CAN YOU INCORPORATE REVIEW AND ADVICE ABOUT THE RESTRICTIONS THEY PUT ON COMMERCIAL GENERAL RESTRICTED USE AND ADVISE US IF THIS COMES BACK WITH STRONGER RESTRICTIONS?

>> SURE, I'D BE HAPPY TO ANSWER THAT QUESTION.

FOR THE RECORD, MELISSA LIENHARD, PLANNING COMMISSION STAFF. AS ADAM DID MENTION, THE CONTINUANCE WOULD ALLOW US TO MAKE GENERAL STATEMENTS ABOUT THE CHANGES AND SAY WHETHER AN APPLICANT IS MOVE IN THE RIGHT DIRECTION, BUT AGAIN, FOR THE RECORD WE WOULD NOT BE ABLE TO CHANGE OUR FINDING.

IN ORDER TO DO THAT AND TO ALLOW MY TEAM AND I TO TAKE MORE OF

A DEEP DIVE INTO THE PROPOSED CHANGES, WE WOULD NEED TO HAVE THE ITEM REMANDED.

>> MARIELLA SMITH: THANK YOU VERY MUCH.

>> THANK YOU.

>> MARIELLA SMITH: THANK YOU.

IN THIS CASE I WILL GO ALONG WITH THE CONTINUANCE INSTEAD OF THE REMAND BECAUSE IT JUST SEEMS LIKE SOMETHING THAT AS YOU SAID, COMMISSIONER COHEN, WE'RE CLOSER AND COMMISSIONER OVERMAN, SO I'LL GO ALONG WITH IT, BUT IT'S JUST GOOD TO UNDERSTAND THAT, YOU KNOW, THERE MIGHT BE OTHER CASES WHERE THE REMAND WOULD BE MORE APPROPRIATE PROCEDURALLY.

THANK YOU.

>> PAT KEMP: OKAY.

AND SEEING NO FURTHER DISCUSSION AT THIS POINT, WE HAVE A MOTION FOR A CONTINUANCE.

IT WAS MADE BY COMMISSIONER COHEN, SECONDED BY COMMISSIONER WHITE.

SEEING NO FURTHER DISCUSSION, PLEASE RECORD YOUR VOTE.

>> AND BOARD MEMBERS, THIS DATE WILL BE JUNE 8th AT 9:00 A.M.

>> PAT KEMP: THANK YOU.

>> MOTION CARRIED 7-0.

>> PAT KEMP: THANK YOU.

OKAY.

AND WE ARE ON G2 AT THIS TIME.

MR. MOREDA, I SEE THAT WE, ORAL ARGUMENT HAS BEEN FILED IN THIS CASE, SO WE'LL NEED A MOTION AND A VOTE TO OPEN FOR ORAL ARGUMENT. WHO DID YOU SEE?

[LAUGHTER]

>> STACY WHITE: SO MOVED.

I WAS TRYING TO GET THE MIC ON.

[LAUGHTER]

>> PAT KEMP: OKAY.

SO WE HAVE --

>> KIMBERLY OVERMAN: AND I WILL SECOND THAT FOR YOU.

>> PAT KEMP: OKAY, WE HAVE COMMISSIONER WHITE, A MOTION TO OPEN FOR ORAL ARGUMENT, SECONDED BY COMMISSIONER OVERMAN.

COMMISSIONER WHITE, DID YOU WANT TO BE RECOGNIZED?

>> STACY WHITE: I'D LIKE TO, TO BE FIRST IN LINE AT THE END WHEN WE GET TO BOARD DISCUSSION.

>> PAT KEMP: I HAVE IT.

THANK YOU.

OKAY.

AND SO WITH THAT, PLEASE RECORD YOUR VOTE.

>> MOTION CARRIED 7-0.

>> PAT KEMP: OKAY.

AND MR. MOREDA, YOU ARE RECOGNIZED.

>> THANK YOU, COMMISSIONERS.

THIS BRINGS US TO ITEM G2, REZONING PD20-0394.

THIS APPLICATION IS LOCATED ABOUT 500 FEET NORTH OF THE INTERCESSION OF BOYETTE ROAD, CHANNING PARK ROAD.

THE APPLICATION IS PROPOSING RESIDENTIAL DEVELOPMENT WITHIN RES 2 OF THE COMP PLAN.

CURRENT ZONING IS AR WHICH PERMITS ONE UNIT PER FIVE ACRES.

THIS APPLICATION WAS OPEN TO CONTINUE THIS HEARING AT THE LAST BOARD MEETING.

PRIMARILY TO DEAL WITH A TRANSPORTATION MATTER, REEVALUATE IT.

THE APPLICANT HAS SINCE PROPOSED WORKING WITH STAFF A NEW CONDITION NUMBER 9, MR. MIKE WILLIAMS OF OUR STAFF IS GOING TO SPEAK TO THAT ITEM.

>> GOOD MORNING, COMMISSIONERS, MIKE WILLIAMS HERE WITH DEVELOPMENT SERVICES STAFF.

SO AT THE BOARD'S DIRECTION FROM LAST MONTH, WE WENT BACK AND DISCUSSED WITH THE APPLICANT OPTIONS FOR WHAT COULD BE DONE HERE AND POSED A CONDITION.

I BELIEVE THAT CONDITION HAS BEEN HANDED OUT TO EACH OF YOU THIS MORNING.

ESSENTIALLY WE HAVE THE BOARD -- THE APPLICANT WOULD EXTEND THE SIDEWALK FROM THE EXISTING CHANNING PARK ROAD THAT IT GOES MAYBE 100 FEET NORTH OF THE INTERSECTION NOW AND BE EXTENDED ANOTHER 500 FEET OR SO TO THE NORTH, AND THAT WOULD ALSO INCLUDE EXTENDING THE CURB UP THERE TO BE ABLE TO FIT THE SIDEWALK IN. IF YOU HAVE ANY QUESTIONS ABOUT THAT, I'D BE HAPPY TO ANSWER

THOSE.

>> PAT KEMP: THANK YOU AND AT THIS TIME, IF WE CAN RECOGNIZE THE APPLICANT.

>> GOOD MORNING, MADAM CHAIR AND BOARD MEMBERS.

I'M MICHAEL HORNER, 14502 NORTH DALE MABRY HIGHWAY, TAMPA, 33618.

I'LL BE BRIEF.

COMMISSIONERS, THANK YOU FOR YOUR CONSIDERATION ON THIS ITEM.

WE WORKED DILIGENTLY AS MR. WILLIAMS NOTED AND MR. MOREDA.

THIS CONDITION HAS BEEN AMENDED.

IT DOES PROVIDE FOR WHAT WE THINK IS AN EQUITABLE SOLUTION TO PROVIDE SIDEWALK IMPROVEMENTS AND CONNECTIVITY.

AGAIN, THIS IS 13.2 ACRES.

20 LOTS.

1.5 UNITS PER ACRE, URBAN SERVICE AREA, NO OBJECTIONS, UNANIMOUS RECOMMENDATIONS OF APPROVAL.

AND WE BELIEVE IT'S A REASONABLE AND FAIR CONDITION THAT MY CLIENT AND OUR TEAM ARE HAPPY TO ACCEPT AND WE WOULD ASK FOR YOUR GRACIOUS SUPPORT OF THIS AMENDED CONDITION AS WELL.

THANK YOU.

>> PAT KEMP: THANK YOU.

AND WE HAVE NO ONE SIGNED UP TO SPEAK IN OPPOSITION OR SUPPORT.

SO AT THIS TIME, AND I'M ASSUMING YOU'LL WAIVE REBUTTAL.

AND.

>> YES, MA'AM.

>> PAT KEMP: AT THIS TIME WE'LL MOVE TO THE PLANNING COMMISSION.

>> THANK YOU, MELISSA LIENHARD, PLANNING COMMISSION STAFF.

THE SUBJECT PROPERTY IS LOCATED WITHIN THE RESIDENTIAL 2 FUTURE LAND USE CATEGORY.

THE SITE IS LOCATED IN THE URBAN SERVICE AREA AND ALSO WITHIN THE LIMITS OF THE SOUTH SHORE AREA-WIDE SYSTEMS PLAN.

THE APPLICANT IS REQUESTING A PLANNED DEVELOPMENT TO DEVELOP THE SITE WITH SINGLE-FAMILY RESIDENTIAL.

THE PROPOSED USE IS CONSISTENT WITH AND IS AN ALLOWABLE USE WITHIN THE RESIDENTIAL 2 FUTURE LAND USE CLASSIFICATION.

THE SUBJECT SITE IS LOCATED WITHIN THE URBAN SERVICE AREA WHERE MOST NEW GROWTH SHOULD BE DIRECTED PER THE COMPREHENSIVE PLAN. AS PER POLICY 1.2 OF THE FUTURE LAND USE ELEMENT, THESE SITES ARE TO BE DEVELOPED AT A MINIMUM OF 75% OF THE ALLOWABLE DENSITY PER EACH LAND USE CATEGORY.

THERE IS A TOTAL OF 13.2 ACRES WITHIN THIS SITE AND THAT TOTALS 26 UNITS THAT CAN BE PROPOSE.

THE APPLICANT IS REQUESTING A DENSITY BELOW WHAT CAN BE CONSIDERED ON THE SITE BUT IT IS MEETING THE MINIMUM DENSITY CONSISTENT WITH POLICY 1.2 OF THE FUTURE LAND USE ELEMENT.

THE IMMEDIATE DEVELOPMENT PATTERN CONSISTS OF A MIXTURE OF LOT SIZES.

THERE ARE LARGE LOT SINGLE-FAMILY DETACHED RESIDENTIAL USES TO

THE NORTH AND EAST ACROSS BOYETTE ROAD, AND SMALLER LOTS THAT ARE APPROXIMATELY A QUARTER ACRE IN SIZE THAT ARE LOCATED TO THE WEST.

ACCORDING TO POLICY 1.4 OF THE FUTURE LAND USE ELEMENT, COMPATIBILITY DOES NOT MEAN THE SAME AS, RATHER REFERS TO THE SENSITIVITY OF DEVELOPMENT PROPOSALS IN MAINTAINING THE CHARACTER OF EXISTING DEVELOPMENT.

PLANNING COMMISSION STAFF HAS DETERMINED THAT THE PROPOSED USE MEETS THE INTENT OF FUTURE LAND USE ELEMENT OBJECTIVE 16, AND ITS ACCOMPANYING POLICIES REGARDING COMPATIBILITY.

THESE POLICIES REQUIRE COMPATIBILITY OF RESIDENTIAL DEVELOPMENT TO THE SURROUNDING AREA.

THE APPLICANT IS PROPOSING A MINIMUM LOT SIZE OF 9,750 SQUARE FEET WHICH IS COMPARABLE TO THE LOT SIZES IN THE SURROUNDING DEVELOPMENT PATTERN.

AND BASED UPON THOSE CONSIDERATIONS, PLANNING COMMISSION STAFF FINDS THE PROPOSED PLANNED DEVELOPMENT CONSISTENT WITH THE FUTURE OF HILLSBOROUGH COMPREHENSIVE PLAN FOR UNINCORPORATED HILLSBOROUGH COUNTY, SUBJECT TO THE CONDITIONS PROPOSED BY THE DEVELOPMENT SERVICES DEPARTMENT.

THANK YOU.

>> PAT KEMP: THANK YOU.

AND CAN WE HAVE THE ZONING HEARING MASTER'S RECOMMENDATION?

>> YES, THANK YOU.

THE ZONING HEARING MASTER CONSIDERED THE REQUEST FOR A REZONING OF THIS SUBJECT PROPERTY WHICH CONSISTS OF APPROXIMATELY 13.2 ACRES OF UNDEVELOPED LAND LOCATED ON THE WEST SIDE OF BOYETTE ROAD AND NORTH OF CHANNING PARK ROAD.

THE SUBJECT PROPERTY IS CURRENTLY ZONED AGRICULTURAL RURAL DESIGNATED RESIDENTIAL 2 ON THE FUTURE LAND USE MAP.

THE REQUEST IS TO REZONE THE PROPERTY TO PD TO ALLOW A MAXIMUM OF 20 SINGLE-FAMILY LOTS.

AND THIS IS WITHIN THE URBAN SERVICE AREA WITH WATER AND WASTEWATER SERVICES PROVIDED BY THE COUNTY.

WITHIN THE SOUTH SHORE AREA-WIDE SYSTEMS COMMUNITY PLAN AREA. THE ZONING HEARING MASTER LOOKED AT THE SURROUNDING PROPERTIES AND FOUND THAT SURROUNDING PROPERTIES ARE ZONED AGRICULTURAL RURAL TO THE NORTH, DEVELOPED WITH LARGE LOTS FOR USES RESIDENTIAL AND OPEN SPACE.

PROPERTIES TO THE WEST ARE ZONED PD AND DEVELOPED IN RESIDENTIAL USE IN THE CHANNING PARK NEIGHBORHOOD WITH LOT SIZES OF APPROXIMATELY 8700 SQUARE FEET, 60 TO 70 FEET OF LOT WIDTH. PROPERTIES TO THE EAST ARE ZONED AR DEVELOPED WITH SINGLE-FAMILY RESIDENTIAL AND PROPERTY TO THE SOUTH IS ZONED PLANNED DEVELOPMENT, DEVELOPED WITH OPEN SPACE ADJOINING CHANNING PARK ROAD.

THE ZONING HEARING MASTER'S REPORT EXPLAINED THE APPLICANT'S ORIGINAL OBJECTION TO CONDITION 9 AS STATED IN THE DEVELOPMENT

SERVICES STAFF REPORT ORIGINALLY REGARDING IMPROVEMENTS TO BOYETTE ROAD.

AS YOU'VE HEARD FOR TODAY'S MEETING, THE APPLICANT HAS AGREED TO THE REVISED CONDITION 9 PROPOSED LANGUAGE REGARDING THESE TRANSPORTATION IMPROVEMENTS, AND SO THAT ISSUE WAS CHANGED FROM THE ORIGINAL ZONING HEARING MASTER RECOMMENDATION.

THE PROPOSED PLANNED DEVELOPMENT WITH THE MINIMUM LOT SIZE OF 97,750 -- I'M SORRY, 9,750 SQUARE FEET IS COMPARABLE TO LOT SIZES IN THE SURROUNDING DEVELOPMENT PATTERN WITH NO ISSUES OF COMPATIBILITY WITH REGARD TO SUBJECT SURROUNDING PROPERTIES TO THE SUBJECT PROPERTY.

THE ZONING HEARING MASTER FOUND THAT THE PROPOSED PLANNED DEVELOPMENT WITH THE APPROVAL CONDITIONS AS RECOMMENDED BY DEVELOPMENT SERVICES IS CONSISTENT WITH THE RESIDENTIAL 2 FUTURE LAND USE DESIGNATION AND FOUND THE REQUEST TO BE CONSISTENT OVERALL WITH THE COMPREHENSIVE PLAN.

THE ZONING HEARING MASTER THEREFORE RECOMMENDED APPROVAL.

>> PAT KEMP: THANK YOU.

AND WITH THAT WE'LL MOVE TO BOARD DISCUSSION.

COMMISSIONER WHITE, YOU'RE RECOGNIZED.

>> STACY WHITE: THANK YOU, MADAM CHAIR.

COMMISSIONERS, AS I SAID AT THE LAST MEETING, I WAS READY TO VOTE ON THIS ONE LAST TIME.

THIS IS A SMALL INFILL DEVELOPMENT SITE.

THE SIZE OF IT PALES IN COMPARISON TO CHANNING PARK AND FISH HAWK THAT IT'S SURROUNDED BY, AND THOSE AND OTHER DEVELOPMENTS ARE REALLY THE ONES THAT ARE PUTTING PRESSURE ON BOYETTE ROAD. ONE THING THAT I FAILED TO ASK STAFF AT THE LAST MEETING, THIS DEVELOPMENT'S PORTION OF BOYETTE ROAD IF YOU WILL IS JUST A FEW HUNDRED FEET, RIGHT?

>> YES, THAT'S CORRECT.

>> STACY WHITE: AND UNDER THE ORIGINAL CONDITION 9 IF THAT FEW HUNDRED FEET WERE APPROVED TO COUNTY STANDARDS, WHAT WOULD HAPPEN TO THE FEW HUNDRED FEET WHEN THE COUNTY GETS READY TO, YOU KNOW, BRING ALL OF BOYETTE ROAD UP TO COUNTY STANDARDS?

>> THE EXISTING IMPROVEMENT WOULD HAVE TO EITHER BE BLENDED IN OR REDONE DEPENDING ON HOW THE PROJECT WOULD BE.

>> STACY WHITE: PROBABLY REDONE.

I MEAN I WOULD THINK YOU ARE GOING TO HAVE TRUCKS, YOU KNOW, DRIVING ALL OVER IT AND EVERYTHING.

LOOK, I THINK THIS NEW CONDITION IS REASONABLE.

I THINK THE APPLICANT HAS MADE A GOOD FAITH EFFORT TO DO THEIR PART FOR TRANSPORTATION INFRASTRUCTURE AROUND THIS DEVELOPMENT SO I WILL MOVE APPROVAL OF THE ITEM.

>> PAT KEMP: SO WE HAVE A MOTION BY COMMISSIONER WHITE AND SECONDED BY COMMISSIONER SMITH.

AND COMMISSIONER SMITH, YOU ARE RECOGNIZED.

>> MARIELLA SMITH: RIGHT.

AND I AGREE, COMMISSIONER, THAT YOU KNOW, THEIR SECTION WOULD'VE BEEN SMALL FOR A FULL BLOWN BRING UP TO COUNTY STANDARDS.

BUT I DO FEEL LIKE WE ARE IN SUCH A PICKLE WITH TRANSPORTATION TO TURN A PHRASE THAT WE NEED TO ASK EVERYBODY TO PITCH IN TO HELP ALLEVIATE THEIR IMPACTS.

AND THIS CONTINUANCE HAS ALLOWED THIS PROPOSAL TO BE MADE BETTER IN TWO IMPORTANT WAYS.

BOYETTE ROAD IS ONE OF THOSE SUBSTANDARD COUNTY ROADS THAT'S BARELY WIDE ENOUGH FOR TWO-WAY CAR TRAFFIC WITHOUT THE SIDEWALKS AND BIKE LANES, AND THE ROAD DROPS OFF INTO STEEP DRAINAGE DITCHES ON EITHER SIDE SO IT'S NOT AS SAFE AS IT SHOULD BE FOR PEDESTRIAN AND CYCLISTS.

ONE OF THE SUGGESTIONS I MADE WAS THIS DEVELOPER COULD HAVE CONTRIBUTED TO THE ROUNDABOUT THAT IS GOING IN ABOVE I THINK THAT DOORMAN AND BOYETTE ROAD.

THAT WOULD'VE BEEN REASONABLE BUT I AGREE THESE ARE REASONABLE IMPROVEMENTS.

WHEN SOMEONE WANTS TO DEVELOP IN A WAY THAT IS ADDING TRAFFIC TO OUR ROADS, WE NEED TO, WE NEED THEM TO STEP UP AND MAKE THE ROADS SAFE FOR THE CARS AND THE PEOPLE THEY ARE ADDING TO THE ROADS AND DO THEIR PART IN THAT.

THIS REZONING PROPOSAL INITIALLY CAME TO US WITH THE APPLICANT ASKING US TO DO NOTHING TO IMPROVE THIS SUBSTANDARD ROAD.

SO I'M GLAD TO SEE THEY ARE NOW WILLING TO DO A LITTLE SOMETHING

TO IMPROVE THE SAFETY OF THE ROAD WHERE THEY ARE ADDING TO THE TRAFFIC.

SO THAT'S THE FIRST WAY THIS PROPOSAL HAS BEEN MADE BETTER WITH ROAD IMPROVEMENTS.

THE SECOND WAY THIS PROPOSAL HAS BEEN MADE BETTER IS THAT THE PROCESS OF NEGOTIATING THE ROAD IMPROVEMENTS HAS BEEN BROUGHT UP TO OUR CURRENT PROCESS WHICH YOU CAN SEE IN THE NEW CONDITIONS WITH THE STRIKETHROUGH OF THAT OLD FASHIONED LANGUAGE -- OUTDATED LANGUAGE LET'S SAY.

THIS NEW CURRENT PROCESS IS A MORE TRANSPARENT, ACCESSIBLE, ACCOUNTABLE PROCESS OF NEGOTIATING ROAD IMPROVEMENTS AND DESIGN EXCEPTIONS.

ORIGINALLY THIS CAME TO US WITH THE OUTDATED LANGUAGE THAT USED TO ALLOW THE DEVELOPER TO WORK OUT THE DESIGN EXCEPTIONS AFTER THE ZONING IS GRANTED IN AN ADMINISTRATIVE PROCESS BEHIND THE SCENES.

AND THAT OLD WAY OF DOING THINGS KEEPS THE DESIGN EXCEPTIONS AND ROAD IMPROVEMENTS OUT OF REACH OF THIS BOARD AND OUTSIDE THE PUBLIC'S VIEW.

THE WAY THIS IS BROUGHT TO US NOW, EVERYONE CAN SEE SPECIFICALLY WHAT THE ROAD IMPROVEMENTS THE DEVELOPER IS COMMITTING TO IN THIS PUBLIC HEARING, AND WE CAN AGREE OR NOT AS A BOARD RATHER THAN LEAVING THAT TO THE APPLICANT AND STAFF TO NEGOTIATE LATER PRIVATELY AFTER WE GRANT THE REZONING.

THAT'S A DIFFERENT KIND OF NEGOTIATION THAN WHEN IT'S DONE ALONG WITH THE, WITH THE REZONING, AND AFTER THE PUBLIC HAS ANY CHANCE TO REVIEW OR PARTICIPATE.

NOW, ACTUALLY I DO THINK IT'S IMPORTANT THAT ALL THE ROAD IMPROVEMENTS ARE LAID OUT PUBLICLY IN THE REZONING APPLICATION, NOT JUST HERE, BUT BEFORE IT GOES TO THE ZONING HEARING MASTER SO THE PUBLIC CAN FULLY UNDERSTAND WHAT IS BEING PROPOSED FOR THEIR LOCAL ROADS FROM THE START, AND THAT WOULD ALLOW THE PUBLIC TO COMMENT ON THE ROAD IMPROVEMENTS OR THE LACK THEREOF AT THE ZONING HEARING BEFORE THIS FINAL COUNTY COMMISSION HEARING. AND THAT WOULD ALLOW THEM TO COMMENT TO THE ZONING HEARING MASTER AND THEN TO COMMENT TO US BECAUSE REMEMBER THAT IN HILLSBOROUGH COUNTY, IF YOU DON'T MAKE YOUR COMMENTS AT THE ZONING HEARING ON SOMETHING, YOU DON'T GET TO MAKE THEM HERE.

SO YOU KNOW, I KNOW THAT WE ARE DOING MOST OF OUR REZONING PROPOSALS THAT WAY NOW.

BUT I WANT TO GO ON RECORD SAYING THAT TO ME, WHEN THIS IS NOT DONE, IT WOULD BE A GOOD REASON FOR A REMAND ALL THE WAY BACK TO THE ZONING HEARING MASTER TO ENSURE THAT THE PUBLIC HAS AN OPPORTUNITY TO SEE HOW THE ROADS WILL BE HANDLED AND TO PROVIDE PUBLIC COMMENT ON THAT CRITICAL PIECE SO THEN THEY HOLD THEIR PLACE AND THEY CAN TALK TO US ABOUT IT AND THE ZONING HEARING MASTER AND US CAN HEAR PUBLIC COMMENT ABOUT THAT.

SO IN THIS CASE, I'LL SUPPORT THIS ITEM NOW THAT IT HAS

INCORPORATED THESE IMPROVEMENTS, BUT I WANTED TO MAKE THOSE POINTS WITH, WITH STAFF AND THE BOARD ABOUT THE IMPROVEMENTS -- THE DIRECTION WE'RE HEADED WITH IMPROVING THIS PROCESS FOR ROAD IMPROVEMENTS AND DESIGN EXCEPTIONS TO BE INCORPORATED IN THE ZONING AT THE ZONING HEARING MASTER. THANK YOU.

>> PAT KEMP: THANK YOU.

COMMISSIONER OVERMAN, YOU'RE RECOGNIZED.

>> KIMBERLY OVERMAN: THANK YOU.

I'M ALSO GOING TO SUPPORT MOVING THIS FORWARD.

BUT I DO WANT TO REMIND ALL OF US TO YOUR POINT, YOU KNOW, THERE ARE ISSUES THAT ARE CHALLENGING WITH ANY DEVELOPMENT IN THIS AREA, AND WHILE YOU'VE INDICATED THAT IT'S REALLY NOT THE DENSITY THAT'S ALREADY BEEN CREATED IN THE AREA THAT COMPROMISES THIS, SOME OF THE ISSUES HERE.

BECAUSE THIS IS REALLY ONLY BEING PROPOSED FOR APPROXIMATELY 20 UNITS, WHICH IS GREAT.

BUT WE HAVE ACCORDING TO THE BACKUP MATERIALS, THERE IS NO SCHOOL CAPACITY IN THIS AREA TO ADDRESS THE FEWER NUMBER OF STUDENTS BUT THE CAPACITY'S ALREADY BEEN EXCEEDED IN THE AREA, AND THERE'S STILL SOME SIGNIFICANT WETLAND ISSUES THAT PROBABLY IN THE PROCESS OF GOING THROUGH THIS PROCESS FOR DEVELOPMENT THAT WILL HAVE TO BE ADDRESSED.

SO WHILE THIS PARTICULAR PROJECT HAD SEVERAL SORT OF BARRIERS

TO MOVING FORWARD, MANY OF THOSE THINGS HAVE BEEN ADDRESSED, AND I THINK LOOKING AT THE PROCESS AND ADDRESSING THOSE ISSUES, BECAUSE SCHOOL CAPACITY, WETLAND, AND TRANSPORTATION FOR ANY DEVELOPMENT IN THIS AREA IS GOING TO BE THOSE ISSUES THAT WE'RE GOING TO FIND ARE MAKING IT REALLY CHALLENGING TO MOVE FORWARD, AND TO GIVE POTENTIAL DEVELOPMENT THAT MAKES SENSE FOR THE AREA A CLEAR ROAD TO SUCCESS.

SO TAKING INTO CONSIDERATION THE PRESSURES AND THE CHALLENGES THAT ARE IN THIS PARTICULAR AREA, IT IS INSIDE THE SERVICE AREA, SO WE HAVE THE, THE SERVICE AVAILABLE FOR UTILITIES AND OTHER INFRASTRUCTURE, WHICH IS POTENTIALLY DOABLE.

BUT TO THE, TO YOUR POINT, IF WE ADDRESS SOME OF THOSE OTHER CAPACITY RELATED TYPES OF CHALLENGES, OR DEVELOPMENT CHALLENGES ESPECIALLY IN WETLANDS CIRCUMSTANCES, YOU KNOW, IT'LL MAKE IT EASIER FOR THESE PROJECTS TO MOVE FORWARD, AND I'M LOOKING FORWARD TO SEEING THAT PROCESS IMPROVED WITH THE RECENT CHANGES. SO I'LL STOP THERE.

>> PAT KEMP: AND I DON'T SEE ANY OTHER COMMISSIONERS WHO ARE LOOKING TO SPEAK, BUT GOOD POINTS, COMMISSIONER OVERMAN, BUT COMMISSIONER SMITH, I REALLY WANT TO THANK YOU I THINK FOR BRINGING THIS BACK, AND I UNDERSTAND, COMMISSIONER WHITE, IT LOOKS KIND OF DE MINIMIS IN COMPARISON TO THE HUGE PROJECTS THAT WE FACE AND EVERYTHING, BUT I, I'M WITH COMMISSIONER SMITH ON THIS IN THAT I REALLY APPRECIATE THAT YOU HIGHLIGHTED THIS SMALL

PROJECT BUT YOU KNOW LOOKED FOR A CONTRIBUTION TO BE MADE, AND MADE THAT, THAT ARGUMENT THAT HIGHLIGHTED THAT LAST MEETING BECAUSE I THINK IT'S REALLY IMPORTANT AND ALSO AGAIN, I'M SO, I THINK IT'S ABSOLUTELY CRITICAL THAT WE CHANGE THE, AND I KNOW THAT THAT'S HAS BEEN SOMETHING THAT YOU HAVE JUST WORKED ON SO HARD.

BUT CHANGED THE DESIGN EXCEPTION AND START MOVING THAT OUT OF THE STAFF BEHIND CLOSED DOORS AND INTO THE PUBLIC LIGHT AND WITH THE PUBLIC KNOWLEDGE.

AND I'LL ALSO, IT DOES SEEM LIKE IT WOULD MAKE A LOT OF SENSE TO HAVE THAT BEFORE THE ZONING HEARING MASTER WHEN THE PUBLIC ARE THERE AND ACTUALLY GETTING THE PROJECT.

SO I APPRECIATE HOW YOU HAVE HIGHLIGHTED THIS AND MOVED IT FORWARD AND I KNOW IT'S A SMALL PROJECT BUT I THINK IT'S AN IMPORTANT EXAMPLE OF THE PROCESS AND IT'S A GOOD WAY TO DO IT RIGHT AND DO IT WELL.

AND THIS IS NOT INEQUITABLE.

I THINK THAT'S THE WORD THAT ACTUALLY THE APPLICANT MAY HAVE USED OR, AN EQUITABLE TYPE OF REQUIREMENT IN TERMS OF THE LESSER IMPACTS.

BUT THANK YOU FOR THAT.

AND WITH THAT, SEEING NO FURTHER DISCUSSION, WE DO HAVE A MOTION BY COMMISSIONER WHITE, AND SECONDED BY COMMISSIONER SMITH.

PLEASE RECORD YOUR VOTE.

>> MOTION CARRIED 7-0.

>> PAT KEMP: THANK YOU.

AND MR. MOREDA.

>> THANK YOU, BOARD MEMBERS.

>> NO, MA'AM, THAT CONCLUDES THE AGENDA FOR TODAY.

>> PAT KEMP: OKAY.

THAT'S WHAT -- I WASN'T SURE IF WE -- IN TERMS OF G3.

OKAY, THANK YOU.

AND WITH THAT, SEEING NO FURTHER DISCUSSION, -- DID WE SET ANY
KIND OF RECORD TODAY?

[LAUGHTER]

WITH THAT, WE'LL ADJOURN.

>> THANK YOU.

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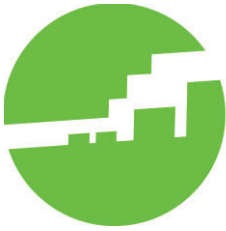
PRIOR RECORD

PROPOSED CONDITIONS OF APPROVAL

1. The maximum floor area ratio (FAR) for the proposed PD project shall be 0.13.
2. The yards shall be in accordance with Section 6.06.00 of the Hillsborough County Land Development Code.
3. Buffering and screening shall be provided in accordance with Section 6.06.00 of the Hillsborough County Land Development Code.
4. Notwithstanding anything on the PD site plan or herein these conditions to the contrary, bicycle and pedestrian access may be permitted anywhere along the project boundaries.
5. Concurrent with each plat/site/construction plan submittal, the developer shall submit a trip generation and site access analysis to Hillsborough County. Such analysis will be utilized to determine whether auxiliary (turn) lanes are warranted pursuant to Section 6.04.04.D. of the LDC. The developer shall construct all turn lanes meeting warrants.
6. Prior to or concurrent with the initial increment of development, the developer shall:
 - a. Improve Balm Riverview Rd., between the project driveway and Rhodine Rd., to current County standards for a TS-7 (Typical Section - 7) roadway as found within the Hillsborough County Transportation Technical Manual (TTM); and,
 - b. Improve Rhodine Rd., between Balm Riverview Rd. and a point +/- 100 feet west of the intersection of Balm Riverview Rd. and Rhodine Rd., to current County standards for a TS-7 (Typical Section - 7) roadway as found within the Hillsborough County Transportation Technical Manual (TTM).
7. Notwithstanding anything herein these conditions or on the PD site plan to the contrary, deviations to building, parking, and buffer locations shall be permitted at the time of plat/site/construction plan review without requiring a modification of this PD, provided such modifications are necessary to provide right-of-way for a required or potentially required auxiliary (turn) lane.
8. Notwithstanding anything shown on the PD site plan to the contrary, the developer will be required to construct internal sidewalk connections or any other required site elements in accordance with LDC, Transportation Technical Manual and/or other applicable standards.
9. The developer shall be required to utilize public water and shall pay all costs to connect for service delivery. The project shall be subject to all applicable public water utility regulations from the Land Development Code for water and wastewater connections.
10. The developer shall provide illumination for all project access points sufficient to provide safe ingress and egress. The access point shall be visible at night from a distance of 200 feet in all directions which vehicles travel. However, no lighting shall adversely effect adjacent properties. The site lighting shall be in accordance with the LDC Part 6.10.00 for Exterior Lighting.
11. Stormwater detention/retention pond design requirements for the development shall be as listed below, unless otherwise approved by the Hillsborough County Environmental Protection Commission and the Hillsborough County Drainage engineer:

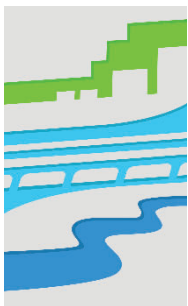
- a. The side slopes shall be no greater than 4:1.
 - b. The banks shall be completely vegetated to the design low water elevation.
 - c. The sides and the bottom of each pond shall not be constructed of impervious material.
12. The developer shall provide (a) fire hydrants, and/or (b) a Fire Protection Plan as determined by the Hillsborough County Fire Department.
 - a. If (a) is required, the developer shall install at the developer's expense, prior to the issuance of Certificates of Zoning Compliance, fire hydrants and, if necessary, water lines of a size necessary to meet minimum fire flow and pressure requirements to provide adequate water resources for firefighting. The location and installation of the hydrants and water lines shall be subject to approval of the County Fire Department and the County Department of Water and Wastewater Utilities.
 - b. If (b) is required, the developer shall prepare a Fire Protection Plan for the site and development thereof. The Plan shall be submitted to the County Department of Development Coordination prior to issuance of Zoning Compliance Permits along with evidence of approval, from the County Fire Department, of the Plan as submitted.
13. Approval of this zoning petition by Hillsborough County does not constitute a guarantee that the Environmental Protection Commission of Hillsborough County (EPC) approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impact to wetlands, and does not grant any implied or vested right to environmental approvals.
14. The construction and location of any proposed wetland impacts are not approved by this correspondence, but shall be reviewed by EPC staff under separate application pursuant to the EPC Wetlands rule detailed in Chapter 1-11, Rules of the EPC, (Chapter 1-11) to determine whether such impacts are necessary to accomplish reasonable use of the subject property.
15. Prior to the issuance of any building or land alteration permits or other development, the approved wetland / other surface water (OSW) line must be incorporated into the site plan. The wetland/ OSW line must appear on all site plans, labeled as "EPC Wetland Line", and the wetland must be labeled as "Wetland Conservation Area" pursuant to the Hillsborough County Land Development Code (LDC).
16. Final design of buildings, stormwater retention areas, and ingress/egresses are subject to change pending formal agency jurisdictional determinations of wetland and other surface water boundaries and approval by the appropriate regulatory agencies.
17. Development must be in accordance with all applicable regulations in the Hillsborough County Zoning Code and in accordance with all other applicable ordinances.
18. If the notes and/or graphics on the site plan are in conflict with these zoning conditions and/or Land Development Code (LDC) regulations, the more restrictive regulation and/or greater requirement shall prevail, unless specifically conditioned otherwise herein. References to development standards of the LDC in the above stated conditions shall be interpreted as the regulations in effect at the time of preliminary site plan/plat approval.
19. Commercial Neighborhood (CN) uses are permitted. However, the following CN uses are specifically excluded due to increased traffic generation: daycare, pharmacy (with or without drive-thru) and restaurant (with or without drive-thru).

20. Within ninety days of the rezoning approval by Hillsborough County Board of County Commissioners, the developer shall submit to the County's Development Services Department a revised General Development Site Plan for certification reflecting all the conditions outlined above.



Hillsborough County City-County Planning Commission

Unincorporated Hillsborough County Rezoning	
Hearing Date: October 18, 2021 Report Prepared: October 8, 2021	Petition: PD 20-1266 REMAND 11841 Balm Riverview Road <i>Northwest of the Balm Riverview Road and Rhodine Road intersection</i>
Summary Data:	
Comprehensive Plan Finding:	INCONSISTENT
Adopted Future Land Use:	Residential-4 (4 du/ga; 0.25 FAR)
Service Area:	Urban
Community Plan:	Riverview, SouthShore Areawide Systems
Rezoning Request:	Rezone from Agricultural Single-Family Estate (AS-0.4) to a Planned Development (PD) allowing for a 10,640 sq. ft. variety store retail use
Parcel Size (Approx.):	4.85 +/- acres
Street Functional Classification:	Rhodine Road – Collector Balm Riverview Road – Collector
Locational Criteria:	Does not meet; waiver submitted
Evacuation Area:	None



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Context

- The subject property is located on approximately 4.85 acres northwest of the Balm Riverview Road and Rhodine Road intersection. The subject property is located in the Urban Service Area. It falls within the Residential District of the Riverview Community Plan and is also located within the Southshore Areawide Systems Plan limits.
- The property is designated Residential-4 (RES-4) on the Future Land Use Map. Typical uses within the Residential-4 (RES-4) Future Land Use category include residential, suburban scale neighborhood commercial, office uses, and multi-purpose projects. Non-residential uses shall meet locational criteria for specific land use. Agricultural uses may be permitted pursuant to policies in the agricultural objective areas of the Future Land Use Element.
- The Residential-4 (RES-4) category is located to the north, south, and west of the subject property. Residential-1 (RES-1) is located to the east across Balm Riverview Road.
- The subject property is currently vacant and zoned Agricultural Single-Family Estate (AS-0.4). Single-family and vacant lots with Agricultural Single-Family (AS-1) zoning are located to the north. Single-family and vacant lots with AS-0.4 zoning are located to the west and south. Light Commercial and vacant lots with Commercial General (CG), Business, Professional Office (BP-O) and Commercial Neighborhood (CN) zoning are also located to the south of the property. Single-family residential with Agricultural Single-Family (AS-1) is located to the east across Balm Riverview Road.
- The applicant requests to rezone the subject property from Agricultural Single-Family Estate (AS-0.4) to a Planned Development (PD) allowing for a 10,640 sq. ft. variety store retail use.

Compliance with Comprehensive Plan:

The following Goals, Objectives, and Policies apply to this rezoning request and are used as a basis for an inconsistency finding.

Future Land Use Element

Urban Service Area (USA)

Objective 1: Hillsborough County shall pro-actively direct new growth into the urban service area with the goal that at least 80% of all population growth will occur within the USA during the planning horizon of this Plan. Within the Urban Service Area, Hillsborough County will not impede agriculture. Building permit activity and other similar measures will be used to evaluate this objective.

Policy 1.4: Compatibility is defined as the characteristics of different uses or activities or design which allow them to be located near or adjacent to each other in harmony. Some elements affecting compatibility include the following: height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor and architecture. Compatibility does not mean “the same as.” Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development.

Neighborhood/Community Development

Objective 16: Neighborhood Protection *The neighborhood is a functional unit of community development. There is a need to protect existing neighborhoods and communities and those that will emerge in the future. To preserve, protect and enhance neighborhoods and communities, all new development must conform to the following policies.*

Policy 16.1: *Established and planned neighborhoods and communities shall be protected by restricting incompatible land uses through mechanisms such as:*

- a) locational criteria for the placement of non-residential uses as identified in this Plan,*
- b) limiting commercial development in residential land use categories to neighborhood scale;*
- c) requiring buffer areas and screening devices between unlike land uses;*

Policy 16.2: *Gradual transitions of intensities between different land uses shall be provided for as new development is proposed and approved, through the use of professional site planning, buffering and screening techniques and control of specific land uses.*

Policy 16.3: *Development and redevelopment shall be integrated with the adjacent land uses through:*

- a) the creation of like uses; or*
- b) creation of complementary uses; or*
- c) mitigation of adverse impacts; and*
- d) transportation/pedestrian connections*

Policy 16.5: *Development of higher intensity non-residential land uses that are adjacent to established neighborhoods shall be restricted to collectors and arterials and to locations external to established and developing neighborhoods.*

Objective 17: Neighborhood and Community Serving Uses

Certain non-residential land uses, including but not limited to residential support uses and public facilities, shall be allowed within residential neighborhoods to directly serve the population. These uses shall be located and designed in a manner to be compatible to the surrounding residential development pattern.

Policy 17.1:

Residential support uses (child care centers, adult care centers, churches, etc.) is an allowable land use in any of the residential, commercial and industrial land use plan categories consistent with the following criteria:

- a) The facility shall be of a design, intensity and scale to serve the surrounding neighborhood or the non-residential development in which it occurs, and to be compatible with the surrounding land uses and zoning;*

Commercial-Locational Criteria

Objective 22: *To avoid strip commercial development, locational criteria for neighborhood serving commercial uses shall be implemented to scale new commercial development consistent with the character of the areas and to the availability of public facilities and the market.*

Policy 22.1: *The locational criteria for neighborhood serving non-residential uses in specified land uses categories will:*

- *provide a means of ensuring appropriate neighborhood serving commercial development without requiring that all neighborhood commercial sites be designated on the Future Land Use Map;*
- *establish a maximum square footage for each proposed neighborhood serving commercial intersection node to ensure that the scale of neighborhood serving commercial development defined as convenience, neighborhood, and general types of commercial uses, is generally consistent with surrounding residential character; and*
- *establish maximum frontages for neighborhood serving commercial uses at intersections ensuring that adequate access exists or can be provided.*

Policy 22.2: *The maximum amount of neighborhood-serving commercial uses permitted in an area shall be consistent with the locational criteria outlined in the table and diagram below. The table identifies the intersection nodes that may be considered for non-residential uses. The locational criteria is based on the land use category of the property and the classification of the intersection of roadways as shown on the adopted Highway Cost Affordable Long Range Transportation Plan. The maximums stated in the table/diagram may not always be achieved, subject to FAR limitations and short range roadway improvements as well as other factors such as land use compatibility and environmental features of the site.*

In the review of development applications consideration shall also be given to the present and short-range configuration of the roadways involved. The five year transportation Capital Improvement Program, MPO Transportation Improvement Program or Long Range Transportation Needs Plan shall be used as a guide to phase the development to coincide with the ultimate roadway size as shown on the adopted Long Range Transportation Plan.

Policy 22.3: *In order to address instances where a site does not exactly meet the dimension requirements of the Chart in Policy 22.2, the following will apply:*

- *Where a proposed neighborhood commercial use is located such that the major roadway frontage associated with the proposed use exceeds the maximum distance specified in the Chart in Policy 22.2 but at least 75% of the frontage associated with the use is within that distance and under single ownership, then such proposed use may also be considered for approval.*
- *When an intersection is shown on the adopted Highway Cost Affordable Long Range Transportation Plan, as a three way, or “T” intersection, consideration for commercial development can occur as if there were a full intersection for locational purposes, but when determining the appropriate size development for each quadrant the configuration of the road may not support maximum square footage’s due to the limiting nature of the intersection.*

Policy 22.7: *Neighborhood commercial activities that serve the daily needs of residents in areas designated for residential development in the Future Land Use Element shall be considered provided that these activities are compatible with surrounding existing and planned residential development and are developed in accordance with applicable development regulations, including phasing to coincide with long range transportation improvements.*

The locational criteria outlined in Policy 22.2 are not the only factors to be considered for approval of a neighborhood commercial or office use in a proposed activity center. Considerations involving

land use compatibility, adequacy and availability of public services, environmental impacts, adopted service levels of effected roadways and other policies of the Comprehensive Plan and zoning regulations would carry more weight than the locational criteria in the approval of the potential neighborhood commercial use in an activity center. The locational criteria would only designate locations that could be considered, and they in no way guarantee the approval of a particular neighborhood commercial or office use in a possible activity center.

Policy 22.8: The Board of County Commissioners may grant a waiver to the intersection criteria for the location of commercial uses outlined in Policy 22.2. The waiver would be based on the compatibility of the use with the surrounding area and would require a recommendation by the Planning Commission staff. Unique circumstances and specific findings should be identified by the staff or the Board of County Commissioners which would support granting a waiver to this section of the Plan. The Board of County Commissioners may reverse or affirm the Planning Commission staff's recommendation through their normal review of rezoning petitions. The waiver can only be related to the location of the neighborhood serving commercial or agriculturally oriented community serving commercial zoning or development. The square footage requirement of the plan cannot be waived.

Policy 22.9: During the Zoning Conformance process, the Board of County Commissioners recognized the existence of neighborhood serving commercial uses or zoning which did not comply with the Locational Criteria for Neighborhood Serving Commercial uses. These sites are exempt from further review under the locational criteria, (location and specific square footage limitations outlined in the Chart) but are not exempt from review under all other policies of the Comprehensive Plan.

Community Design Component

5.0 NEIGHBORHOOD LEVEL DESIGN

5.1 COMPATIBILITY

GOAL 12: Design neighborhoods which are related to the predominant character of the surroundings.

OBJECTIVE 12-1: New developments should recognize the existing community and be designed in a way that is compatible (as defined in FLUE policy 1.4) with the established character of the surrounding neighborhood.

Conservation and Aquifer Recharge Element

Wetlands and Floodplain Resources

Objective 4: The County shall continue to apply a comprehensive planning-based approach to the protection of wetland ecosystems assuring no net loss of ecological values provided by the functions performed by wetlands and other surface waters authorized for projects in Hillsborough County, consistent with the Uniform Mitigation Assessment Method. The County shall work with the Environmental Protection Commission, the Southwest Florida Water Management District, the Florida Department of Environmental Protection, and the Tampa Bay Estuary Program to achieve a measurable annual increase in ecological values provided by the functions performed by wetlands and other surface waters. It shall be the County's intent to maintain optimum wetland functions as well as acreage.

Policy 4.1: *The County shall, through the land use planning and development review processes, and in cooperation with the Environmental Protection Commission, continue to conserve and protect wetlands from detrimental physical and hydrological alteration.*

Policy 4.3: *The County shall, through the land planning and development review processes, and in cooperation with the Environmental Protection Commission, continue to prohibit unmitigated encroachment into wetlands.*

Policy 4.12: *Priority shall be given to avoiding the disturbance of wetlands in the County and to encourage their use only for purposes which are compatible with their natural functions and environmental benefits.*

Policy 4.13: *Development which impacts wetlands may be deemed appropriate only as a last resort; where:*

- 1. reasonable use of the property is otherwise unavailable and/or onsite preservation of a functioning wetland system is deemed unsustainable;*
- 2. the adverse impact is offset by the benefit of the development to the public such that it is reasonable, in the public interest and an acceptable mitigation plan is proposed.*

This determination shall be made by Hillsborough County and/or the Environmental Protection Commission of Hillsborough County.

Policy 4.14: *The development review process, part of a comprehensive program for the protection of wetlands, shall make every effort to maintain natural undisturbed wetlands by way of a sequential review process that first evaluates all means of avoiding wetland impacts in regard to a particular project; if necessary, secondly, evaluates and requires measures to minimize wetland impacts; and if necessary, thirdly, evaluates and requires the mitigation of wetland impacts.*

Objective 5: *The County shall continue to prevent net loss of 100-year floodplain storage volume in Hillsborough County. The County shall continue to protect and conserve natural wildlife habitat attributes where they exist within the 100-year floodplains of major rivers and streams.*

Livable Communities Element: Riverview Community Plan

III. Vision Statements

Community Vision

As the community has grown, Riverview's small-town charm and atmosphere has been maintained. The community has a town center containing a peaceful, family-oriented and pedestrian-friendly atmosphere in which all safely live, work and play.

A strong sense of "community identity" and spirit, with versatile recreational and economic opportunities as well as cultural and educational resources, stimulates both the young and elderly. The recreational and economic opportunities uniquely afforded them by the Alafia River were maximized while also prioritizing the protection of it and other natural resources.

Vision Concept

Physically, Riverview is a diverse community sharing the characteristics of both suburban and rural areas, loosely defined by historical development patterns and predominant land uses. The Advisory Committee and the Planning Team addressed these issues and illustrated their vision graphically by developing the "Riverview District Concept Map". See attached figure 10.

It identifies distinct visions for the Riverfront, Downtown, Highway 301, Residential, Industrial, Open Space, and Mixed-Use districts. These unique districts reflect community assets and guide development.

5. Residential District Vision

The area south of the Alafia River along US Highway 301 has been developed as primarily residential. The residential district appeals to people of many economic and cultural backgrounds. In this area, managed growth permits higher densities. The improved infrastructure containing fiber optic communications, sidewalks, pedestrian-friendly crosswalks, adequate lighting and signage is well maintained and controlled by strict code enforcement. Local government promptly addresses houses that fall into disrepair and neglect.

The residential areas are convenient to all other areas of Riverview due to the transit system, pedestrian-friendly streets and bike trails. Thoughtful planning has controlled the traffic and the intelligent highway system speeds residents to and from their destinations.

IV. Goals

Goal 1 Achieve better design and densities that are compatible with Riverview's vision.

- *Develop Riverview district-specific design guidelines and standards. The standards shall build on recognizable themes and design elements that are reflective of historic landmarks, architecture and heritage of Riverview. The mixed-use, residential, non-residential and roadway design standards shall include elements such as those listed.*

Mixed Use-Commercial-Residential

- *Incorporate traditional neighborhood development (TND) and Crime Prevention through Environmental Design (CPTED) techniques and principles in design standards.*
- *Develop visually pleasing sign standards that prohibit pole signs and require monument signs. It also is the desire of the community to limit or keep out any additional billboard signs.*
- *Avoid "strip" development patterns for commercial uses.*
- *Enhance the ability to walk or bike between adjoining commercial areas.*
- *Promote aesthetically pleasing subdivision entrances, formal and manicured landscapes and other amenities such as street furniture, public art, and creative paving techniques.*
- *Promote diversity in housing type and style to counter generic subdivision look.*
- *Provide appropriate and compatible buffers and transitions to existing, adjacent land uses particularly with agricultural operations and the lands acquired for preservation and/or open space.*
- *Require natural and attractive stormwater retention facilities, such as standards for gently sloping grass sides/banks and prohibiting hard (i.e. concrete, asphalt) surfaces and aeration techniques: screen and buffer ponds with natural vegetation*

or berms or at a minimum vinyl fencing with vines, prohibit plain exposed chain link fencing. Encourage master stormwater facilities.

Transportation

- *Develop distinctive roadway design and landscape standards for new developments and redevelopment projects that complement the community's uniqueness as well as encourage buffers to parking areas, water retention areas and sidewalks. Techniques may include landscaping, berming and median enhancements.*
- *Use standards for new and redeveloped projects that incorporate transit-friendly street design along bus routes (bus stops, bus bulges, bus lanes, etc.). such as those found in the Traditional Neighborhood Development (TND) Infill code.*

Miscellaneous

- *Develop key design elements and landscape designs for local parks that would promote a unique sense of place and establish community landmarks.*
- *Improve drainage standards to enhance aesthetics and ensure adequate drainage prior to onsite development.*
- *In appropriate areas, as described in the District Map, identify and reduce residential densities in the Future Land Use Element.*
- *Consult with developers regarding residential site design and the creation of neighborhood character.*
- *Improve enforcement of all county land development codes.*

Staff Analysis of Goals, Objectives, and Policies:

The subject property is located on approximately 4.85 acres northwest of the Balm Riverview Road and Rhodine Road intersection. The subject property is located in the Urban Service Area. It falls within the Residential District of the Riverview Community Plan and is also located within the Southshore Areawide Systems Plan. The applicant requests to rezone the subject property from Agricultural Single-Family Estate (AS-0.4) to a Planned Development (PD) allowing for a 10,640 sq. ft. variety store retail use.

The application has been remanded twice. At their regularly scheduled Land Use public meeting on May 11, 2021, the Hillsborough Board of County Commissioners remanded the application to the June 14, 2021, ZHM meeting. The applicant requested the application be continued to the July 26, 2021, Zoning Hearing Master (ZHM) meeting. The first remand did not identify any Comprehensive Plan concerns or issues and did not result in a change to Planning Commission staff's recommendation.

For the second remand, at their regularly scheduled Land Use public meeting on September 8th, 2021, the Hillsborough Board of County Commissioners remanded the application a second time to the October 18, 2021, ZHM meeting. The second remand identified Comprehensive Plan issues that the applicant has attempted to address. Planning Commission staff have reexamined the site and the following changes do not satisfactorily address staff's compatibility concerns with the existing development pattern and consequently have not resulted in a change to the Planning Commission staff's recommendation. The applicant has proposed the following changes for the second remand:

- The wetland area noted on the site plan will be preserved in a conservation easement;
- A condition of approval was added requiring the recording of the conservation easement over the wetland area;
- An exhibit was provided that shows how the proposed sidewalk will connect to the existing Capital Improvement Plan (CIP) projects. The developer will be required to construct a 700' extension of the sidewalk from the front of its property to the residential subdivision to the north;
- A letter from Naylor Environmental was submitted stating the property has greater anthropogenic disturbance and fewer wetlands than the parcel in the northwest quadrant of Balm Riverview Road and Rhodine Road;
- Residential design details were submitted that attempt to complement the Riverview Community Plan by providing:
 - New residential elevations
 - Window glazing for the building sides visible from the right-of-way
 - Concrete masonry units, enhanced elevations visible from the right-of-way
 - Portions of the glazing are enhanced with awnings, pedestrian elevations
 - Parapet has a proposed cornice detail, entryway height increase
 - Alcove entryway accessible from the parking lot, full length glazing and doors
 - Parking behind the building setback line, southern side; and
- Enhanced landscaping for the entire development has been proposed.

The subject property does not meet Commercial Locational Criteria. The subject property is located three parcels to the northwest of the Balm Riverview Road and Rhodine Road intersection. Commercial Locational Criteria is based on the Future Land Use category of the property and whether the roadways are shown on the adopted 2040 Highway Cost Affordable Long-Range Transportation Plan. Roadways listed in the table as 2 or 4 lane roadways must be shown on the Highway Cost Affordable Long-Range Transportation Plan (Policy 22.2, FLUE) in order to be considered to meet Commercial Locational Criteria. Per Policy 22.2, 75% of the site need to be located within 900 of the intersection node. The applicant contends that the site meets Commercial Locational Criteria, stating the project is located 903 feet from the intersection. This measurement does not take into account that Comprehensive Plan policy direction dictates how sites should be measured. Per FLUE Policy 22.2, all measurements should begin at the edge of the road right-of-way and a site must meet the distance requirement within 75% of the site. Planning Commission staff has determined that 75% of the project site is over 1,200 feet from the intersection. Therefore, the site does not meet Commercial Locational Criteria.

In the waiver request submitted in July, the applicant asserts that though the site does not fall within 75% of the node, substantial measures have been taken to mitigate against adverse impacts. The waiver request states that there are two proposed Capital Improvement Projects at the Balm Riverview Road and Rhodine Road intersection that will widen the right-of-way. The waiver cites FLUE Policy 22.7, which states that Commercial Locational Criteria are not the only factors to be considered for approval of a neighborhood commercial or office use in a proposed activity center. According to the waiver, the variety store retail use proposed is compatible with adjacent and proximate commercial land uses. According to the applicant, the intersection of Balm Riverview Road and Rhodine Road is an emerging commercial node that features personal services businesses, a new child daycare facility and a convenience store and gas station.

The waiver request states that to the south, adjacent to the project, is an auto repair store with open storage. To the west, the land is undeveloped and ultimately transitions to agricultural fields. Easterly and northerly adjacent to the parcel is a single-family residential community that serves as a barrier to further commercial development northwards. The waiver states that adjacency to residential use does not make the neighborhood commercial project incompatible. The waiver also states that, to address compatibility concerns, the proposed development is 60 feet from the northern residential property line, which provides more than enough buffering between the commercial and residential uses. In addition, the development is limited to a proposed FAR of 0.05 (10,640 square feet) with only variety store retail as the allowable use. The applicant also states that the site has been designed in order to ensure there are zero impacts to existing wetlands. The waiver states the building has been designed to have a residential appearance and an extension of a pedestrian connection/sidewalk north to the residential subdivision. The waiver also asserts that the distance also satisfies the element of the Riverview Community Plan that requires adequate transitional buffering between uses.

Planning Commission staff acknowledges that the applicant utilizes site planning techniques that result in the commercial buildings being located adjacent to Balm Riverview Road, a collector. The applicant has improved the application and reduced the intensity of the site from 28,190 to 10,640 sq. ft. The application proposes a 20 ft. buffer along the northern and western portions and a 20 ft. building setback on the southern portion of the property. The applicant has proposed enhanced landscaping and placing parking behind the building setback line. The applicant has placed the stormwater area in the northwestern corner of the site and the stormwater and flood plain compensation area in the southwestern corner of the site. In addition, the floodplain has been placed under a conservation easement. The southern portion of the site that includes a floodplain is being maintained as open space for the site plan with over 172 ft. of separation to the residential building to the south. The applicant proposes operating hours, architectural facades and residential design details to provide a more residential aesthetic.

Staff also acknowledges that Commercial General (CG) and Commercial Neighborhood (CN) zoning districts are located within 900 feet of the Rhodine Road and Balm Riverview Road intersection. The parcel immediately south of the subject property, has split zoning: Agricultural - Single-Family Estate-0.4 (AS-0.4) and Commercial General (CG). The applicant has submitted an exhibit showing parcels south of the site to be vegetated areas. Consequently, the zoning and development pattern transitions from commercial to low-density residential moving away from the intersection. A variety store retail use would disrupt the gradual transition of uses from the intersection and the overall development pattern of the residential area that is located further away from the node. While the application has attempted to move closer towards the intent of Comprehensive Plan policies through site planning, Planning Commission staff finds that the proposed development does not meet Commercial Locational Criteria and does not fulfill the intent of Objective 16 and Policies 16.1, 16.2, and 16.3 of the Future Land Use Element (FLUE).

The intent of the Residential-4 (RES-4) Future Land Use category is to designate areas that are suitable for low-density residential development. In addition, suburban scale neighborhood commercial, office, multi-purpose and mixed-use projects serving the area may be permitted subject to the Goals, Objectives, and Policies of the Future Land Use Element and applicable development regulations and conforming to established locational criteria for specific land use.

The Community Design Component (CDC) in the FLUE contains policy direction about designing developments that relate to the predominant character of the surroundings (CDC Goal 12). The application does state the proposed use will have a residential appearance and elevation and the request does move closer towards the intent of the Comprehensive Plan (CDC Objective 12-1). While a commercial use with a residential appearance can help to mitigate impacts to nearby residential development the placement of commercial uses outside of the designated commercial node is not consistent with Objective 16 and Policies 16.1, 16.2 and 16.3 in the Future Land Use Element.

While Planning Commission acknowledges that the proposed site planning techniques help to mitigate impacts to residential uses and moves closer to the intent of the Comprehensive Plan, a site meeting commercial locational criteria never guarantees the approval of a commercial use (Policy 22.7, FLUE). Consequently, an application that does not meet the criteria must demonstrate in its proposal how it will further the Goals, Objectives and Policies of the Comprehensive Plan. Policy 22.7 identifies several considerations that carry more weight than Commercial Locational Criteria including land use compatibility. The request for a commercial land use outside of the established node does not fulfill the intent of Policy 22.7 (FLUE). The request would not contribute to a gradual transition of uses within the area.

The site is located within the Residential District of the Riverview Community Plan area, which has a primarily residential development pattern. The Riverview Community Plan also requires the provision of appropriate and compatible buffers and transitions to existing, adjacent land uses, particularly with agricultural operations and the lands acquired for preservation and/or open space (Goal 1). While utilizing residential design and elevations, locating the building close to the roadway, 60 feet from the residential lots to the north, over 172 ft. from the south residential properties, providing a conservation easement and locating the stormwater facilities to the west help to mitigate for impacts to single-family residential lots, a request for a commercial use will disrupt the gradual transition from commercial to residential from the Rhodine Road and Balm Riverview intersection. Planning Commission staff recommends that the Hillsborough Board of County Commissioners (BOCC) not approve the waiver to Commercial Locational Criteria.

Planning Commission staff acknowledges the application has moved closer towards meeting the intent of the plan through site planning and buffering, architectural and elevation enhancements, addition of a conservation easement, additional open space, hours of operation and a reduction in intensity. The proposed Planned Development request for a variety retail store would not provide an appropriate and compatible transition to the single-family residential land uses and low-density AS-0.4 and AS-1 zoning immediately adjacent to the site and within the general area. Consequently, the request is not consistent with the Riverview Community Plan.

Wetlands are located on the subject property, approximately 0.40 acres. The EPC Wetlands Division has reviewed the proposed rezoning. In the site plan's current configuration, a resubmittal is not necessary. If the zoning proposal changes and/or the site plans are altered, EPC staff will need to review the zoning again. According to the EPC, the project as submitted is conceptually justified to move forward through the zoning review process as long as certain conditions are met.

Overall, the proposed Planned Development does not meet Commercial Locational Criteria and would allow for development that is not compatible with the existing development pattern found in the surrounding area. It would not provide a gradual transition from commercial to residential uses within the area. Therefore, it is not consistent with the Goals, Objectives, and Policies of the *Future of Hillsborough Comprehensive Plan for Unincorporated Hillsborough County*.

Recommendation

Based upon the above considerations, the Planning Commission staff finds the proposed Planned Development **INCONSISTENT** with the *Future of Hillsborough Comprehensive Plan for Unincorporated Hillsborough County*.



Hillsborough County Florida

SM

STAFF REPORT

SUBJECT:	PD 21-0110 (REMAND)	PLANNING AREA:	Riverview
REQUEST:	Rezoning to a Planned Development	SECTOR	South
APPLICANT:	Todd Pressman		
Existing Zoning: RSC-2		Comp Plan Category: RES-4	



Immediate Aerial Zoning Map

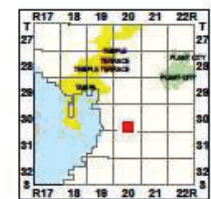
RZ-PD 21-0110

Folio: 76828.5382

- Application Site
- Zoning Boundary
- Parcels



STR: 27-30-20



NOTE: This map is for informational purposes only and does not constitute a legal document. The official zoning map is the one on file with the County Clerk. This map is provided without warranty of any kind, either expressed or implied, including, but not limited to, the implied warranties of merchantability and fitness for a particular purpose.

SOURCE: This map has been prepared for the majority of the property lines within Hillsborough County and is compiled from recorded deeds, plats, and other public records. It has been issued as BEST AVAILABLE DATA.

Users of this map are hereby notified that the aforementioned public information source should be consulted for verification of the information contained on this map.

Date: 10/06/2021

File: G:\CHEN\GIS\Zoning_Site.apr

Application Review Summary and Recommendation

1.0 Summary

1.1 Project Narrative

The applicant requested and was approved for a remand back to the Zoning Hearing Master (ZHM) at the July 20, 2021 BOCC Land Use Meeting.

The applicant has modified the request from a 19-bed Community Residential Home (Type C) to a 12-bed Community Residential Home (Type B). The overall square footage is decreased from 9,421 square feet (3,421 sf existing structure and 6,000 sf structure expansion) to 9,089 square feet (3,421 sf existing structure and 5,668 sf structure expansion). No other changes or additional information has been submitted.

The applicant is requesting to rezone approximately 1 acre from RSC-2 (Residential, Single-Family Conventional) to PD (Planned Development) to allow for a 12-bed Community Residential Home (Type C). The site is located on the east side of McMullen Road, south of Shadow Run Boulevard. The site currently consists of a 2-story single-family home that operates as a Type A (5-bed) Community Residential Home (CRH). Type A CRH's are considered a single-family use and permitted by right in the RSC-2 zoning district should they meet the distance requirement of 1,000 feet from any other Type A CRH. The applicant seeks to expand the structure with a 5,668 square foot addition to provide a maximum of 12 beds.

The site is located in the RES-4 FLU (Future Land Use) category, an area planned for low density residential development (4 units per acre density maximum) and neighborhood scale commercial uses (0.25 maximum FAR) subject to locational criteria and compatibility policies.

Per the Land Development Code's density conversation for a Community Residential Home, 5 beds are equivalent to 1 dwelling unit. The maximum density permitted for the 1 acre lot with a RES-4 FLU is 4 dwelling units, which allows a maximum of 20 beds for a Community Residential Home.

Type B Community Residential Homes (those with 7 to 14 beds) have the following additional requirements:

1. No Community Residential Home Type B or C shall be located within a radius of 1,200 feet of another Type B or C Community Residential Home. The applicant has provided documentation that no other Type B or Type C Community Residential Homes are within a 1,200 radius of the subject site. Documentation includes a listing of licensed facilities from the Agency for Health Care Administration (AHCA), the Department of Children & Families (DCF) and the Agency for Persons with Disabilities (APD).
2. No Community Residential Home shall be within a 500-foot radius of RSC zoning (to be measured from the nearest point of the existing home and the area of RSC zoning. RSC zoning is present to the immediate north, south and east of the site and a waiver to this distance requirement is necessary. Per the applicant's site plan, the eastern distance is 148.3 feet. Distance to the north is 27.5 feet and the distance to the south is 38 feet. Per the applicant, the use is an indoor use that has been in operation as a Type A community residential home (6-beds) without impact to surrounding properties. The existing structure with the addition is proposed to be residential in

appearance and required buffering and screening will be provided.

3. Each facility shall provide buffering and screening. The LDC requires a minimum 5-foot wide buffer with Type A screening along the northern, southern and eastern property lines. Per the applicant's site plan, this is proposed. It should be noted that chain link fencing is not an acceptable Type A screening option. No PD variation to waive the required type of screening has been requested.
4. Each facility shall be designed and built to appear as similar to a residential structure as possible. Per the applicant's narrative, the building addition will occur in the rear of the site and be two story in height.
5. Each facility shall be located with direct access to a roadway. The site has direct access to McMullen Road.
6. Each facility shall provide adequate parking spaces. The parking standard for a CRH is 1 space per employee of the largest shift, plus 1 space per facility vehicle (if proposed), plus 0.2 spaces per resident. The site plan notes that 8 spaces will be provided. Three of those are required for the - 12 beds. The remaining 5 need to meet the employee and facility vehicle requirements.

1.2 Compliance Overview with Land Development Code and Technical Manuals

No PD Variations are requested.

1.3 Evaluation of Existing and Planned Public Facilities

The project area is located in the Urban Service Area. A 6-inch water main is available within the ROW of McMullen Road. A 16-inch wastewater force main is located within the ROW of Balm Riverview Road.

Impact and Mobility Fees estimates are as follows:

Assisted Living Facility

Mobility: \$796.00 per bed

Fire: \$313.00 per 1,000 sf.

Urban Mobility, South Fire – add 14 beds to Assisted Living Facility – unknowns sf.

The site is located on the east side of McMullen Road, a 2-lane, undivided substandard collector roadway. A 100-foot wide right of way exists with 11-foot wide travel lanes. A sidewalk is provided along the east side of McMullen Road.

One access point at McMullen Road is proposed, which will be in proximity to the parking spaces. The spacing between the spaces and access does not meet LDC standards. The access points location on McMullen Road is 58 feet from Jabez Way and 60 feet from an existing driveway to the north. These distances do not meet LDC spacing standards of 245 feet. An administrative variance has been submitted and has been denied by staff. Additionally, the project's access point proposes to be a full access point. It's location within a striped "no passing zone" on McMullen Road will limit it to right-in/right-out only. Transportation staff objects to the request.

1.4 Natural Resources/Environmental

The Environmental Protection Commission has reviewed the application and finds that no wetlands are present on the site. Therefore, EPC staff has no objections and no proposed conditions.

The site is not located within a Wellhead Resource Protection Area Zone, a Surface Water Resource Protection Area Zone, a Potable Water Wellfield Protection Zone, a Significant Wildlife Habitat or within the Coastal High Hazard Area. Additionally, the site is not within or adjacent to any ELAPP property.

McMullen Road is not a County designated Scenic Corridor.

1.5 Comprehensive Plan Consistency

The project is located within the RES-4 Future Land Use (FLU) category and within the Riverview Community Plan area. Planning Commission staff has found the proposed rezoning to be **INCONSISTENT** with the *Future of Hillsborough* Comprehensive Plan.

1.6 Compatibility

The site is located within the Riverview community, developed with low density residential uses.

- Property to the north is zoned RSC-2 and developed with a 1-story single-family home oriented towards McMullen Road. The existing home and proposed addition will be located 27.5 feet from the common property line. The minimum side yard setback for the RSC-2 zoning district is 10 feet. LDC required buffering and screening is proposed.
- Property to the south is zoned RSC-2 and developed with a 2-story single-family home oriented towards McMullen Road. The existing home and proposed addition will be located 38 feet from the common boundary line, which exceeds the RSC-2 minimum side yard setback of 10 feet. LDC required buffering and screening is proposed.
- Properties to the east are zoned RSC-2 and developed with single-family homes oriented away from the site. The subject site's addition will provide a setback of 148.3-feet, which exceeds the RSC-2 rear yard setback of 25 feet. LDC required buffering and screening is proposed.
- Property to the west is zoned AR and developed with single-family residential oriented towards Jabez Way. The subject site is separated from these properties by McMullen Road. No changes in the front setback of the existing structure are proposed.

The existing 3,421 square foot building providing 5-beds will be increased by 5,668 square feet to a 9,089 square foot 2-story facility providing 12-beds. The increase in intensity no longer classifies the facility as a single-family use. The proposed CRH type requires rezoning with the evaluation of the appropriateness of the intensity when in an RSC-2 zoning district. Where permitted with a Special Use Permit and by a PD rezoning, the distance of 500 feet from any RSC zoning district is required. The subject site does not meet this requirement to the north, south and east. The waiver requests of 472.5 to the north, 462 to the south and 351.7 to the east are significant and demonstrate that the use is not in a location relative to residences to avoid immediate impacts. Additionally, there are no intervening uses, roadways or environmental features between the facility and single-family to take into consideration. Therefore, the project is not found to be compatible.

1.7 Agency Comments

The following agencies have reviewed the application and offer no objections:

- Transportation
- Impact Fee
- Environmental Protection Commission
- Water Resource Services
- Conservation & Environmental Lands Management Department

1.8 Exhibits

Exhibit 1: Future Land Use Map

Exhibit 2: Aerial/Zoning Map – General Area

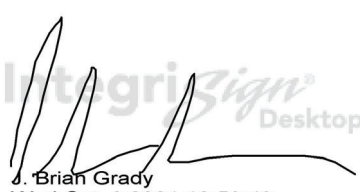
Exhibit 3: Aerial/Zoning Map – Immediate Area

Exhibit 4: Proposed Site Plan (PD 21-0110)

2.0 Recommendation

Not supported.

Type B CRHs are potentially permitted with a Special Use Permit in agricultural, two-family, multi-family, office and neighborhood commercial zoning districts. Sensitivity to existing residential when located in a single-family zoning district, which is not permitted by right or with a Special Use Permit, is significant. Staff acknowledges that the site provides buffering, screening, and exceeds the setbacks required of a single-family residence. However, the waiver provision is in place to avoid proximities to single-family uses. This straight line distance may be justified by a feature that would provide a natural barrier and restrict any impacts or interaction between a CRH Type B and single-family home. For example, a vegetated wetland, intervening use (church, office), or major roadway. For this application, no such feature is present, and the waiver request distances are considerable at 472.5 to the north, 462 to the south and 351.7 to east.

Staff's Recommendation: Not supportable	
Zoning Administrator Sign-off:	 <p>J. Brian Grady Wed Oct 6 2021 13:59:49</p>

HILLSBOROUGH COUNTY
2021 FUTURE LAND USE

RZ PD 21-0110

Rezoning

<all other values>

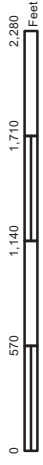
STATUS

- APPROVED
- CONTINUED
- DENIED
- WITHDRAWN
- PENDING

- Tampa Service
- Urban Service
- Shoreline
- County Boundary
- Jurisdiction Boundary
- Roads
- Parcels

- AGRICULTURAL/MINING-1/20 (.25 FAR)
- PEC PLANNED ENVIRONMENTAL COMMUNITY-1/2 (.25 FAR)
- AGRICULTURAL-1/10 (.25 FAR)
- AGRICULTURAL/RURAL-1/5 (.25 FAR)
- AGRICULTURAL ESTATE-1/2.5 (.25 FAR)
- RESIDENTIAL-1 (.25 FAR)
- RESIDENTIAL-2 (.25 FAR)
- RESIDENTIAL PLANNED-2 (.35 FAR)
- RESIDENTIAL-4 (.25 FAR)
- RESIDENTIAL-6 (.25 FAR)
- RESIDENTIAL-8 (.35 FAR)
- RESIDENTIAL-12 (.35 FAR)
- RESIDENTIAL-16 (.35 FAR)
- RESIDENTIAL-20 (.35 FAR)
- RESIDENTIAL-35 (1.0 FAR)
- NEIGHBORHOOD MIXED USE-4 (3) (.35 FAR)
- SUBURBAN MIXED USE-6 (.35 FAR)
- COMMUNITY MIXED USE-12 (.50 FAR)
- URBAN MIXED USE-20 (1.0 FAR)
- REGIONAL MIXED USE-35 (2.0 FAR)
- OC-20
- RESEARCH CORPORATE PARK (1.0 FAR)
- ENERGY INDUSTRIAL PARK (.50 FAR USES OTHER THAN RETAIL, .25 FAR RETAIL/COMMERCE)
- LIGHT INDUSTRIAL PLANNED (.50 FAR)
- LIGHT INDUSTRIAL (.50 FAR)
- HEAVY INDUSTRIAL (.50 FAR)
- PUBLIC/QUASI-PUBLIC
- NATURAL PRESERVATION
- WIMAUMA VILLAGE RESIDENTIAL-2 (.25 FAR)
- CITRUS PARK VILLAGE
- WATER
- WATER

DATA SOURCES: Rezoning boundaries from The Planning Commission and are not official. Parcel lines and data from Hillsborough County Property Appraiser. This map is for informational purposes only. It is not intended to be used as a legal document and should not be used to make any decisions without the approval of the Hillsborough County City/County Planning Commission. ACCURACY: It is intended that this map be accurate to the best of the City/County's knowledge. However, such accuracy is not guaranteed by the Hillsborough County City/County Planning Commission. This map is for informational purposes only. For the most current data and information, visit the appropriate web site.



Map Printed from Rezoning System: 1/13/2021
Author: Beverly F. Daniels
File: G:\Rezoning\System\MapProjects\Hill\G\Rezoning.mxd

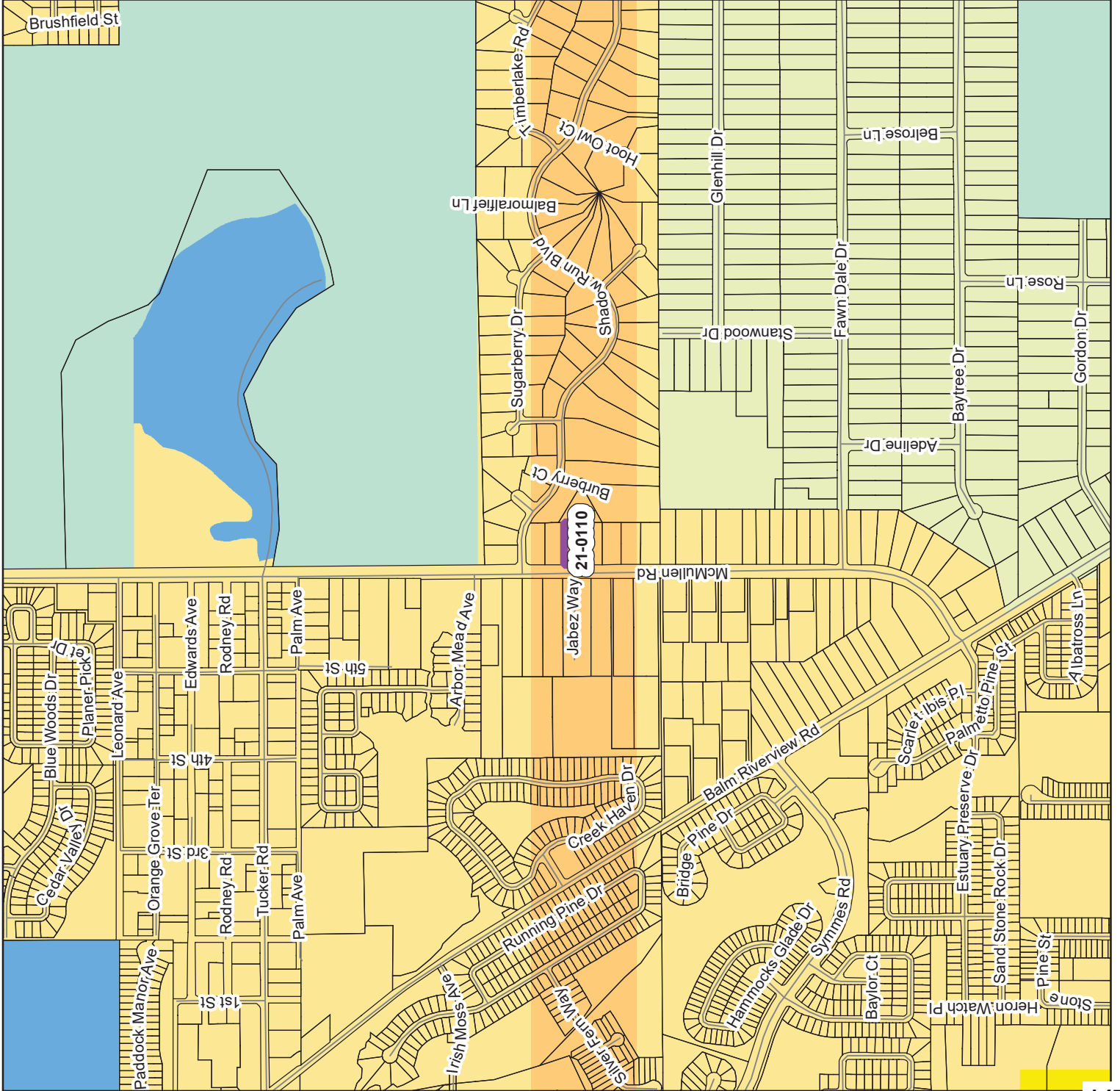


Exhibit 1

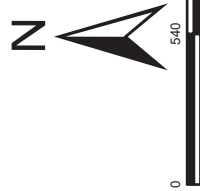


General Aerial Zoning Map

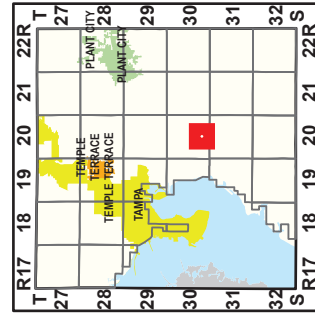
RZ-PD 21-0110

Folio: 76828.5382

- Application Site
- Zoning Boundary
- Parcels



STR: 27-30-20

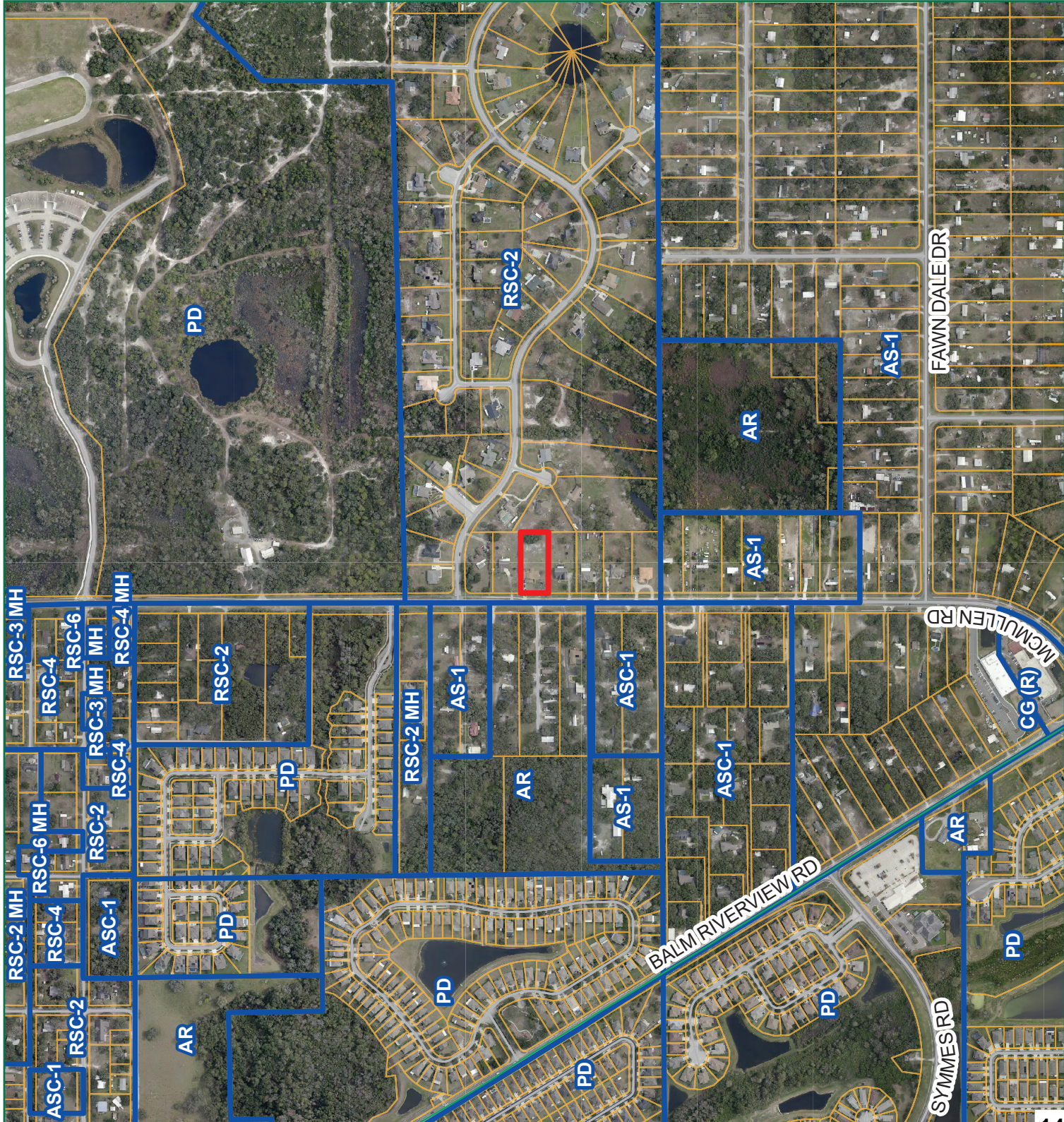


NOTE: Every reasonable effort has been made to ensure the accuracy of this map. Hillsborough County does not assume any liability arising from use of this map.

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SOURCE: This map has been prepared for the inventory of real property found within Hillsborough County and is compiled from recorded deeds, plats, and other public records; it has been based on BEST AVAILABLE data.

Users of this map are hereby notified that the aforementioned public primary information sources should be consulted for verification of the information contained on this map.



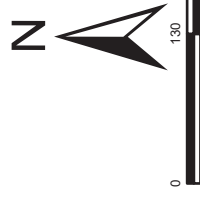


Immediate Aerial Zoning Map

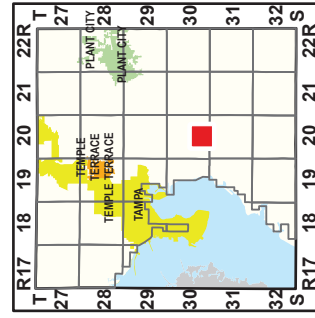
RZ-PD 21-0110

Folio: 76828.5382

- Application Site
- Zoning Boundary
- Parcels



STR: 27-30-20



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Date: 01/04/2021 Path: G:\ZONING\GIS\Map\Zoning-Site.aprx

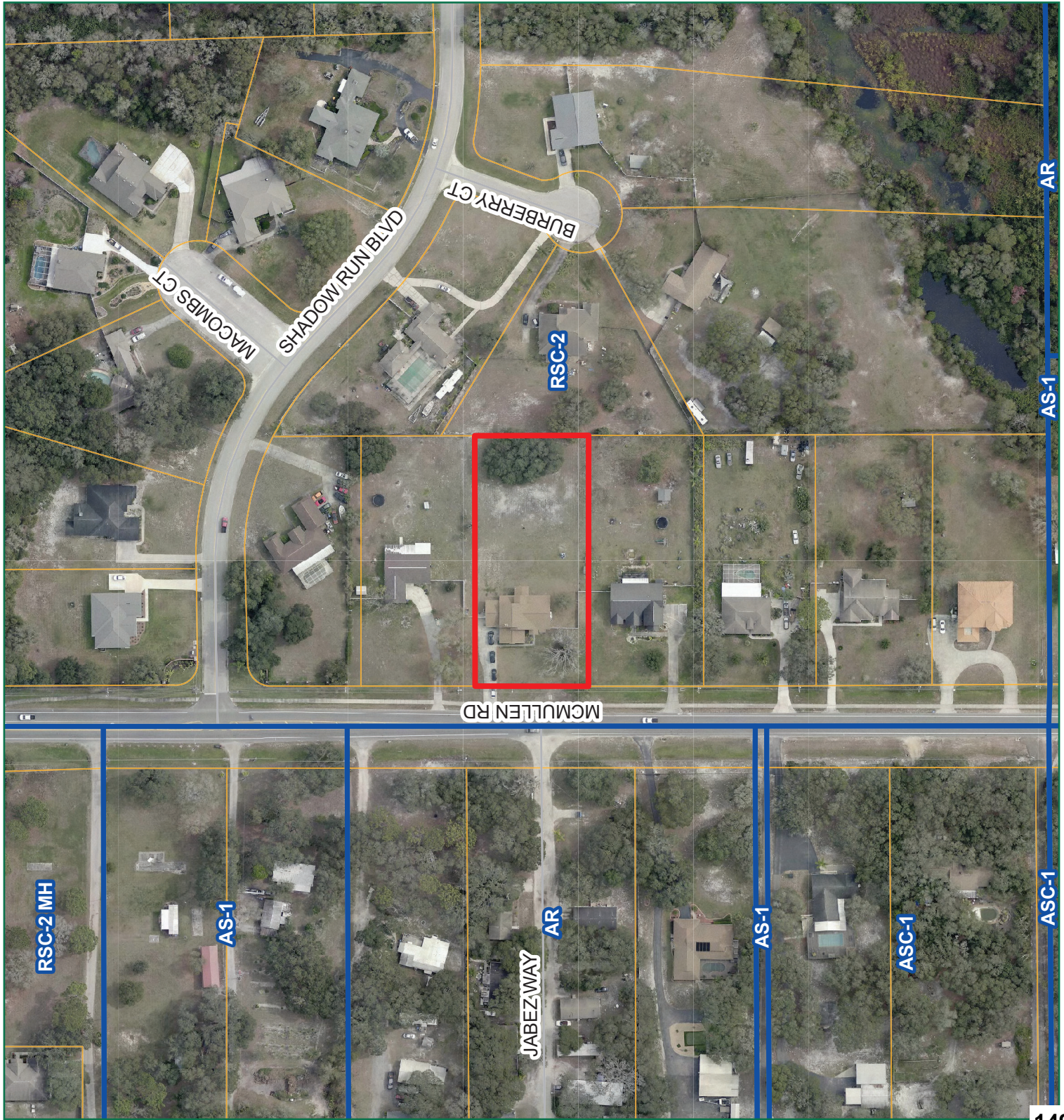
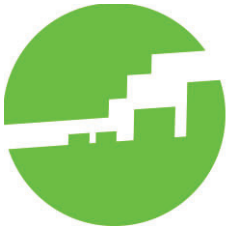


Exhibit 3

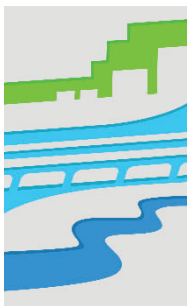
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Hillsborough County City-County Planning Commission

Unincorporated Hillsborough County Rezoning	
Hearing Date: October 18, 2021 Report Prepared: October 6, 2021	Petition: 21-0110 11216 McMullen Road <i>South of the McMullen Road and Shadow Run Boulevard intersection, on the east side of McMullen Road</i>
Summary Data:	
Comprehensive Plan Finding:	INCONSISTENT
Adopted Future Land Use:	Residential-4 (4 du/ga;0.25 FAR)
Service Area:	Urban
Community Plan:	Riverview and Southshore
Requested Zoning:	Residential Single-Family Conventional-2 (RSC-2) to a Planned Development (PD) to convert a Community Home Type A with five beds to a Community Home Type B with a maximum of 12 beds (addition 5,668 sq. ft).
Parcel Size (Approx.):	0.99 +/- acres (43,124.4 square feet)
Street Functional Classification:	McMullen Road – Collector
Locational Criteria	N/A
Evacuation Zone	None



Plan Hillsborough
planhillsborough.org
planner@plancom.org
813 – 272 – 5940
601 E Kennedy Blvd
18th floor
Tampa, FL, 33602

Context

- The approximately 0.99 +/- acre subject property is South of the McMullen Road and Shadow Run Boulevard, on the east side of McMullen Road. The site is currently developed with an approximately 3,421± square foot Community Home Type A building. The site is located in the Urban Service Area and is within the limits of the Southshore Areawide Systems Community Plan and the Riverview Community Plan.
- The subject site's Future Land Use designation is Residential-4 (RES-4). Typical allowable uses in this Future Land Use Category include residential, suburban scale neighborhood commercial, office uses, and multi-purpose projects. Non-residential uses shall meet established locational criteria for specific land use. Agricultural uses may be permitted pursuant to policies in the agricultural objective areas of the Future Land Use Element. Directly north, south, east and west is also designated as Residential-4 (RES-4). Further north of the site is designated Natural Preservation (N) and Public/Quasi-Public (P/Q-P) and further south on the east side of McMullen Road is designated Residential-1 (RES-1).
- The subject property is zoned Residential Single-Family Conventional-2 (RSC-2). The properties immediately to the north, south and east are designated Residential Single-Family Conventional -2 (RSC-2) and are developed with single family residential. To the west across McMullen Road is Agricultural Rural (AR), Agricultural-Single-Family-1 (AS-1) and Agricultural-Single-Family Conventional (ASC-1) developed with single family residential and a mobile home park.
- The applicant is requesting to rezone the site from Residential Single-Family Conventional -2 (RSC-2) to a Planned Development (PD) to allow for a 5,668 sq. ft two-story expansion of an existing Community Home Type A with five beds to a Community Home Type B with a maximum of 12 beds and a total of 9,089 sq. ft.

Compliance with Comprehensive Plan:

The following Goals, Objectives, and Policies apply to this rezoning request and are used as a basis for an inconsistency finding.

Future Land Use Element

Urban Service Area (USA)

Policy 1.4: Compatibility is defined as the characteristics of different uses or activities or design which allow them to be located near or adjacent to each other in harmony. Some elements affecting compatibility include the following: height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor and

architecture. Compatibility does not mean “the same as.” Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development

Relationship to the Future Land Use Map

Objective 7: The Future Land Use Map is a graphic illustration of the county's policies governing the determination of its pattern of development in the unincorporated areas of Hillsborough County through the year 2025.

Policy 7.1: The Future Land Use Map shall be used to make an initial determination regarding the permissible locations for various land uses and the maximum possible levels of residential densities and/or non-residential intensities, subject to any special density provisions, locational criteria and exceptions of the Future Land Use Element text.

Relationship to Land Development Regulations

Policy 9.2: Developments must meet or exceed the requirements of all land development regulations as established and adopted by Hillsborough County, the state of Florida and the federal government unless such requirements have been previously waived by those governmental bodies.

Neighborhood and Community Serving Uses

Objective 17: Certain non-residential land uses, including but not limited to residential support uses and public facilities, shall be allowed within residential neighborhoods to directly serve the population. These uses shall be located and designed in a manner to be compatible to the surrounding residential development pattern.

Policy 17.1: Residential support uses (child care centers, adult care centers, churches, etc.) is an allowable land use in any of the residential, commercial and industrial land use plan categories consistent with the following criteria:

- a) The facility shall be of a design, intensity and scale to serve the surrounding neighborhood or the non-residential development in which it occurs, and to be compatible with the surrounding land uses and zoning;

Residential-Targeted Groups & Incentives

Objective 20: The County shall encourage new development and redevelopment of residential housing for special target groups of people. The provisions specified within the Housing Element of the Comprehensive Plan shall be applied with respect to the following policies.

Policy 20.5: The development of congregate living facilities will be allowed within each of the land use plan categories that permit residential development; however, the locations of facilities shall be considered to prevent excessive concentration in any one area.

Policy 20.6: The Land Development Code shall include appropriate development standards and/or placed persons-to dwelling unit conversion factors shall be utilized for congregate living facilities to allow for the consistent application of residential densities otherwise established in this element. The resulting application of density equivalents to proposed congregate living facilities shall be utilized to ensure that cumulative impacts upon surrounding residential land uses are

reasonable and to ensure compatible densities between congregate living facilities and other residential land uses in the surrounding area. Consideration should be given to having conversion factors which vary depending on the land use designation, to ensure compatibility with surrounding areas

Livable Communities Element: Riverview Community Plan

Residential District Vision

The area south of the Alafia River along US Highway 301 has been developed as primarily residential. The residential district appeals to people of many economic and cultural backgrounds. In this area, managed growth permits higher densities. The improved infrastructure containing fiber optic communications, sidewalks, pedestrian-friendly crosswalks, adequate lighting and signage is well maintained and controlled by strict code enforcement. Local government promptly addresses houses that fall into disrepair and neglect.

The residential areas are convenient to all other areas of Riverview due to the transit system, pedestrian-friendly streets and bike trails. Thoughtful planning has controlled the traffic and the intelligent highway system speeds residents to and from their destinations.

GOAL 2: *Residential – Encourage attractive residential development that complements the surrounding character and promotes housing diversity.*

Goal 13: *Support and promote agriculture. Is found to be compatible, no large farms across the street an AR zoning doesn't necessarily mean only rural farmland in the area.*

- *Balance agriculture's need for protection from incompatible uses while acknowledging the market conditions affecting its continued viability.*
- *Ensure that new non-agricultural uses provide adequate buffers on their property adjacent to existing agricultural uses.*

Livable Communities Element: Southshore Community Plan

Cultural/Historic: Development will have no impact

- *Promote sustainable growth and development that is clustered and well planned to preserve the area's environment, cultural identity and livability.*
 - *Encourage and support the preservation of areas of archaeological, cultural and/or historical significance as shown on the SouthShore Historical Resources Inventory map.*
- 3.** *Enhance community capacity and retain the unique character of communities in SouthShore.*
- *Increase options in the Land Development Code to accommodate the retrofitting of existing communities to include a broader range of internal mixed uses, such as: 1.) mixed density housing; 2.) local-serving goods/shopping; 3.) civic uses and; 4.) neighborhood scale employment.*
- 4.** *Maintain housing opportunities for all income groups. a. Explore and implement development incentives throughout SouthShore that will increase the housing opportunities for all income groups, consistent with and furthering the goals, objectives and policies within the Comprehensive Plan Housing Element.*

Staff Analysis of Goals, Objectives, and Policies

The applicant is requesting to rezone the site from Residential Single-Family Conventional - 2 (RSC-2) to a Planned Development (PD) to allow for a 5,668 sq. ft. two-story expansion of an existing Community Home Type A with five beds to a Community Home Type B with a maximum of 12 beds and a total of 9,089 sq. ft. The applicant's narrative states that the existing residential architecture and character would remain. Per Policy 20.6, The Land Development Code shall include placed persons-to dwelling unit conversion factors for congregate living facilities. Per the Land Development Code Section 6.11.28.C., to calculate density for Community Home Types B and C each "placed" resident in the facility shall equal one-fifth of a dwelling unit. With a 0.99 acre site, the development could be considered for up to 19 beds. The request for 12 beds is below the maximum density permitted.

The applicant requested the application be remanded to the October 18, 2021, Zoning Hearing Master (ZHM) meeting. At their regularly scheduled Land Use public meeting on July 20 2021, the Hillsborough Board of County Commissioners granted the applicant's request. The remand did not identify any Comprehensive Plan concerns or issues and has not resulted in a change to Planning Commission staff's recommendation.

The subject property is in a residential Future Land Use classification. The development pattern along McMullen Road consists predominantly of single family residential dwellings and a mobile home park and a plant nursery on the eastern side of McMullen Road. Per Policy 20.5, the development of congregate living facilities will be allowed within each of the land use plan categories that permit residential development. The proposed community residential home is allowed in the Residential-4 (RES-4) land use category.

Per FLUE Policy 9.2, developments must meet or exceed the requirements of all land development regulations as established and adopted by Hillsborough County. The application does not meet the Land Development Code 6.11.28.A. requirement of a distance of 500' from any an area of non-agricultural (RSC) single-family zoning for the intensity of this community residential home. In addition, Policy 1.4 states that compatibility does not mean "the same as" but maintaining the character of existing development including intensity elements of height, scale, mass and bulk. Meeting the Land Development Code 6.11.28.A. requirement ensures compatibility between the proposed Community Residential Home and the surrounding single family residential dwellings. In addition, the applicant has submitted an administrative variance for Section 6.04.07 of the Land Development Code for spacing requirements from Jabez Way to the existing access driveway. Hillsborough County Transportation Staff have determined that the variance request is not approvable based on a variety of reasons. The roadway is a Class 6 and does not meet the spacing requirements of 245 ft., spacing from Jabez Way and the driveway for the residence to the north. The applicant has not provided a driveway alignment with Jabez Way and the parcel is wide enough to accommodate. The location of the existing residential driveway is in front of a "no passing zone" which provides access management concerns. This application is not consistent with Policy 9.2 as the applicant does not meet Sections 6.11.28.A and 6.04.07 of the Land Development Code.

Per Policy 17.1, residential support uses must be compatible with the surrounding land uses and zoning per the design, intensity and scale. A Community Residential Home qualifies as a residential support use. In order to meet the desired intensity, per the Land Development Code 6.11.28.A, all community residential homes must be at least a distance

of 500' from any an area of non-agricultural (RSC) single-family zoning. The proposed 12 bed community residential home does not meet this requirement.

The site is located within the limits of the Riverview and SouthShore Community Plans. The site is located in the residential district of Riverview (area south of the Alafia River along US Highway 301) which has been developed as primarily residential and encourages attractive residential development that complements the surrounding character and promotes housing diversity. Per the SouthShore Community Plan, housing opportunities for all income groups should be maintained. The applicant is proposing a residential support use with residential architecture and character which would support the visions of the Riverview and SouthShore Community Plans.

Overall, the proposed Planned Development is inconsistent with the Goals, Objectives, and Policies of the *Future of Hillsborough Comprehensive Plan for Unincorporated Hillsborough County*, as it does not meet all Land Development Code regulations and is not supported by the Hillsborough County Transportation Division staff.

Recommendation

Based upon the above considerations, the Planning Commission staff finds the proposed Planned Development **INCONSISTENT** with the *Future of Hillsborough Comprehensive Plan for Unincorporated Hillsborough County*.

RZ PD 21-0110

<all other values>

Rezoning

APPROVED
CONTINUED
DENIED
WITHDRAWN
PENDING

Tampa Service
Urban Service
Shoreline
County Boundary
Jurisdiction Boundary

Parcels

AGRICULTURAL/MINING-120 (.25 FAR)	
PEC PLANNED ENVIRONMENTAL COMMUNITY-112 (.25 FAR)	
AGRICULTURAL-1/10 (.25 FAR)	
AGRICULTURAL/RURAL-1/15 (.25 FAR)	
AGRICULTURAL ESTATE-112.5 (.25 FAR)	
RESIDENTIAL-1 (.25 FAR)	
RESIDENTIAL-2 (.25 FAR)	
RESIDENTIAL PLANNED-2 (.35 FAR)	
RESIDENTIAL-4 (.25 FAR)	
RESIDENTIAL-6 (.25 FAR)	
RESIDENTIAL-9 (.35 FAR)	
RESIDENTIAL-12 (.35 FAR)	
RESIDENTIAL-16 (.35 FAR)	
RESIDENTIAL-20 (.35 FAR)	
RESIDENTIAL-35 (1.0 FAR)	
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SUBURBAN MIXED USE-6 (.35 FAR)	
COMMUNITY MIXED USE-12 (.50 FAR)	
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REGIONAL MIXED USE-35(2.0 FAR)	

DC-20

RESEARCH CORPORATE PARK (1.0 FAR)
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FAR RETAIL/COMMERCE)
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LIGHT INDUSTRIAL (.50 FAR)
HEAVY INDUSTRIAL (.50 FAR)
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NATURAL PRESERVATION
MINAUMA VILLAGE RESIDENTIAL-2 (.25 FAR)
CITRUS PARK VILLAGE
WATER
WATER

DATA SOURCES: Recording boundaries from The Planning Commission and are not official. Parcel lines and data from Hillsborough County Property Appraiser.

CAUTION: This sheet may not be reproduced in part or full for reproduction without specific approval of the Hillsborough County Zoning/County Planning Commission.

ACCURACY: It is intended that the accuracy of the base map comply with U.S. national map accuracy standards. However, the accuracy is not guaranteed by the Hillsborough County Planning Commission. The map is provided for informational purposes only. For the most current and accurate information, see the appropriate source.

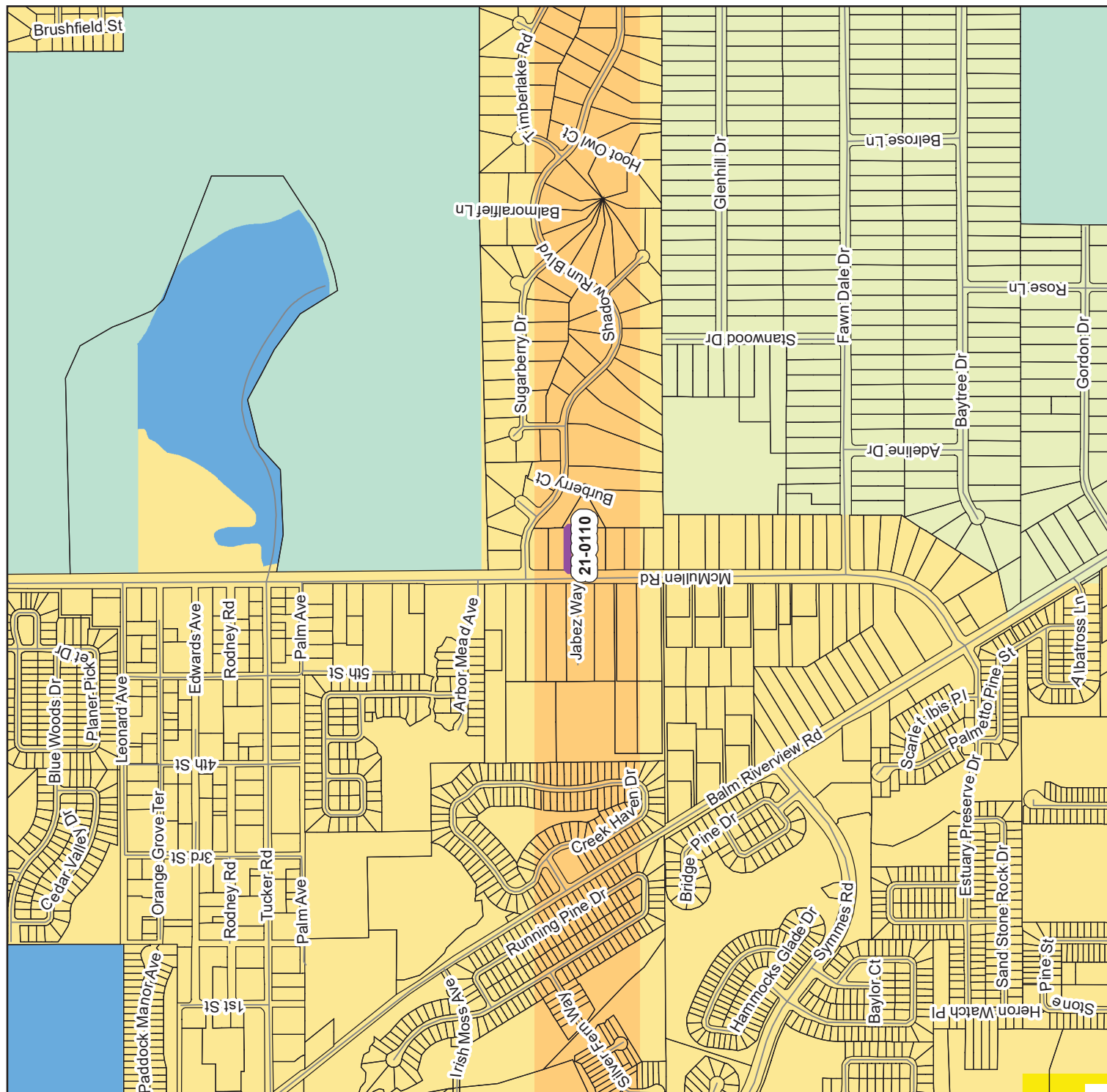


Year	East
2000	570
2001	1,140
2002	1,710
2003	2,280

Map Printed from Rezoning System: 1/13/2021

by F. Daniels

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Hillsborough County
City-County
Planning Commission

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Rezoning Application: RZ-STD 21-0985**Zoning Hearing Master Date:** October 18, 2021**BOCC Land Use Meeting Date:** December 14, 2021**Hillsborough
County Florida****Development Services Department****1.0 APPLICATION SUMMARY**

Applicant: Carlos A. Fuentes

FLU Category: Office Commercial-20 (OC-20) and Residential-12 (RES-12)

Service Area: Urban

Site Acreage: 4.75 MOL

Community Plan Area: East Lake/Orient Park

Overlay: None

**Introduction Summary:**

The existing zoning is Planned Development (PD 92-0056 as most recently modified by MM 21-0036), Residential Duplex Conventional-12 (RDC-12) and Residential – Multi-Family Conventional-12 (RMC-12) which permits General Commercial, Office and Personal Services, Single-Family and Two-Family (Conventional) and Multi-Family Residential uses pursuant to the development standards in the table below. The proposed zoning is Commercial Intensive Restricted (CI-R) for the entire parcel to allow Intensive Commercial, Office and Personal Services uses pursuant to the development standards in the table below.

Zoning:	Existing			Proposed
District(s)	PD 92-0056	RMC-12	RDC-12	CI-R
Typical General Use(s)	General Commercial, Office and Personal Services	Multi-Family Residential	Single-Family and Two-Family (Conventional)	Intensive Commercial, Office and Personal Services
Acreage	3 MOL	.9 MOL	.85 MOL	4.75 MOL
Density/Intensity	.27 F.A.R.	12 du/gross acre	12 du/gross acre	.30 F.A.R.
Mathematical Maximum*	35,284 sf	10 units	10 units	62,073 sf

*number represents a pre-development approximation

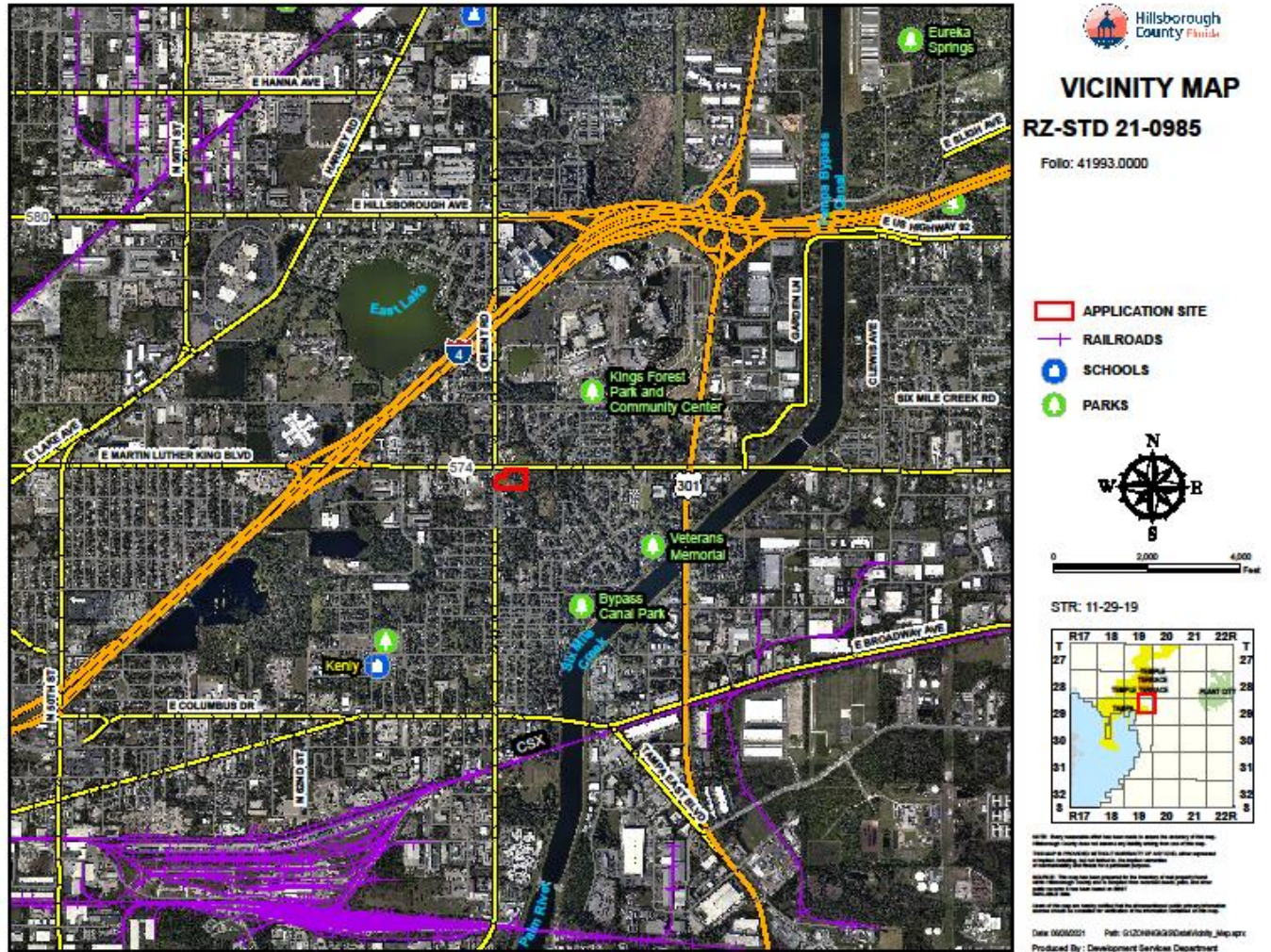
Development Standards	Existing			Proposed
District(s)	PD 92-0056	RMC-12	RDC-12	CI-R
Lot Size / Lot Width	10,000 sf / 75'	10,890 sf / 70'	3,500 sf / 40'	20,000 sf / 100'
Setbacks/Buffering and Screening	30' Front Buffer Rear Buffer Sides	25' Front 20' Rear 10' Sides	20' Front 20' Rear 5' Sides	30' Front Buffer Rear Buffer Sides
Height	50'	35'	35'	50'

Planning Commission Recommendation:
Consistent

Development Services Recommendation:
Approvable

2.0 LAND USE MAP SET AND SUMMARY DATA

2.1 Vicinity Map

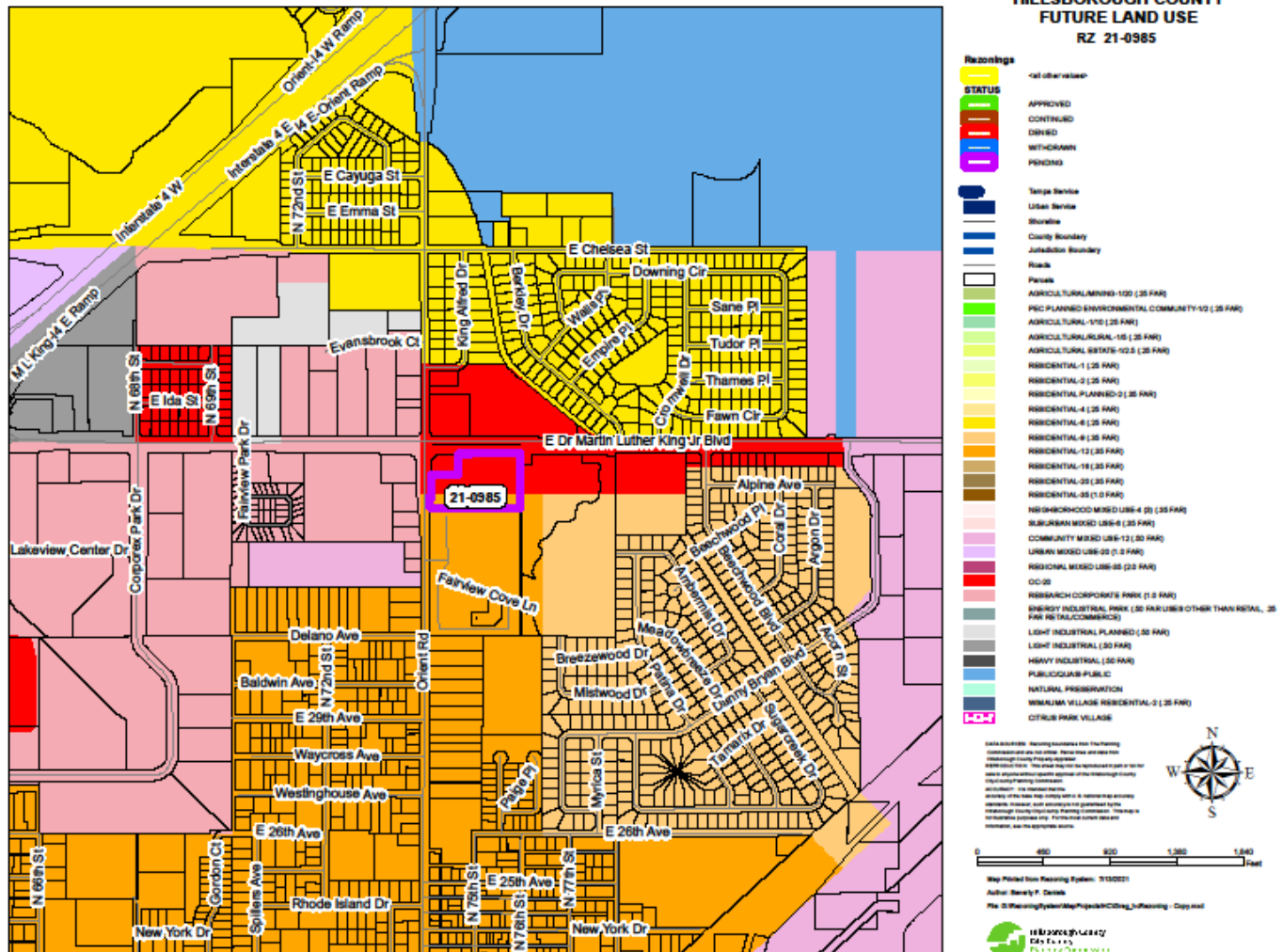


Context of Surrounding Area:

The area is located on a principal arterial that consists of multi-family residential and commercial uses. The subject parcel is directly adjacent to multi-family residential to the south and vacant commercial and two-family residential to the east.

2.0 LAND USE MAP SET AND SUMMARY DATA

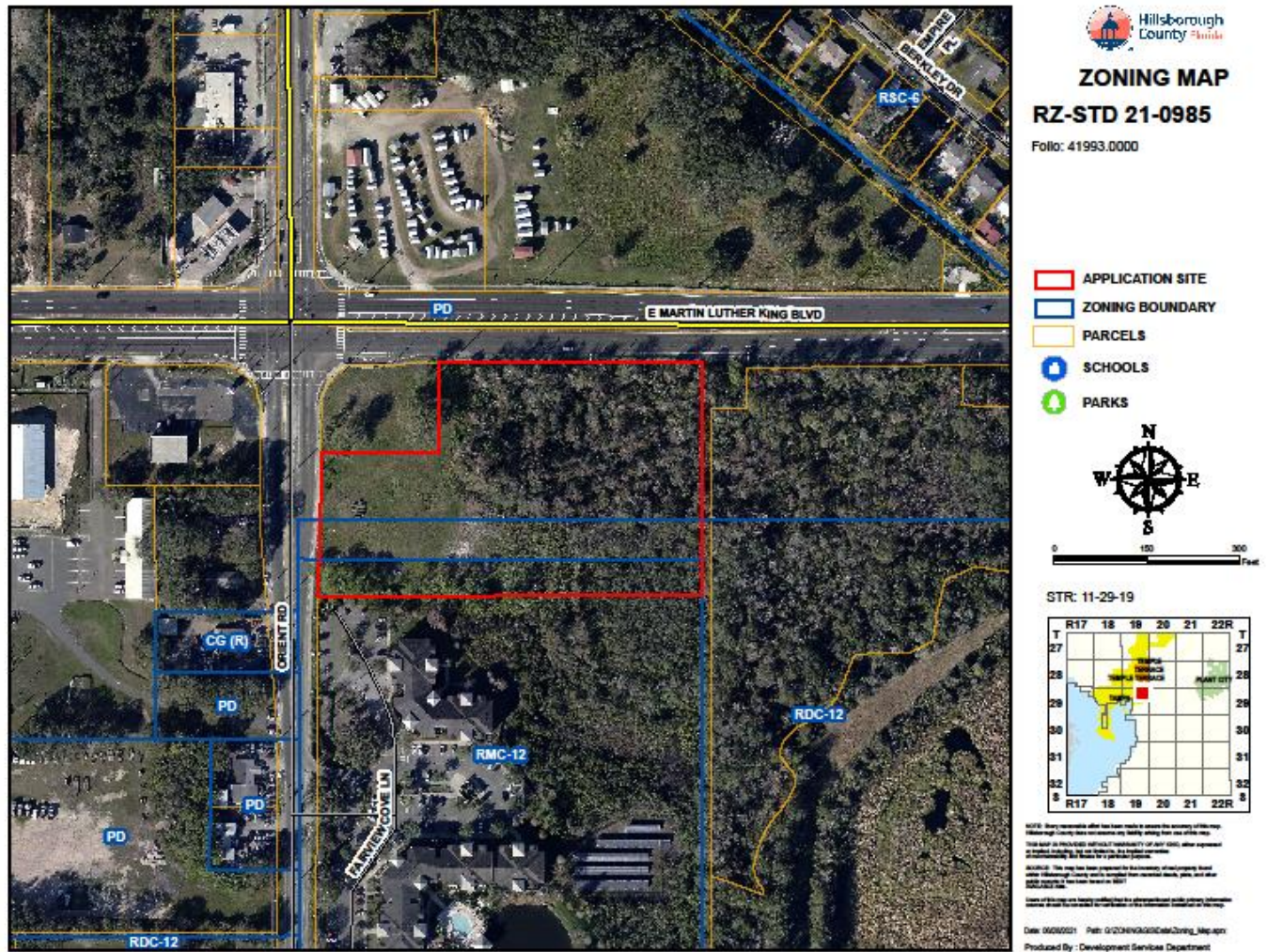
2.2 Future Land Use Map



Subject Site Future Land Use Category:	Office Commercial-20 (OC-20) and Residential-12 (RES-12)
Maximum Density/F.A.R.:	OC-20: 20 du per ga/0.75 FAR RES-12: 12 du per ga/0.50 FAR
Typical Uses:	<p>OC-20: Community commercial type uses, office uses, mixed use developments, and compatible residential uses.</p> <p>RES-12: Residential, urban scale neighborhood commercial, office uses, multi-purpose projects and mixed-use development. Non-residential uses shall meet established locational criteria for specific land use.</p>

2.0 LAND USE MAP SET AND SUMMARY DATA

2.3 Immediate Area Map



Adjacent Zonings and Uses

Location:	Zoning:	Maximum Density/F.A.R. Permitted by Zoning District:	Allowable Use:	Existing Use:
North	PD 92-0056	.27 F.A.R.	General Commercial, Office and Personal Services	Commercial, Vacant
South	RMC-12	12 du/gross acre	Multi-Family Residential	Multi-Family Residential
East	PD 92-0056, RDC-12	.27 F.A.R., 12 du/gross acre	General Commercial, Office and Personal Services, Single-Family and Two-Family Residential (Conventional)	Vacant
West	PD 92-0056	.27 F.A.R.	General Commercial, Office and Personal Services	Commercial

APPLICATION NUMBER: RZ-STD 21-0985

ZHM HEARING DATE: October 18, 2021

3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)**Adjoining Roadways (check if applicable)**

Road Name	Classification	Current Conditions	Select Future Improvements
Orient Rd.	County Collector - Urban	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input checked="" type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
Martin Luther King Jr. Blvd.	FDOT Arterial - Urban	4 Lanes <input type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other

Project Trip Generation ☐ Not applicable for this request

	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	11,332	893	1,029
Proposed	15,932	1,053	776
Difference (+/-)	+4,600	+160	-253

*Trips reported are based on net new external trips unless otherwise noted.

Connectivity and Cross Access ☒ Not applicable for this request

Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North		None	None	Meets LDC
South		None	None	Meets LDC
East		None	None	Meets LDC
West		None	None	Meets LDC
Notes:				

Design Exception/Administrative Variance ☒ Not applicable for this request

Road Name/Nature of Request	Type	Finding
	Choose an item.	Choose an item.
	Choose an item.	Choose an item.
Notes:		

4.0 Additional Site Information & Agency Comments Summary

Transportation	Objections	Conditions Requested	Additional Information/Comments
<input type="checkbox"/> Design Exception/Adm. Variance Requested <input type="checkbox"/> Off-Site Improvements Provided <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A <input type="checkbox"/> No	

4.0 ADDITIONAL SITE INFORMATION & AGENCY COMMENTS SUMMARY

INFORMATION/REVIEWING AGENCY				
Environmental:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Environmental Protection Commission	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Wetlands on northern and eastern portion of parcel
Natural Resources	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Conservation & Environ. Lands Mgmt.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Check if Applicable: <input checked="" type="checkbox"/> Wetlands/Other Surface Waters <input type="checkbox"/> Use of Environmentally Sensitive Land Credit <input type="checkbox"/> Wellhead Protection Area <input type="checkbox"/> Surface Water Resource Protection Area	<input checked="" type="checkbox"/> Potable Water Wellfield Protection Area <input type="checkbox"/> Significant Wildlife Habitat <input type="checkbox"/> Coastal High Hazard Area <input checked="" type="checkbox"/> Urban/Suburban/Rural Scenic Corridor <input type="checkbox"/> Adjacent to ELAPP property <input checked="" type="checkbox"/> Other: Zone A on the Airport Height Zoning Map			
Public Facilities:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Transportation <input type="checkbox"/> Design Exception/Adm. Variance Requested <input type="checkbox"/> Off-Site Improvements Provided <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	
Service Area/ Water & Wastewater <input checked="" type="checkbox"/> Urban <input checked="" type="checkbox"/> City of Tampa <input type="checkbox"/> Rural <input type="checkbox"/> City of Temple Terrace	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Hillsborough County School Board Adequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input type="checkbox"/> N/A Inadequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Comprehensive Plan:	Comments Received	Findings	Conditions Requested	Additional Information/Comments
Planning Commission <input type="checkbox"/> Meets Locational Criteria <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Locational Criteria Waiver Requested <input type="checkbox"/> Minimum Density Met <input checked="" type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Inconsistent <input checked="" type="checkbox"/> Consistent	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	

5.0 IMPLEMENTATION RECOMMENDATIONS

5.1 Compatibility

The purpose of the rezoning is to allow for the sale of sod to the public. The site is located at 3809 Orient Road, which is 500 feet southeast of the East Martin Luther King Boulevard and Orient Road intersection. The parcel is located in an area comprised of commercial to the north and multi-family residential to the south. To the east is vacant with commercial and Single-Family and Two-Family (Conventional) allowed uses. To the west are commercial uses. The subject parcel borders two FLU categories; Office Commercial-20 (OC-20) to the north and Residential-12 (RES-12) to the south.

The proposed Commercial - Intensive use would have allowed open storage adjacent to the multi-family residential to the south. The open storage of equipment and materials of the business raised compatibility issues/concerns with the neighboring lot. Also, the Residential-12 (RES-12) to the south would be incompatible with most CI uses. In addition, there are traffic concerns due to the proximity of the subject parcel to residential uses.

Notwithstanding the concerns to the south, the area to the north of the parcel zoned PD 92-0056 allows for similar uses also permitted in the Commercial Intensive zoning; such as, recreational vehicle and construction equipment sales and service and automotive service stations. PD 92-0056 also allows agricultural uses such as plant nurseries (wholesale and retail) and truck gardening which is similar to the intended use of the applicant.

The applicant has offered restrictions to mitigate compatibility concerns: 1) The following uses shall be prohibited: open storage, liquor stores, pawn shops, gun ranges, major motor vehicle repair and body work/painting. 2) Those CI zoning district uses (building and structures containing those uses) that are not also permissible in the CG zoning district shall not be permitted within 90 feet of the southern property boundary as that area is within the RES-12 Future Land Use classification. CI uses are not permitted in the RES-12 portion of the property, therefore, the proposed restriction regarding uses within 90 feet of the southern boundary is necessary for compliance with the Hillsborough County Comprehensive Plan. After the submittal of the proposed restrictions by the applicant, the Planning Commission found the proposed use consistent with the Comprehensive Plan. Development Services concurs with that assessment.

Based on the above considerations staff finds the requested CI-R zoning district compatible with the existing zoning and development pattern in the area.

5.2 Recommendation

Approvable, with Restrictions.

As noted, the applicant has offered the following restrictions:

- 1) The following uses shall be prohibited: open storage, liquor stores, pawn shops, gun ranges, major motor vehicle repair and body work/painting.
- 2) Those CI zoning district uses (building and structures containing those uses) that are not also permissible in the CG zoning district shall not be permitted within 90 feet of the southern property boundary as that area is within the RES-12 Future Land Use classification.


APPLICATION NUMBER: RZ-STD 21-0985

ZHM HEARING DATE: October 18, 2021

BOCC LUM MEETING DATE: December 14, 2021

Case Reviewer: Planner Chris Grandlienard

Zoning Administrator Sign Off:


J. Brian Grady
Fri Oct 8 2021 08:27:33

SITE, SUBDIVISION AND BUILDING CONSTRUCTION IN ACCORDANCE WITH HILLSBOROUGH COUNTY SITE DEVELOPMENT PLAN & BUILDING REVIEW AND APPROVAL.

Approval of this re-zoning petition by Hillsborough County does not constitute a guarantee that the project will receive approvals/permits necessary for site development as proposed will be issued, nor does it imply that other required permits needed for site development or building construction are being waived or otherwise approved. The project will be required to comply with the Site Development Plan Review approval process in addition to obtain all necessary building permits for on-site structures.

6.0 FULL TRANSPORTATION REPORT (see following pages)**AGENCY REVIEW COMMENT SHEET****TO:** Zoning Technician, Development Services Department**REVIEWER:** Alex Steady, Senior Planner**PLANNING AREA:** East Lake Orient Park**DATE:** 10/06/2021**AGENCY/DEPT:** Transportation**PETITION NO:** RZ-STD 21-0985

<input type="checkbox"/>	This agency has no comments.
<input checked="" type="checkbox"/>	This agency has no objection.
<input type="checkbox"/>	This agency objects for the reasons set forth below.

REPORT SUMMARY AND CONCLUSIONS

- The proposed rezoning would result in an increase of trips potentially generated by development of the subject site by 4,600 average daily trips, and by 160 trips in the a.m. peak hour. The proposed rezoning would result in a decrease of trips potentially generated by the development of the site by 253 trips in the p.m. peak hour.
- As this is a Euclidean zoning request, access will be reviewed at the time of plat/site/construction plan review for consistency with applicable rules and regulations within the Hillsborough County Land Development Code and Transportation Technical Manual.
- Transportation Review Section staff has no objection to this request.

PROJECT SUMMARY AND ANALYSIS

The applicant is requesting to rezone two parcels totaling +/- 4.74 acres from PD 92-0056, RMC-12, and RDC-12 to Commercial Intensive (CI). The site is located +/- 200 feet south the of the intersection of Dr Martin Luther King Jr Blvd and Orient Rd. The Future Land Use designation of the site is OC-20 and RES-12.

Trip Generation Analysis

In accordance with the Development Review Procedures Manual (DRPM), no transportation analysis was required to process the proposed rezoning. Staff has prepared a comparison of the trips potentially generated under the existing and proposed zoning designations, utilizing a generalized worst-case scenario. Data presented below is based on the Institute of Transportation Engineer's Trip Generation Manual, 10th Edition.

Approved Zoning:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
RMC-12, 11,000 sf Tavern ITE Code (925)	n/a*	n/a*	125
RDC-12, 15,000 sf Adult Care Center (ITE Code 565)	714	165	167
RMC-12 11,000 sf Medical Office (ITE Code 720)	353	31	38
PD 92-0056 35,000 sf Supermarket (ITE Code 850)	3737	134	323
PD 92-0056 5,000 sf Super Convenience Market/Gas Station (ITE Code 960)	4,199	416	346
PD 92-0056, 5,000 sf Bank with Drive Through	500	48	102

(ITE Code 912)			
PD 92-0056, 52,000 sf Medical Office (ITE Code 720)	1,810	145	180
Subtotal:	11,332	939	1,281
Less Internal Capture:	Not Available	32	120
Passerby Trips:	Not Available	14	132
Net External Trips:	11,332	893	1,029

*Daily and AM peak hour trips information is unavailable.

Proposed Zoning:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
CI, 15,000 sf Pharmacy /Drugstore with Drive-Through Window (ITE Code 881)	1,637	58	154
CI, 10,000 sf Fast-Food Restaurant with Drive Through Window (ITE Code 934)	4,710	402	327
CI, 8,000 sf Bank with drive thru (ITE Code 912)	800	76	164
CI, 3,000 sf Coffee Donut Shop with Drive Thru (ITE Code 937)	2,461	267	130
CI, 20,000 sf of Super Market (ITE Code 850)	2,136	76	185
CI, 5,000 sf Super Convenience Market/Gas Station (ITE Code 960)	4,188	416	346
Subtotal:	15,932	1,295	1,306
Less Internal Capture:	Not Available	26	270
Passerby Trips:	Not Available	216	260
Net External Trips:	15,932	1,053	776

Trip Generation Difference:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
Difference	+4,600	+160	-253

The proposed rezoning would result in an increase of trips potentially generated by development of the subject site by 4,600 average daily trips, and by 160 trips in the a.m. peak hour. The proposed rezoning would result in a decrease of trips potentially generated by the development of the site by 253 trips in the p.m. peak hour.

TRANSPORTATION INFRASTRUCTURE SERVING THE SITE

The site has frontage on Orient Rd and Dr Martin Luther King Jr Blvd. Orient Rd is a 2-lane, undivided, collector, Hillsborough County maintained roadway with +/- 11-foot travel lanes. Dr Martin Luther King Jr Blvd. is a 6-lane principal arterial FDOT maintained roadway. Along the project frontage of the subject site, Orient road has a range of the roadway lies within a +/- 109-foot to +/- 85-foot-wide right-of-way and

Dr Martin Luther King Blvd 107 feet and 112 feet of right of way. There are sidewalks on both sides of Orient Rd in the vicinity of the proposed project. There is no bicycle facility on Orient Rd.

Orient Rd is shown on the Hillsborough County Corridor Preservation Plan as a future 4-lane roadway.

SITE ACCESS

It is anticipated pedestrian and vehicular access will be from Orient Rd. and Martin Luther King Blvd. As this is a Euclidean zoning request, access will be reviewed at the time of plat/site/construction plan review for consistency with applicable rules and regulations within the Hillsborough County Land Development Code and Transportation Technical Manual.

LEVEL OF SERVICE (LOS)

Level of Service (LOS) information is reported below.

FDOT Generalized Level of Service				
Roadway	From	To	LOS Standard	Peak Hr Directional LOS
ORIENT RD	SR 60/ ADAMO DR	HILLSBOROUGH AVE	D	D

Source: [2020 Hillsborough County Level of Service \(LOS\) Report](#)

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Hillsborough County City-County Planning Commission

Unincorporated Hillsborough County Rezoning	
Hearing Date: October 18, 2021 Report Prepared: October 6, 2021	Petition: RZ 21-0985 3809 Orient Road <i>South of State Road 574 and east of Orient Road intersection</i>
Summary Data:	
Comprehensive Plan Finding:	CONSISTENT
Adopted Future Land Use:	Office Commercial-20 (Up to 0.75 FAR for office or residential support uses) and Residential-12 (0.25 FAR)
Service Area	Urban
Community Plan:	East Lake Orient Park
Requested Zoning:	Planned Development (PD) and Residential - Multi-Family Conventional (RMC-12) to Commercial Intensive-Restricted (CI-R) to permit a sod sales business
Parcel Size (Approx.):	4.75 acres (206,910 sq. ft)
Street Functional Classification:	State Road 574 – State Principal Arterial Orient Road – Collector
Locational Criteria	Meets
Evacuation Zone	D



Plan Hillsborough
planhillsborough.org
planner@plancom.org
 813 – 272 – 5940
 601 E Kennedy Blvd
 18th floor
 Tampa, FL, 33602

Context

- The approximately 4.75 +/- acre subject site is located in the southeast quadrant of State Road 574 and Orient Road. The subject site is located within the Urban Service Area and is within the limits of the East Lake Orient Park Community Plan.
- The subject site's Future Land Use classification is Office Commercial-20 (OC-20) and Residential-12 (RES-12). Typical uses of OC-20 include community commercial type uses, office uses, mixed use developments, and compatible residential uses. Agricultural uses may be permitted pursuant to policies in the agricultural objective areas of the Future Land Use Element. Typical uses of RES-12 include residential, urban scale neighborhood commercial, office uses, multi-purpose projects and mixed use development. Non-residential uses must meet established locational criteria for each specific land use. Agricultural uses may be permitted pursuant to policies in the agricultural objective areas of the Future Land Use Element.
- OC-20 surrounds the subject site on the north and east. RES-12 is located to the south of the site. Research Corporate Park (RCP) is located to the northwest of the subject site. Residential-9 (RES-9) is located further southeast of the site.
- The subject site is currently vacant residential. The site to the immediate northwest is vacant commercial. Further north across State Road 574, are heavy industrial, vacant commercial, light commercial, public institutional and single-family residential uses. To the west are heavy industrial, single-family residential, light commercial and heavy commercial uses and vacant lots. The property is immediately adjacent to a multi-family residential use on the south and a public institutional use on the east.
- The subject site is currently zoned as Planned Development (PD) and Residential - Multi-Family Conventional (RMC-12). PD zoning is located to the north, west, and east of the site. Residential - Duplex Conventional (RDC-12) zoning is also located east and further south of the site. There is one parcel to the west with Commercial – General (CG) zoning. Further north is Residential - Single-Family Conventional (RSC-6) zoning.
- The applicant is requesting to rezone the subject site from Planned Development (PD) and Residential - Multi-Family Conventional (RMC-12) to Commercial Intensive-Restricted (CI-R) to permit a sod sales business. The applicant is proposing to prohibit the following uses on site: open storage, liquor stores, pawn shops, gun ranges, major motor vehicle repair and body work/painting.

Compliance with Comprehensive Plan:

The following Goals, Objectives, and Policies apply to this rezoning request and are used as a basis for a consistency finding.

Future Land Use Element

Urban Service Area (USA)

Objective 1: Hillsborough County shall pro-actively direct new growth into the urban service area with the goal that at least 80% of all population growth will occur within the USA during the

planning horizon of this Plan. Within the Urban Service Area, Hillsborough County will not impede agriculture. Building permit activity and other similar measures will be used to evaluate this objective.

Policy 1.4: Compatibility is defined as the characteristics of different uses or activities or design which allow them to be located near or adjacent to each other in harmony. Some elements affecting compatibility include the following: height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor and architecture. Compatibility does not mean “the same as.” Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development.

Relationship to Land Development Regulations

Objective 9: All existing and future land development regulations shall be made consistent with the Comprehensive Plan, and all development approvals shall be consistent with those development regulations as per the timeframe provided for within Chapter 163, Florida Statutes. Whenever feasible and consistent with Comprehensive Plan policies, land development regulations shall be designed to provide flexible, alternative solutions to problems.

Policy 9.1: Each land use plan category shall have a set of zoning districts that may be permitted within that land use plan category, and development shall not be approved for zoning that is inconsistent with the plan.

Policy 9.2: Developments must meet or exceed the requirements of all land development regulations as established and adopted by Hillsborough County, the state of Florida and the federal government unless such requirements have been previously waived by those governmental bodies.

Neighborhood/Community Development

Objective 16: Neighborhood Protection The neighborhood is a functional unit of community development. There is a need to protect existing neighborhoods and communities and those that will emerge in the future. To preserve, protect and enhance neighborhoods and communities, all new development must conform to the following policies.

Policy 16.1: Established and planned neighborhoods and communities shall be protected by restricting incompatible land uses through mechanisms such as:

- a) locational criteria for the placement of non-residential uses as identified in this Plan,
- b) limiting commercial development in residential land use categories to neighborhood scale;
- c) requiring buffer areas and screening devices between unlike land uses;

Policy 16.2: Gradual transitions of intensities between different land uses shall be provided for as new development is proposed and approved, through the use of professional site planning, buffering and screening techniques and control of specific land uses.

Policy 16.3: Development and redevelopment shall be integrated with the adjacent land uses through:

- a) the creation of like uses; or
- b) creation of complementary uses; or
- c) mitigation of adverse impacts; and
- d) transportation/pedestrian connections

Policy 16.5: Development of higher intensity non-residential land uses that are adjacent to established neighborhoods shall be restricted to collectors and arterials and to locations external to established and developing neighborhoods.

Policy 16.10: Any density increase shall be compatible with existing, proposed or planned surrounding development. Compatibility is defined as the characteristics of different uses or activities or design which allow them to be located near or adjacent to each other in harmony. Some elements affecting compatibility include the following: height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor and architecture. Compatibility does not mean “the same as”. Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development.

Policy 17.7: New development and redevelopment must mitigate the adverse noise, visual, odor and vibration impacts created by that development upon all adjacent land uses.

Commercial Locational Criteria

Objective 22: To avoid strip commercial development, locational criteria for neighborhood serving commercial uses shall be implemented to scale new commercial development consistent with the character of the areas and to the availability of public facilities and the market.

Policy 22.1: The locational criteria for neighborhood serving non-residential uses in specified land uses categories will:

- provide a means of ensuring appropriate neighborhood serving commercial development without requiring that all neighborhood commercial sites be designated on the Future Land Use Map;
- establish a maximum square footage for each proposed neighborhood serving commercial intersection node to ensure that the scale of neighborhood serving commercial development defined as convenience, neighborhood, and general types of commercial uses, is generally consistent with surrounding residential character; and
- establish maximum frontages for neighborhood serving commercial uses at intersections ensuring that adequate access exists or can be provided.

Policy 22.2: The maximum amount of neighborhood-serving commercial uses permitted in an area shall be consistent with the locational criteria outlined in the table and diagram below. The table identifies the intersection nodes that may be considered for non-residential uses. The locational criteria is based on the land use category of the property and the classification of the intersection of roadways as shown on the adopted Highway Cost Affordable Long Range Transportation Plan. The maximums stated in the table/diagram may not always be achieved, subject to FAR limitations and short range roadway improvements as well as other factors such as land use compatibility and environmental features of the site.

In the review of development applications consideration shall also be given to the present and short-range configuration of the roadways involved. The five year transportation Capital Improvement Program, MPO Transportation Improvement Program or Long Range Transportation Needs Plan shall be used as a guide to phase the development to coincide with the ultimate roadway size as shown on the adopted Long Range Transportation Plan.

Roadways listed in the table as 2 or 4 lane roadways must be shown on the Highway Cost Affordable Long Range Transportation Plan; major local roadways are defined in the definitions section of this element.

At least 75% of the subject property must fall within the specified distance from the intersection. All measurements should begin at the edge of the road right-of-way.

Policy 22.7: Neighborhood commercial activities that serve the daily needs of residents in areas designated for residential development in the Future Land Use Element shall be considered provided that these activities are compatible with surrounding existing and planned residential development and are developed in accordance with applicable development regulations, including phasing to coincide with long range transportation improvements.

The locational criteria outlined in Policy 22.2 are not the only factors to be considered for approval of a neighborhood commercial or office use in a proposed activity center. Considerations involving land use compatibility, adequacy and availability of public services, environmental impacts, adopted service levels of effected roadways and other policies of the Comprehensive Plan and zoning regulations would carry more weight than the locational criteria in the approval of the potential neighborhood commercial use in an activity center. The locational criteria would only designate locations that could be considered, and they in no way guarantee the approval of a particular neighborhood commercial or office use in a possible activity center.

Community Design Component

7.0 SITE DESIGN

7.1 DEVELOPMENT PATTERN

GOAL 17: Develop commercial areas in a manner which enhances the County's character and ambiance.

OBJECTIVE 17-1: Facilitate patterns of site development that appear purposeful and organized.

Policy 17-1.4: Affect the design of new commercial structures to provide an organized and purposeful character for the whole commercial environment.

Livable Communities Element – East Lake Orient Park Community Plan

Vision

The East Lake-Orient Park Community Plan includes a number of vastly diverse communities that provide a variety of residential lifestyles, from highly-urbanized to suburban to rural. Residents are able to choose which intensity of development is most suitable for their needs. Our residential streets are quiet safe and suitable for all lifestyles. New development in our communities does not adversely impact the existing neighborhoods. Residents are actively involved in the development decision making process. Developers meet with community representatives in advance of land use decisions. Commercial activities are compatible with and designed to serve the community. Amenities, such as parks, libraries, public safety facilities, and shopping are

accessible to and adequate for the needs of all residents. Public infrastructure is properly maintained and updated.

Economic Development – Provide opportunities for business growth and jobs in the East Lake-Orient Park community.

- *Establish higher density mixed use employment/activity center as identified along Harney Road adjacent to Davis Road and US 301.*
- *Establish design guidelines and protection of adjacent residential uses prior to granting higher densities in mixed use employment/activity centers.*
- *Business uses are encouraged along US 301 from the Tampa By-Pass Canal to Hillsborough Avenue. Appropriate land use and zoning changes should be allowed to accomplish this strategy.*
- *Create a commercial redevelopment area along 56th Street from the Temple Terrace boundary to Harney Road and along Hillsborough Avenue from 56th Street to Orient Road.*
- *Existing industrial uses and employment should be preserved and protected.*
- *Create a commercial/mixed-use district along Orient Road from Hillsborough Avenue to Columbus Drive.*

Staff Analysis of Goals, Objectives and Policies

The approximately 4.75 +/- acre subject site is located south of State Road 574 and east of Orient Road. The subject site is located within the Urban Service Area and is within the limits of the East Lake Orient Park Community Plan. The applicant is requesting to rezone the subject site from Planned Development (PD) and Residential - Multi-Family Conventional (RMC-12) to Commercial Intensive-Restricted (CI-R) to permit a sod sales business. The applicant is proposing to prohibit the following uses on site: open storage, liquor stores, pawn shops, gun ranges, major motor vehicle repair and body work/painting.

Objective 1 of the Future Land Use Element (FLUE) of the Comprehensive Plan states that 80 percent of population growth will be in the Urban Service Area. According to Policy 1.4 *“Compatibility is defined as the characteristics of different uses or activities or design which allow them to be located near or adjacent to each other in harmony. Some elements affecting compatibility include the following: height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor and architecture. Compatibility does not mean ‘the same as.’ Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development.”*

The surrounding area contains multi-family residential directly to the south and single-family residential to the north, west and east. Placing Commercial Intensive uses next to residential properties presents a compatibility concern. As the proposed rezoning is through a standard zoning district, Planning Commission staff is unable to evaluate a site plan and the placement of each of the uses and how the proposed rezoning would maintain the character of existing development in the surrounding area. In order to address these compatibility concerns, the applicant has agreed to two restrictions. The first restriction is to prohibit the more intense Commercial Intensive zoning uses on site such as open storage and major motor vehicle repair. The second restriction is that the uses allowed in the Commercial Intensive (CI) zoning district (the building and structures containing the uses) that are not permissible within the Commercial General (CG) zoning district will not be permitted within 90 feet of the southern property boundary, since that area is within the

RES-12 Future Land Use classification. This will be documented in the restrictions and is the cornerstone of Planning Commission staff's finding of consistent with the Plan.

The proposed rezoning with these two restrictions does meet the intent of FLUE Policy 1.4 and the neighborhood protection policy direction under FLUE Objective 16 and its accompanying policies (FLUE Policies 16.1, 16.2, 16.3, 16.5, 16.10). Only allowing CG uses on the RES-12 portion of the site allows for a gradual transition of uses and intensities moving from the intersection node to the immediately adjacent multi-family properties south of the site and the single-family residential to the west, north or east. Limiting the CI uses reduces the intensity of commercial uses allowed on site and meets the intent of Policy 17.7 as the restriction will help mitigate for adverse noise, visual, odor and vibration impacts upon all adjacent land uses.

The portion of the subject site located within RES-12 does meet Commercial-Location Criteria per Policy 22.2. At least 75% of the subject site is within the 1000-foot distance from the State Road 574 and Orient Road node. Commercial Location Criteria does not apply to the OC-20 Future Land Use category. The Community Design Component provides policy guidance on the development of commercial areas within Hillsborough County. Goal 17 seeks a unified approach to commercial development, Objective 17-1 and Policy 17-1.4 urges purposeful and organized development of commercial uses. The proposed rezoning with the CI use and location restrictions will allow for a transition of uses to ensure an organized approach to commercial development adjacent to residential properties.

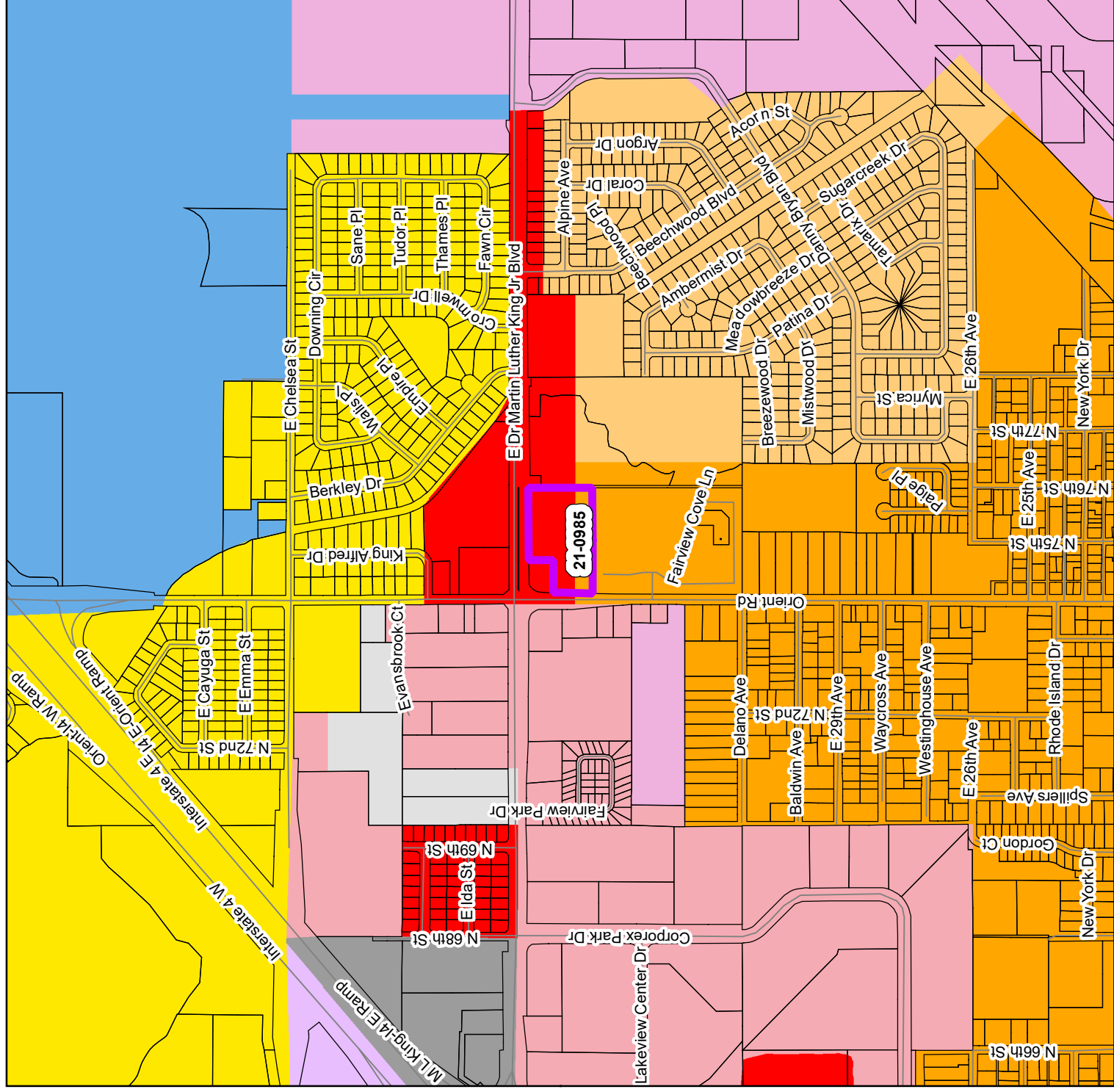
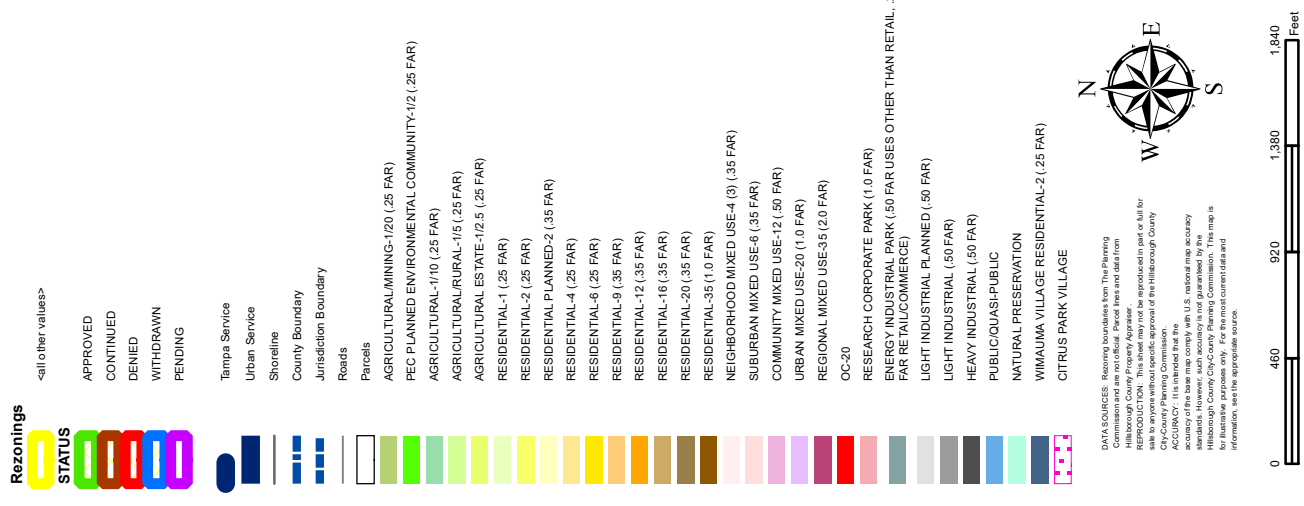
The proposed rezoning meets the intent of the East Lake Orient Park Community Plan. The vision of the plan states that new development in the community must not adversely impact the existing neighborhoods and commercial activities should be compatible and designed to serve the community. The economic development portion of the plan states to create a commercial/mixed-use district along Orient Road from Hillsborough Avenue to Columbus Drive. The proposed development is a commercial use along Orient Road and the proposed restrictions to CI uses permits a development that is compatible with the existing community and does not impact existing neighborhoods. Thus, the subject site meets the intent of the East Lake Orient Park Community Plan.

Overall, Planning Commission staff does not have compatibility concerns with regard to the proposed use and its intensity adjacent to existing residential development given the proposed restrictions. Planning Commission staff finds that the proposed restrictions allow for a gradual transition of intensities and the site does contribute to a development pattern that is consistent with the Goals, Objectives and Policies of the Comprehensive Plan for Unincorporated Hillsborough County.

Recommendation

Based upon the above considerations, the Planning Commission staff finds the proposed rezoning **CONSISTENT** with the *Future of Hillsborough Comprehensive Plan for Unincorporated Hillsborough County*, subject to the two restrictions proposed by the Development Services Department.

**HILLSBOROUGH COUNTY
FUTURE LAND USE
RZ 21-0985**



Rezoning Application: 21-1085
Zoning Hearing Master Date: October 18, 2021
BOCC Land Use Meeting Date: December 14, 2021

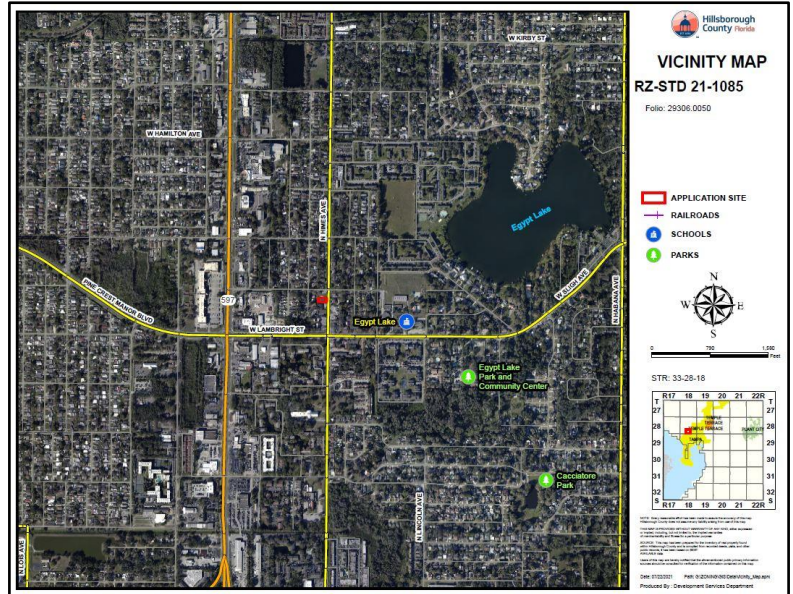


**Hillsborough
County Florida**

Development Services Department

1.0 APPLICATION SUMMARY

Applicant: Jomarcell Nguyen
FLU Category: Residential -20 (Res-20)
Service Area: Urban
Site Acreage: 0.14
Community Plan Area: Egypt Lake
Overlay: None



Introduction Summary:

The request is to rezone from the existing **Business Professional Office (BPO)** and **Residential, Single-Family Conventional-9 (RSC-9)** zoning districts to the proposed to **Residential, Single-Family Conventional-9 (RSC-9)** zoning district. The proposed zoning permits single-family conventional development on lots containing a minimum area of 5,000 square feet (sf).

Zoning:	Existing		Proposed
District(s)	BPO	RSC-9	RSC-9
Typical General Use(s)	Office	Single-Family Residential (Conventional Only)	Single-Family Residential (Conventional Only)
Acreage	0.14		0.14
Density/Intensity	0.20 F.A.R.	1 dwelling unit (du) per 5,000 sf	1 du/ 5,000 sf
Mathematical Maximum*	0.20 F.A.R.	1 dwelling unit	1 dwelling units

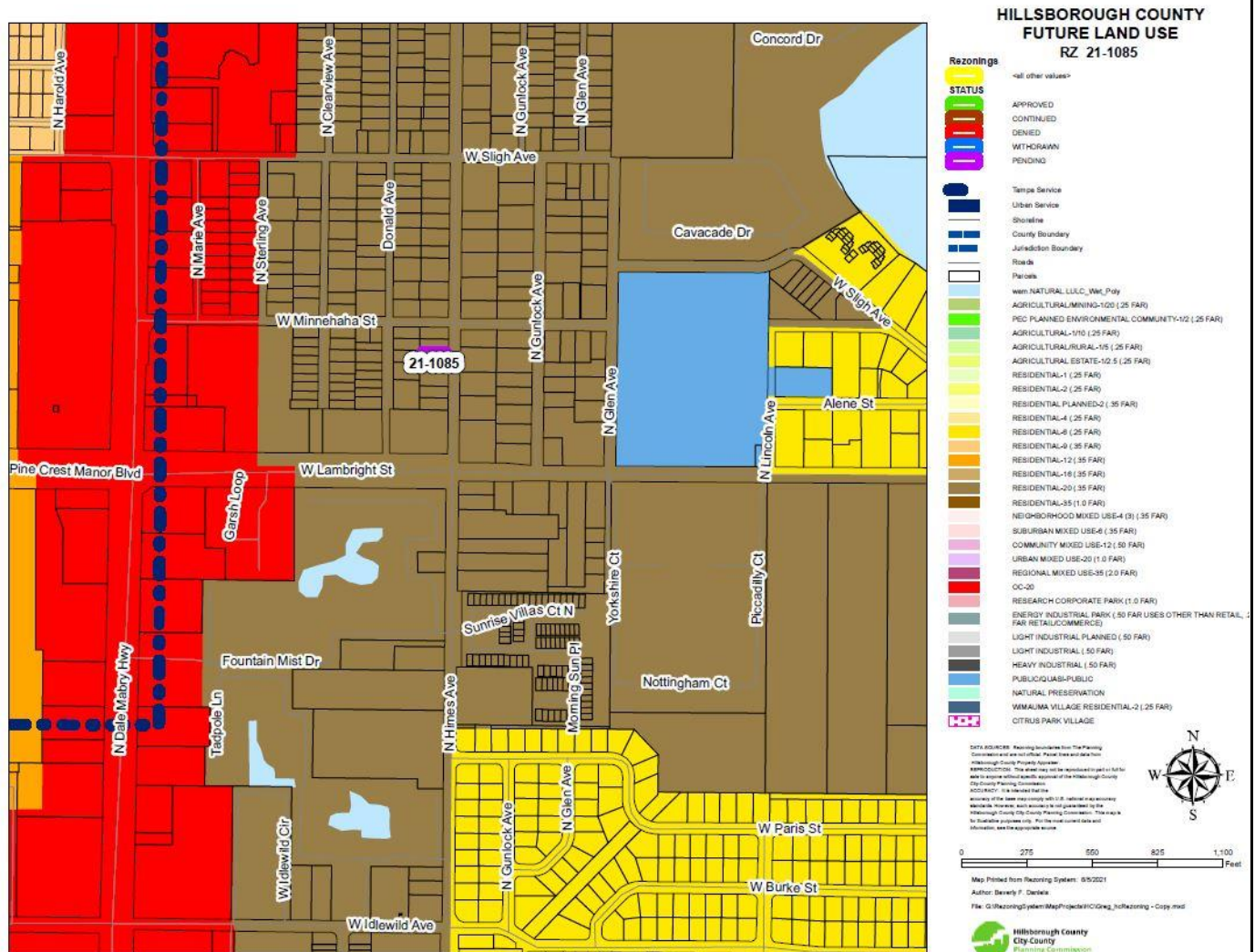
*number represents a pre-development approximation

Development Standards:	Existing		Proposed
District(s)	BPO	RSC-9	RSC-9
Lot Size / Lot Width	7,000 sf / 70 feet	5,000 sf / 50 feet	5,000 sf / 50 feet
Setbacks/Buffering and Screening	30' Front 50' Rear	20' Front 5' Sides 20' Rear	20' Front 5' Sides 20' Rear
Height	50'	35'	35'

Additional Information:

PD Variation(s)	None requested as part of this application
Waiver(s) to the Land Development Code	None requested as part of this application
Planning Commission Recommendation: Consistent	Development Services Recommendation: Approvable

2.2 Future Land Use Map



Subject Site Future Land Use (FLU) Category:	Residential 20 (Res-20)
Maximum Density/F.A.R.:	1 dwelling unit per Gross Acre (ga)/0.35 F.A.R.
Typical Uses:	High density residential development, as well as urban scale neighborhood commercial, office, multi-purpose projects, and mixed-use developments in accordance with the Goals, Objectives and Policies of the Land Use Element and applicable development regulations and locational criteria for specific land use.

Rezoning Application: 21-1085
Zoning Hearing Master Date: October 18, 2021
BOCC Land Use Meeting Date: December 14, 2021

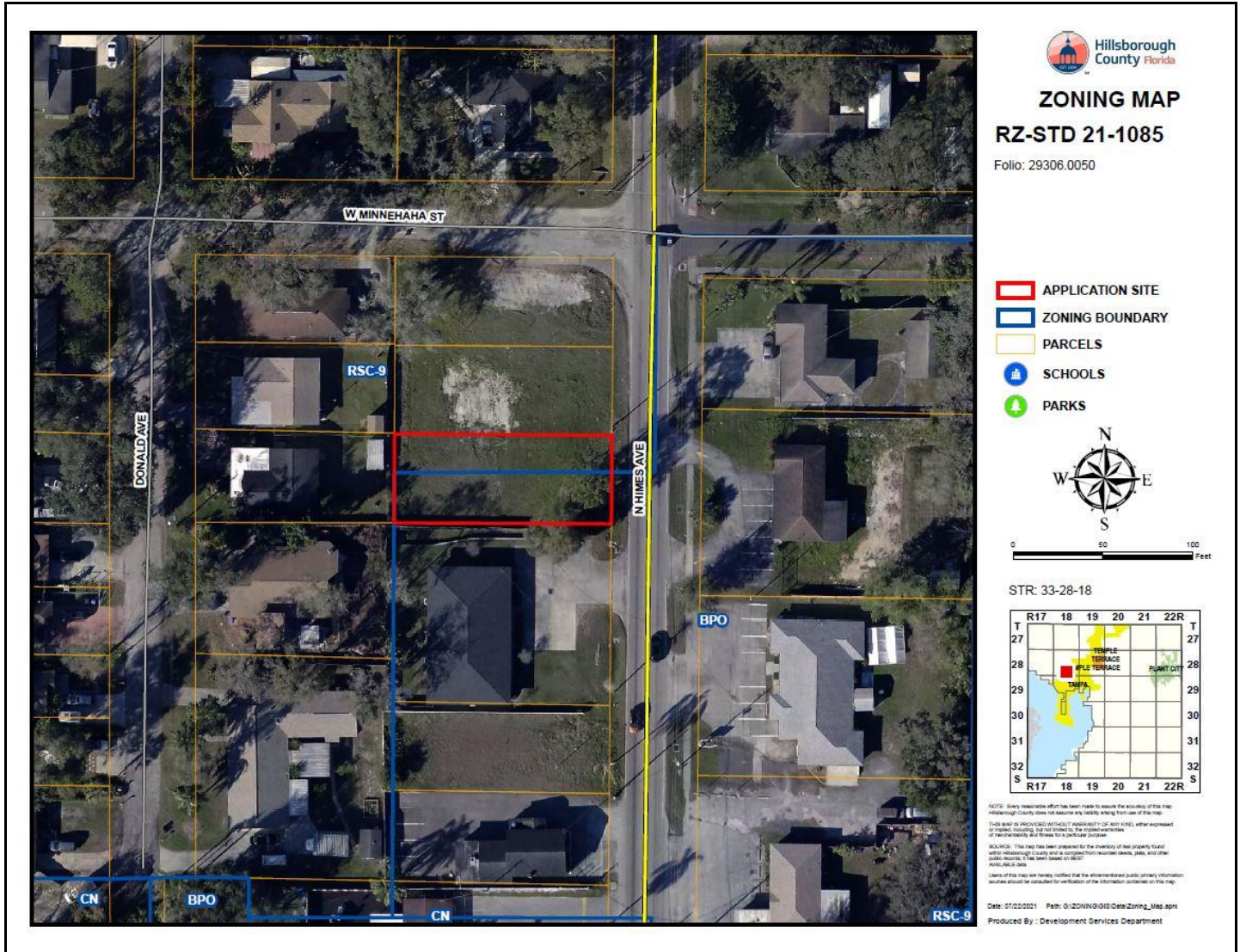


**Hillsborough
County Florida**

Development Services Department

2.0 LAND USE MAP SET AND SUMMARY DATA

2.3 Immediate Area Map



Adjacent Zonings and Uses

Location:	Zoning:	Maximum Density/F.A.R. Permitted by Zoning District:	Allowable Use:	Existing Use:
North	Residential, Single-Family Conventional-9 (RSC-9)	1 du / 5,000 sq. ft	Single-Family Residential (Conventional Only)	Vacant
South	Business Professional Office (BPO)	0.20 F.A.R.	Office	Office

Rezoning Application: 21-1085
Zoning Hearing Master Date: October 18, 2021
BOCC Land Use Meeting Date: December 14, 2021



**Hillsborough
County Florida**

Development Services Department

Adjacent Zonings and Uses				
Location:	Zoning:	Maximum Density/F.A.R. Permitted by Zoning District:	Allowable Use:	Existing Use:
East	Business Professional Office (BPO)	0.20 F.A.R.	Office	Office
West	Residential, Single-Family Conventional-9 (RSC-9)	1 du / 5,000 sq. ft	Single-Family Residential (Conventional Only)	Single-Family Residential

Rezoning Application: 21-1085
Zoning Hearing Master Date: October 18, 2021
BOCC Land Use Meeting Date: December 14, 2021



**Hillsborough
County** Florida

Development Services Department

2.0 LAND USE MAP SET AND SUMMARY DATA

2.4 Proposed Site Plan (partial provided below for size and orientation purposes. See Section 8.0 for full site plan)

Not Applicable

3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)**Adjoining Roadways (check if applicable)**

Road Name	Classification	Current Conditions	Select Future Improvements
N Himes Ave.	County Collector - Urban	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input checked="" type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other

Project Trip Generation ☐ Not applicable for this request

	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	58	7	8
Proposed	9	1	1
Difference (+/-)	-49	-6	-7

*Trips reported are based on net new external trips unless otherwise noted.

Connectivity and Cross Access ☒ Not applicable for this request

Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North		None	None	Meets LDC
South		None	None	Meets LDC
East		None	None	Meets LDC
West		None	None	Meets LDC
Notes:				

Design Exception/Administrative Variance ☒ Not applicable for this request

Road Name/Nature of Request	Type	Finding
	Choose an item.	Choose an item.
	Choose an item.	Choose an item.
Notes:		

4.0 ADDITIONAL SITE INFORMATION & AGENCY COMMENTS SUMMARY

INFORMATION/REVIEWING AGENCY	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Environmental:				
Environmental Protection Commission	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If the zoning proposal changes and/or the site plans are altered, EPC staff will need to review the zoning again.
Natural Resources	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Conservation & Environ. Lands Mgmt.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	This agency has no comments.
Check if Applicable: <div style="display: flex; justify-content: space-between;"> <div> <input type="checkbox"/> Wetlands/Other Surface Waters <input type="checkbox"/> Use of Environmentally Sensitive Land Credit <input type="checkbox"/> Wellhead Protection Area <input type="checkbox"/> Surface Water Resource Protection Area </div> <div> <input checked="" type="checkbox"/> Potable Water Wellfield Protection Area <input type="checkbox"/> Significant Wildlife Habitat <input type="checkbox"/> Coastal High Hazard Area <input checked="" type="checkbox"/> Urban/Suburban/Rural Scenic Corridor <input type="checkbox"/> Adjacent to ELAPP property <input type="checkbox"/> Other _____ </div> </div>				
Public Facilities:				
Transportation				
<input type="checkbox"/> Design Exc./Adm. Variance Requested	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
<input type="checkbox"/> Off-site Improvements Provided <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> N/A	<input type="checkbox"/> N/A	<input checked="" type="checkbox"/> N/A	
Service Area/ Water & Wastewater				
<input checked="" type="checkbox"/> Urban <input checked="" type="checkbox"/> City of Tampa	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<input type="checkbox"/> Rural <input type="checkbox"/> City of Temple Terrace				
Hillsborough County School Board				
Adequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Inadequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input type="checkbox"/> N/A				
Impact/Mobility Fees: No Comments Provided.				
Comprehensive Plan:				
Planning Commission				
<input type="checkbox"/> Meets Locational Criteria <input checked="" type="checkbox"/> N/A				
<input type="checkbox"/> Locational Criteria Waiver Requested	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Inconsistent <input checked="" type="checkbox"/> Consistent	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<input type="checkbox"/> Minimum Density Met <input checked="" type="checkbox"/> N/A				
<input type="checkbox"/> Density Bonus Requested				
<input checked="" type="checkbox"/> Consistent <input type="checkbox"/> Inconsistent				

5.0 IMPLEMENTATION RECOMMENDATIONS

5.1 Compatibility

The site is located in an area comprised of single-family residential, office and neighborhood-commercial type uses. The subject site is surrounded by Res-20 FLU category which permits single-family residential, office and neighborhood-commercial uses.

The site is adjacent to properties with similar zoning district designations. The properties to the immediate north and east are zoned (BPO) Business Professional; and (RSC-9) Residential, Single-Family Conventional-9 (to the north and west).

The size and depth of the subject parcel in relation to other adjacent office, neighborhood-commercial and residential uses would create a zoning/development pattern that is consistent with the existing zoning and development pattern of the agricultural and residential uses/zoning districts in the area.

The site is located within the City of Tampa 's Water and Wastewater Service Area; therefore, the subject property should be served by the City of Tampa


5.2 Recommendation

Based on the above considerations, staff finds the proposed RSC-9 zoning district is compatible with the existing zoning districts and development pattern in the area.

6.0 PROPOSED CONDITIONS

N/A

Zoning Administrator Sign Off:


J. Brian Grady
Wed Oct 6 2021 13:43:22

SITE, SUBDIVISION AND BUILDING CONSTRUCTION IN ACCORDANCE WITH HILLSBOROUGH COUNTY SITE DEVELOPMENT PLAN & BUILDING REVIEW AND APPROVAL.

Approval of this re-zoning petition by Hillsborough County does not constitute a guarantee that the project will receive approvals/permits necessary for site development as proposed will be issued, nor does it imply that other required permits needed for site development or building construction are being waived or otherwise approved. The project will be required to comply with the Site Development Plan Review approval process in addition to obtain all necessary building permits for on-site structures.

7.0 ADDITIONAL INFORMATION AND/OR GRAPHICS

N/A

8.0 PROPOSED SITE PLAN (FULL)

Not Applicable

9.0 FULL TRANSPORTATION REPORT (see following pages)**AGENCY REVIEW COMMENT SHEET**TO: Zoning Technician, Development Services Department
REVIEWER: Alex Steady, Senior Planner
PLANNING AREA/SECTOR: Egypt Lake/NorthwestDATE: 10/05/2021
AGENCY/DEPT: Transportation
PETITION NO: STD 21-1085

- ☐ This agency has no comments.
- ☒ **This agency has no objection.**
- ☐ This agency objects for the reasons set forth below.

REPORT SUMMARY AND CONCLUSIONS

- The proposed rezoning would result in a decrease of trips potentially generated by development of the subject site by 49 average daily trips, 6 trips in the a.m. peak hour, and 7 trips in the p.m. peak hour.
- As this is a Euclidean zoning request, access will be reviewed at the time of plat/site/construction plan review for consistency with applicable rules and regulations within the Hillsborough County Land Development Code and Transportation Technical Manual.
- Transportation Review Section staff has no objection to this request.

PROJECT SUMMARY AND ANALYSIS

The applicant is requesting to rezone one parcel totaling +/- 0.14 acres from BPO and RSC-9 to RSC-9. The site is located +/- 115 feet south the of the intersection of Minnehaha St and Himes Ave. The Future Land Use designation of the site is RES-20.

Trip Generation Analysis

In accordance with the Development Review Procedures Manual (DRPM), no transportation analysis was required to process the proposed rezoning. Staff has prepared a comparison of the trips potentially generated under the existing and proposed zoning designations, utilizing a generalized worst-case scenario. Data presented below is based on the Institute of Transportation Engineer's Trip Generation Manual, 10th Edition.

Approved Zoning:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
BPO 3,000 sf Small Office Building (ITE Code 712)	49	6	7
RSC-9, 1 Single Family Detached Dwelling Unit (ITE Code 210)	9	1	1
Total	58	7	8

Proposed Zoning:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
RSC-9, 1 Single Family Detached Dwelling Unit (ITE Code 210)	9	1	1

Trip Generation Difference:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
Difference	-49	-6	-7

The proposed rezoning would result in a decrease of trips potentially generated by development of the subject site by 49 average daily trips, 6 trips in the a.m. peak hour, and 7 trips in the p.m. peak hour.

TRANSPORTATION INFRASTRUCTURE SERVING THE SITE

The site has frontage on N Himes Ave. N Himes Ave is a 2-lane, undivided, collector, substandard, Hillsborough County maintained roadway with +/- 10-foot travel lanes. Along the project frontage of the subject site, Himes Ave lies within a +/- 77-foot-wide right-of-way. There are no sidewalks on the East side of Himes Ave and no bike lanes in the vicinity of the proposed project.

Himes Ave is shown on the Hillsborough County Corridor Preservation Plan as a future 4-lane roadway.

SITE ACCESS

It is anticipated pedestrian and vehicular access will be from Himes Ave. As this is a Euclidean zoning request, access will be reviewed at the time of plat/site/construction plan review for consistency with applicable rules and regulations within the Hillsborough County Land Development Code and Transportation Technical Manual.

LEVEL OF SERVICE (LOS)

Level of Service (LOS) information is reported below.

FDOT Generalized Level of Service				
Roadway	From	To	LOS Standard	Peak Hr Directional LOS
HIMES AVE	CITY LIMITS	BUSCH BLVD	E	D

Source: [2020 Hillsborough County Level of Service \(LOS\) Report](#)

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Hillsborough County City-County Planning Commission

Unincorporated Hillsborough County Rezoning	
Hearing Date: October 18, 2021 Report Prepared: October 6, 2021	Petition: RZ 21-1085 <i>West of North Himes Avenue and south of West Minnehaha Street</i>
Summary Data:	
Comprehensive Plan Finding:	CONSISTENT
Adopted Future Land Use:	Residential-20 (20 du/ga; 0.75 FAR)
Service Area:	Urban
Community Plan:	None
Requested Zoning:	Business - Professional Office (BPO) and Residential - Single-Family Conventional-9 (RSC-9) to Residential - Single-Family Conventional-9 (RSC-9)
Parcel Size (Approx.):	0.14 +/- acres (6,098 square feet)
Street Functional Classification:	N Himes Avenue – County Arterial W Minnehaha Street – Local
Locational Criteria:	N/A
Evacuation Area:	None



Plan Hillsborough
planhillsborough.org
planner@plancom.org
 813 – 272 – 5940
 601 E Kennedy Blvd
 18th floor
 Tampa, FL, 33602

Context

- The subject property is located on 0.14 acres immediately west of North Himes Avenue and south of West Minnehaha Street. The subject property is located within the Urban Service Area and is not within the limits of a Community Plan.
- The subject property is designated as Residential-20 (RES-20) on the Future Land Use Map. RES-20 surrounds the subject property on all sides. Typical uses in this category include Residential, neighborhood commercial, office uses, multi-purpose projects and mixed use developments. Non-residential uses are required to meet locational criteria for specific land use projects. Agricultural uses may be permitted pursuant to policies in the agricultural objective areas of the Future Land Use Element.
- The subject property is currently classified as vacant residential. The property is currently zoned Business - Professional Office (BPO) and Residential - Single-Family Conventional (RSC-9). Immediately to the north and west of the subject property are single-family lots and vacant parcels residential zoned RSC-9. Light commercial lots zoned BPO are located immediately east across North Himes Avenue. Light commercial and vacant commercial lots zoned BPO are located south. Further south is the Paradise Learning Center zoned BPO. Overall, the area is a mixture of single family and vacant residential lots and light commercial with vacant and office building uses.
- The application requests to rezone the subject property from Business - Professional Office (BPO) and Residential - Single-Family Conventional-9 (RSC-9) to Residential - Single-Family Conventional-9 (RSC-9) to allow for a 3,000 sq. ft. two-story single family residential home.

Compliance with Comprehensive Plan:

The following Goals, Objectives and Policies apply to this rezoning request and are used as a basis for a consistency finding.

Future Land Use Element

Urban Service Area Boundary

This boundary is established to designate on the Future Land Use Map the location for urban level development in the County. The boundary shall serve as a means to provide an efficient use of land and public and private investment, and to contain urban sprawl.

Urban Service Area (USA)

Objective 1: Hillsborough County shall pro-actively direct new growth into the urban service area with the goal that at least 80% of all population growth will occur within the USA during the planning horizon of this Plan. Within the Urban Service Area, Hillsborough County will not impede agriculture. Building permit activity and other similar measures will be used to evaluate this objective.

Policy 1.2: Minimum Density

All new residential or mixed use land use categories within the USA shall have a density of 4 du/ga or greater unless environmental features or existing development patterns do not support those densities.

Within the USA and in categories allowing 4 units per acre or greater, new development or redevelopment shall occur at a density of at least 75% of the allowable density of the land use category, unless the development meets the criteria of Policy 1.3.

Policy 1.3:

Within the USA and within land use categories permitting 4 du/ga or greater, new rezoning approvals for residential development of less than 75% of the allowable density of the land use category will be permitted only in cases where one or more of the following criteria are found to be met:

- *Development at a density of 75% of the category or greater would not be compatible (as defined in Policy 1.4) and would adversely impact with the existing development pattern within a 1,000 foot radius of the proposed development;*
- *Infrastructure (Including but not limited to water, sewer, stormwater and transportation) is not planned or programmed to support development.*
- *Development would have an adverse impact on environmental features on the site or adjacent to the property.*
- *The site is located in the Coastal High Hazard Area.*
- *The rezoning is restricted to agricultural uses and would not permit the further subdivision for residential lots.*

Policy 1.4: *Compatibility is defined as the characteristics of different uses or activities or design which allow them to be located near or adjacent to each other in harmony. Some elements affecting compatibility include the following: height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor and architecture. Compatibility does not mean “the same as.” Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development.*

Neighborhood/Community Development

Objective 16: Neighborhood Protection *The neighborhood is a functional unit of community development. There is a need to protect existing neighborhoods and communities and those that will emerge in the future. To preserve, protect and enhance neighborhoods and communities, all new development must conform to the following policies.*

Policy 16.1: *Established and planned neighborhoods and communities shall be protected by restricting incompatible land uses through mechanisms such as:*

- a) locational criteria for the placement of non-residential uses as identified in this Plan,
- b) limiting commercial development in residential land use categories to neighborhood scale;
- c) requiring buffer areas and screening devices between unlike land uses;

Policy 16.2: Gradual transitions of intensities between different land uses shall be provided for as new development is proposed and approved, through the use of professional site planning, buffering and screening techniques and control of specific land uses.

Policy 16.3: Development and redevelopment shall be integrated with the adjacent land uses through:

- a) the creation of like uses; or
- b) creation of complementary uses; or
- c) mitigation of adverse impacts; and
- d) transportation/pedestrian connections

Policy 16.8: The overall density and lot sizes of new residential projects shall reflect the character of the surrounding area, recognizing the choice of lifestyles described in this Plan.

Policy 16.10: Any density increase shall be compatible with existing, proposed, or planned surrounding development. Compatibility is defined as the characteristics of different uses or activities or design which allow them to be located near or adjacent to each other in harmony. Some elements affecting compatibility include the following: height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor and architecture. Compatibility does not mean “the same as.” Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development.

Staff Analysis of Goals Objectives and Policies:

The application requests to rezone the subject property from Business - Professional Office (BPO) and Residential - Single-Family Conventional-9 (RSC-9) to Residential - Single-Family Conventional-9 (RSC-9) to allow for a 3,000 sq. ft. two-story single family residential home. The site has split zoning and the applicant would like to rezone the entire property to RSC-9. This zoning district is consistent with the Residential-20 (RES-20) Future Land Use classification. The area is a combination of single-family lots, vacant residential and light commercial, which are compatible with the applicant’s request. The existing land uses are complementary to the proposed development and meet the intent of Policy 16.3, 16.8 and 16.10. The request is consistent with Future Land Use Element (FLUE) Policy 1.4, as the subject property is in the Urban Service Area and will provide a height, scale and mass that is compatible with adjacent residential and commercial uses.

Policy 1.2 states that new development in the Urban Service Area is required to meet a minimum density of at least 75% of the allowable density of the land use category unless the development meets the criteria of Policy 1.3. The +/- 0.14-acre subject property has a minimum density requirement of two dwelling units. The applicant is only proposing one single-family residential home. However, per Policy 1.3, the minimum density requirement can be waived if the Development at a density of 75% of the category or greater would not be compatible and would adversely impact with the existing development pattern within a 1,000 foot radius of the proposed development. The subject property is surrounded by single-family residential homes on small lots. Adding additional units to the 0.14 acre

property wouldn't be representative of the historical pattern of development surrounding the parcel. Based on this, the subject property qualifies for the exception per Policy 1.3.

Overall, the rezoning would allow for development that is consistent with the Goals, Objectives and Policies of the Future Land Use Element of the *Unincorporated Hillsborough County Comprehensive Plan* and is compatible with the existing development pattern found within the surrounding area. Planning Commission staff finds the request would encourage development that complements the surrounding character of the area.

Recommendation

Based upon the above considerations, Planning Commission staff finds the proposed rezoning **CONSISTENT** with the *Future of Hillsborough Comprehensive Plan for Unincorporated Hillsborough County*.

Rezoning Application: 21-1099
Zoning Hearing Master Date: October 18, 2021
BOCC Land Use Meeting Date: December 14, 2021

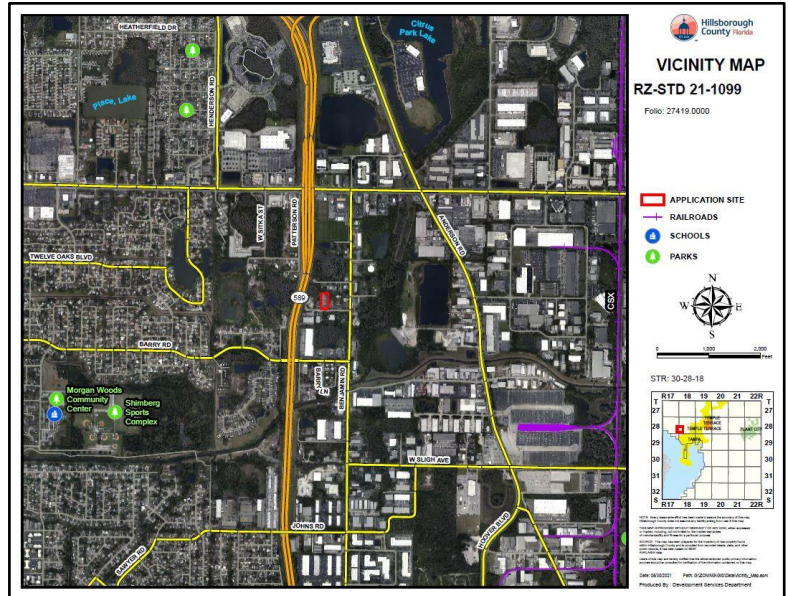


**Hillsborough
County Florida**

Development Services Department

1.0 APPLICATION SUMMARY

Applicant: RU Property Management Group, LLC
FLU Category: Light Industrial (LI)
Service Area: Urban
Site Acreage: 0.97
Community Plan Area: Town N' Country
Overlay: None



Introduction Summary:

The request is to rezone from the existing **Agricultural Industrial (AI)** zoning district to the proposed to **Manufacturing (M)** zoning district. The proposed zoning for M permits manufacturing, processing or assembling uses, intensive commercial uses and other industrial uses.

Zoning:	Existing	Proposed
District(s)	AI	M
Typical General Use(s)	Agricultural	Industrial/Manufacturing
Acreage	0.97	0.97
Density/Intensity	Not Applicable (N/A)	0.75 Floor Area Ratio (F.A.R.)
Mathematical Maximum*	N/A	31,689 square feet

*number represents a pre-development approximation

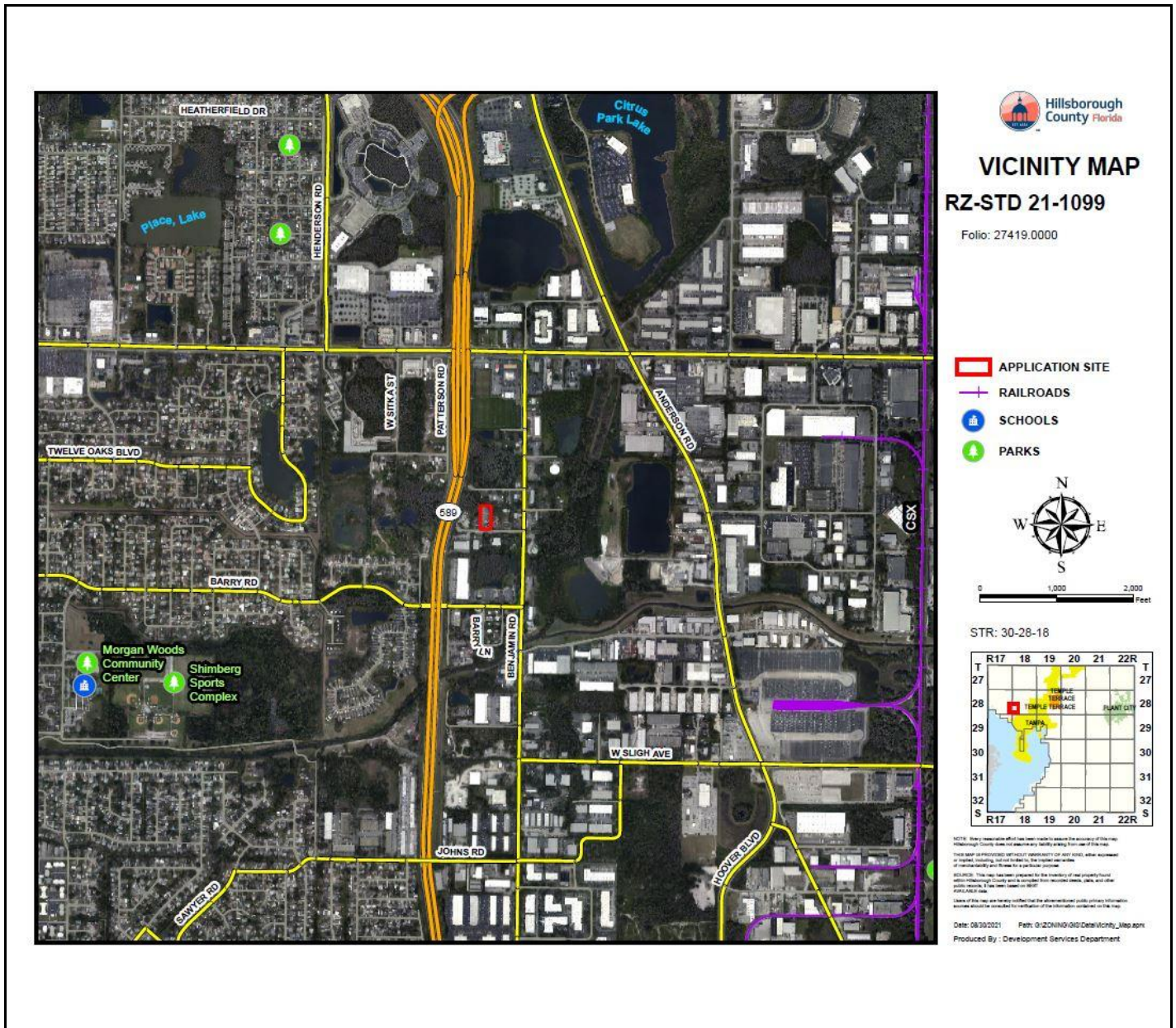
Development Standards:	Existing	Proposed
District(s)	AI	M
Lot Size / Lot Width	43,560 square feet (sf)/ 150 feet	20,000 sf/ 100'
Setbacks/Buffering and Screening	50' Front 15' Sides 50' Rear	30' – Front/ South 0' – Sides – West and East Boundaries 0' – Rear/ North
Height	50'	70'

Additional Information:

PD Variation(s)	None requested as part of this application
Waiver(s) to the Land Development Code	None requested as part of this application
Planning Commission Recommendation: Consistent	Development Services Recommendation: Approvable

2.0 LAND USE MAP SET AND SUMMARY DATA

2.1 Vicinity Map



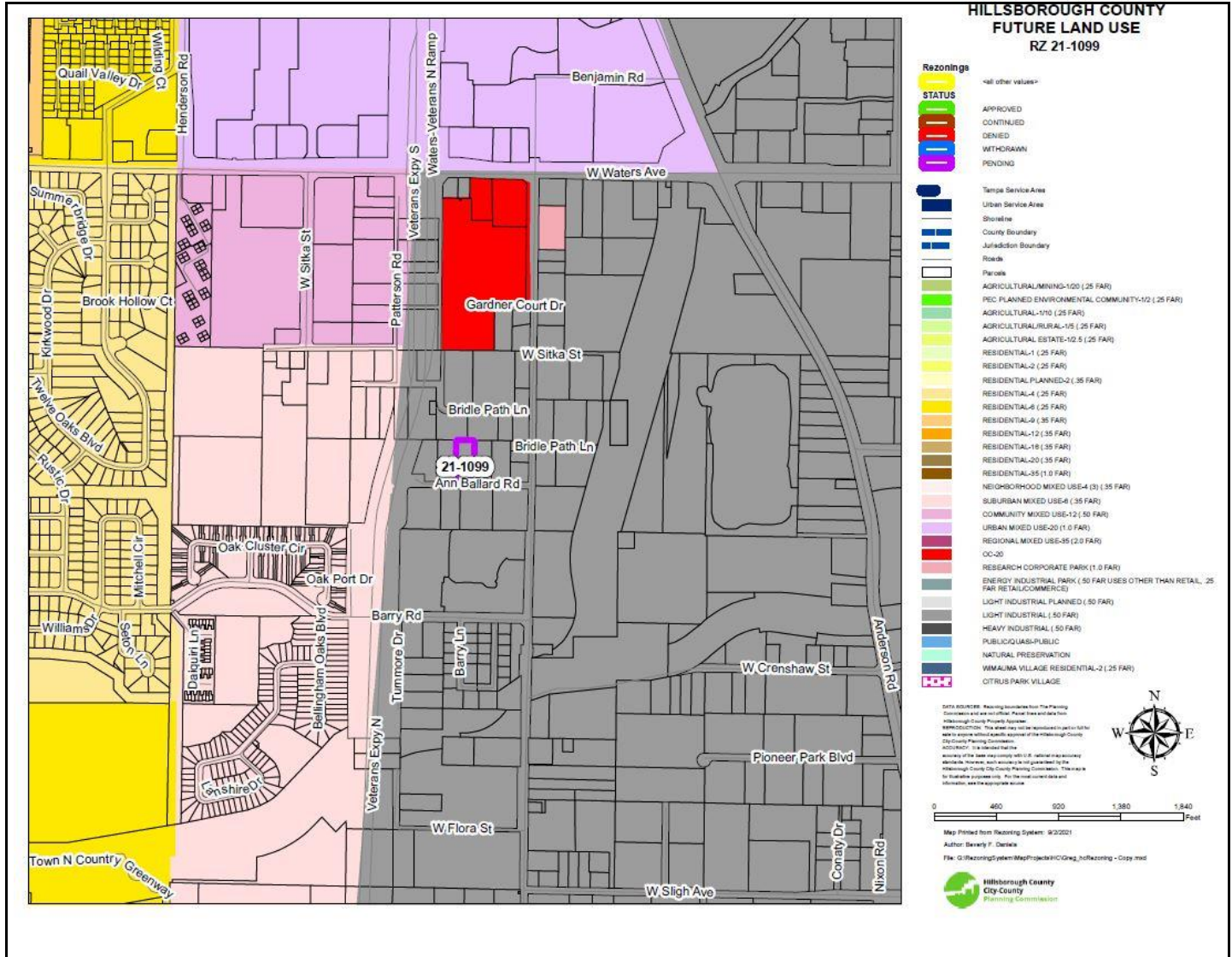
Context of Surrounding Area:

The site is surrounded by commercial, industrial, office and neighborhood-commercial type uses. The subject site is surrounded by Light Industrial (LI) Future Land Use (FLU) categories which permits which has the potential to permit light industrial, commercial, office, neighborhood-commercial and multi-purpose uses. The adjacent properties are zoned (M) Manufacturing (to the north, south and east); and (PD) Planned Development 89-0018 (to the west).

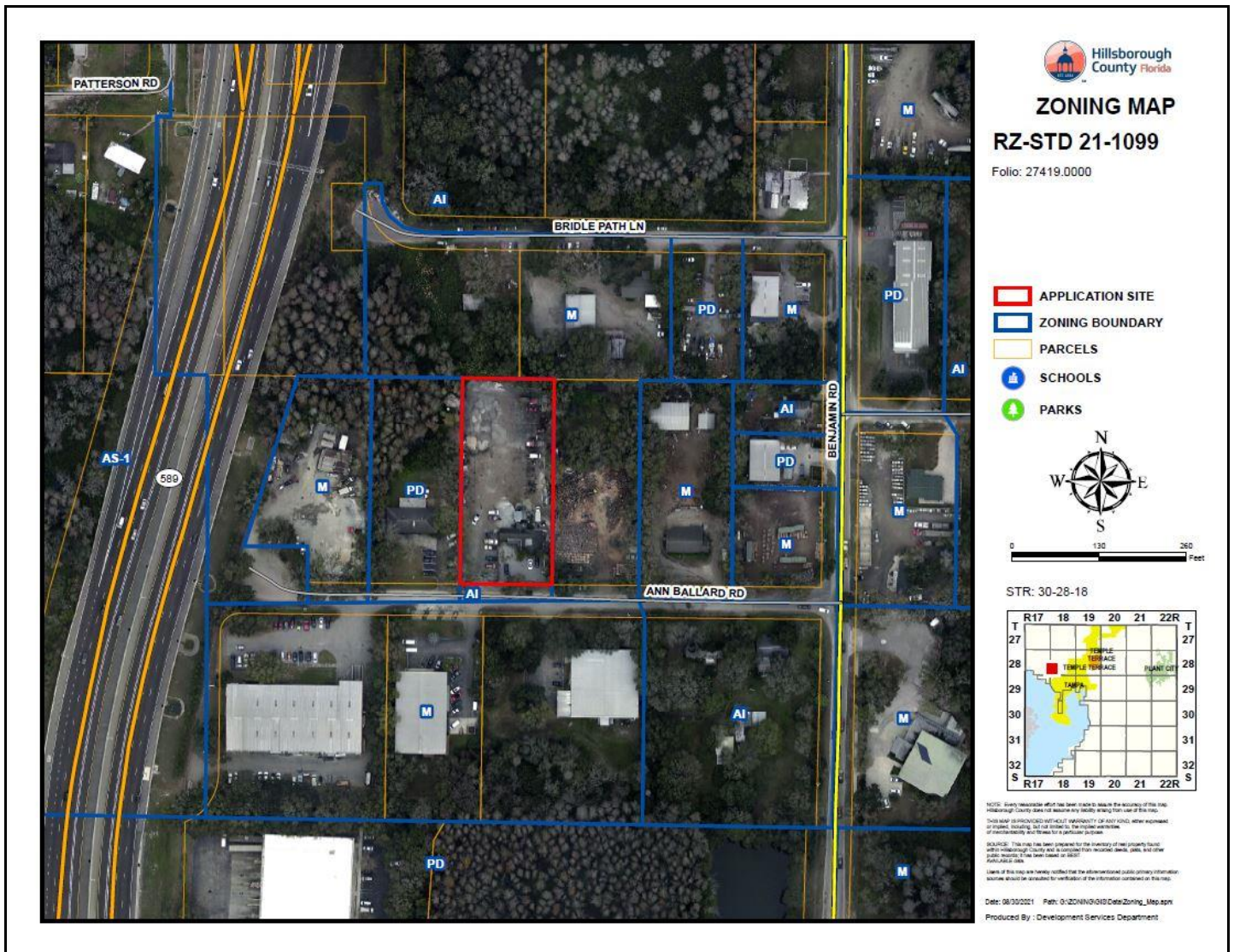


2.0 LAND USE MAP SET AND SUMMARY DATA

2.2 Future Land Use Map



Subject Site Future Land Use (FLU) Category:	Light Industrial (LI)
Maximum Density/F.A.R.:	0.75 F.A.R.
Typical Uses:	Processing, manufacturing and assembly of materials including food products, storage, furniture or apparel manufacturing, packaging plants, wholesaling, storage of non-hazardous materials, offices, research/corporate parks as the predominant uses and subordinate uses or services such as hotels, motels, restaurants, rural scale retail establishments, and recreational facilities. Rural scale neighborhood commercial uses pursuant to locational criteria in accordance with the Goals, Objectives and Policies of the Land Use Element and applicable development regulations and locational criteria for specific land use.

2.0 LAND USE MAP SET AND SUMMARY DATA**2.3 Immediate Area Map****Adjacent Zonings and Uses**

Location:	Zoning:	Maximum Density/F.A.R. Permitted by Zoning District:	Allowable Use:	Existing Use:
North	M	0.75 F.A.R.	Industrial/Manufacturing	Office
South	M	0.75 F.A.R.	Industrial/Manufacturing	Office

Rezoning Application: 21-1099
Zoning Hearing Master Date: October 18, 2021
BOCC Land Use Meeting Date: December 14, 2021



**Hillsborough
County Florida**

Development Services Department

Adjacent Zonings and Uses				
Location:	Zoning:	Maximum Density/F.A.R. Permitted by Zoning District:	Allowable Use:	Existing Use:
East	M	0.75 F.A.R.	Office	Vacant
West	PD 89-0018	0.75 F.A.R.	General Commercial, Office and Personal Services	Office

Rezoning Application: 21-1099
Zoning Hearing Master Date: October 18, 2021
BOCC Land Use Meeting Date: December 14, 2021



**Hillsborough
County Florida**

Development Services Department

2.0 LAND USE MAP SET AND SUMMARY DATA

2.4 Proposed Site Plan (partial provided below for size and orientation purposes. See Section 8.0 for full site plan)

Not Applicable

3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)**Adjoining Roadways (check if applicable)**

Road Name	Classification	Current Conditions	Select Future Improvements
Ann Ballard Rd.	County Local - Urban	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other

Project Trip Generation ☐ Not applicable for this request

	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	1,209	74	161
Proposed	123	19	21
Difference (+/-)	-1,086	-55	-140

*Trips reported are based on net new external trips unless otherwise noted.

Connectivity and Cross Access ☒ Not applicable for this request

Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North		None	None	Meets LDC
South		None	None	Meets LDC
East		None	None	Meets LDC
West		None	None	Meets LDC

Notes:

Design Exception/Administrative Variance ☒ Not applicable for this request

Road Name/Nature of Request	Type	Finding
	Choose an item.	Choose an item.
	Choose an item.	Choose an item.

Notes:

4.0 ADDITIONAL SITE INFORMATION & AGENCY COMMENTS SUMMARY

INFORMATION/REVIEWING AGENCY	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Environmental:				
Environmental Protection Commission	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If the zoning proposal changes and/or the site plans are altered, EPC staff will need to review the zoning again.
Natural Resources	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Conservation & Environ. Lands Mgmt.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	This agency has no comments.
Check if Applicable: <div style="display: flex; justify-content: space-between;"> <div> <input checked="" type="checkbox"/> Wetlands/Other Surface Waters <input type="checkbox"/> Use of Environmentally Sensitive Land Credit <input type="checkbox"/> Wellhead Protection Area <input type="checkbox"/> Surface Water Resource Protection Area </div> <div> <input type="checkbox"/> Potable Water Wellfield Protection Area <input type="checkbox"/> Significant Wildlife Habitat <input type="checkbox"/> Coastal High Hazard Area <input type="checkbox"/> Urban/Suburban/Rural Scenic Corridor <input type="checkbox"/> Adjacent to ELAPP property <input type="checkbox"/> Other _____ </div> </div>				
Public Facilities:				
Transportation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	
Service Area/ Water & Wastewater	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<input type="checkbox"/> Design Exc./Adm. Variance Requested <input type="checkbox"/> Off-site Improvements Provided	<input checked="" type="checkbox"/> N/A			
<input checked="" type="checkbox"/> Urban <input checked="" type="checkbox"/> City of Tampa <input type="checkbox"/> Rural <input type="checkbox"/> City of Temple Terrace				
Hillsborough County School Board	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Adequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input type="checkbox"/> N/A Inadequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input type="checkbox"/> N/A				
Impact/Mobility Fees: No Comments Provided.				
Comprehensive Plan:				
Planning Commission				
<input type="checkbox"/> Meets Locational Criteria <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Locational Criteria Waiver Requested <input type="checkbox"/> Minimum Density Met <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Density Bonus Requested <input checked="" type="checkbox"/> Consistent <input type="checkbox"/> Inconsistent	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Inconsistent <input checked="" type="checkbox"/> Consistent	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

5.0 IMPLEMENTATION RECOMMENDATIONS**5.1 Compatibility**

The site is surrounded by commercial, industrial, office and neighborhood-commercial type uses. The subject site is surrounded by Light Industrial (LI) Future Land Use (FLU) categories which permits which has the potential to permit light industrial, commercial, office, neighborhood-commercial and multi-purpose uses.

The adjacent properties are zoned (M) Manufacturing (to the north, south and east); and (PD) Planned Development 89-0018 (to the west).

The size and depth of the subject parcel in relation to other adjacent office, neighborhood-commercial and residential uses would create a zoning/development pattern that is consistent with the existing zoning and development pattern of the agricultural and residential uses/zoning districts in the area.

The site is located within the County's Wastewater Service Area; and located in with the City of Tampa's Water Service Area. Respectively, the subject property will be served by the City of Tampa for Water and The County for Wastewater.


5.2 Recommendation

Based on the above considerations, staff finds the proposed **M** zoning district is compatible with the existing zoning districts and development pattern in the area.

6.0 PROPOSED CONDITIONS

N/A

Zoning Administrator Sign Off:


J. Brian Grady
Wed Oct 6 2021 13:48:38
SITE, SUBDIVISION AND BUILDING CONSTRUCTION IN ACCORDANCE WITH HILLSBOROUGH COUNTY SITE DEVELOPMENT PLAN & BUILDING REVIEW AND APPROVAL.

Approval of this re-zoning petition by Hillsborough County does not constitute a guarantee that the project will receive approvals/permits necessary for site development as proposed will be issued, nor does it imply that other required permits needed for site development or building construction are being waived or otherwise approved. The project will be required to comply with the Site Development Plan Review approval process in addition to obtain all necessary building permits for on-site structures.

7.0 ADDITIONAL INFORMATION AND/OR GRAPHICS

N/A

8.0 PROPOSED SITE PLAN (FULL)

Not Applicable

9.0 FULL TRANSPORTATION REPORT (see following pages)**AGENCY REVIEW COMMENT SHEET**

TO: Zoning Technician, Development Services Department
 REVIEWER: Alex Steady, Senior Planner
 PLANNING AREA/SECTOR: Town and Country/ Northwest

DATE: 10/05/2021
 AGENCY/DEPT: Transportation
 PETITION NO: STD 21-1099

<input type="checkbox"/>	This agency has no comments.
<input checked="" type="checkbox"/>	This agency has no objection.
<input type="checkbox"/>	This agency objects for the reasons set forth below.

REPORT SUMMARY AND CONCLUSIONS

- The proposed rezoning would result in a decrease of trips potentially generated by development of the subject site by 1,086 average daily trips, 55 trips in the a.m. peak hour, and 140 trips in the p.m. peak hour.
- As this is a Euclidean zoning request, access will be reviewed at the time of plat/site/construction plan review for consistency with applicable rules and regulations within the Hillsborough County Land Development Code and Transportation Technical Manual.
- Transportation Review Section staff has no objection to this request.

PROJECT SUMMARY AND ANALYSIS

The applicant is requesting to rezone a parcel totaling +/- 0.96 acres from Agricultural Industrial (AI) to Manufacturing (M). The site is located +/- 432 feet west of the intersection of Ann Ballard Rd. and Benjamin Rd. The Future Land Use designation of the site is LI.

Trip Generation Analysis

In accordance with the Development Review Procedures Manual (DRPM), no transportation analysis was required to process the proposed rezoning. Staff has prepared a comparison of the trips potentially generated under the existing and proposed zoning designations, utilizing a generalized worst-case scenario. Data presented below is based on the Institute of Transportation Engineer's Trip Generation Manual, 10th Edition.

Approved Zoning:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
AI, 31,000 sf Nursery (Wholesale) (ITE code 818)	1,209	74	161

Proposed Zoning:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
M, 31,000 sf General Manufacturing (ITE Code 140)	123	19	21

Trip Generation Difference:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
Difference	-1,086	-55	-140

The proposed rezoning would result in a decrease of trips potentially generated by development of the subject site by 1,086 average daily trips, 55 trips in the a.m. peak hour, and 140 trips in the p.m. peak hour.

TRANSPORTATION INFRASTRUCTURE SERVING THE SITE

The site has frontage on Ann Ballard Rd., a 2-lane, undivided, Hillsborough County maintained local roadway with +/- 10-foot travel lanes. Along the project frontage of the subject site, Ann Ballard Rd. lies within a +/- 48-foot-wide right-of-way. There is no sidewalk or bike lanes along the north side of Ann Ballard Rd. in the vicinity of the proposed project.

Ann Ballard Rd. is not shown on the Hillsborough County Corridor Preservation Plan.

SITE ACCESS

It is anticipated that access to the site will be from Ann Ballard Rd. As this is a Euclidean zoning request, access will be reviewed at the time of plat/site/construction plan review for consistency with applicable rules and regulations within the Hillsborough County Land Development Code and Transportation Technical Manual.

LEVEL OF SERVICE (LOS)

Ann Ballard Rd. is not a regulated roadway and not is included in the 2020 Level of Service (LOS) report.

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**Hillsborough County
City-County
Planning Commission**

Unincorporated Hillsborough County Rezoning	
Hearing Date: October 18, 2021	Petition: RZ 21-1099
Report Prepared: October 7, 2021	7706 Ann Ballard Road <i>North side of Ann Ballard Road, west of Benjamin Road</i>
Summary Data:	
Comprehensive Plan Finding:	CONSISTENT
Adopted Future Land Use:	Light Industrial (LI: 0.75 FAR)
Service Area	Urban
Community Plan:	Town and Country
Requested Zoning:	Agricultural Industrial-(AI) to Manufacturing (M)
Parcel Size (Approx.):	0.96 acres +/-
Street Functional Classification:	Ann Ballard Road – Local Benjamin Road – Collector
Locational Criteria	N/A
Evacuation Zone	The subject property is in Evacuation Zone D



Plan Hillsborough
planhillsborough.org
planner@plancom.org
813 – 272 – 5940
601 E Kennedy Blvd
18th floor
Tampa, FL, 33602

Context

- The approximately 0.96+/- acre subject site is located on the north side of Ann Ballard Road, west of Benjamin Road. The subject site is located within the Urban Service Area and is within the limits of the Town and Country Community Plan.
- The site's Future Land Use designation is Light Industrial (LI), which includes typical uses such as processing, manufacturing, recycling, and storage of materials as the predominant uses including support offices, warehousing, and rural scale retail uses pursuant to locational criteria.
- The subject site is developed with a single-family home. Other uses in the immediate area include a light commercial use to the west, developed with an office. There is light industrial use on the south side of Ann Ballard Road developed with a warehouse. The parcel directly to the east is vacant and there is a mobile home and a landscaping company north of the site.
- The subject site is currently zoned Agricultural Industrial (AI). The immediate area is predominately zoned Manufacturing (M), with the exception of the site to the west, which is zoned Planned Development (PD) and developed with an office.
- The applicant is requesting to rezone the subject site from Agricultural Industrial (AI) to Manufacturing (M) to allow for the storage of material and truck parking.

Compliance with Comprehensive Plan:

The following Goals, Objectives, and Policies apply to this rezoning request and are used as a basis for a consistency finding.

Future Land Use Element

Policy 1.4: *Compatibility is defined as the characteristics of different uses or activities or design which allow them to be located near or adjacent to each other in harmony. Some elements affecting compatibility include the following: height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor, and architecture. Compatibility does not mean "the same as." Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development.*

Neighborhood/Community Development

Objective 16: Neighborhood Protection *The neighborhood is a functional unit of community development. There is a need to protect existing neighborhoods and communities and those that will emerge in the future. To preserve, protect and enhance neighborhoods and communities, all new development must conform to the following policies.*

Policy 16.3: *Development and redevelopment shall be integrated with the adjacent land uses through:*

- a) the creation of like uses; or*
- b) creation of complementary uses; or*
- c) mitigation of adverse impacts; and*
- d) transportation/pedestrian connections*

Economic Development: Industrial and Heavy Commercial Uses, Research Corporate Parks and Tourist/Leisure Industries

Objective 26: *The County shall identify specific target industry clusters, target industries, and target businesses; shall establish corresponding “economic development areas” and shall provide incentives for the location of desirable economic growth in these areas.*

Policy 26.5: *Non-industrial land uses shall be restricted or prohibited in the industrial land use categories, and economic development areas will be preserved for employment centers, except as provided in Policy 26.6.*

Community Design Component

5.0 NEIGHBORHOOD LEVEL DESIGN

5.1 COMPATIBILITY

GOAL 12: *Design neighborhoods which are related to the predominant character of the surroundings.*

OBJECTIVE 12-1: *New developments should recognize the existing community and be designed in a way that is compatible (as defined in FLUE policy 1.4) with the established character of the surrounding neighborhood.*

Policy 12-1.4: *Compatibility may be achieved through the utilization of site design techniques including but not limited to transitions in uses, buffering, setbacks, open space, and graduated height restrictions, to affect elements such as height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor, and architecture.*

Staff Analysis of Goals, Objectives, and Policies

The applicant is requesting to rezone the subject site from Agricultural Industrial (AI) to Manufacturing (M) to allow the storage of materials and truck parking. The proposed use is consistent with the Light Industrial (LI) Future Land use classification.

The proposed rezoning also meets the intent of the neighborhood compatibility policies outlined in Objective 16 and Policy 16.3 of the Future Land Use Element. The subject site is located in an area where existing uses are intense in nature and the existing development pattern consists predominately of manufacturing zoned parcels.

The proposed rezoning meets the intent of Objective 26 and its accompanying policy 26.5 which promote industrial uses to further the economic development of Hillsborough County. Policy 26.5 limits non-industrial uses within industrial land use categories. Manufacturing is a permitted use within the Light Industrial Future Land Use Category and is therefore consistent with the development expected in this category.

Goal 12, Objective 12-1 and Policy 12-1.4 of the Community Design Component (CDC) of the FLUE provides policy guidance on new development recognizing the existing character of the area and maintaining compatibility with it. In this case, the rezoning request would add additional industrial uses to an area that is predominately industrial fitting in with the existing character of the area.

The subject site is located within the limits of the Town and Country Community Plan. There are no policies within the community plan that are applicable to this request.

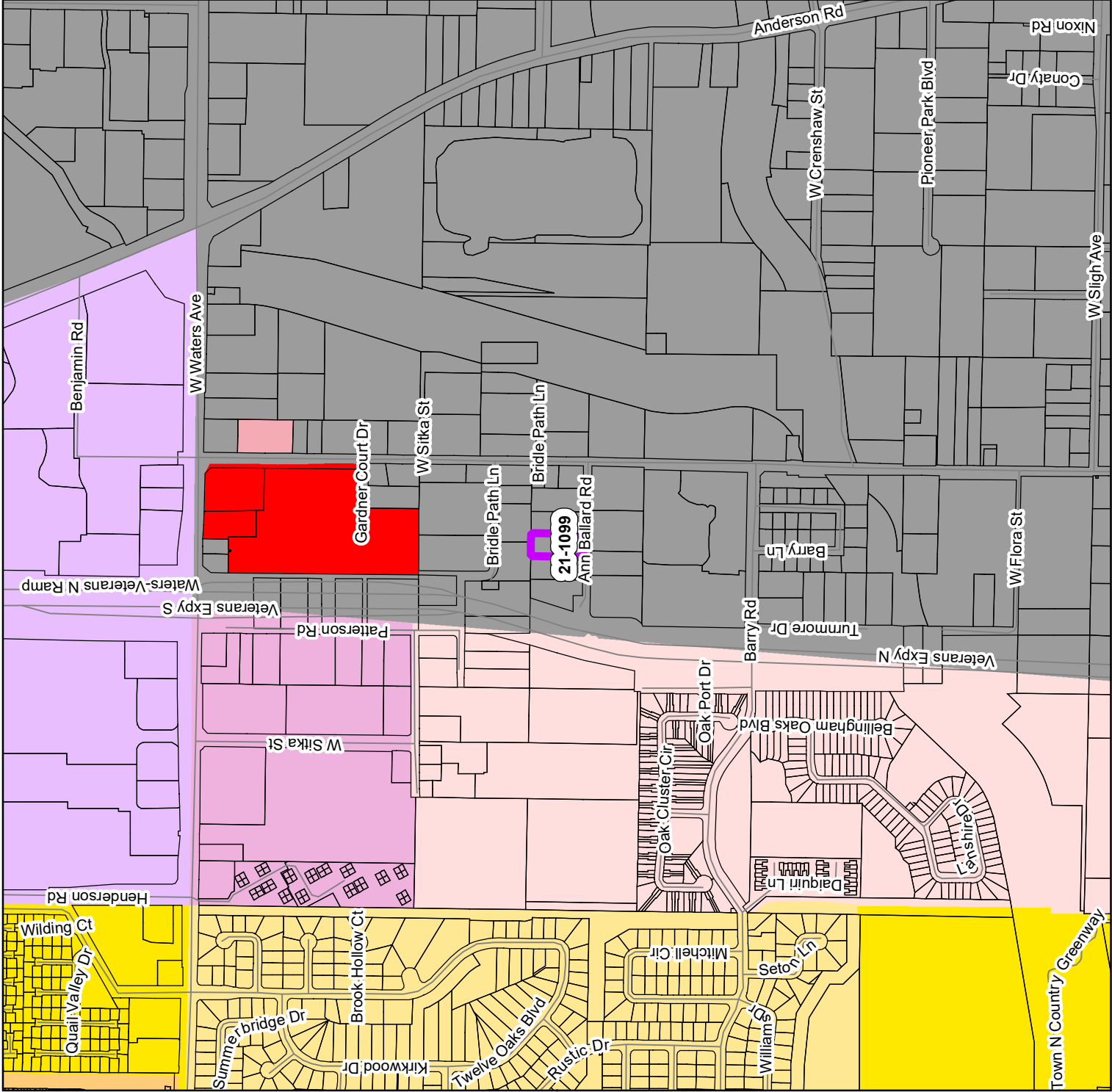
Overall Planning Commission staff find that the proposed rezoning from Agricultural Industrial (AI) to Manufacturing (M) consistent with the Comprehensive Plan for Unincorporated Hillsborough County and will provide development that is compatible with the surrounding area.

Recommendation

Based upon the above considerations, the Planning Commission staff finds the proposed rezoning **CONSISTENT** with the *Future of Hillsborough Comprehensive Plan for Unincorporated Hillsborough County*.

HILLSBOROUGH COUNTY
FUTURE LAND USE

RZ 21-1099



- Rezonings
- STATUS
- APPROVED
 - CONTINUED
 - DENIED
 - WITHDRAWN
 - PENDING
- Tampa Service Area
- Urban Service Area
- Shoreline
- County Boundary
- Jurisdiction Boundary
- Roads
- Parcels
- AGRICULTURAL/MINING-1/20 (.25 FAR)
- PEC PLANNED ENVIRONMENTAL COMMUNITY-1/2 (.25 FAR)
- AGRICULTURAL-1/10 (.25 FAR)
- AGRICULTURAL/RURAL-1/5 (.25 FAR)
- AGRICULTURAL ESTATE-1/2.5 (.25 FAR)
- RESIDENTIAL-1 (.25 FAR)
- RESIDENTIAL-2 (.25 FAR)
- RESIDENTIAL PLANNED-2 (.35 FAR)
- RESIDENTIAL-4 (.25 FAR)
- RESIDENTIAL-6 (.25 FAR)
- RESIDENTIAL-9 (.35 FAR)
- RESIDENTIAL-12 (.35 FAR)
- RESIDENTIAL-16 (.35 FAR)
- RESIDENTIAL-20 (.35 FAR)
- RESIDENTIAL-35 (1.0 FAR)
- NEIGHBORHOOD MIXED USE-4 (3) (.35 FAR)
- SUBURBAN MIXED USE-6 (.35 FAR)
- COMMUNITY MIXED USE-12 (.50 FAR)
- URBAN MIXED USE-20 (1.0 FAR)
- REGIONAL MIXED USE-35 (2.0 FAR)
- OC-20
- RESEARCH CORPORATE PARK (1.0 FAR)
- ENERGY INDUSTRIAL PARK (.50 FAR USES OTHER THAN RETAIL, .25 FAR RETAIL/COMMERCE)
- LIGHT INDUSTRIAL PLANNED (.50 FAR)
- LIGHT INDUSTRIAL (.50 FAR)
- HEAVY INDUSTRIAL (.50 FAR)
- PUBLIC/QUASI-PUBLIC
- NATURAL PRESERVATION
- WIMAUMA VILLAGE RESIDENTIAL-2 (.25 FAR)
- CITRUS PARK VILLAGE

DATA SOURCES: Rezonings boundaries from The Planning Commission and are not official. Parcel lines and data from Hillsborough County Property Appraiser. This map is for informational purposes only and is not intended to be used as a legal document. It is not a guarantee of accuracy. It is intended that the map be used in conjunction with the official zoning map and the official zoning ordinance. The map is for illustrative purposes only. For the most current data and information, visit the appropriate source.

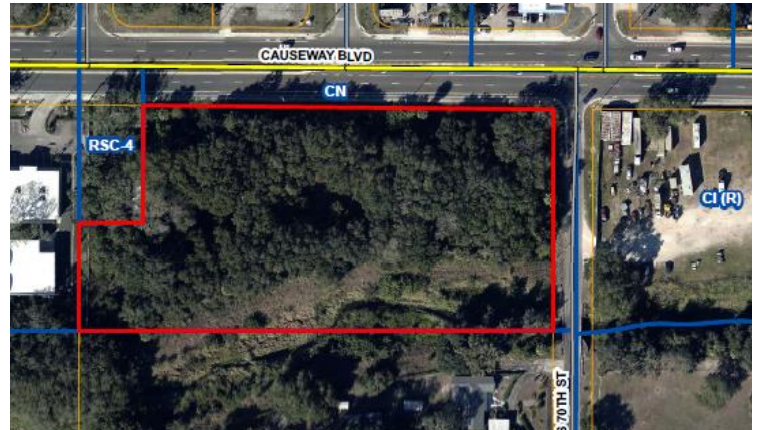


Map Printed from Rezoning System: 9/22/2021
Author: Beverly F. Daniels
File: G:\Rezoning\System\MapProject\Hillsborough\hillsborough - Copy.mxd



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Rezoning Application: RZ-STD 21-1220**Zoning Hearing Master Date:** October 18, 2021**BOCC Land Use Meeting Date:** December 14, 2021**Hillsborough
County Florida****Development Services Department****1.0 APPLICATION SUMMARY****Applicant:** Jacob Goldstein**FLU Category:** Office Commercial-20 (OC-20)**Service Area:** Urban**Site Acreage:** 3.66 MOL**Community
Plan Area:** Greater Palm River**Overlay:** None**Introduction Summary:**

The existing zoning is Commercial – Neighborhood (CN) which permits Neighborhood Commercial, Office and Personal Services uses pursuant to the development standards in the table below. The proposed zoning is Commercial Intensive Restricted (CI-R) to allow Intensive Commercial, Office and Personal Services uses pursuant to the development standards in the table below.

Zoning:	Existing	Proposed
District(s)	CN	CI-R
Typical General Use(s)	Neighborhood Commercial, Office and Personal Services	Intensive Commercial, Office and Personal Services
Acreage	3.66 MOL	3.66 MOL
Density/Intensity	.20 F.A.R.	.30 F.A.R.
Mathematical Maximum*	31,886 sf	47,829 sf

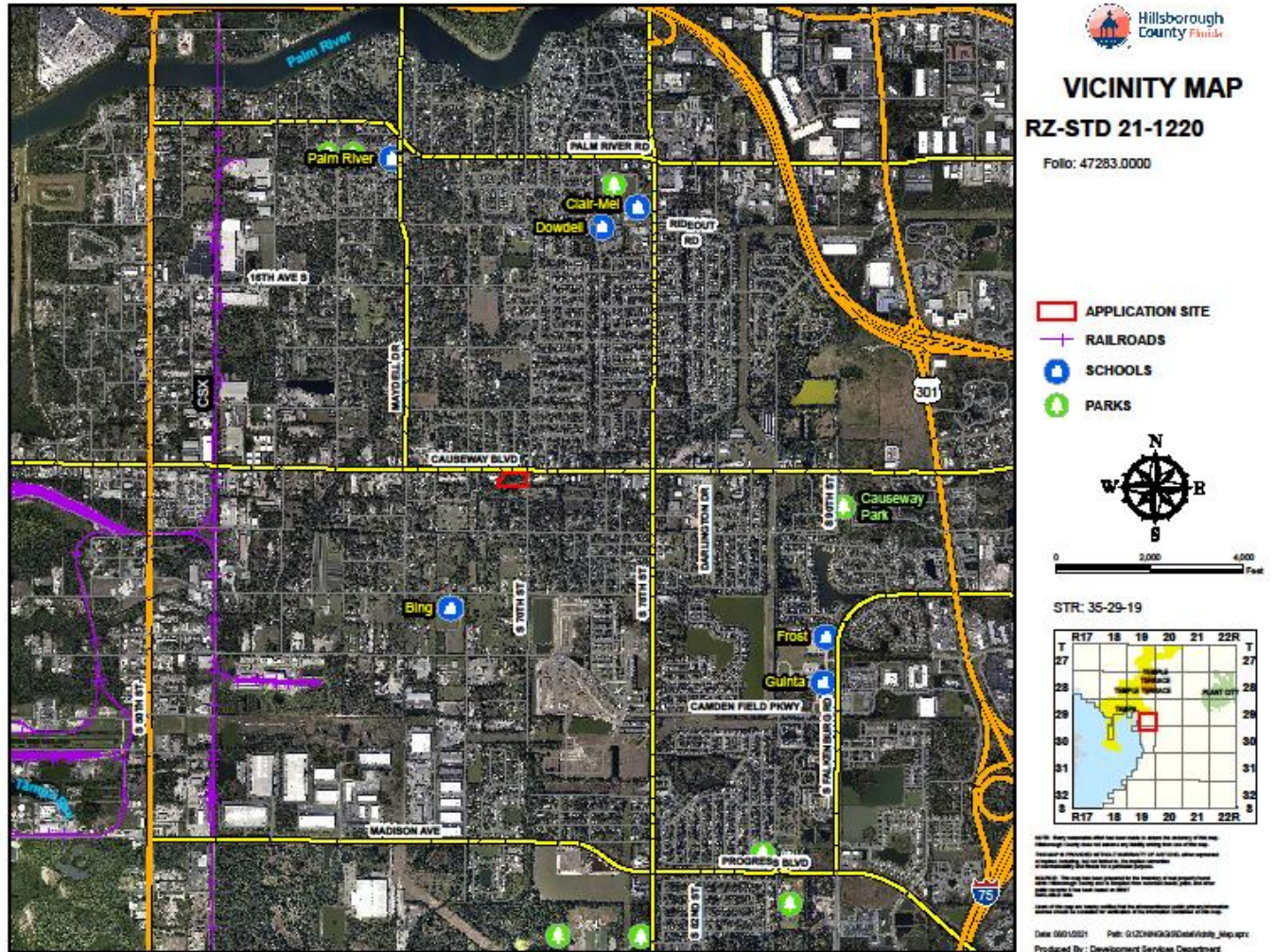
*number represents a pre-development approximation

Development Standards	Existing	Proposed
District(s)	CN	CI-R
Lot Size / Lot Width	7,000 sf / 70'	20,000 sf / 100'
Setbacks/Buffering and Screening	30' Front Buffer Rear Buffer Sides	30' Front Buffer Rear Buffer Sides
Height	35'	50'

Planning Commission Recommendation:
Inconsistent**Development Services Recommendation:**
Approvable

2.0 LAND USE MAP SET AND SUMMARY DATA

2.1 Vicinity Map

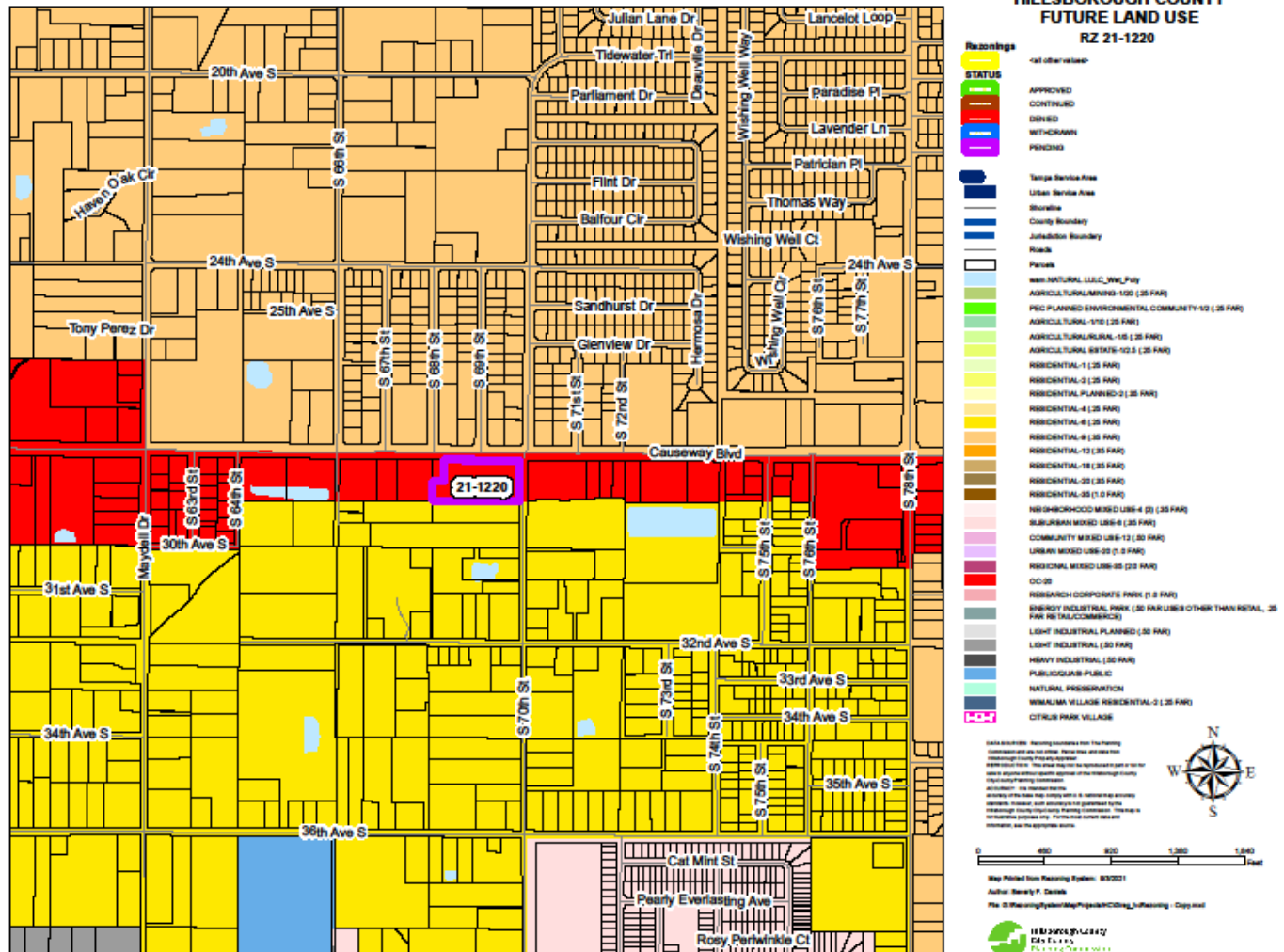


Context of Surrounding Area:

The area is located on a principal arterial that consists of commercial and single-family uses. The subject parcel is directly adjacent to single-family residential and commercial to the west and single-family residential to the south.

2.0 LAND USE MAP SET AND SUMMARY DATA

2.2 Future Land Use Map



Subject Site Future Land Use Category:

Office Commercial-20 (OC-20)

Maximum Density/F.A.R.:

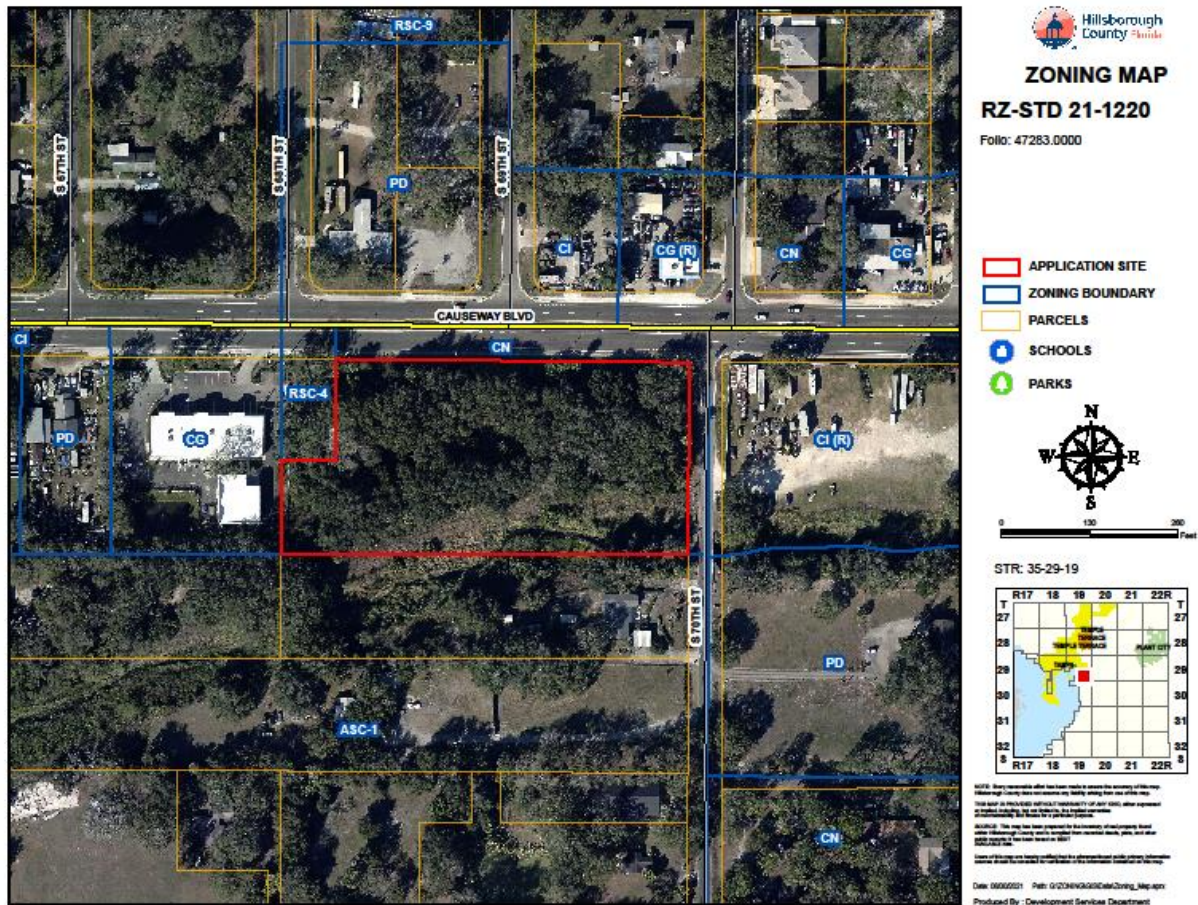
20 du per ga/0.75 FAR

Typical Uses:

Community commercial type uses, office uses, mixed use developments, and compatible residential uses.

2.0 LAND USE MAP SET AND SUMMARY DATA

2.3 Immediate Area Map



Adjacent Zonings and Uses

Location:	Zoning:	Maximum Density/F.A.R. Permitted by Zoning District:	Allowable Use:	Existing Use:
North	PD 17-0016, CI, CG	.27 F.A.R., .30 F.A.R., .27 F.A.R.	Neighborhood Commercial, Office and Personal Services; Intensive Commercial, Office and Personal Services; General Commercial, Office and Personal Services	Commercial
South	ASC-1	1 du per ga	Single-Family Residential/Agricultural	Single-Family Residential
East	CI-R	.30 F.A.R.	Intensive Commercial, Office and Personal Services	Commercial
West	RSC-4, CG	4 du per ga; .27 F.A.R.	Single-Family Residential (Conventional Only); General Commercial, Office and Personal Services	Single-Family Residential; Commercial

3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)**Adjoining Roadways (check if applicable)**

Road Name	Classification	Current Conditions	Select Future Improvements
Causeway Blvd.	FDOT Arterial - Urban	4 Lanes <input type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
S 70 th St.	County Local - Urban	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other

Project Trip Generation ☐ Not applicable for this request

	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	5,463	238	249
Proposed	8,693	440	381
Difference (+/-)	+3,230	+202	+132

*Trips reported are based on net new external trips unless otherwise noted.

Connectivity and Cross Access ☒ Not applicable for this request

Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North		None	None	Meets LDC
South		None	None	Meets LDC
East		None	None	Meets LDC
West		None	None	Meets LDC
Notes:				

Design Exception/Administrative Variance ☒ Not applicable for this request

Road Name/Nature of Request	Type	Finding
	Choose an item.	Choose an item.
	Choose an item.	Choose an item.
Notes:		

4.0 ADDITIONAL SITE INFORMATION & AGENCY COMMENTS SUMMARY

INFORMATION/REVIEWING AGENCY				
Environmental:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Environmental Protection Commission	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Delaney Creek is located in the southern portion of the property. Small area of forested wetlands located near the eastern property boundary.
Conservation & Environ. Lands Mgmt.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Check if Applicable: <input checked="" type="checkbox"/> Wetlands/Other Surface Waters <input type="checkbox"/> Use of Environmentally Sensitive Land Credit <input type="checkbox"/> Wellhead Protection Area <input type="checkbox"/> Surface Water Resource Protection Area	<input checked="" type="checkbox"/> Potable Water Wellfield Protection Area <input type="checkbox"/> Significant Wildlife Habitat <input checked="" type="checkbox"/> Coastal High Hazard Area <input checked="" type="checkbox"/> Urban/Suburban/Rural Scenic Corridor <input type="checkbox"/> Adjacent to ELAPP property <input type="checkbox"/> Other			
Public Facilities:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Transportation <input type="checkbox"/> Design Exc./Adm. Variance Requested <input type="checkbox"/> Off-site Improvements Provided <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	
Service Area/ Water & Wastewater <input checked="" type="checkbox"/> Urban <input checked="" type="checkbox"/> City of Tampa <input type="checkbox"/> Rural <input type="checkbox"/> City of Temple Terrace	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Comprehensive Plan:	Comments Received	Findings	Conditions Requested	Additional Information/Comments
Planning Commission <input type="checkbox"/> Meets Locational Criteria <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Locational Criteria Waiver Requested <input type="checkbox"/> Minimum Density Met <input checked="" type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Inconsistent <input type="checkbox"/> Consistent	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

5.0 IMPLEMENTATION RECOMMENDATIONS

5.1 Compatibility

The purpose of the rezoning is to allow for the open storage of operable vehicles. The site is located at 6910 Causeway Boulevard, which is on the southwest corner of Causeway Boulevard and South 70th Street. The parcel is located in an area comprised of commercial to the north and east. To the south is single-family residential. To the west is single-family residential and commercial. The subject property is designated Office Commercial-20 (OC-20) on the Future Land Use map. To the north Commercial PD 17-0016, CI and CG. To the east CI-R. To the south ASC-1. To the west CG and RSC-4.

To address potential compatibility concerns with the adjacent residential uses/zoning district the applicant has offered restrictions to mitigate compatibility concerns: 1) The only property use would be for the open storage of operable vehicles. 2) The property would provide opaque 6' fencing around any of the vehicle parking use area. 3) In light that Causeway Blvd. is a scenic corridor, the applicant will provide, along with the fencing already proposed, along the front of the property (toward, and in view of, Causeway Blvd.), a hedge row at 3' high when planted and a shade trees planted 20' on center. Staff notes the Land Development Code provides for solid screening of all project boundaries when open storage is the principle use of the site, therefore, the second proposed restriction is not necessary. The third restriction is proposed to be provided in lieu of required Scenic Corridor landscaping and is more restrictive than the LDC requirements.

Nonetheless, after the submittal of the proposed restrictions by the applicant, the Planning Commission finds the proposed use inconsistent with the Comprehensive Plan since open storage of operable vehicles is a Commercial Intensive use which is discouraged east of Maydell Drive along Causeway Boulevard per the Greater Palm River Area Community Plan.

The area east of Maydell Drive, between 66th Street (to the west) and 76th Street to the east, includes four CI zoning districts. To the west is a CI (RZ 14-0465) at 66th Street and Causeway (no restrictions). To the immediate east across South 70th Street is a parcel zoned CI-R (RZ 10-0083) which has use restrictions but allows for open storage of operable vehicles and a Contractor's office with open storage. Adjacent to the east of RZ 10-0083, is a CI-R (RZ 06-1348) with use restrictions that include no open storage except for storage of 6 construction cranes (maximum 11 feet tall). Finally, the fourth parcel is a CI-R district (RZ 16-0640), which has use restrictions and permits accessory open storage to the principal use (Motor Vehicle Repair, Minor). Furthermore, there is CI zoned parcel (no restrictions) on the north side of Causeway across from the subject parcel which appears to be zoning conformance CI district given the underlying RES-9 Comprehensive Plan. Given this above described pattern of CI districts with some having use restrictions that permit some limited level of open storage, the proposed CI-R district with the limitation of open storage to only operable vehicles is consistent with this approved zoning pattern.

Based on the above considerations staff finds the requested CI-R zoning district compatible with the existing zoning and development pattern in the area.

5.2 Recommendation

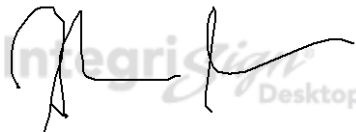
Approvable, With Restrictions.

As noted, the applicant has offered the following restrictions:

- 1) The only property use would be for the open storage of operable vehicles.
- 2) The property would provide opaque 6' fencing around any of the vehicle parking use area.
- 3) In light that Causeway Blvd. is a scenic corridor, the applicant will provide, along with the fencing already proposed, along the front of the property (toward, and in view of, Causeway Blvd.), a hedge row at 3' high when planted and a shade trees planted 20' on center.

As noted, the second restriction is not necessary as the Land Development Code provides for screening of open storage.

Zoning Administrator Sign Off:


J. Brian Grady
Mon Oct 11 2021 08:26:54

SITE, SUBDIVISION AND BUILDING CONSTRUCTION IN ACCORDANCE WITH HILLSBOROUGH COUNTY SITE DEVELOPMENT PLAN & BUILDING REVIEW AND APPROVAL.

Approval of this re-zoning petition by Hillsborough County does not constitute a guarantee that the project will receive approvals/permits necessary for site development as proposed will be issued, nor does it imply that other required permits needed for site development or building construction are being waived or otherwise approved. The project will be required to comply with the Site Development Plan Review approval process in addition to obtain all necessary building permits for on-site structures.

6.0 FULL TRANSPORTATION REPORT (see following pages)**AGENCY REVIEW COMMENT SHEET****TO:** Zoning Technician, Development Services Department**DATE:** 10/05/2021**REVIEWER:** Alex Steady, Senior Planner**AGENCY/DEPT:** Transportation**PLANNING AREA/SECTOR:** Greater Palm River/Central**PETITION NO:** STD 21-1220

- ☐ This agency has no comments.
- ☒ **This agency has no objection.**
- ☐ This agency objects for the reasons set forth below.

REPORT SUMMARY AND CONCLUSIONS

- The proposed rezoning would result in a decrease of trips potentially generated by development of the subject site by 3,230 average daily trips, 202 trips in the a.m. peak hour, and 132 trips in the p.m. peak hour.
- As this is a Euclidean zoning request, access will be reviewed at the time of plat/site/construction plan review for consistency with applicable rules and regulations within the Hillsborough County Land Development Code and Transportation Technical Manual.
- Transportation Review Section staff has no objection to this request.

PROJECT SUMMARY AND ANALYSIS

The applicant is requesting to rezone a parcel totaling +/- 3.66 acres from Commercial neighborhood (CN) to Commercial Intensive (CI). The site is located on the south west corner of the intersection of Causeway Blvd. and S 70th St. The Future Land Use designation of the site is OC-20.

Trip Generation Analysis

In accordance with the Development Review Procedures Manual (DRPM), no transportation analysis was required to process the proposed rezoning. Staff has prepared a comparison of the trips potentially generated under the existing and proposed zoning designations, utilizing a generalized worst-case scenario. Data presented below is based on the Institute of Transportation Engineer's Trip Generation Manual, 10th Edition.

Approved Zoning:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
CN, 15,000 sf Pharmacy /Drugstore with Drive-Through Window (ITE Code 881)	1,637	58	154
CN, 6,000 sf Fast-Food Restaurant with Drive Through Window (ITE code 934)	2,826	241	196
CN, 10,000 sf Bank with drive thru (ITE Code 912)	1,000	95	205
Subtotal:	5,463	394	555
Less Internal Capture:	Not Available	12	120
Passerby Trips:	Not Available	144	186
Net External Trips:	5,463	238	249

Proposed Zoning:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
CI, 15,000 sf Pharmacy /Drugstore with Drive-Through Window (ITE Code 881)	1,637	58	154
CI, 10,000 sf Fast-Food Restaurant with Drive Through Window (ITE code 934)	4,710	402	327
CI, 10,000 sf Bank with drive thru (ITE Code 912)	1,000	95	205
CI, 12,000 sf of High-Turnover (Sit-Down) Restaurant (ITE LUC 932)	1,346	119	117
Subtotal:	8,693	674	803
Less Internal Capture:	Not Available	12	120
Passerby Trips:	Not Available	222	302
Net External Trips:	8,693	440	381

Trip Generation Difference:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
Difference	+3,230	+202	+132

The proposed rezoning would result in a decrease of trips potentially generated by development of the subject site by 3,230 average daily trips, 202 trips in the a.m. peak hour, and 132 trips in the p.m. peak hour.

TRANSPORTATION INFRASTRUCTURE SERVING THE SITE

The site has frontage on Causeway Blvd. and S 70th St. Causeway Blvd. is a 4-lane, divided, arterial, FDOT maintained roadway with +/- 12-foot travel lanes. S 70th St. is a two-lane undivided Hillsborough County maintained local road with +/- 10-foot travel lanes. There are sidewalks and bike lanes on both side of Causeway Blvd in the vicinity proposed project. There are no sidewalks or bike lanes on S 70th St in the vicinity proposed project.

Causeway Blvd. is not included in the Hillsborough County Corridor Preservation Plan.

SITE ACCESS

It is anticipated the site will have access to both Causeway Blvd and S 70th St. As this is a Euclidean zoning request, access will be reviewed at the time of plat/site/construction plan review for consistency with applicable rules and regulations within the Hillsborough County Land Development Code and Transportation Technical Manual.

LEVEL OF SERVICE (LOS)

Level of Service (LOS) information is reported below.

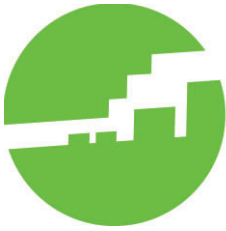
FDOT Generalized Level of Service				
Roadway	From	To	LOS Standard	Peak Hr Directional LOS
CAUSEWAY BLVD.	50 TH ST	US HWY 301	D	C
S 70 TH ST.	N/A*	N/A*	N/A*	N/A*

*S 70th St. is not a regulated roadway and not included in the 2020 Level of Service (LOS) report.

Source: [2020 Hillsborough County Level of Service \(LOS\) Report](#)

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Hillsborough County City-County Planning Commission

Unincorporated Hillsborough County Rezoning	
Hearing Date: October 18, 2021 Report Prepared: October 7, 2021	Petition: RZ 21-1220 6910 Causeway Boulevard South side of Causeway Boulevard, east of Maydell Drive, west of South 70 th Street.
Summary Data:	
Comprehensive Plan Finding:	INCONSISTENT
Adopted Future Land Use:	Office Commercial-20 (20 du/ga; 0.75FAR)
Service Area	Urban
Community Plan:	Greater Palm River
Requested Zoning:	Commercial Neighborhood (CN) to Commercial Intensive (CI-R) to permit open storage of operable vehicles
Parcel Size (Approx.):	3.66 +/- acres (159, 429.6 sq. ft.)
Street Functional Classification:	Causeway Boulevard – State Arterial South 70 th Street – County Collector
Locational Criteria	N/A
Evacuation Zone	B



Plan Hillsborough
planhillsborough.org
planner@plancom.org
 813 – 272 – 5940
 601 E Kennedy Blvd
 18th floor
 Tampa, FL, 33602

Context

- The approximately 3.66+/- acre subject property is located on the south side of Causeway Boulevard, west of South 70th Street and east of Maydell Drive. The subject property is located in the Urban Service Area (USA) and is within the limits of Greater Palm River Community Plan. A southern portion of the subject site is in the Coastal High Hazard Area.
- The subject site's Future Land Use designation is Office Commercial-20 (OC-20.) Typical allowable uses in the OC-20 Future Land Use category include community commercial type uses, office uses, mixed use developments, and compatible residential uses. Agricultural uses may be permitted pursuant to policies in the agricultural objective areas of the Future Land Use Element. OC-20 is located to the east and west along Causeway Boulevard. Residential-6 (RES-6) is located to the south and Residential-9 (RES-9) is located to the north.
- The subject property is zoned Commercial Neighborhood (CN). There is a small parcel of Residential Single-Family Conventional-4 (RSC-4) to the west as well as the Commercial General (CG) zoning district. Commercial Intensive- Restricted (CI-R) is located directly to the east of the subject site, across 70th Street. There is a smaller parcel zoned Commercial Intensive (CI) to the north of the site, across Causeway Boulevard. There are Commercial Neighborhood (CN) and Commercial General (CG) zoned parcels to the northeast of the subject site. Residential Single-Family Conventional-9 (RSC-9) is located to the northwest.
- The subject site is currently vacant. There is a truck sales business use to the east. There are primarily light commercial uses of Commercial General intensity along Causeway with some Commercial Intensive uses.
- The applicant is requesting to rezone the property from Commercial Neighborhood (CN) to Commercial Intensive (CI-R) to permit open storage of operable vehicles.

Compliance with Comprehensive Plan:

The following Goals, Objectives, and Policies apply to this rezoning request and are used as a basis for an inconsistency finding.

Future Land Use Element

Urban Service Area (USA)

Objective 1: Hillsborough County shall pro-actively direct new growth into the urban service area with the goal that at least 80% of all population growth will occur within the USA during the planning horizon of this Plan. Within the Urban Service Area, Hillsborough County will not impede agriculture. Building permit activity and other similar measures will be used to evaluate this objective.

Policy 1.4: Compatibility is defined as the characteristics of different uses or activities or design which allow them to be located near or adjacent to each other in harmony. Some elements affecting compatibility include the following: height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor and architecture. Compatibility does not mean "the same as." Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development.

Relationship to Land Development Regulations

Objective 9: All existing and future land development regulations shall be made consistent with the Comprehensive Plan, and all development approvals shall be consistent with those development regulations as per the timeframe provided for within Chapter 163, Florida Statutes. Whenever feasible and consistent with Comprehensive Plan policies, land development regulations shall be designed to provide flexible, alternative solutions to problems.

Policy 9.1: Each land use plan category shall have a set of zoning districts that may be permitted within that land use plan category, and development shall not be approved for zoning that is inconsistent with the plan.

Policy 9.2: Developments must meet or exceed the requirements of all land development regulations as established and adopted by Hillsborough County, the state of Florida and the federal government unless such requirements have been previously waived by those governmental bodies.

Neighborhood/Community Development

Objective 16: Neighborhood Protection The neighborhood is a functional unit of community development. There is a need to protect existing neighborhoods and communities and those that will emerge in the future. To preserve, protect and enhance neighborhoods and communities, all new development must conform to the following policies.

Policy 16.1: Established and planned neighborhoods and communities shall be protected by restricting incompatible land uses through mechanisms such as:

- a) locational criteria for the placement of non-residential uses as identified in this Plan,
- b) limiting commercial development in residential land use categories to neighborhood scale;
- c) requiring buffer areas and screening devices between unlike land uses;

Policy 16.2: Gradual transitions of intensities between different land uses shall be provided for as new development is proposed and approved, through the use of professional site planning, buffering and screening techniques and control of specific land uses.

Policy 16.3: Development and redevelopment shall be integrated with the adjacent land uses through:

- a) the creation of like uses; or
- b) creation of complementary uses; or
- c) mitigation of adverse impacts; and
- d) transportation/pedestrian connections

Policy 16.10: Any density increase shall be compatible with existing, proposed or planned surrounding development. Compatibility is defined as the characteristics of different uses or activities or design which allow them to be located near or adjacent to each other in harmony. Some elements affecting compatibility include the following: height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor and architecture. Compatibility does not mean “the same as”. Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development.

Community Planning

Objective 18: Hillsborough County is comprised of many diverse communities and neighborhoods, each with its own unique identity. While the comprehensive plan is effective in providing an overall growth management strategy for development within the entire County, it does not have detailed planning strategies for individual communities. The County shall develop strategies that ensure the long-range viability of its communities through a community and special area studies planning effort.

Policy 18.1: The County shall assist the Hillsborough County City-County Planning Commission in developing community plans for each planning area that are consistent with and further the Comprehensive Plan. The community plans will be adopted as part of the Comprehensive Plan in the Livable Communities Element; these more restrictive community-specific policies will apply in guiding the development of the community.

Additional policies regarding community planning and the adopted community plans can be found in the Livable Communities Element.

Community Design Component

4.3 COMMERCIAL CHARACTER

GOAL 9: Evaluate the creation of commercial design standards in a scale and design that complements the character of the community.

9-1.2: Avoid "strip" development patterns for commercial uses.

9-1.3: New commercial zoning is encouraged to locate at activity centers and commercial redevelopment areas.

7.1 DEVELOPMENT PATTERN

GOAL 17: Develop commercial areas in a manner which enhances the County's character and ambiance.

17-1.4: Affect the design of new commercial structures to provide an organized and purposeful character for the whole commercial environment.

COASTAL MANAGEMENT ELEMENT

Policy 6.2: New development within the coastal high hazard area shall continue to be subject to the applicable site plan review process. As a component of the review process, the property owner shall provide adequate data to assess the impacts of the proposed development upon existing infrastructure within the coastal high hazard area, as well as level of service standards established for shelter capacity and clearance times.

Livable Communities Element: Greater Palm River Area Community Plan

Planning and Growth /Economic Development

Goal 5a: Planning and Growth – to promote and provide for opportunities for compatible well designed public use, residential, and business growth and jobs

14. Support :

A. Design Study for Causeway Boulevard

1)A design study of Causeway Boulevard, from US Highway 41/50th Street to US Highway 301 will be developed to improve visual appearance, increase property values, stimulate investments and economic development, and promote community/civic pride. The study will include an analysis of preferred visual improvements, triggering system or new development or expansion or redevelopment, and overlay district boundaries.

Preferred visual improvements include, but are not limited to:

- *Signs*
- *Landscape treatment*
- *Parking and parking lots*
- *Ingress*
- *Building placement, height and bulk*
- *Stormwater facility location*

2) To support the Scenic Corridor designation of Causeway Boulevard west of Maydell Drive, and to be compatible with the existing use and zoning patterns, Commercial Intensive should be discouraged east of Maydell Drive.

Staff Analysis of Goals, Objectives and Policies:

The applicant is requesting to rezone the approximately 3.66 acre subject site from Commercial Neighborhood (CN) to Commercial Intensive- Restricted (CI-R) to permit the open storage of operable vehicles. The subject site is located within the Urban Service Area and is within the limits of the Greater Palm River Community Plan. The southeastern portion of the subject site is within the limits of the Coastal High Hazard Area. The Environmental Protection Commission (EPC) has noted that there are wetlands along the southern portion of the site.

The subject site's Future Land Use is Office-Commercial 20 (OC-20). While this Future Land Use Category is one of the more intensive Future Land Use categories, the uses must demonstrate compatibility per FLUE Policy 1.4, which states that: "Compatibility is defined as the characteristics of different uses or activities or design which allow them to be located near or adjacent to each other in harmony. Some elements affecting compatibility include the following: height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor and architecture.". Placing a CI use such as open storage of operable vehicles adjacent to single-family residential does not demonstrate compatibility or harmony of uses.

FLUE Objective 16 and its accompanying policies (16.1, 16.2, 16.3, 16.8, 16.10 and 16.11) require the protection of established neighborhoods and that proposed development be compatible with the development pattern of the surrounding area. The applicant has proposed restricting the CI uses similar to the restrictions on the CI site located to the east. The restrictions would be to limit the open storage of operable vehicles only. The applicant has also proposed a 6-foot opaque fence around the vehicle parking area. The applicant is also providing a hedge row at 3 feet high when planted and a shade trees planted 20 feet on center along the front of the property. According to Policy 16.10, "Compatibility does

not mean “the same as”. Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development.”. The subject site is located directly north of single-family residential uses and a highly intense use such as open storage presents a compatibility concern as it does not demonstrate a gradual transition of uses as directed by FLUE Policy 16.2.

Objective 18 and Policy 18.1 recognizes the importance of the adopted Community Plans in guiding the growth and land use vision for specified areas in unincorporated Hillsborough County. In this case, the subject site is located within the limits of the adopted Greater Palm River Community Plan, which discourages Commercial Intensive uses east of Maydell Drive along Causeway Boulevard. The proposed use, while being restricted, remains a CI use. Although the applicant has proposed restrictions similar to the existing CI-R site to the east (10-0083), it is difficult to base a current consistency finding on a rezoning that was approved over 11 years ago. Furthermore, supporting a current proposal as an exception on that basis alone further contributes to a development pattern along Causeway Boulevard that is discouraged within the adopted Community Plan.

Goal 9 and Policies 9-1.2 and 9-1.3 of the Community Design Component (CDC) in the FLUE encourages the design of commercial uses to complement the existing commercial character of the community and limit the expansion of a strip commercial character. Policy 9-1.3 encourages new commercial uses to locate in commercial redevelopment areas and activity centers. Approving a CI-R rezoning on the basis of the existing CI-R zoning to the east would further encourage a strip pattern of commercial development along Causeway Boulevard. Moreover, the subject site is not within an identified commercial node or redevelopment area within the adopted Community Plan. As such, it also does not meet the intent of Goal 17 of the CDC which encourages a commercial character than enhances the County’s ambiance. Placing CI uses where they are discouraged by a Community Plan does not further the commercial character of the area, and only serves to undermine the vision of the Community Plan.

The proposed rezoning is inconsistent with the Greater Palm River Area Community Plan. The subject site is located east of Maydell Drive along Causeway Boulevard which is a designated scenic corridor. Strategy 14 a. 2 under Goal 5 of the Planning and Economic Growth section of the Community Plan discourages Commercial Intensive uses east of Maydell Drive. While there is a CI-R (10-0083) zoning designation to the east of the site across 70th Street that permits the open storage of operable vehicles, the staff report that found this use consistent in 2010 did not make mention of the limitation in the Community Plan. It is difficult for staff to assess the conditions under which the report was written over 10 years ago and Planning Commission staff must base their current rezoning review on all adopted policy language in the Comprehensive Plan. The aforementioned Community Plan discouraging Commercial Intensive uses east of Maydell Drive is clearly written and requires no interpretation. Moreover, a single previous rezoning cannot be the basis for current consistency findings, especially when Planning Commission has limited support for the open storage component east of Maydell Drive in more recent rezoning review consistency findings.

The more recent proposals for open storage east of Maydell Drive that were found consistent were done so because the open storage was to be enclosed (RZ 16-0640), located at a designated commercial node within the Community Plan (RZ 17-1240) or consistent only as an interim use (RZ 19-0956). To permit an open storage use based on a

much earlier rezoning (RZ 10-0083), despite evidence of more recent rezonings that limit open storage uses east of Maydell Drive, is inconsistent with the implementation of adopted policy direction.

Overall, the proposed rezoning would allow for development that is inconsistent with the Goals, Objectives and Policies of the *Future of Hillsborough Comprehensive Plan for Unincorporated Hillsborough County*, and that is not compatible with the existing and planned development pattern found in the surrounding area.

Recommendation

Based upon the above considerations, the Planning Commission staff finds the proposed rezoning **INCONSISTENT** with the *Future of Hillsborough Comprehensive Plan for Unincorporated Hillsborough County*.

HILLSBOROUGH COUNTY FUTURE LAND USE

RZ 21-1220

Rezonings

<all other values>

APPROVED
CONTINUED
DENIED
WITHDRAWN
PENDING

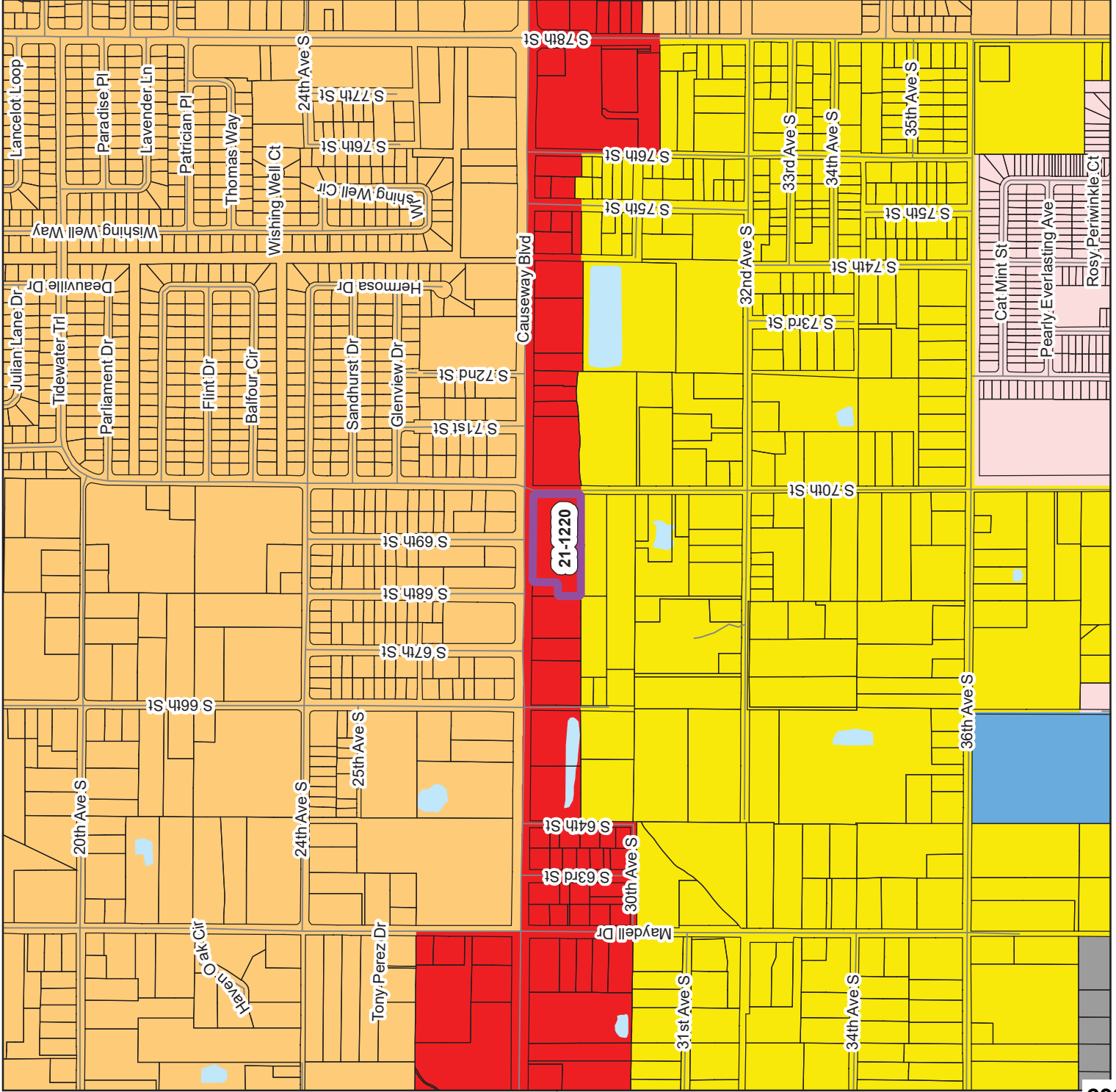
Tampa Service Area
Urban Service Area
Shoreline
County Boundary
Jurisdiction Boundary
Roads
Parcels

WATER NATURAL LULC Wet Poly
AGRICULTURAL/MINING-120 (.25 FAR)
PEC PLANNED ENVIRONMENTAL COMMUNITY-1/2 (.25 FAR)
AGRICULTURAL-1/10 (.25 FAR)
AGRICULTURAL/RURAL-1/5 (.25 FAR)
AGRICULTURAL ESTATE-1/2.5 (.25 FAR)
RESIDENTIAL-1 (.25 FAR)
RESIDENTIAL-2 (.25 FAR)
RESIDENTIAL PLANNED-2 (.35 FAR)
RESIDENTIAL-4 (.25 FAR)
RESIDENTIAL-6 (.25 FAR)
RESIDENTIAL-9 (.35 FAR)
RESIDENTIAL-12 (.35 FAR)
RESIDENTIAL-16 (.35 FAR)
RESIDENTIAL-20 (.35 FAR)
RESIDENTIAL-35 (1.0 FAR)
NEIGHBORHOOD MIXED USE-4 (3) (.35 FAR)
SUBURBAN MIXED USE-6 (.35 FAR)
COMMUNITY MIXED USE-12 (.50 FAR)
URBAN MIXED USE-20 (1.0 FAR)
REGIONAL MIXED USE-35 (2.0 FAR)
OC-20
RESEARCH CORPORATE PARK (1.0 FAR)
ENERGY INDUSTRIAL PARK (.50 FAR USES OTHER THAN RETAIL, .25 FAR RETAIL/COMMERCE)
LIGHT INDUSTRIAL PLANNED (.50 FAR)
LIGHT INDUSTRIAL (.50 FAR)
HEAVY INDUSTRIAL (.50 FAR)
PUBLIC/QUASI-PUBLIC
NATURAL PRESERVATION
WIMAUMA VILLAGE RESIDENTIAL-2 (.25 FAR)
CITRUS PARK VILLAGE

DATA SOURCES: Rezonings boundaries from The Planning Commission and are not official. Parcel lines and data from Hillsborough County Property Appraiser. This map is for informational purposes only and is not intended to be used as a legal document. It is intended that the user of this map will verify the accuracy of the information shown on this map with the official records of Hillsborough County City/County Planning Commission. This map is for illustrative purposes only. For the most current data and information, visit the appropriate source.



Map Printed from Rezoning System: 9/3/2021
Author: Beverly F. Daniels
File: G:\Rezoning\System\MapProject\Hillsborough\hillsborough - Copy.mxd



Rezoning Application: 21-0113
Zoning Hearing Master Date: October 18, 2021
BOCC Land Use Meeting Date: December 14, 2021

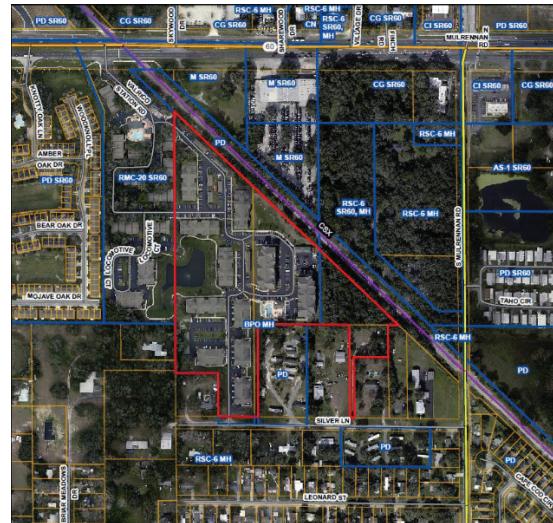


**Hillsborough
County Florida**

Development Services Department

1.0 APPLICATION SUMMARY

Applicant: WRH Valrico Station
FLU Category: Res 4
Service Area: Urban
Site Acreage: 15.68 Acres
Community Plan Area: Valrico
Overlay: None
Request: Rezone from PD and RSC-6 to PD



Request Summary:

The applicant is proposing to create a new PD by adding 2.29 acres of area covering parts of two parcels to an existing 13.32 acre PD that is currently developed with 200 multi-family units. The proposed addition of parcels will result in an increase of 34 residential units on the site. The subject application has a companion Comprehensive Plan Amendment (HC/CPA 21-01) application that proposes changing the comprehensive plan designation for two of the PD parcels from Res-4 and Res-9 to Res-20. Both applications are scheduled to be heard concurrently by the BOCC in December of 2021.

Zoning:

Uses	Current		Proposed PD Zoning
	PD 14-1098	MF Units	234 Multi-Family Residential Units
	RSC-6	Vacant / SF Home	
Mathematical Maximum Entitlements*	PD 14-1098	200 MF Units	312 Multi-Family Residential Units
	RSC-6	2 SF Homes	

*Mathematical maximum entitlements may be reduced due to roads, stormwater and other improvements. Assumes approval of HC/CPA 21-01

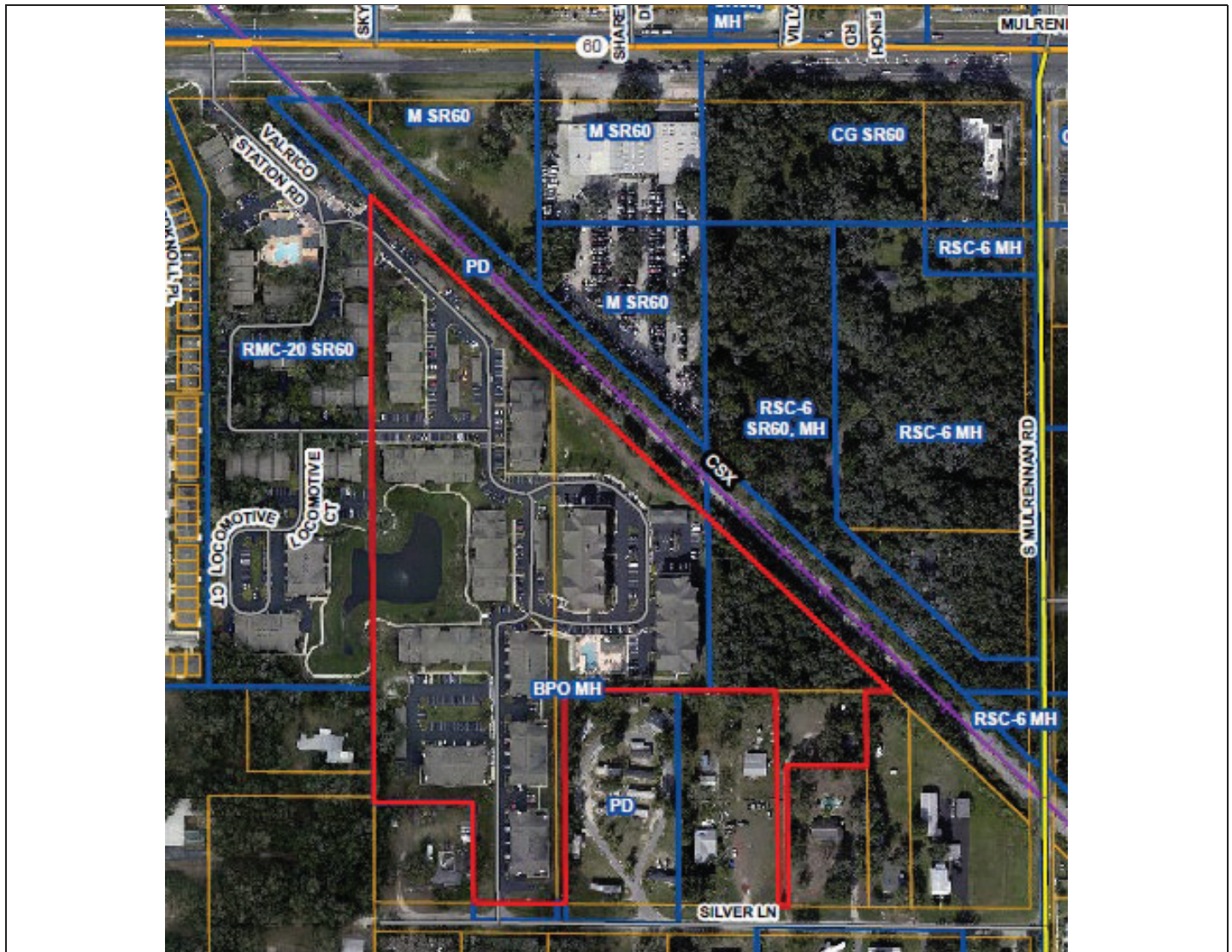
Development Standards:

	Current		Proposed PD Zoning
Density / Intensity	PD	15 du /ac	15 units per acre
	RSC-6	6 du/ac	
Lot Size / Lot Width	PD	13.32 ac/NA	15.6 Acres
	RSC-6	6,000sf/70 feet	
Setbacks	PD	Setbacks vary from 35' to 10'	Setbacks vary from 35' to 10'
	RSC-6	25'/7.5'/25'	
Height	PD	45'/35'	45'/35'
	RSC-6	25'	

• Additional Information:	
• PD Variations	• None
• Waiver(s) to the Land Development Code	• The applicant has asked for a waiver to the requirement that there be an additional 2-foot setback for every 1 foot of building height over 20 feet. Staff supports the request for this waiver because the condition was included as part of previous PD approval and the location of the propose building is adjacent to a railroad line and the existing apartment complex or adjacent to parcel that was previously on the south side of the existing PD and subject by its adjacency to the existing PD Conditions.
Planning Commission Recommendation	Consistent subject to Conditions and BOCC approval of HC/CPA 21-01.
Development Services Department Recommendation	Approvable Subject to Conditions

2.0 LAND USE MAP SET AND SUMMARY DATA

2.3 Immediate Area Map



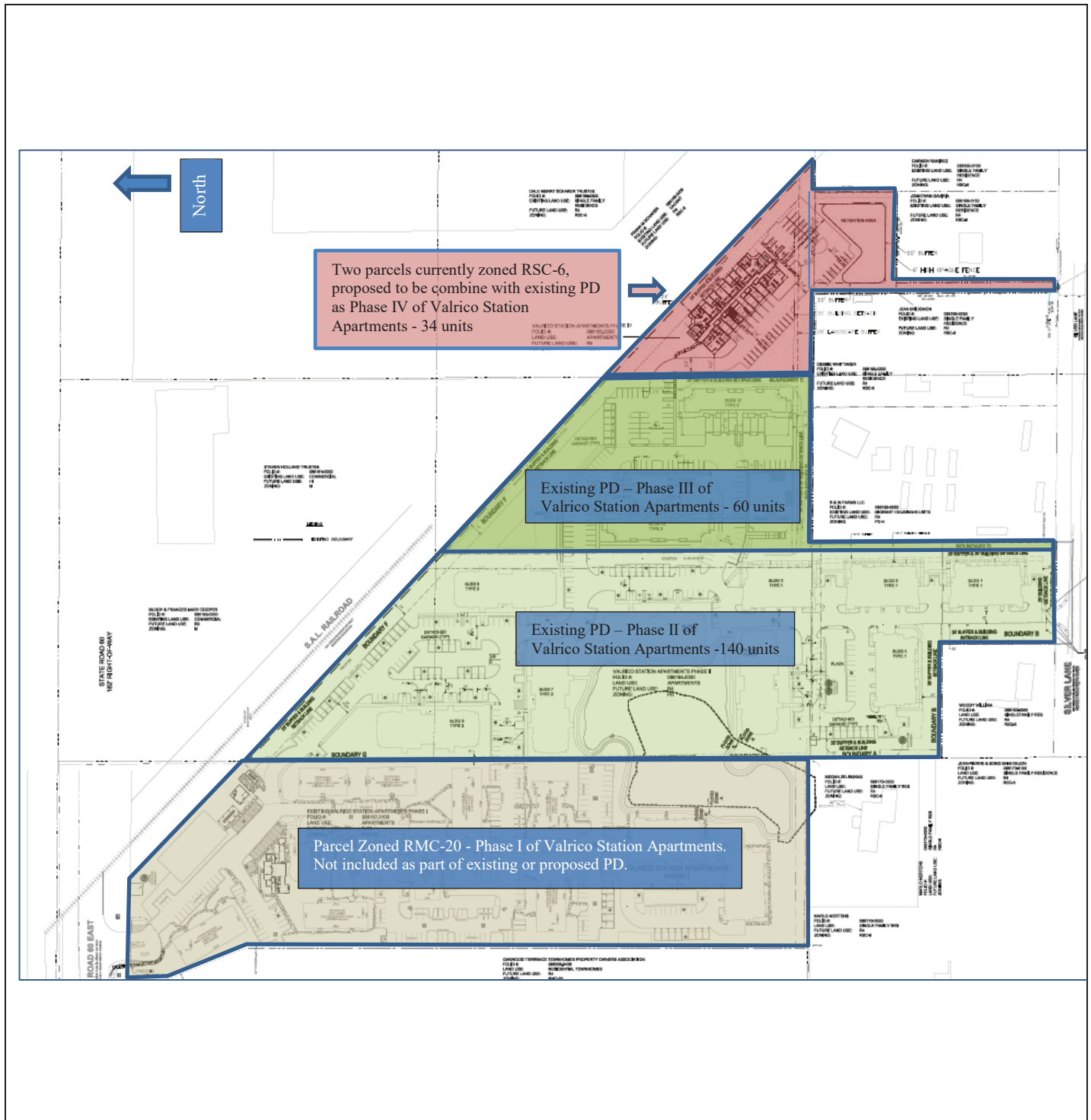
Adjacent Zonings and Uses

Location:	Zoning:	Maximum Density/F.A.R. Permitted by Zoning District:	Allowable Use:	Existing Use:
North	M	0.75 FAR	Manufacturing	Storage, Ofc Comm
	RSC-6	6 du per acre	Residential	Vacant
South	BPO-MH	0.20 FAR	Prof Ofc	Comm Office
	RSC-6	6 du per acre	Residential	SG Homes
West	RMC-20	20 du / acre	MF Residential	MF Residential
East	M	0.75 FAR	Manufacturing	Office Commercial
	RSC-6	6 du per acre	Residential	Vacant

2.4 Proposed Site Plan (partial provided below for size and orientation purposes. See Section 8.0 for full site plan)

2.0 LAND USE MAP SET AND SUMMARY DATA

2.4 Proposed Site Plan (partial provided below for size and orientation purposes. See Section 8.0 for full site plan)



3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)

Adjoining Roadways (check if applicable)

Road Name	Classification	Current Conditions	Select Future Improvements
SR 60	FDOT Arterial - Urban	4 Lanes <input type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input checked="" type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other

Project Trip Generation ☐ Not applicable for this request

	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	1,211	82	101
Proposed	1,273	84	103
Difference (+/-)	+62	+2	+2

*Trips reported are based on net new external trips unless otherwise noted.

Connectivity and Cross Access ☐ Not applicable for this request

Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North	X	None	None	Meets LDC
South		Vehicular	None	Meets LDC
East		None	None	Meets LDC
West		None	None	Meets LDC

Notes: Connectivity to the south is emergency access only.

Design Exception/Administrative Variance ☒ Not applicable for this request

Road Name/Nature of Request	Type	Finding
	Choose an item.	Choose an item.
	Choose an item.	Choose an item.

Notes:

4.0 Additional Site Information & Agency Comments Summary

Transportation	Objections	Conditions Requested	Additional Information/Comments
<input type="checkbox"/> Design Exception/Adm. Variance Requested <input type="checkbox"/> Off-Site Improvements Provided	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	See Staff Report.

4.0 ADDITIONAL SITE INFORMATION & AGENCY COMMENTS SUMMARY

INFORMATION/REVIEWING AGENCY				
Environmental:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Environmental Protection Commission	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	No Wetlands Present
Natural Resources	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Conservation & Environ. Lands Mgmt.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Check if Applicable: <div style="display: flex; justify-content: space-between;"> <div> <input type="checkbox"/> Wetlands/Other Surface Waters <input type="checkbox"/> Use of Environmentally Sensitive Land Credit <input type="checkbox"/> Wellhead Protection Area <input type="checkbox"/> Surface Water Resource Protection Area </div> <div> <input type="checkbox"/> Potable Water Wellfield Protection Area <input type="checkbox"/> Significant Wildlife Habitat <input type="checkbox"/> Coastal High Hazard Area <input type="checkbox"/> Urban/Suburban/Rural Scenic Corridor <input type="checkbox"/> Adjacent to ELAPP property <input type="checkbox"/> Other _____ </div> </div>				
Public Facilities:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Transportation <input type="checkbox"/> Design Exc./Adm. Variance Requested <input type="checkbox"/> Off-site Improvements Provided	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	See Staff Report
Service Area/ Water & Wastewater <input checked="" type="checkbox"/> Urban <input type="checkbox"/> City of Tampa <input type="checkbox"/> Rural <input type="checkbox"/> City of Temple Terrace	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Hillsborough County School Board Adequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input type="checkbox"/> N/A Inadequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input checked="" type="checkbox"/> 9-12 <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Impact/Mobility Fees (Fee estimate is based on a 1,200 square foot, 2 bedroom, Multi-Family Units 1-2 story) Mobility: \$5,329 * 34 units = \$181,186 Parks: \$1,316 * 34 units = \$ 44,744 School: \$3,891 * 34 units = \$132,294 Fire: \$249 * 34 units = \$ 8,466 Total Multi-Family (1-2 story) = \$366,690				

Comprehensive Plan:	Comments Received	Findings	Conditions Requested	Additional Information/Comments
Planning Commission <input type="checkbox"/> Meets Locational Criteria <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Locational Criteria Waiver Requested <input checked="" type="checkbox"/> Minimum Density Met <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Inconsistent <input checked="" type="checkbox"/> Consistent	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

5.0 IMPLEMENTATION RECOMMENDATIONS

5.1 Compatibility

The subject application will create a new PD by adding two parcels and entitlements for 34 additional units to an - existing 200- unit PD which is part of a larger apartment complex totaling 368 units. Staff finds the project is compatible with the surrounding area based on the following:

The subject application is an expansion of an existing MF project. An economy of scale is created by incorporating the subject parcels within the existing the PD to allow the applicant to utilize the existing access on SR60, internal roadways to access the parcels and presumably an extension of existing water and sewer connections. It is envisioned that the project expansion, verses building of a new and separate facility, will lessen the overall infrastructure development impact to the surrounding area.

The subject parcels are located between a CSX railroad facility and the apartment complex. Development of the subject parcels with a use other than MF Apartments could create unanticipated incompatibilities that could easily be avoided. MF Apartments fit better at this location than other uses.

Finally, the parcel with folio number 8614.0000 was added to the PD application to increase capacity for stormwater retention and parking only. While these uses in this location will minimize the potential impact of the project on the adjacent parcels that continue to be used for single family residential purposes.

5.2 Recommendation

Given the overall compatibility of the proposed use, staff recommendation is for support.

6.0 PROPOSED CONDITIONS (CHANGES TO CONDITIONS)

Approval - Approval of the request, subject to the conditions listed below, is based on the general site plan submitted August 10, 2021.

Prior to site plan certification applicant will add:

A “Boundry B” designation on site plan for the southern boundary of the parcel with folio 86165.0000 with the current zoning designation RSC-6 and adjacent to the parcel with folio 86188.0250

A “Boundary F designation on site plan for the northern boundary of the parcel, adjacent to the railroad, with folio 86165.0000 and with the current zoning designation RSC-6

Development of the project shall be limited to 236 multi-family dwelling units.

- Building setbacks shall be as follows:

North property line setback (Boundary F):	24 feet
East property line setback (Boundary E):	20 feet
East property line setback (Boundary D):	35 feet
South property line setback (Boundary D):	35 feet
South property line setback (Boundary C):	25 feet
West property line setback (Boundary B):	35 feet
South Property line setback (Boundary B):	35 feet
West property line setback (Boundary A):	35 feet
West property line setback (Boundary G):	10 feet

- The maximum building heights shall be as follows:

Type 1 buildings:	35 feet
Type 2 buildings:	45 feet
Type 3 buildings:	45 feet
Detached garage buildings:	20 feet

The additional setback of 2 feet for every 1 foot over 20 feet in height shall not apply.

4. The following buffering shall be provided:


North property line buffer (Boundary F):	24 feet
East property line buffer (Boundary E):	20 feet
East property line buffer (Boundary D):	28 feet
South property line buffer (Boundary D):	28 feet
West property line buffer (Boundary B):	35 feet
South property line buffer (Boundary B):	35 feet
West property line buffer (Boundary A):	35 feet

5. All screening shall consist of “Type B” screening, per Land Development Code Section 6.06.06.C.4, unless otherwise states. Screening along the west property line (Boundary A) shall provide required evergreen shade trees that are not less than 15 feet in height at the time of

planting, in addition to all other Type B standards. Screening along the southern and western property lines (Boundary B) shall provide a double row of 15 foot trees staggered on 20 foot centers, in addition to all other Type B standards. Existing trees and trees planted to meet code required replacement inches can be used to satisfy these screening requirements.

6. The maximum building coverage of the project shall be 40%. The maximum impervious coverage of the project shall be 75%.
7. The Parcel with folio 86188.0250 will be utilized for support uses such as stormwater retention and parking only. No apartments will be constructed on this parcel. Buffering of 20 feet on the east, south and west sides of this parcel will be required as depicted on the the Site Plan.
8. Buildings shall be designed in compliance with the architectural elevations shown on Sheet C3 of the site plan. Said elevations shall be shown on subsequent site development plans.
9. The applicant shall provide a minimum 5 foot wide sidewalk connection, with pavement striping, as necessary, from the existing internal sidewalk network to the existing sidewalk within the SR 60 right-of-way.
10. Any allowable access onto Silver Lane shall be restricted to use by emergency vehicles and a locked security gate shall be installed and continually maintained.
11. An evaluation of the property identified a number of mature trees. The stature of these trees warrants every effort to minimize their removal. The applicant is encouraged to consult with staff of the Natural Resource Unit for design input addressing these trees prior to submittal of preliminary plans through the Land Development Code's Site Development or Subdivision process.
12. The planting of required trees shall be sensitive to overhead electric utility lines. Trees that exceed a mature, overall height of 20 feet shall not be planted within 30 feet of an existing or proposed overhead electric utility line.
13. If the notes and/or graphics on the site plan are in conflict with specific zoning conditions and/or the Land Development Code (LDC) regulations, the more restrictive regulation shall apply, unless specifically conditioned otherwise. References to development standards of the LDC in the above stated conditions shall be interpreted as regulations in effect at the time of preliminary plan/plat approval.

Zoning Administrator Sign Off:


J. Brian Grady -
Mon Oct 11 2021 15:29:31

SITE, SUBDIVISION AND BUILDING CONSTRUCTION IN ACCORDANCE WITH HILLSBOROUGH COUNTY SITE DEVELOPMENT PLAN & BUILDING REVIEW AND APPROVAL.

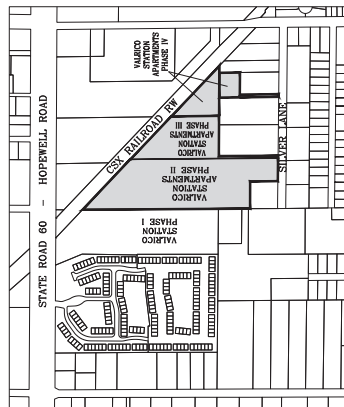
Approval of this re-zoning petition by Hillsborough County does not constitute a guarantee that the project will receive approvals/permits necessary for site development as proposed will be issued, nor does it imply that other required permits needed for site development or building construction are being waived or otherwise approved. The project will be required to comply with the Site Development Plan Review approval process in addition to obtain all necessary building permits for on-site structures.

7.0 ADDITIONAL INFORMATION AND/OR GRAPHICS

LEGAL DESCRIPTION

THE ABOVE DESCRIBES AN AREA OF 0.729 ACRES OR 3,528 SQUARE FEET, MORE OR LESS.

OVERALL SITE MAP



DRAWING INDEX

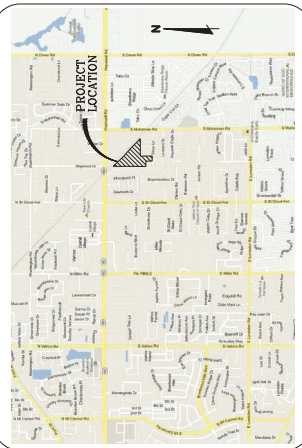
<u>SHEET</u>	<u>TITLE</u>
C1	COVER SHEET
C2	GENERAL SITE PLAN
C3	BUILDING ELEVATIONS

PROJECT DATA TABLE—

PROJECT FIELD NUMBERS	PROJECT FIELD NAMES	PROJECT FIELD DESCRIPTIONS	PROJECT FIELD COMMENTS
0864 (2) 0865 (2) 0866 (2) 0867 (2) 0868 (2) 0869 (2)	PROJECT 0865	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
0870 (2) 0871 (2) 0872 (2) 0873 (2) 0874 (2) 0875 (2)	PROJECT 0870	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
0876 (2) 0877 (2) 0878 (2) 0879 (2) 0880 (2) 0881 (2)	PROJECT 0876	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
0882 (2) 0883 (2) 0884 (2) 0885 (2) 0886 (2) 0887 (2)	PROJECT 0882	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
0888 (2) 0889 (2) 0890 (2) 0891 (2) 0892 (2) 0893 (2)	PROJECT 0888	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
0894 (2) 0895 (2) 0896 (2) 0897 (2) 0898 (2) 0899 (2)	PROJECT 0894	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
0900 (2) 0901 (2) 0902 (2) 0903 (2) 0904 (2) 0905 (2)	PROJECT 0900	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
0906 (2) 0907 (2) 0908 (2) 0909 (2) 0910 (2) 0911 (2)	PROJECT 0906	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
0912 (2) 0913 (2) 0914 (2) 0915 (2) 0916 (2) 0917 (2)	PROJECT 0912	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
0918 (2) 0919 (2) 0920 (2) 0921 (2) 0922 (2) 0923 (2)	PROJECT 0918	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
0924 (2) 0925 (2) 0926 (2) 0927 (2) 0928 (2) 0929 (2)	PROJECT 0924	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
0930 (2) 0931 (2) 0932 (2) 0933 (2) 0934 (2) 0935 (2)	PROJECT 0930	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
0936 (2) 0937 (2) 0938 (2) 0939 (2) 0940 (2) 0941 (2)	PROJECT 0936	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
0942 (2) 0943 (2) 0944 (2) 0945 (2) 0946 (2) 0947 (2)	PROJECT 0942	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
0948 (2) 0949 (2) 0950 (2) 0951 (2) 0952 (2) 0953 (2)	PROJECT 0948	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
0954 (2) 0955 (2) 0956 (2) 0957 (2) 0958 (2) 0959 (2)	PROJECT 0954	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
0960 (2) 0961 (2) 0962 (2) 0963 (2) 0964 (2) 0965 (2)	PROJECT 0960	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
0966 (2) 0967 (2) 0968 (2) 0969 (2) 0970 (2) 0971 (2)	PROJECT 0966	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
0972 (2) 0973 (2) 0974 (2) 0975 (2) 0976 (2) 0977 (2)	PROJECT 0972	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
0978 (2) 0979 (2) 0980 (2) 0981 (2) 0982 (2) 0983 (2)	PROJECT 0978	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
0984 (2) 0985 (2) 0986 (2) 0987 (2) 0988 (2) 0989 (2)	PROJECT 0984	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
0990 (2) 0991 (2) 0992 (2) 0993 (2) 0994 (2) 0995 (2)	PROJECT 0990	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
0996 (2) 0997 (2) 0998 (2) 0999 (2) 1000 (2) 1001 (2)	PROJECT 0996	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
1002 (2) 1003 (2) 1004 (2) 1005 (2) 1006 (2) 1007 (2)	PROJECT 1002	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
1008 (2) 1009 (2) 1010 (2) 1011 (2) 1012 (2) 1013 (2)	PROJECT 1008	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
1014 (2) 1015 (2) 1016 (2) 1017 (2) 1018 (2) 1019 (2)	PROJECT 1014	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
1020 (2) 1021 (2) 1022 (2) 1023 (2) 1024 (2) 1025 (2)	PROJECT 1020	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
1026 (2) 1027 (2) 1028 (2) 1029 (2) 1030 (2) 1031 (2)	PROJECT 1026	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
1032 (2) 1033 (2) 1034 (2) 1035 (2) 1036 (2) 1037 (2)	PROJECT 1032	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
1038 (2) 1039 (2) 1040 (2) 1041 (2) 1042 (2) 1043 (2)	PROJECT 1038	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
1044 (2) 1045 (2) 1046 (2) 1047 (2) 1048 (2) 1049 (2)	PROJECT 1044	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
1050 (2) 1051 (2) 1052 (2) 1053 (2) 1054 (2) 1055 (2)	PROJECT 1050	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
1056 (2) 1057 (2) 1058 (2) 1059 (2) 1060 (2) 1061 (2)	PROJECT 1056	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
1062 (2) 1063 (2) 1064 (2) 1065 (2) 1066 (2) 1067 (2)	PROJECT 1062	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
1068 (2) 1069 (2) 1070 (2) 1071 (2) 1072 (2) 1073 (2)	PROJECT 1068	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
1074 (2) 1075 (2) 1076 (2) 1077 (2) 1078 (2) 1079 (2)	PROJECT 1074	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
1080 (2) 1081 (2) 1082 (2) 1083 (2) 1084 (2) 1085 (2)	PROJECT 1080	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
1086 (2) 1087 (2) 1088 (2) 1089 (2) 1090 (2) 1091 (2)	PROJECT 1086	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
1092 (2) 1093 (2) 1094 (2) 1095 (2) 1096 (2) 1097 (2)	PROJECT 1092	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
1098 (2) 1099 (2) 1100 (2) 1101 (2) 1102 (2) 1103 (2)	PROJECT 1098	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
1104 (2) 1105 (2) 1106 (2) 1107 (2) 1108 (2) 1109 (2)	PROJECT 1104	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
1110 (2) 1111 (2) 1112 (2) 1113 (2) 1114 (2) 1115 (2)	PROJECT 1110	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
1116 (2) 1117 (2) 1118 (2) 1119 (2) 1120 (2) 1121 (2)	PROJECT 1116	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
1122 (2) 1123 (2) 1124 (2) 1125 (2) 1126 (2) 1127 (2)	PROJECT 1122	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	
1128 (2) 1129 (2) 1130 (2) 1131 (2) 1132 (2) 1133 (2)	PROJECT 1128	THE PROJECT DOES NOT EXIST WITHIN ANY PROJECT DISTRICTS.	

(1) NOT INCLUDING ADDITIONAL BUILDING SETBACK FOR BUILDINGS OVER 20 FEET IN HEIGHT
(2) ADJACENT TO FOLIOS 086163-0000; 86173-0000; 86173-0100; 086173-0300;
(*) VALUICO STATION PHASES II & III REZONED PER PD 14-1098 AS APPROVED 2/10/15 BY THE BOCC

LOCATION MAP -



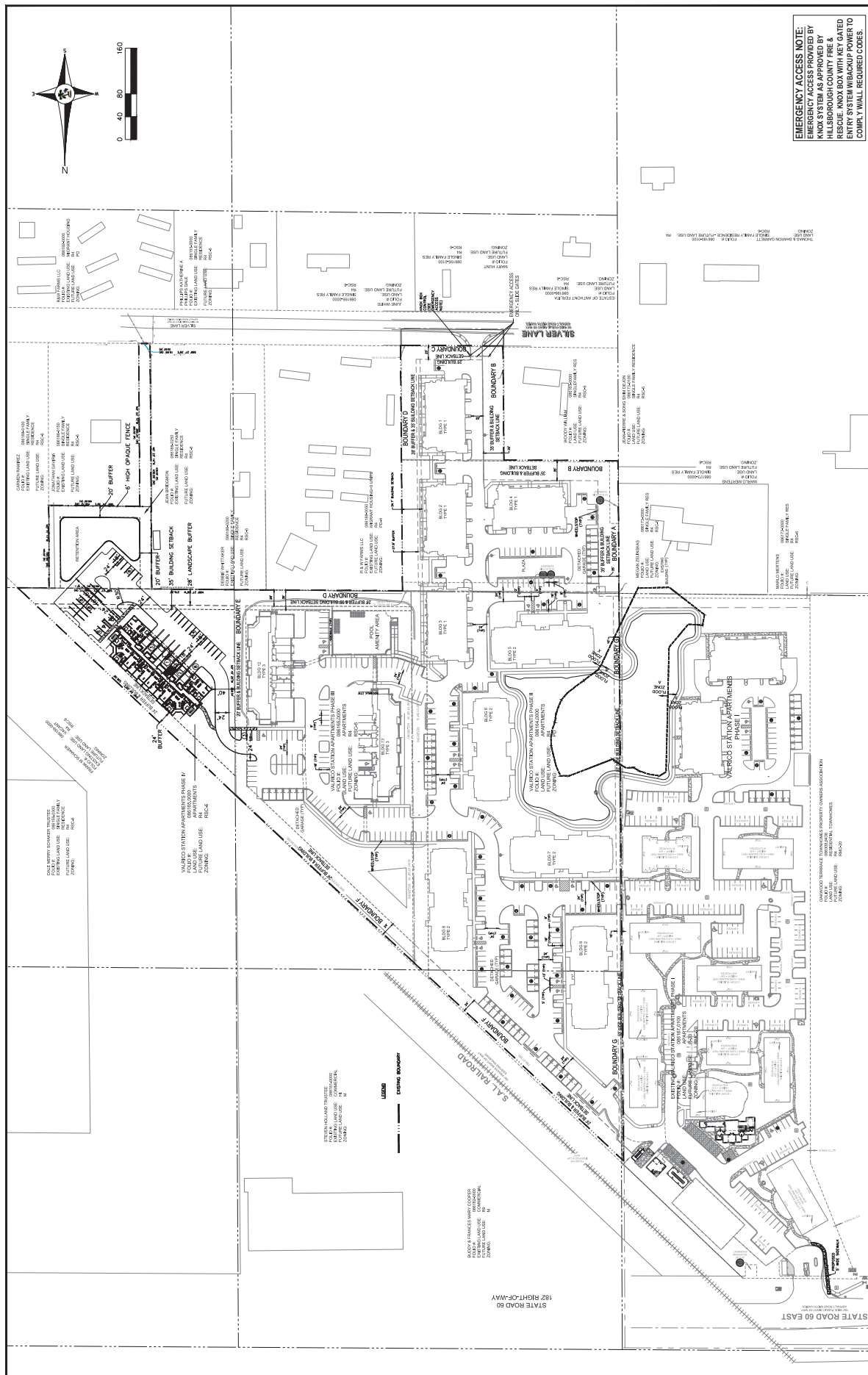
13-016,04
DATE: 11/12/2020
REVISED: 09/08/21
VALRICO STATION PHASES II, III & IV

WRH VALRICO STATION LLLP

415 1st Avenue North
St Petersburg, FL 33701
(727) 892-3005



Gulf Coast Consulting, Inc.
Land and Development Consulting
ENGINEERING TRANSPORTATION PLANNING PERMITTING
3825 I-10 BLVD., SUITE 605
Clearwater, Florida 33760
Phone: (727) 524-1818 Fax: (727) 524-6090
www.gulfcoastconsultinginc.com



EMERGENCY ACCESS NOTE:
EMERGENCY ACCESS PROVIDED BY
KNOX SYSTEM AS APPROVED BY
HILLSBOROUGH COUNTY FIRE &
RESCUE. KNOX BOX WITH KEY GATED
ENTRY SYSTEM W/BACKUP POWER TO
COMPLY WITH REQUIRED CODES.

Gulf Coast Consulting, Inc.
and Development Consulting
ENGINEERING TRANSPORTATION PLANNING PERMITTING
3825 ICCOT BLVD., SUITE 605
Clearwater, Florida 33760
Phone: (727) 524-1818 Fax: (727) 524-6090
WWW.GULFCOASTCONSULTING.COM

WRH VALRICO STATION LLLP
415 1st AVENUE NORTH
ST PETERSBURG, FL 33701
PHONE (727) 892-3005

DESCRIPTION:
WALRICO STATION PHASES II, III & IV
GENERAL SITE PLAN

6	06/23/21	REVISED GENERAL SITE PLAN & ADDED SOUTH PARCEL
5	03/08/21	REVISED GENERAL SITE PLAN
4	1/27/21	REVISED GENERAL SITE PLAN
3	4/22/15	REVISED GENERAL SITE PLAN
2	1/14/15	UPDATED FOR CERTIFIED SITE PLAN
1	11/18/14	ADDED FLEX LIMITS/EMERGENCY ACCESS NOTE

SEAN P. CASHEN
STATE OF FLORIDA
PROFESSIONAL ENGINEER
LICENSE NO. 42240

THESE PLANS MAY NOT BE COPIED OR
REPRODUCED WITHOUT WRITTEN PERMISSION
FROM GULF COAST CONSULTING, INC.

SEAN P. CASHEN, P.E. #42505
NOT VALID UNLESS SIGNED & EMBOSSSED
BY A REGISTERED ENGINEER
GULF COAST CONSULTING, INC.

DATE: 11/12/20

13-016.04

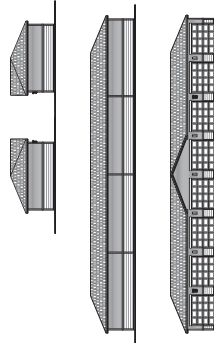
10/13/20



TYPE 1 BUILDING ELEVATIONS



TYPE 2 BUILDING ELEVATIONS



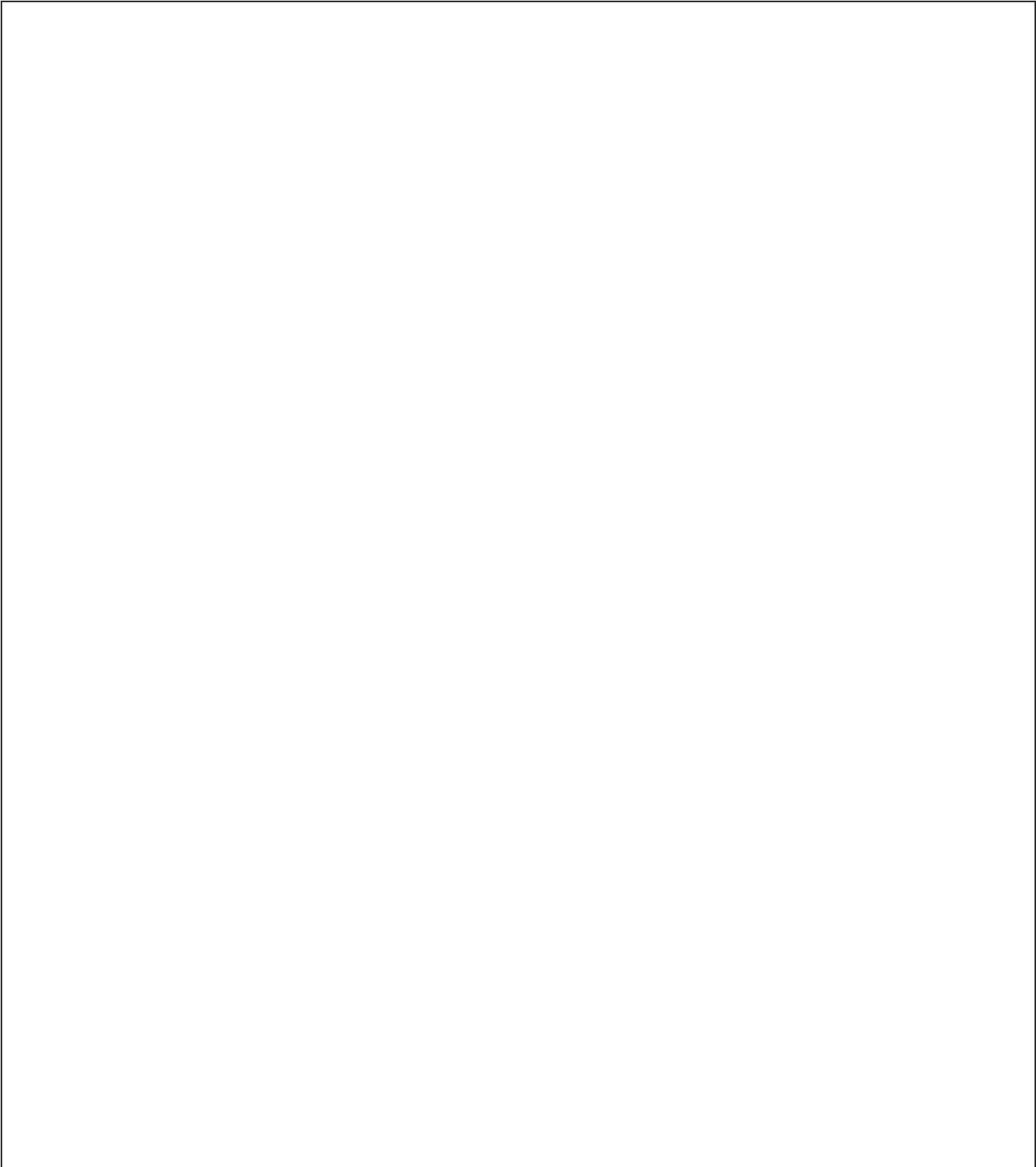
DETACHED GARAGE BUILDING ELEVATIONS



TYPE 3 BUILDING ELEVATIONS

[illegible]

8.0 PROPOSED SITE PLAN (FULL)



9.0 FULL TRANSPORTATION REPORT (see following pages)

AGENCY REVIEW COMMENT SHEET

TO: Zoning Technician, Development Services Department
REVIEWER: Alex Steady, Senior Planner
PLANNING AREA/SECTOR: Valrico/Central

DATE: 10/05/2021
AGENCY/DEPT: Transportation
PETITION NO: PD RZ 21-0113

<input type="checkbox"/>	This agency has no comments.
<input type="checkbox"/>	This agency has no objection.
<input checked="" type="checkbox"/>	This agency has no objection, subject to the listed or attached conditions.
<input type="checkbox"/>	This agency objects for the reasons set forth below.

REPORT SUMMARY AND CONCLUSIONS

- The proposed rezoning would result in an increase of trips potentially generated by development of the subject site by 62 average daily trips, 2 trips in the a.m. peak hour, and 2 trips in the p.m. peak hour.
- Transportation Review Section staff has no objection to the proposed request, subject to the conditions of approval provided hereinbelow.

CONDITIONS OF APPROVAL

- Notwithstanding anything on the PD site plan or herein these conditions to the contrary, bicycle and pedestrian access may be permitted anywhere along the PD boundaries.

PROJECT SUMMARY AND ANALYSIS

The applicant is requesting to rezone four parcels totaling +/- 15.62 acres from Residential Single-Family Conventional-6 (RSC-6) and PD (15-0714) to PD. The existing Valrico Station apartment complex included in the proposal is part of PD 15-0714 and was previously approved for 200 multi family dwelling units which has since been developed. The proposed PD would allow for an additional 34 multifamily dwelling units which would allow for a total of 234 multi family dwelling units, of which 200 have already been built. The site is located +/- 400 feet south east of the intersection of Valrico Rd and State Road 60. The Future Land Use designation of the site is R-4 and R-9.

Trip Generation Analysis

Staff has prepared a comparison of the trips potentially generated under the previously approved zoning and the proposed planned development including the additional residential units, utilizing a generalized worst-case scenario. Data presented below is based on the Institute of Transportation Engineer's Trip Generation Manual, 10th Edition.

Approved Zoning:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
PD, 200 Multi Family Dwelling Units (ITE code 221)	1,088	72	88
RSC-6, 13 Single Family Dwelling Units (ITE code 210)	123	10	13
Total	1,211	82	101

Proposed Zoning:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
PD, 234 Multi Family Dwelling Units (ITE code 221)	1,273	84	103

Trip Generation Difference:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
Difference	+62	+2	+2

The proposed rezoning would result in an increase of trips potentially generated by development of the subject site by 62 average daily trips, 2 trips in the a.m. peak hour, and 2 trips in the p.m. peak hour.

TRANSPORTATION INFRASTRUCTURE SERVING THE SITE

SR 60 is a 4-lane major arterial, FDOT maintained roadway, characterized by +/-12 feet travel lanes. The existing right-of-way on SR 60 is +/-180 feet. There are no marked bicycle facilities on SR 60 but there is a 5-foot sidewalk present on the south side of the roadway, adjacent to the proposed project.

The Hillsborough County Corridor Preservation Plan includes SR 60 as a future six-lane roadway.

SITE ACCESS

The previously approved PD (15-0714) has existing vehicular and pedestrian access on SR 60. The proposed planned development will continue to use the same access for vehicular and pedestrian connection. Gated emergency access is provided via Silver Lane.

ROADWAY LEVEL OF SERVICE (LOS)

Level of Service (LOS) information is reported below.

Roadway	From	To	LOS Standard	Peak Hr Directional LOS
SR 60 / BRANDON BLVD	VALRICO RD	DOVER RD	D	C

Source: [*2020 Hillsborough County Level of Service \(LOS\) Report*](#)

3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)

Adjoining Roadways (check if applicable)			
Road Name	Classification	Current Conditions	Select Future Improvements
SR 60	FDOT Arterial - Urban	4 Lanes <input type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input checked="" type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other

Project Trip Generation <input type="checkbox"/> Not applicable for this request			
	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	1,211	82	101
Proposed	1,273	84	103
Difference (+/-)	+62	+2	+2

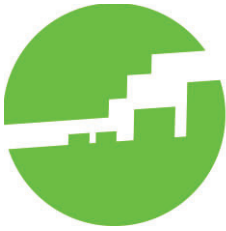
*Trips reported are based on net new external trips unless otherwise noted.

Connectivity and Cross Access <input type="checkbox"/> Not applicable for this request				
Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North	X	None	None	Meets LDC
South		Vehicular	None	Meets LDC
East		None	None	Meets LDC
West		None	None	Meets LDC
Notes: Connectivity to the south is emergency access only.				

Design Exception/Administrative Variance <input checked="" type="checkbox"/> Not applicable for this request		
Road Name/Nature of Request	Type	Finding
	Choose an item.	Choose an item.
	Choose an item.	Choose an item.
Notes:		

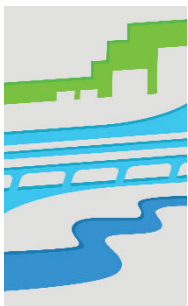
4.0 Additional Site Information & Agency Comments Summary

Transportation	Objections	Conditions Requested	Additional Information/Comments
<input type="checkbox"/> Design Exception/Adm. Variance Requested <input type="checkbox"/> Off-Site Improvements Provided	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	See Staff Report.



Hillsborough County City-County Planning Commission

Unincorporated Hillsborough County Rezoning	
Hearing Date: October 18, 2021 Report Prepared: October 7, 2021	Petition: PD 21-0113 108 Valrico Station Road <i>South side of State Road 60, west of Mulrennan Road</i>
Summary Data:	
Comprehensive Plan Finding:	CONSISTENT
Adopted Future Land Use:	Residential-4 (4 du/ga; 0.25 FAR) and Residential-9 (9du/ga;0.50 FAR) NOTE: An amendment is in process to change a portion of the site's Future Land Use designation to Residential-20 (RES-20)
Service Area:	Urban
Community Plan:	N/A
Rezoning Request:	Residential Single-Family Conventional-6 (RSC-6) and Planned Development (PD) to a new Planned Development (PD) allowing for 234 multi-family units
Parcel Size (Approx.):	15.6± acres
Street Functional Classification:	State Road 60 – Arterial Mulrennan Road – Collector
Locational Criteria:	N/A
Evacuation Zone:	The site is not within an Evacuation Zone



Plan Hillsborough
planhillsborough.org
planner@plancom.org
 813 – 272 – 5940
 601 E Kennedy Blvd
 18th floor
 Tampa, FL, 33602

Context

- The 15.6 ± acre property is located on the north side of State Road 60, west of Mulrennan Road. 14.8 ± acres of the will be designated RES-20 and 0.76± acres of the site is designated RES-4. A portion of the site is developed with multi-family residential dwellings. The subject property is located within the Urban Service Area (USA). The site is not within the limits of a Community Plan.
- A Comprehensive Plan Amendment (HC/CPA 21-01) for a portion of the site (the northern 14.8 acres) is currently being proposed. The amendment proposes to change the site's Future Land Use designation from Residential-4 and Residential-9 (RES-9) to Residential-20. Typical uses in the Residential-20 are residential, neighborhood commercial, office uses, multi-purpose projects and mixed-use developments. HC/CPA 21-01 was found consistent by the Planning Commission on July 12, 2021. This rezoning is subject to the Hillsborough Board of County Commissioners' approval of Hillsborough County Comprehensive Plan Amendment 21-01 (HC/CPA 21-01).
- To the west of the site the zoning designation is Residential Multi-family Conventional-20(RMC-20) developed with multi-family residential dwellings. A Planned Development (PD) is south of the site and is developed with a mobile home park. Residential Single Family Conventional-6 (RSC-6) is also located to the south and is developed with single family residential dwellings. North of the site is designated with a Manufacturing (M) zoning designation and is developed with a salvage yard. Additional Residential Single Family Conventional-6 (RSC-6) is also located to the east and is developed with single family residential.
- The applicant is requesting a Planned Development (PD) to allow 234 multi-family residential units.

Compliance with Comprehensive Plan:

The following Goals, Objectives and Policies apply to this rezoning request and are used as a basis for a consistency finding.

Future Land Use Element

Urban Service Area (USA)

Objective 1: Hillsborough County shall pro-actively direct new growth into the urban service area with the goal that at least 80% of all population growth will occur within the USA during the planning horizon of this Plan. Within the Urban Service Area, Hillsborough County will not impede agriculture. Building permit activity and other similar measures will be used to evaluate this objective.

Policy 1.2: Minimum Density

All new residential or mixed use land use categories within the USA shall have a density of 4 du/ga or greater unless environmental features or existing development patterns do not support those densities.

Within the USA and in categories allowing 4 units per acre or greater, new development or redevelopment shall occur at a density of at least 75% of the allowable density of the land use category, unless the development meets the criteria of Policy 1.3.

Policy 1.4: *Compatibility is defined as the characteristics of different uses or activities or design which allow them to be located near or adjacent to each other in harmony. Some elements affecting compatibility include the following: height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor and architecture. Compatibility does not mean “the same as.” Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development.*

Neighborhood/Community Development

Objective 16: Neighborhood Protection – *The neighborhood is the functional unit of community development. There is a need to protect existing, neighborhoods and communities and those that will emerge in the future. To preserve, protect, and enhance neighborhoods and communities, all new development must conform to the following policies.*

Policy 16.1: *Established and planned neighborhoods and communities shall be protected by restricting incompatible land uses through mechanisms such as:*

- a) locational criteria for the placement of non-residential uses as identified in this Plan,*
- b) limiting commercial development in residential land use categories to neighborhood scale;*
- c) requiring buffer areas and screening devices between unlike land uses;*

Policy 16.2: *Gradual transitions of intensities between different land uses shall be provided for as new development is proposed and approved, through the use of professional site planning, buffering and screening techniques and control of specific land uses.*

Policy 16.3: *Development and redevelopment shall be integrated with the adjacent land uses through:*

- a) the creation of like uses; or*
- b) creation of complementary uses; or*
- c) mitigation of adverse impacts; and*
- d) transportation/pedestrian connections*

Policy 16.8: *The overall density and lot sizes of new residential projects shall reflect the character of the surrounding area, recognizing the choice of lifestyles described in this Plan.*

5.0 NEIGHBORHOOD LEVEL DESIGN

5.1 COMPATIBILITY

GOAL 12: *Design neighborhoods which are related to the predominant character of the surroundings.*

Objective 12-1: *New developments should recognize the existing community and be designed in a way that is compatible (as defined in FLUE policy 1.4) with the established character of the surrounding neighborhood.*

Policy 12-1.4: *Compatibility may be achieved through the utilization of site design techniques including, but not limited to, transitions in uses, buffering, setbacks, open space and graduated*

height restrictions, to affect elements such as height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor and architecture.

Staff Analysis of Goals, Objectives, and Policies:

The applicant is requesting a rezoning on the subject property from Residential Single-Family Conventional-6 (RSC-6) and Planned Development (PD) to a new Planned Development to allow for 234 multi-family units. The request is an allowable use and is consistent with the Residential-20 and Residential-4 Future Land use classifications.

The site is currently developed with 200 multi-family residential units, the addition of the 34 units will be compatible with the surrounding development pattern meeting the intent of Policies 16.3 and 16.8 of the Future Land Use Element that require new development, to be compatible with the surrounding area in character, lot size and density. In this case, the proposal is consistent with the development pattern in the area, which consists of both single-family and multi-family residential.

The subject site is within the Urban Service Area and meets the intent of Objective 1 and Policies 1.2 which direct growth to be in the Urban Service Area and for residential developments in the Urban Service Area to meet a minimum density. The proposal is for 234 multi-family dwelling units. Based on the Residential-4 (RES-4) and Residential-20 Future Land use category and with an acreage of 15.6, a minimum of 224 units would need to be developed to meet minimum density.

Overall, Planning Commission staff finds the proposed use and density to be compatible with the surrounding area. The request would allow for a development that is consistent with the Goals, Objectives and Policies of the Future Land Use Element of the *Future of Unincorporated Hillsborough County Comprehensive Plan for Unincorporated Hillsborough County*.

Recommendation

Based upon the above considerations, Planning Commission staff finds the proposed Planned Development **CONSISTENT** with the *Future of Hillsborough Comprehensive Plan for Unincorporated Hillsborough County*, subject to the conditions proposed by the Development Services Department and Hillsborough Board of County Commissioners' approval of Hillsborough County Comprehensive Plan Amendment (HC/CPA 21-01).

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PD Modification Application MM 21-0313

Zoning Hearing Master Date: 10/18/21

BOCC Land Use Meeting Date:
12/14/21



**Hillsborough
County Florida**

Development Services Department

1.0 APPLICATION SUMMARY

Applicant: Shumaker, Loop & Kendrick LLP
(Matt Newton / David Singer)

FLU Category: Residential-6 (RES-6)

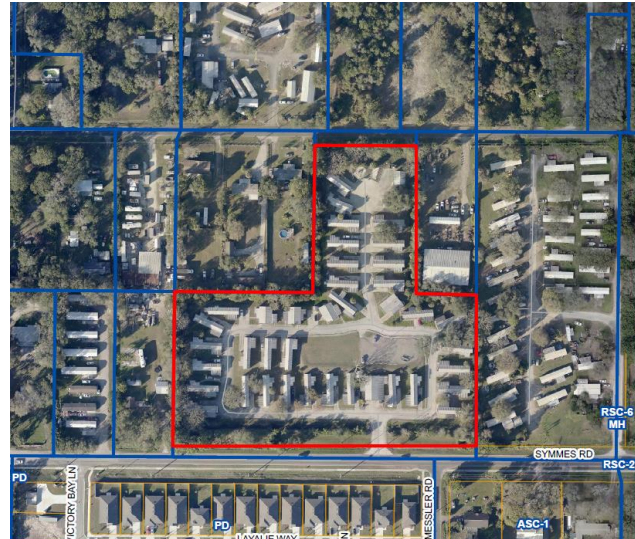
Service Area: Urban

Site Acreage: 6.42 acres

Community Plan Area: Gibsonton

Overlay: None

Request Major Modification to PD 85-0306



Existing Approvals:

PD 85-0306 (Resolution No. 92-0862):
Property was rezoned to expand mobile home park from 30 to 40 units, with conditions.

Proposed Modifications:

The request is to modify Planned Development (PD) 85-0306, associated with one parcel totaling approximately 6.42 acres to allow for an increase from 40 dwelling units to 49 dwelling units.

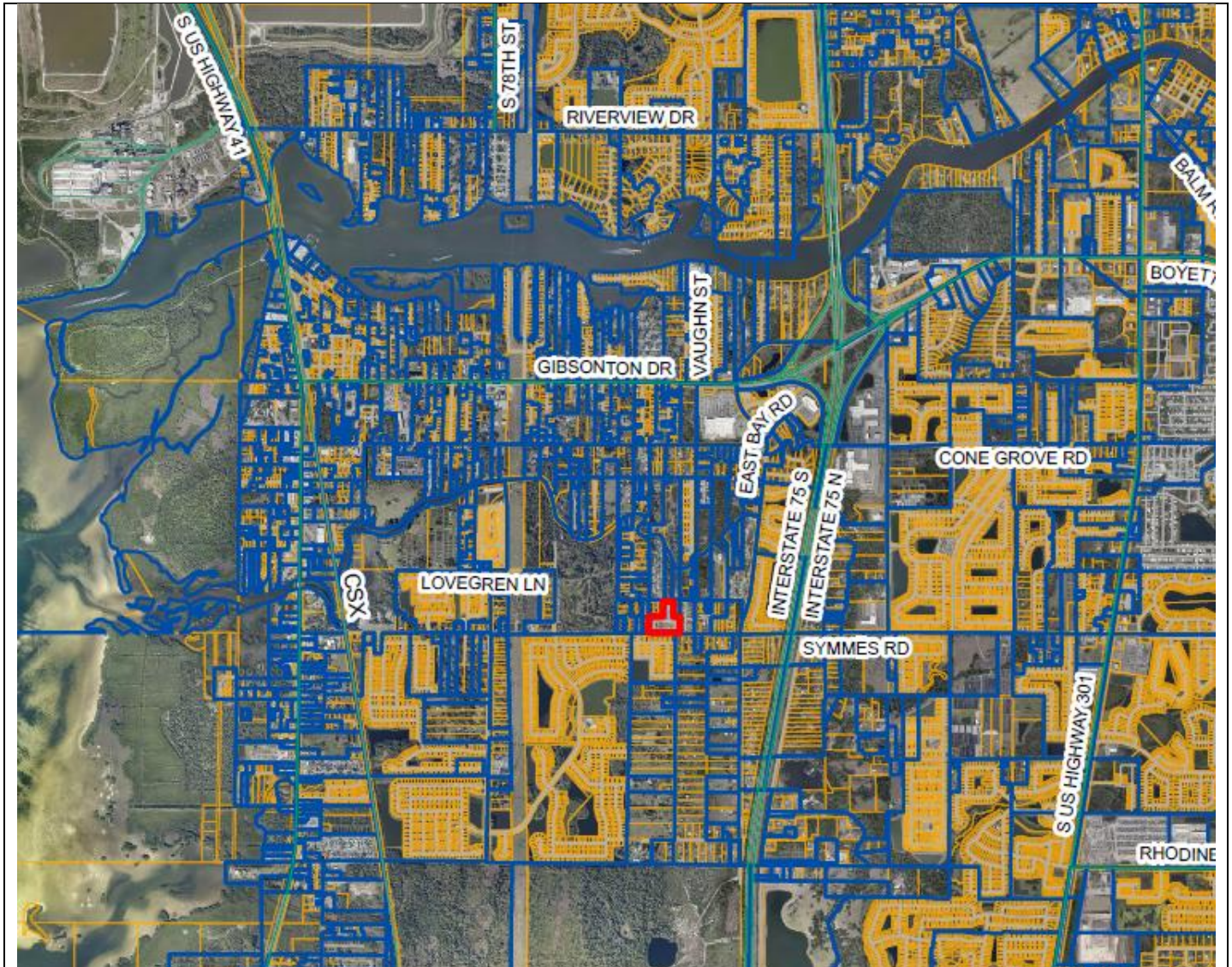
The site is located north of the Symmes Road and Messler Road intersection. The underlying future land use (FLU) category of the subject parcel is Residential-6 (RES-6).

Additional Information:

PD Variations	None requested.
Waivers	None requested.
Planning Commission Recommendation	Planning Commission staff finds the proposal consistent with the Hillsborough Comprehensive Plan for Unincorporated Hillsborough County.
Development Services Department Recommendation	Approvable, with conditions.

2.0 LAND USE MAP SET AND SUMMARY DATA

2.1 Vicinity Map



Context of Surrounding Area:

The surrounding area is substantially developed with mobile homes in the immediate vicinity.

- The adjacent three properties located west/northwest were zoned RSC-6 per RZ-82-0035 to allow mobile homes.
- The property to the northeast zoned RSC-6 is developed with a large aluminum structure.
- To the east is PD (91-0082) developed with a mobile home park.
- North across Honeywell Road is a mobile home park and single-family residences.
- To the south across Symmes Road are single-family homes.

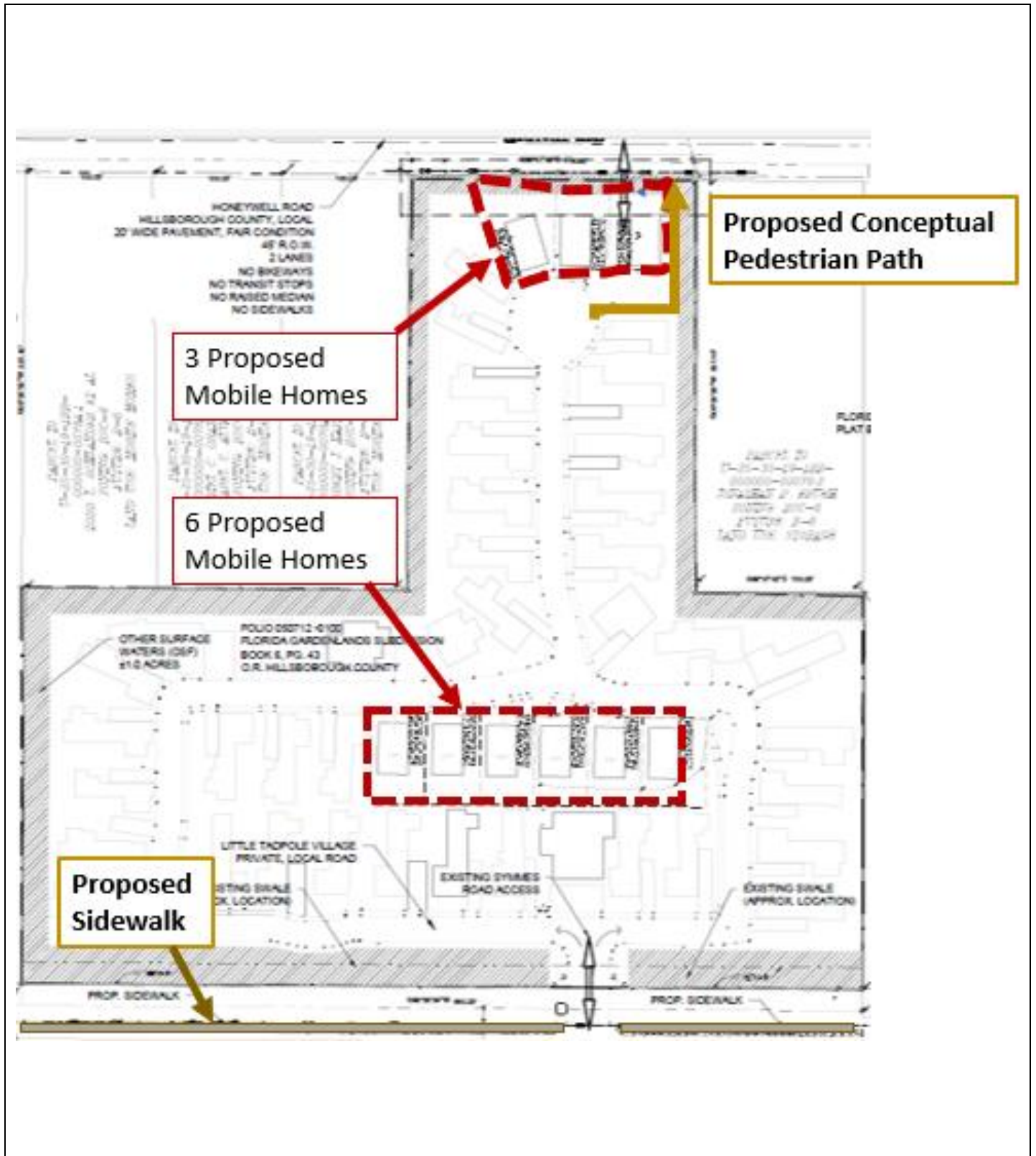
The site is located within the limits of the Gibsonton Community Plan and the Southshore Areawide Systems Plan. The site is located within the Urban Service Area (USA).

2.0 LAND USE MAP SET AND SUMMARY DATA**2.3 Immediate Area Map**

Adjacent Zonings and Uses					
Location:	Zoning:	Future Land Use:	Density/F.A.R.	Permitted Use:	Existing Use:
North	ASC-1, AS-1, PD 91-0081	Residential-6 (RES-6)	1 du/ac.	SF/MH/Agriculture	Vacant & MH Development
South	PD 17-0066, RSC-2 (Southeast)	Suburban Mixed Use-6 (SMU-6)	5,000 sq. ft. lots (PD), 0.5 ac. (RSC-2)	Single-family	Single-Family
West	RSC-6 (82-0035)	Residential-6 (RES-6)	7,000 sq. ft. lots	SF / Mobile Homes	3 SF Mobile Homes
East	PD 91-0082 & RSC-6	Residential-6 (RES-6)	7.22 du/ac. (max. 36 MH spaces—PD 91-0082)	Single-family	MH Development, and SF Mobile Home

2.0 LAND USE MAP SET AND SUMMARY DATA

2.5 Proposed Site Plan (Sept. 28)



3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)

Adjoining Roadways (check if applicable)			
Road Name	Classification	Current Conditions	Select Future Improvements
Symmes Rd.	County Collector - Rural	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input checked="" type="checkbox"/> Sufficient ROW Width (for Urban Section)	<input checked="" type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
Honeywell Rd.	County Local - Rural	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input checked="" type="checkbox"/> Sufficient ROW Width (for Urban Section)	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
	Choose an item.	Choose an item. Lanes <input type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
	Choose an item.	Choose an item. Lanes <input type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other

Project Trip Generation <input type="checkbox"/> Not applicable for this request			
	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	200	10	18
Proposed	245	13	23
Difference (+/-)	(+) 45	(+) 3	(+) 5

*Trips reported are based on net new external trips unless otherwise noted.

Connectivity and Cross Access <input type="checkbox"/> Not applicable for this request				
Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North		Pedestrian	None	Meets LDC
South	X	Vehicular & Pedestrian	None	Meets LDC
East		None	None	Meets LDC
West		None	None	Meets LDC

Notes: No sidewalk will be provided along Honeywell Dr. frontage; however, pedestrian connection to Honeywell Dr. is being required – see Transportation staff report for additional information.

Design Exception/Administrative Variance <input type="checkbox"/> Not applicable for this request		
Road Name/Nature of Request	Type	Finding
Symmes Rd./ Access Spacing	Administrative Variance Requested	Approvable
Symmes Rd./ Substandard Rd.	Administrative Variance Requested	Approvable

Notes:

4.0 Additional Site Information & Agency Comments Summary

Transportation	Objections	Conditions Requested	Additional Information/Comments
<input checked="" type="checkbox"/> Design Exception/Adm. Variance Requested <input type="checkbox"/> Off-Site Improvements Provided	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	

4.0 ADDITIONAL SITE INFORMATION & AGENCY COMMENTS SUMMARY

INFORMATION/REVIEWING AGENCY	OBJECTIONS	CONDITIONS REQUESTED	ADDITIONAL INFORMATION/COMMENTS
Environmental:			
Environmental Protection Commission	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	See additional informational only comments from EPC. However, future EPC staff review is not limited to the following, regardless of the obviousness of the concern as raised by the general site plan and EPC staff may identify other legitimate concerns at any time prior to final project approval.
Natural Resources	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Conservation & Environmental Lands Mgmt.	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Check if Applicable: <div style="display: flex; justify-content: space-between;"> <div> <input checked="" type="checkbox"/> Wetlands/Other Surface Waters along entire property boundary <input type="checkbox"/> Use of Environmentally Sensitive Land Credit <input type="checkbox"/> Wellhead Protection Area <input type="checkbox"/> Surface Water Resource Protection Area <input checked="" type="checkbox"/> Potable Water Wellfield Protection Area </div> <div> <input type="checkbox"/> Significant Wildlife Habitat <input type="checkbox"/> Coastal High Hazard Area <input type="checkbox"/> Urban/Suburban/Rural Scenic Corridor <input type="checkbox"/> Adjacent to ELAPP property <input type="checkbox"/> Other _____ </div> </div>			
Public Facilities:			
Transportation <input type="checkbox"/> Design Exception Requested <input type="checkbox"/> Off-site Improvements Required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

Utilities Service Area/ Water & Wastewater <input checked="" type="checkbox"/> Urban <input type="checkbox"/> City of Tampa <input type="checkbox"/> Rural <input type="checkbox"/> City of Temple Terrace	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	The subject rezoning includes parcels that are within the Urban Service Area and would require connection to the County's potable water and wastewater systems.
Hillsborough County School Board Adequate <input checked="" type="checkbox"/> K-5 <input checked="" type="checkbox"/> 6-8 <input checked="" type="checkbox"/> 9-12 <input type="checkbox"/> N/A Inadequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Gibsonton Elementary, Dowdell Middle, and East Bay High School have capacity for the proposed project. This is an analysis for adequate facilities only and is NOT a determination of school concurrency. A school concurrency review will be issued PRIOR TO preliminary plat or site plan approval.
Impact/Mobility Fees The project area is located in the Urban Service Area. A 12-inch water main is available approximately 60 feet from the site and is located within the south right-of-way of Symmes Road. The property lies within the Hillsborough County Wastewater Service Area. An 8-inch wastewater force main is available on the north right-of-way of Symmes Road. Estimated Fees: <div style="background-color: #e6f2ff; padding: 10px; margin-top: 10px;"> <p>(Fee estimate is based on a 1,500 square foot, 3 bedroom, Mobile Home Unit)</p> <p>Mobility: \$2,764 * 9 units = \$ 24,876</p> <p>Parks: \$1,656 * 9 units = \$ 14,904</p> <p>School: \$7,027.00 * 9 units = \$ 63,243</p> <p>Fire: \$299.00 * 9 units = \$ 2,691</p> <p>9 Mobile Home in Park = \$105,714</p> </div> Project Summary/Description: <div style="background-color: #e6f2ff; padding: 10px; margin-top: 10px;"> <p>9 Mobile Home units in a park</p> <p>Urban Mobility</p> <p>South Fire</p> <p>Central Parks</p> </div>			
Comprehensive Plan:			
Planning Commission <input type="checkbox"/> Meets Locational Criteria <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Locational Criteria Waiver Requested <input checked="" type="checkbox"/> Minimum Density Met <input type="checkbox"/> N/A	<input type="checkbox"/> Inconsistent <input checked="" type="checkbox"/> Consistent <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

5.0 IMPLEMENTATION RECOMMENDATION

5.1 Compatibility

The request is to modify Planned Development (PD) 85-0306, associated with one parcel totaling approximately 6.42 acres to allow for an increase from 40 dwelling units to 49 dwelling units. The site is located north of the Symmes Road and Messler Road intersection. The underlying future land use (FLU) category of the subject parcel is Residential-6 (RES-6). The subject area consists of one parcel (see Project Location Map).

- Folio 50712.0100 is currently zoned PD 85-0306, which is approved for a 40-space mobile home park.
- The parcel is currently developed with a 40-space mobile home park.

Six of the new dwelling units will be located in the center of the existing development, and three dwelling units will be located to the rear of the development with access through the development. The six mobile homes proposed to be located in the middle of the mobile home park are vacant areas and an internal parking area. The three mobile homes proposed to be located in the rear are partially paved and developed with a playground for the existing 40-unit mobile home park. The applicant proposes 9 additional mobile homes, shown on the site plan.

The surrounding area is substantially developed with mobile homes in the immediate vicinity.

- The adjacent three properties located west/northwest were zoned RSC-6 per RZ-82-0035 to allow mobile homes.
- The property to the northeast zoned RSC-6 is developed with a large aluminum structure. The proposed 3 mobile homes near this location will be required to be 25 feet between the nearest mobile home and the park boundary per Sec. 6.11.110.
- To the east is PD (91-0082) developed with a mobile home park.
- North across Honeywell Road is a mobile home park and single-family residences.

The application does not request any variations to Land Development Code Parts 6.05.00 (Parking and Loading), 6.06.00 (Landscaping/Buffering) and Sec. 6.11.110 - Mobile Home Parks and Recreational Vehicle Parks. The site will comply with and conform to all other applicable policies and regulations, including but not limited to, the Hillsborough County Land Development Code, Site Development and Technical Manuals.

If MM 21-0313 is approved, the County Engineer will approve a Section 6.04.02.B. Administrative Variance which was found approvable by the County Engineer for the Symmes Rd. substandard road improvements. Approval of this Administrative Variance will waive the Symmes Rd. substandard road improvements required by Section 6.04.03.L. Consistent with the Development Review Procedures Manual (DRPM), the applicant submitted a trip generation letter indicating that, given the project generates fewer than 50 peak hour trips at buildout, no transportation analysis was required to process this request. The applicant is also proposing project access on Symmes Rd. in a location approximately 126 feet from Messler Rd. to the east of the site. Section 6.04.07 of the Land Development Code (LDC) requires a minimum access spacing of 245 feet. As such, the applicant submitted a Section 6.04.02.B. Administrative Variance from the spacing requirement. If the rezoning is approved, the County Engineer will approve the Administrative Variances. Additional information regarding the transportation variances is found in the Transportation Agency Review.

5.2 Recommendation

The proposed project with the proposed development standards, existing scale and restrictions may be found to be **APPROVABLE**, with conditions. The request would encourage residential development that complements the surrounding character and promotes housing diversity in the Gibsonton and Southshore Areawide Systems Community Plan area. The proposed development satisfies the intent of the Goals, Objectives and Policies of the Future Land Use Element of the Unincorporated Hillsborough County Comprehensive Plan and finds the proposed Major Modification consistent with the Future of Hillsborough Comprehensive Plan for Unincorporated Hillsborough County.

6.0 PROPOSED CONDITIONS

Staff finds the request Approvable, subject to the following conditions listed below, is based on the general site plan submitted September 28, 2021.

1. ~~Development of the site shall be restricted to a maximum of 6 dwelling units per gross acre for a total of 40 mobile homes. The mobile homes park shall be limited to a maximum of 49 mobile homes and in compliance Land Development Code Section 5.03.07.~~
2. ~~The area occupied by the interim wastewater treatment plant shall be developed as a recreation area or open space once the area is no longer needed for the plant.~~
2. All mobile homes shall have a setback of not less than 25 feet in depth between the mobile homes and the park boundaries in compliance with Section 6.11.110.
3. The average unit area of premises (lot size) shall be 3,200 square feet or greater as required by the MHP/RVP regulations.
4. ~~Prior to Final Site Plan Approval, the developer shall submit drainage plans and calculation to, and have received approval from the County Environment Protection Commission. Said Environmental Protection Commission approval shall be submitted by the developer to the County Department of Development Coordination prior to Final Site Plan approval.~~
5. ~~Stormwater detention/retention pond design requirements for the development shall be listed below.~~
 - a. ~~The side slopes shall be no greater than 4:1.~~
 - b. ~~The banks shall be completely vegetated to the design low water elevation.~~
 - c. ~~The side and bottom of each pond shall not be constructed of impervious material.~~
4. Approval of this zoning petition by Hillsborough County does not constitute a guarantee that the Environmental Protection Commission of Hillsborough County (EPC) approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impact to wetlands, and does not grant any implied or vested right to environmental approvals.
5. The construction and location of any proposed wetland impacts are not approved by this correspondence, but shall be reviewed by EPC staff under separate application pursuant to the EPC Wetlands rule detailed in Chapter 1-11, Rules of the EPC, (Chapter 1-11) to determine whether such impacts are necessary to accomplish reasonable use of the subject property.
6. ~~The developer shall provide, prior to Final Site Plan approval, an additional 17 feet of right of way along the north side of Symmes, thereby providing part of the 94 feet of total right-of-way needed ultimately to accommodate a 4-lane divided roadway section.~~
6. Prior to the issuance of any building or land alteration permits or other development, the approved wetland / other surface water (OSW) line must be incorporated into the site plan. The wetland/ OSW line must appear on all site plans, labeled as "EPC Wetland Line", and the wetland must be labeled as "Wetland Conservation Area" pursuant to the Hillsborough County Land Development Code (LDC).
7. Final design of buildings, stormwater retention areas, and ingress/egresses are subject to change

pending formal agency jurisdictional determinations of wetland and other surface water boundaries and approval by the appropriate regulatory agencies.


7. ~~Driveway radii shall be a minimum of 40 feet to accommodate single-unit vehicles.~~
8. Access to the site shall be offset by a minimum of 125 feet from Messler Road, measured from the center line of the project drive to the centerline of Messler Road. If MM 21-0313 is approved, the County Engineer will a Section 6.04.02.B Administrative Variance (dated October 1, 2021 from Section 6.04.07 access spacing requirements, which has been found approvable by the County Engineer (on October 4, 2021). Approval of this Administrative Variance will permit the reduction of the minimum access spacing between the project driveway and the next closest driveway to the east to +/-126 feet.
9. Prior to or concurrent with the initial increment of development for the 9 additional units are the subject of MM 21-0313. The developer shall provide construct, prior to the issuance of Certificates of Occupancy, sidewalk internal to the project and external to the project in the right-of-way area of the major roadway(s) bordering the project (i.e., a minimum 5-foot wide sidewalk along the project's Symmes Road frontage, as well as a minimum 5-foot wide sidewalk connection between such sidewalk and the internal sidewalk network. The exact location of said sidewalks shall be determined by the County Department of Development Services Coordination during Final Site Plan approval.
10. ~~The developer shall be required to utilize public water and shall pay all costs to connect for service delivery. The developer shall be required to obtain the express, written approval of the Hillsborough County Fire Department and of the Hillsborough County Department of Water and Wastewater Utilities for the extension of the water system and for its adequacy as source of potable water and of fire flows of water. Subject to said approvals, the developer may extend a 3-inch diameter water main from the area of Bull Frog Creek Trailer Park or extend the larger system referred to by the Witness Adams in the Transcript of the Zoning Master Hearing of September 12, 1985, at Page 100. The developer shall submit to the County Department of Development Coordination, prior to the issuance of Certificates of Occupancy, evident of commitment from the County Department of Water and Wastewater Utilities to provide public water services, which commitment shall reflect the approval required above. Additionally, the developer shall submit to the County Department of Development Coordination, prior to the issuance of Certificates of Occupancy, evidence of agreement to pay necessary cost to enable the County to provide public water service delivery.~~
10. Notwithstanding anything on the PD site plan or herein these conditions to the contrary, bicycle and pedestrian access may be permitted anywhere along the project boundaries.
11. If MM 21-0313 is approved, the County Engineer will approve a Section 6.04.02.B. Administrative Variance (dated October 1, 2021) which was found approvable by the County Engineer (on October 4, 2021) for the Symmes Rd. substandard road improvements. Approval of this Administrative Variance will waive the Symmes Road substandard road improvements required by Section 6.04.03.L.
12. Pursuant to direction received during Agenda Item I.1. "Commissioner's Recommended Board Motion: Provide direction to the Development Services Department regarding sidewalk requirements for small scale, individual home construction, where the sidewalk would not be practicably located near any existing pedestrian network." at the July 20, 2021 Hillsborough County Board of County Commissioner's Land Use Meeting, it was determined by the Administrator that no sidewalk shall be required to be constructed along the project's Honeywell Rd. frontage nor shall a Section 11.04 Variance be required.

13. Prior to or concurrent with the initial increment of development for the 9 additional units are the subject of MM 21-0313, the developer shall construct a minimum 5-foot wide sidewalk connection between the internal sidewalk network and the pavement of Honeywell Rd. as generally shown on the PD site plan.
14. Prior to PD Site Plan Certification, the applicant shall revise the PD site plan to:
- a. Shift the pedestrian access arrow to Honeywell Rd. to the location shown in the drawing provided below; and,
 - b. Add to the site plan and within the legend a dashed line, labeled as "Pedestrian Connection (Conceptual Alignment) in the location shown in the drawing provided below. The intent of this connection is to fulfill the required pedestrian connection between the internal sidewalk network and Honeywell Rd. pavement without conflicting with existing or otherwise crossing the proposed driveways serving new the mobile home units which are the subject of this modification.
- ~~11. The development shall comply with Chapter 10D-6, 10D-26, and 17-22 of the Florida Administrative Code. All public water supply and water distribution systems must be installed in full compliance with Chapters 17-22 and 10D-4, both of the Florida Administrative Code, and receive the required water system clearance letter from the Health Department prior to the issuances of Certificates of Occupancy for the project.~~
- ~~12. Within the area indicated as the approximate location of the interim wastewater treatment plant, the treatment plant itself shall be located a minimum of 200 feet from any residential dwelling off site. The pond area containing treated effluent may be located nearer than 200 feet from off site residential dwellings, but same shall be located a minimum of 30 feet from any property line.~~
- ~~13. The developer shall design, construct, operate, and maintain the recreation area as a private park.~~
- ~~14~~15. The developer shall provide street lighting internal to the project. Any illumination which may emanate from lights on site shall not concurrently illuminate any area and/or structure off site.
- ~~15~~16. The developer or designate thereof shall be responsible for maintenance of the buffer.
- ~~16~~17. The developer shall screen, prior to the issuance of Certificates of Occupancy, all trash receptables, dumpsters, et cetera from view from public places and neighboring properties through the use of features, such as berms, fences, false facades, and dense landscaping.
- ~~17~~18. The developer shall comply with all requirements of the MHP/RVP Zoning District.
- ~~18~~19. Prior to Commercial Site Plan approval, the develop shall submit to the County Environmental Protection Commission, a copy of the Southwest Florida Water Management District stormwater discharge permit or exemption for the project.
20. Prior to the issuance of any building or land alteration permits or other development, the approved wetland / other surface water (OSW) line must be incorporated into the site plan. The wetland/ OSW line must appear on all site plans, labeled as "EPC Wetland Line", and the wetland must be labeled as "Wetland Conservation Area" pursuant to the Hillsborough County Land Development Code (LDC).
21. Final design of buildings, stormwater retention areas, and ingress/egresses are subject to change pending formal agency jurisdictional determinations of wetland and other surface water boundaries and approval by the appropriate regulatory agencies.

22. Water distribution system improvements will need to be completed prior to connection to the County's water system. No building permits that would create demand for water service shall be issued until either the completion by the County of funded Capital Improvement Program projects C32001 - South County Potable Water Repump Station Expansion and C32011 - Potable Water In-Line Booster Pump Station, and the projects are put into operation or until June 1, 2022, whichever occurs first.
23. The subject property should be served by Hillsborough County Water and Wastewater Service. Developer is responsible for submitting a utility service request at the time of development plan review and will be responsible for any on-site improvements as well as possible off-site improvements.
24. If the notes and/or graphics on the site plan are in conflict with specific zoning conditions and/or the LDC regulations, the more restrictive regulation shall apply, unless specifically conditioned otherwise. References to development standards of the LDC in the above stated conditions shall be interpreted as the regulations in effect at the time of preliminary site plan/plat approval.
25. ~~19. Up to sixty days subsequent to the rezoning approval by the Hillsborough County Board of County Commissioners, the developer shall submit to the County Department of Development Coordination a revised Site Plan for certification which shall reflect all the conditions outlined above. Within 90 days of approval by the Hillsborough County Board of County Commissioners, the applicant shall submit to the Development Services Department a revised General Development Plan for certification which conforms the notes and graphics of the plan to the conditions outlined above and the Land Development Code (LDC). Subsequent to certification of the plan, if it is determined the certified plan does not accurately reflect the conditions of approval or requirements of the LDC, said plan will be deemed invalid and certification of a revised plan will be required.~~

1.1 SITE, SUBDIVISION AND BUILDING CONSTRUCTION IN ACCORDNACE WITH HILLSBOROUGH COUNTY SITE DEVELOPMENT PLAN & BUILDING REVIEW AND APPROVAL.

Approval of this re-zoning petition by Hillsborough County does not constitute a guarantee that the project will receive approvals/permits necessary for site development as proposed will be issued, nor does it imply that other required permits needed for site development or building construction are being waived or otherwise approved. The project will be required to comply with the Site Development Plan Review approval process in addition to obtain all necessary building permits for on-site structures.

7.0 ADDITIONAL INFORMATION**Zoning Administrator Sign Off:**
J. Brian Grady
Fri Oct 8 2021 15:01:52

8.0 FULL TRANSPORTATION REPORT



Hillsborough County City-County Planning Commission

Unincorporated Hillsborough County Rezoning	
Hearing Date: October 18, 2021 Report Prepared: October 7, 2021	Petition: MM 21-0313 8750 SYMMES RD <i>North of the Symmes Road and Messler Road intersection</i>
Summary Data:	
Comprehensive Plan Finding:	CONSISTENT
Adopted Future Land Use:	Residential-6 (6 du/ga; 0.25 FAR)
Service Area:	Urban
Community Plan:	Gibson, SouthShore Areawide Systems Plan
Modification Request:	Modify an existing Planned Development (PD 85-0306) to increase the density within an existing Mobile Home Park from 40 to 49 dwelling units. The applicant requests to utilize the Policy 23.5 (FLUE) density bonus provision to increase density on the subject property.
Parcel Size (Approx.):	6.42 +/- acres
Street Functional Classification:	Symmes Road – Collector Messler Road – Collector Honeywell Road – Local
Locational Criteria:	N/A
Evacuation Zone:	D



Plan Hillsborough
planhillsborough.org
planner@plancom.org
 813 – 272 – 5940
 601 E Kennedy Blvd
 18th floor
 Tampa, FL, 33602

Context

- The subject site is located on approximately 6.42 acres north of the Symmes Road and Messler Road intersection. The site is located within the limits of the Gibsonton Community Plan and the Southshore Areawide Systems Plan. The site is located within the Urban Service Area (USA).
- The site is designated Residential-6 (RES-6) on the Future Land Use Map. RES-6 allows residential, suburban scale neighborhood commercial, office uses, multi-purpose projects and mixed-use development. Non-residential uses are required to meet established locational criteria for specific land use. Agricultural uses may be permitted pursuant to policies in the agricultural objective areas of the Future Land Use Element.
- The Residential-6 (RES-6) Future Land Use category is located north, east and west of the subject property. The Suburban Mixed Use-6 (SMU-6) Future Land Use category is located to the south.
- The subject property is currently a mobile home park zoned as Planned Development (PD 85-0306). Single-family, mobile home park and vacant lots are located to the north, east and west. Single-family and vacant lots are located to the south across Symmes Road. Planned Development (PD) and Residential Single-Family Conventional-6 (RSC-6) zoning surround the site. Further north is Agricultural Single-Family-1 (AS-1), PD and Agricultural Single-Family Conventional-1 (ASC-1). PD, RSC-6 and Residential Show Business (RSB) zoning districts are located to the west and east. PD and ASC-1 zoning are located to the south across Symmes Road.
- The applicant requests a Major Modification to an existing Planned Development (PD 85-0306) to increase the density within an existing Mobile Home Park from 40 to 49 dwelling unit. The applicant requests to utilize the Policy 23.5 (FLUE) density bonus provision to increase density on the subject property.

Compliance with Comprehensive Plan:

The following Goals, Objectives and Policies apply to this rezoning request and are used as a basis for a consistency finding.

Future Land Use Element

Urban Service Area (USA)

Objective 1: Hillsborough County shall pro-actively direct new growth into the urban service area with the goal that at least 80% of all population growth will occur within the USA during the planning horizon of this Plan. Within the Urban Service Area, Hillsborough County will not impede agriculture. Building permit activity and other similar measures will be used to evaluate this objective.

Policy 1.2: Minimum Density All new residential or mixed-use land use categories within the USA shall have a density of 4 du/ga or greater unless environmental features or existing development patterns do not support those densities.

Within the USA and in categories allowing 4 units per acre or greater, new development or redevelopment shall occur at a density of at least 75% of the allowable density of the land use category, unless the development meets the criteria of Policy 1.3.

Policy 1.4: *Compatibility is defined as the characteristics of different uses or activities or design which allow them to be located near or adjacent to each other in harmony. Some elements affecting compatibility include the following: height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor and architecture. Compatibility does not mean “the same as.” Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development.*

Objective 6: *The concept plan is the overall, conceptual basis for the long range, Comprehensive Plan, and all plan amendments must be consistent with, and further the intent of the concept plan, which advocates focused clusters of growth connected by corridors that efficiently move goods and people between each of the activity centers.*

Relationship to the Future Land Use Map

Objective 7: *The Future Land Use Map is a graphic illustration of the county's policies governing the determination of its pattern of development in the unincorporated areas of Hillsborough County through the year 2025.*

Provision of Public Facilities-Transportation

Objective 12: *All new development and redevelopment shall be serviced with transportation systems that meet or exceed the adopted levels of service established by Hillsborough County.*

Neighborhood/Community Development

Objective 16: Neighborhood Protection – *The neighborhood is the functional unit of community development. There is a need to protect existing, neighborhoods and communities and those that will emerge in the future. To preserve, protect, and enhance neighborhoods and communities, all new development must conform to the following policies.*

Policy 16.1: *Established and planned neighborhoods and communities shall be protected by restricting incompatible land uses through mechanisms such as:*

- a) locational criteria for the placement of non-residential uses as identified in this Plan,*
- b) limiting commercial development in residential land use categories to neighborhood scale;*
- c) requiring buffer areas and screening devices between unlike land uses;*

Policy 16.2: *Gradual transitions of intensities between different land uses shall be provided for as new development is proposed and approved, through the use of professional site planning, buffering and screening techniques and control of specific land uses.*

Policy 16.3: *Development and redevelopment shall be integrated with the adjacent land uses through:*

- a) the creation of like uses; or*
- b) creation of complementary uses; or*
- c) mitigation of adverse impacts; and*

d) transportation/pedestrian connections

Policy 16.8: The overall density and lot sizes of new residential projects shall reflect the character of the surrounding area, recognizing the choice of lifestyles described in this Plan.

Policy 16.10: Any density increase shall be compatible with existing, proposed, or planned surrounding development. Compatibility is defined as the characteristics of different uses or activities or design which allow them to be located near or adjacent to each other in harmony. Some elements affecting compatibility include the following: height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor and architecture. Compatibility does not mean “the same as.” Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development.

Objective 20: The County shall encourage new development and redevelopment of residential housing for special target groups of people. The provisions specified within the Housing Element of the Comprehensive Plan shall be applied with respect to the following policies.

Policy 20.2: Density bonuses will be utilized as an incentive to encourage the development of more affordable housing. These density bonuses are outlined in the Housing Element.

Policy 20.3: Manufactured housing shall be recognized as a viable means to provide affordable housing.

Policy 23.5: Higher density residential development is encouraged along major corridors as an alternative to continued office or commercial development when developed in accordance with applicable development regulations; the following bonus is provided as an incentive for residential development as an alternative to commercial development.

Residential Density Bonus for Infill Development

To provide an incentive for residential development as an alternative to strip commercial or office development, the county may consider a density bonus for properties meeting certain provisions outlined below. The increase in residential density may be considered without a Plan Amendment, by the Board of County Commissioners, after receiving a recommendation from the staff of the Planning Commission.

Density cannot be increased higher than the land use category with the next higher density limits. (i.e. Res-4 can be increased to Res-6 and no higher). Categories which permit up to 35 du/ga may increase to 50 du/ga using this bonus.

To qualify for the density bonus:

- Property must be:
 - Within the Urban Service Area
 - Located along a collector or arterial street or a roadway designated as a transit emphasis corridor in the Transportation Element.
 - In an area where, one of the following is present:
 - strip non-residential development presently exists; or
 - there is a trend toward strip non-residential development; or
 - existing zoning lots, although vacant, constitute a potential for the establishment or expansion of strip commercial development; or

- an increase in density would result in a development pattern that is compatible to existing zoning or development patterns in the immediately surrounding area.
- The site of the requested bonus must be within a 660 foot distance perpendicular from the arterial or collector road.
- The density bonus must be applied for through a rezoning application.
- It must be demonstrated that the use of the bonus will promote residential infill on vacant or redeveloping sites within existing, developed, urbanized areas which are residential in character or to provide a residential development alternative to strip commercialization;

Conservation and Aquifer Recharge Element

Wetlands and Floodplain Resources

Objective 4: The County shall continue to apply a comprehensive planning-based approach to the protection of wetland ecosystems assuring no net loss of ecological values provided by the functions performed by wetlands and other surface waters authorized for projects in Hillsborough County, consistent with the Uniform Mitigation Assessment Method. The County shall work with the Environmental Protection Commission, the Southwest Florida Water Management District, the Florida Department of Environmental Protection, and the Tampa Bay Estuary Program to achieve a measurable annual increase in ecological values provided by the functions performed by wetlands and other surface waters. It shall be the County's intent to maintain optimum wetland functions as well as acreage.

Policy 4.1: The County shall, through the land use planning and development review processes, and in cooperation with the Environmental Protection Commission, continue to conserve and protect wetlands from detrimental physical and hydrological alteration.

Policy 4.3: The County shall, through the land planning and development review processes, and in cooperation with the Environmental Protection Commission, continue to prohibit unmitigated encroachment into wetlands.

Policy 4.12: Priority shall be given to avoiding the disturbance of wetlands in the County and to encourage their use only for purposes which are compatible with their natural functions and environmental benefits.

Policy 4.13: Development which impacts wetlands may be deemed appropriate only as a last resort; where:

1. reasonable use of the property is otherwise unavailable and/or onsite preservation of a functioning wetland system is deemed unsustainable;
2. the adverse impact is offset by the benefit of the development to the public such that it is reasonable, in the public interest and an acceptable mitigation plan is proposed.

This determination shall be made by Hillsborough County and/or the Environmental Protection Commission of Hillsborough County.

Policy 4.14: The development review process, part of a comprehensive program for the protection of wetlands, shall make every effort to maintain natural undisturbed wetlands by way of a sequential review process that first evaluates all means of avoiding wetland impacts in regard to a particular project; if necessary, secondly, evaluates and requires measures to minimize wetland impacts; and if necessary, thirdly, evaluates and requires the mitigation of wetland impacts.

Livable Communities Element: Gibsonton Community Plan

1. NEIGHBORHOODS

Goal 2: Gibsonton will improve and enhance its neighborhoods by:

- *Revitalizing older residential areas;*
- *Revitalizing outdated mobile home parks; and*
- *Incorporating new single-family and rental units offering a range of housing choices.*

Strategies:

Code Enforcement Strategy

- *Citizen-Based Organization to establish desired results for a Code Enforcement Plan, taking into account such factors as low income workers who cannot afford rent increases, roadside littering/dumping, outdated mobile home park revitalization and other local factors.*
- *Citizen-Based Organization to collaborate with County to carry out the Gibsonton-specific code enforcement approach, including working with County and franchise contractors to provide monthly pickup of furniture, appliances, etc.*

Workforce Housing and Revitalization Strategy

- *Work with the County, churches and other housing organizations to inventory substandard housing.*
- *Examine workforce income levels and set targets (e.g. % of annual income) for housing costs and the number of units required. Liaise with County Housing and Community Code Enforcement.*
- *Team with partners to develop both required and incentive-based actions to achieve workforce housing targets. Maximize the use of County's State Housing Initiatives Program (SHIP), Community Housing Development Organization (CHDO), and First Time Home Buyers programs.*
- *Assist low income property owners with code related repairs via community grants, etc.*

Walkability Strategy

- *Ensure incorporation of sidewalks in new housing projects, with connections to adjacent greenways by collaborating with County staff, developers and homebuilders.*
- *Provide sidewalks along Symmes Road and along all roadways fronting new developments.*
- *Provide sidewalks before other site construction begins, not at the end of new development projects.*

2. INFRASTRUCTURE

- *Extending sewer and water lines in selected areas; and*
- *Managing stormwater;*
- *Creating safer intersections.*

Livable Communities Element: SouthShore Areawide Systems Plan

3. *Maintain housing opportunities for all income groups. a. Explore and implement development incentives throughout SouthShore that will increase the housing opportunities for all income groups, consistent with and furthering the goals, objectives and policies within the Comprehensive Plan Housing Element.*

Staff Analysis of Goals, Objectives, and Policies:

The subject site is located on approximately 6.42 acres north of the Symmes Road and Messler Road intersection. The site is located within the limits of the Gibsonton Community Plan and the Southshore Areawide Systems Plan. The applicant requests a Major Modification to an existing Planned Development (PD 85-0306) to increase the density within an existing Mobile Home Park from 40 to 49 dwelling unit. The applicant requests to utilize the Policy 23.5 (FLUE) density bonus provision to increase density on the subject property.

The subject property is currently allowed to be considered for up to 40 dwelling units on the subject property. To provide the additional 9 mobile home units on this park, the applicant is requesting the residential density bonus for infill development prescribed by Policy 23.5 of the Hillsborough County Comprehensive Plan's Future Land Use Element. The applicant asserts that parcel qualifies for the following reasons:

- The property is within Hillsborough County's Urban Service Area;
- The property is located along Symmes Road, which is classified as a collector;
- The introduction of the nine additional dwelling units is compatible with the area's growing single-family development pattern;
- The site of the requested bonus is within 660 foot distance from Symmes Road; and,
- The bonus will result in residential infill within an existing, developed, urbanized area that is residential in character.

The application requests 9 additional mobile homes in addition to the previously approved 40 mobile homes on the subject property. Planning Commission staff has reviewed the application and determined the site is eligible to receive the density bonus to the next highest Future Land Use category as outlined in Policy 23.5. The next highest category is Residential-9 (RES-9) which would allow for up to 57 dwelling units on the property. The site is located within the Hillsborough County Urban Service Area where the majority of growth is required to be directed per FLUE Objective 1 and Objective 1.4. The property is also located along and within 660 ft. and is perpendicular to Symmes Road, which is consistent with policy direction. FLUE Policy 23.5 also encourages higher density development along arterial and collector roadways. The additional 9 units will contribute to the residential development pattern in the area and provide infill residential development in the area. The lots within the general vicinity are predominately residential. Therefore, the proposed residential use is consistent with the overall character of the area.

The proposed modification would facilitate residential development comparable to the development pattern in the surrounding area. Mobile home parks are located to the west, east and north of the site, while vacant and single family lots surround the property as well. The proposed mobile homes would complement the suburban and neighborhood commercial development pattern within the general vicinity. The proposed density is compatible with the surrounding area, promotes infill within the Urban Service Area and is

consistent with FLUE Objective 1, Policy 1.4, Objective 16 and Policies 16.2, 16.3, 16.8 and 16.10.

FLUE Policy 16.7 in the Unincorporated Hillsborough County Comprehensive Plan requires residential neighborhoods to include an efficient system of internal circulation and street stub-outs to connect adjacent neighborhoods together. The applicant is providing access to Symmes Road which facilitates connectivity in the area, which is developed with predominately single-family lots. Hillsborough County Transportation staff are not requiring vehicular connectivity to Honeywell Road as it would not provide substantial vehicular connectivity to the community or any significant non-residential uses. Vehicular access is not required per the LDC which only necessitates a single connection to serve the proposed development. Furthermore, the existing mobile home community is not subdivided, and the new homes are not anticipated to be constructed on subdivided lots. In addition, access to Honeywell Road would redirect traffic back to Symmes Road, which is the proposed primary access. The request satisfies the intent of Policies 16.3 and 16.7 with regard to roadway connectivity.

The proposed development is consistent with Goal 2 of the Gibsonton Community Plan which seeks to improve and enhance Gibsonton neighborhoods by incorporating new single-family and rental units offering a range of housing choices. The additional mobile home units facilitate residential development which is allowed under the RES-6 Future Land Use category. The additional proposed housing units will help facilitate housing diversity within the Urban Service Area. The proposed development is also consistent with Goal 4 of the SouthShore Areawide Systems Plan which promotes maintaining housing choices for all income levels. Objective 20 encourages redevelopment of residential housing for special target groups. Policy 20.2 states that “density bonuses will be utilized as an incentive to encourage the development of more affordable housing”. Policy 20.3 recognizes manufacture housing to provide a viable means of affordable housing. The proposed development will redevelop and add nine mobile homes, through utilizing the density bonus in policy 23.5, to provide additional units of affordable housing.

The walkability strategy in the Gibsonton Community Plan requires the incorporation of sidewalks in new housing projects. It also requires sidewalks to be provided along Symmes Road. The applicant will provide sidewalks on Symmes Road. However, the applicant will not be providing sidewalks to the north on Honeywell Road. Only an internal pedestrian sidewalk connection to Honeywell Road is proposed. Planning Commission staff rely on County technical experts to evaluate proposed rezoning applications in regard to transportation connectivity. The County Engineer and Director of the Development Services Department determined that a sidewalk for this Mobile Home Park expansion was not required on Honeywell Road. This is based on direction from the Board of County Commissioner’s July 20, 2021, Land Use Meeting in which direction was provided for sidewalk requirements for small scale, individual home construction, where new sidewalk would not be located near an existing pedestrian network. Based upon technical expert statements and the development providing internal sidewalk access to Honeywell Road and external sidewalks on Symmes Road, the proposed development is consistent with the Gibsonton Community Plan.

There are wetlands present on the property. The Environmental Protection Commission (EPC) Wetlands Division has reviewed the proposed rezoning. In the site plan’s current configuration, a resubmittal is not necessary. If the zoning proposal changes and/or the site plans are altered, EPC staff will need to review the zoning again. This project as

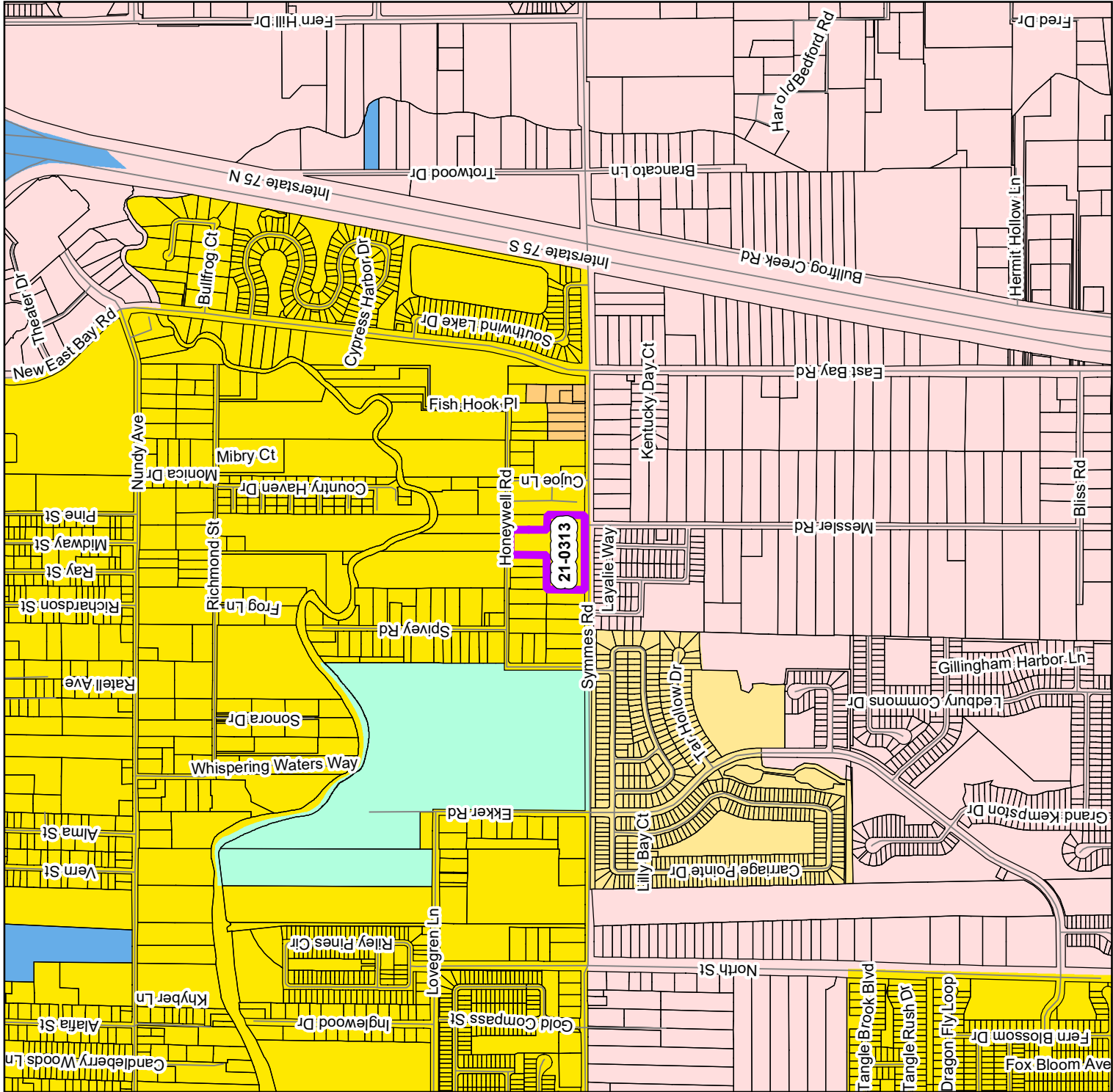
submitted is conceptually justified to move forward through the zoning review process as long as certain conditions are met. Planning Commission staff finds this request consistent given that there is a separate approval process for wetland impacts with the Environmental Protection Commission.

Overall, Planning Commission staff finds that the proposed modification is compatible with the surrounding area. The request would encourage residential development that complements the surrounding character and promotes housing diversity in the Gibsonton and Southshore Areawide Systems Community Plan area. The application also demonstrates compliance with interconnectivity policies and promotes infill development within the area. The proposed development satisfies the intent of the Goals, Objectives and Policies of the Future Land Use Element of the *Unincorporated Hillsborough County Comprehensive Plan*.

Recommendation

Based upon the above considerations, Planning Commission staff finds the proposed Major Modification **CONSISTENT** with the *Future of Hillsborough Comprehensive Plan for Unincorporated Hillsborough County*, subject to conditions proposed by the Development Services Department.

HILLSBOROUGH COUNTY
FUTURE LAND USE
RZ MM 21-0313



Rezoning

<all other values>

- APPROVED
- CONTINUED
- DENIED
- WITHDRAWN
- PENDING

Tampa Service Area

Urban Service Area

Shoreline

County Boundary

Jurisdiction Boundary

Roads

Parcels

AGRICULTURAL/MINING-1/20 (.25 FAR)

PEC PLANNED ENVIRONMENTAL COMMUNITY-1/2 (.25 FAR)

AGRICULTURAL-1/10 (.25 FAR)

AGRICULTURAL/RURAL-1/5 (.25 FAR)

AGRICULTURAL ESTATE-1/2.5 (.25 FAR)

RESIDENTIAL-1 (.25 FAR)

RESIDENTIAL-2 (.25 FAR)

RESIDENTIAL PLANNED-2 (.35 FAR)

RESIDENTIAL-4 (.25 FAR)

RESIDENTIAL-6 (.25 FAR)

RESIDENTIAL-9 (.35 FAR)

RESIDENTIAL-12 (.35 FAR)

RESIDENTIAL-16 (.35 FAR)

RESIDENTIAL-20 (.35 FAR)

RESIDENTIAL-35 (1.0 FAR)

NEIGHBORHOOD MIXED USE-4 (3) (.35 FAR)

SUBURBAN MIXED USE-6 (.35 FAR)

COMMUNITY MIXED USE-12 (.50 FAR)

URBAN MIXED USE-20 (1.0 FAR)

REGIONAL MIXED USE-35 (2.0 FAR)

OC-20

RESEARCH CORPORATE PARK (1.0 FAR)

ENERGY INDUSTRIAL PARK (.50 FAR USES OTHER THAN RETAIL, .25 FAR RETAIL/COMMERCE)

LIGHT INDUSTRIAL PLANNED (.50 FAR)

LIGHT INDUSTRIAL (.50 FAR)

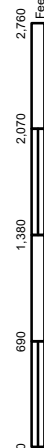
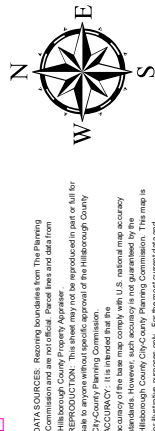
HEAVY INDUSTRIAL (.50 FAR)

PUBLIC/QUASIPUBLIC

NATURAL PRESERVATION

WIMAUMA VILLAGE RESIDENTIAL-2 (.25 FAR)

CITRUS PARK VILLAGE



Map Printed from Rezoning System: 3/5/2021

Author: Beverly F. Daniels

File: G:\Rezoning\System\Map\Projects\HillCo\Rezoning - Copy.mxd



PRIOR RECORD

**REZONING PETITION
NUMBER RZ85-0306**

SITE PLAN DISTRICT

**SEE SITE PLAN SERIES
FILM TO VIEW SITE PLANS**

File Copy

COUNTY OF HILLSBOROUGH

P.O. BOX 1110 TAMPA, FLORIDA 33601



NORMAN W. HICKEY, COUNTY ADMINISTRATOR

October 23, 1985

Gary and Rebecca Perrine
11211 East Bay Road
Gibsonton, Florida 33534

RE: #85-306

Dear Mr. and Mrs. Perrine:

At the regularly scheduled public meeting on October 15, 1985, the Board of County Commissioners voted to grant your request for rezoning of the tract of land described in your application to MHP/RVP with the attached amended conditions.

Please keep this letter for your records.

If we may be of service to you at a future date, please feel free to contact this office at 272-5710.

Sincerely yours,

DEPARTMENT OF DEVELOPMENT COORDINATION

Victoria Cole

Zoning Technician

cc: Michael D. Horner and Associates

P.S A condition of rezoning is that the developer submit six copies of a revised general site plan reflecting all conditions within 60 days of zoning approval. No detailed site plan will be accepted for review until the general site plan has been certified. There is a \$70.00 charge for the general site plan review. Please submit your check for this fee with your revised general site plans. NOTE THE PETITION NUMBER ON THE PLANS AND SEND TO THE ATTENTION OF VICTORIA COLE.

FINAL CONDITIONS
OF
APPROVAL

MEETING OF: County Commissioners
MEETING DATE: October 15, 1985
PETITION NUMBER: 85-306
DATE TYPED: October 18, 1985

-
- A. Approval with Conditions - Approval is based on the Site Plan received June 11, 1985 and all data shown, defined, described, noted, referenced, and listed thereon.
1. Development of the site shall be restricted to a maximum of 6 dwelling units per gross acre for a total of 40 mobile home lots.
 2. The area occupied by the interim wastewater treatment plant shall be developed as a recreation area or open space once the area is no longer needed for the plant.
 3. The average unit area of premises (lot size) shall be 3,200 square feet or greater as required by the MHP/RVP regulations.
 4. Prior to Final Site Plan approval, the developer shall submit drainage plans and calculations to, and have received approval from the County Environmental Protection Commission. Said Environmental Protection Commission approval shall be submitted by the developer to the County Department of Development Coordination prior to Final Site Plan approval.
 5. Stormwater detention/retention pond design requirements for the development shall be as listed below.
 - a. The side slopes shall be no greater than 4:1.
 - b. The banks shall be completely vegetated to the design low water elevation.
 - c. The sides and the bottom of each pond shall not be constructed of impervious material.
 6. The developer shall provide, prior to Final Site Plan approval, an additional 17 feet of right-of-way along the north side of Symmes Road, thereby providing part of the 94 feet of total right-of-way needed ultimately to accommodate a 4-lane divided roadway section.
 7. Driveway radii shall be a minimum of 40 feet to accommodate single-unit vehicles.
 8. Access to the site shall be offset a minimum of 125 feet from Messler Road, measured from the center line of the project drive to the center line of Messler Road.
 9. The developer shall provide, prior to the issuance of Certificates of Occupancy, sidewalks internal to the project and external to the project in the right-of-way area of the major roadway(s) bordering the project (i.e., Symmes Road). The exact location of said sidewalks shall be determined by the County Department of Development Coordination during Final Site Plan approval.
 10. The developer shall be required to utilize public water and shall pay all costs to connect for service delivery. The developer shall be required to obtain the express, written approval of the Hillsborough County Fire Department and of the Hillsborough County Department of Water and Wastewater Utilities for the extension of the water system and for its adequacy as a source of potable water and of fire flows of water. Subject to said approvals, the developer may extend a 3-inch diameter water main from the area of Bull Frog Creek Trailer Park or extend the larger system referred to by the Witness Adams in the Transcript of the Zoning Hearing Master Hearing of September 12, 1985, at Page 100. The developer shall submit to the County Department of

FINAL CONDITIONS
OF
APPROVAL

MEETING OF: County Commissioners
MEETING DATE: October 15, 1985
PETITION NUMBER: 85-306
DATE TYPED: October 18, 1985

Development Coordination, prior to the issuance of Certificates of Occupancy, evidence of commitment from the County Department of Water and Wastewater Utilities to provide public water services, which commitment shall reflect the approvals required above. Additionally, the developer shall submit to the County Department of Development Coordination, prior to the issuance of Certificates of Occupancy, evidence of agreement to pay necessary costs to enable the County to provide public water service delivery.

11. The development shall comply with Chapters 10D-6, 10D-26, and 17-22 of the Florida Administrative Code. All public water supply and water distribution systems must be installed in full compliance with Chapters 17-22 and 10D-4, both of the Florida Administrative Code, and receive the required water system clearance letters from the Health Department prior to the issuance of Certificates of Occupancy for the project.
12. Within the area indicated as the approximate location of the interim wastewater treatment plant, the treatment plant itself shall be located a minimum of 200 feet from any residential dwelling located off site. The pond area containing treated effluent may be located nearer than 200 feet from off site residential dwellings, but same shall be located a minimum of 30 feet from any property line.
13. The developer shall design, construct, operate and maintain the recreation area as a private park.
14. The developer shall provide street lighting internal to the project. Any illumination which may emanate from lights on site shall not concurrently illuminate any area and/or structure off site.
15. The developer or the designate thereof shall be responsible for maintenance of the buffer.
16. The developer shall screen, prior to the issuance of Certificates of Occupancy, all trash receptacles, dumpsters, etcetera from view from public places and neighboring properties through the use of features, such as berms, fences, false facades, and dense landscaping.
17. The developer shall comply with all requirements of the MHP/RVP Zoning District.
18. Prior to Commercial Site Plan approval, the developer shall submit, to the County Environmental Protection Commission, a copy of the Southwest Florida Water Management District stormwater discharge permit or exemption for the project.
19. Up to sixty days subsequent to rezoning approval by the Hillsborough County Board of County Commissioners, the developer shall submit to the County Department of Development Coordination a revised Site Plan for certification which shall reflect all the conditions outlined above.

NOTE:

1. All impervious area shall require retention.
2. There must be compliance with County Commercial Drainage Criteria.

FINAL CONDITIONS
OF
APPROVAL

MEETING OF: County Commissioners
MEETING DATE: October 15, 1985
PETITION NUMBER: 85-306
DATE TYPED: October 18, 1985

-
3. Staff recommends above provided that the developer seeks and obtains from the Hillsborough County Board of County Commissioners a waiver of Item 11, Subsection 26 of Section 19A of the Zoning Code. (This item requires that mobile home parks shall abut and have direct property access to a road of collector status or higher rating.)

RESOLUTION # RR 92-0862

REZONING PETITION # RZ 85-0306

Upon motion by Commissioner Platt, seconded by Commissioner Glickman, the following resolution was adopted by a 5-0 vote, with the individual commissioners voting as follows:

Colson	yes
Iorio	yes
Glickman	yes
Padgett	absent
Platt	yes
Talley	absent
Selvey	yes

WHEREAS, on the 11 day of June, 1985, Gary and Rebecca Perrine submitted a rezoning petition requesting a change from R-1MH (Single Family Residential and Mobile Home) and MHP/RVP (Mobile Home and Recreational Park) zoning classification to MHP/RVP (Mobile Home and Recreational Park) zoning classification for the parcel of land described in said petition; and,

WHEREAS, the Zoning Hearing Master on September 12, 1985, held a duly noticed public hearing on said rezoning petition for MHP/RVP (Mobile Home and Recreational Park) zoning and hearing and considered testimony and documents received thereon; and,

WHEREAS, the Zoning Hearing Master filed with the Board of County Commissioners of Hillsborough County a recommendation of approval of said rezoning petition; and,

WHEREAS, said recommendation of approval contained findings of fact and conclusions of law relating to consistency with the Comprehensive Plan and compatibility with adjoining land uses and zoning classifications, a copy of which recommendations attached hereto as Exhibit A and incorporated herein by reference; and,

WHEREAS, the public notice requirements contained in the Land Use Regulations of Hillsborough County have been satisfied; and,

WHEREAS, the Board of County Commissioners of Hillsborough County has received and considered the report and recommendation of the Hillsborough County Administration; and,

WHEREAS, the Board of County Commissioners of Hillsborough County has received and considered the report and recommendation of the Zoning Hearing Master; and,

WHEREAS, the Board of County Commissioners of Hillsborough County has on October 15, 1985, held a duly noticed public meeting on the petition for MHP/RVP (Mobile Home and Recreational Park) zoning and has heard and considered the evidence received thereon.

NOW THEREFORE BE IT RESOLVED BY THE BOARD OF COUNTY COMMISSIONERS OF HILLSBOROUGH COUNTY, FLORIDA:

I. FINDINGS OF FACT

A. The Board of County Commissioners of Hillsborough County is authorized and empowered to consider the petition for MHP/RVP (Mobile Home and Recreational Park) filed by Gary and Rebecca Perrine.

B. The Board of County Commissioners of Hillsborough County having considered the report and recommendation of the Hillsborough County Administration and the recommendation of the Zoning Hearing Master finds that the uses permitted in the MHP/RVP (Mobile Home and Recreational Park) zoning classification are compatible with the existing land uses present in the area surrounding the subject property.

C. The Board of County Commissioners of Hillsborough County having considered the report of the Hillsborough County Administration and the recommendation of the Zoning Hearing Master finds that the MHP/RVP (Mobile Home and Recreational Park) classification is compatible with the zoning districts applicable to the lands surrounding the subject property.

D. The Board of County Commissioners of Hillsborough County having considered the report and recommendation of the Hillsborough County Administration and the record of the hearing before the Zoning Hearing Master and the recommendation finds that the rezoning of the subject property would be consistent with the goals, policies and objectives contained in the Comprehensive Plan enacted by the Board of County Commissioners of Hillsborough County pursuant to the authority contained in Chapter 75-390, Laws of Florida (1975), as amended.

II. CONCLUSIONS OF LAW

The provisions of this resolution shall not be construed as a waiver of or exception to any rule, regulation, resolution or ordinance of Hillsborough County, its agencies or commission and to the extent that the proposed activity is subject to further review, said review shall be subject to all applicable rules, regulations, resolutions and ordinances in effect at the time of said review. The approval of this petition is subject to the conditions described in Exhibit B, and copy of which exhibit is attached hereto and incorporated herein by reference, as said conditions may have been supplemented and/or amended by the Board of County Commissioners of Hillsborough County at the public meeting.

III. CONCLUSIONS

The Board of County Commissioners of Hillsborough County hereby approves the petition for MHP/RVP (Mobile Home and Recreational Park) zoning filed by Gary and Rebecca Perrine.

IV. EFFECTIVE DATE

This resolution shall take effect upon passage by the Board of County Commissioners of Hillsborough County.

STATE OF FLORIDA)
)
COUNTY OF HILLSBOROUGH)

I, RICHARD AKE, Clerk of the Circuit Court and Ex Officio Clerk to the Board of County Commissioners of Hillsborough County, Florida, do hereby certify that the above and foregoing is a true and correct copy of the resolution adopted by the Board of County Commissioners of Hillsborough County, Florida at its regular meeting of October 15, 1985 as the same appears of record in Minute Book 113 of the Public Records of Hillsborough County, Florida.

WITNESS, my hand and official seal this 24th day of July, 1992.

APPROVED BY COUNTY ATTORNEY
BY [Signature]
Approved As To Form And
Legal Sufficiency.

RICHARD AKE, CLERK
BY: [Signature]
Deputy Clerk

COUNTY



OF HILLSBOROUGH

P.O. BOX 1110 TAMPA, FLORIDA 33601

NORMAN W. HICKEY, COUNTY ADMINISTRATOR

SITE PLAN REVIEW FORM

DATE: April 10, 1986

TO: Joel Springer

FROM: Victoria Cole *VC*

SUBJECT: Review of General Site Plan for compliance with final conditions of approval

Petition No. 85-306

Request: R-1 + MHP/RUP to MHP-RUP

Approval Date: October 15, 1985

Applicant: Gary + Rebecca Perrine Project Name: Little Tadpole Mobile Home Park.

General Site Plan Reflects All Final Conditions of Approval yes ☒ no ☐

1) Conditions to be reviewed at Detailed Site Plan Stage

2) Conditions to be reviewed prior to issuance of Certificates of Occupancy

9, 10, 11, 16

3) Conditions to be reviewed at Final Site Plan stage

6, 7, 9, 12, 17, 18

4) Other: NOTE: Condition 6: R/W must be provided prior to Final site plan approval

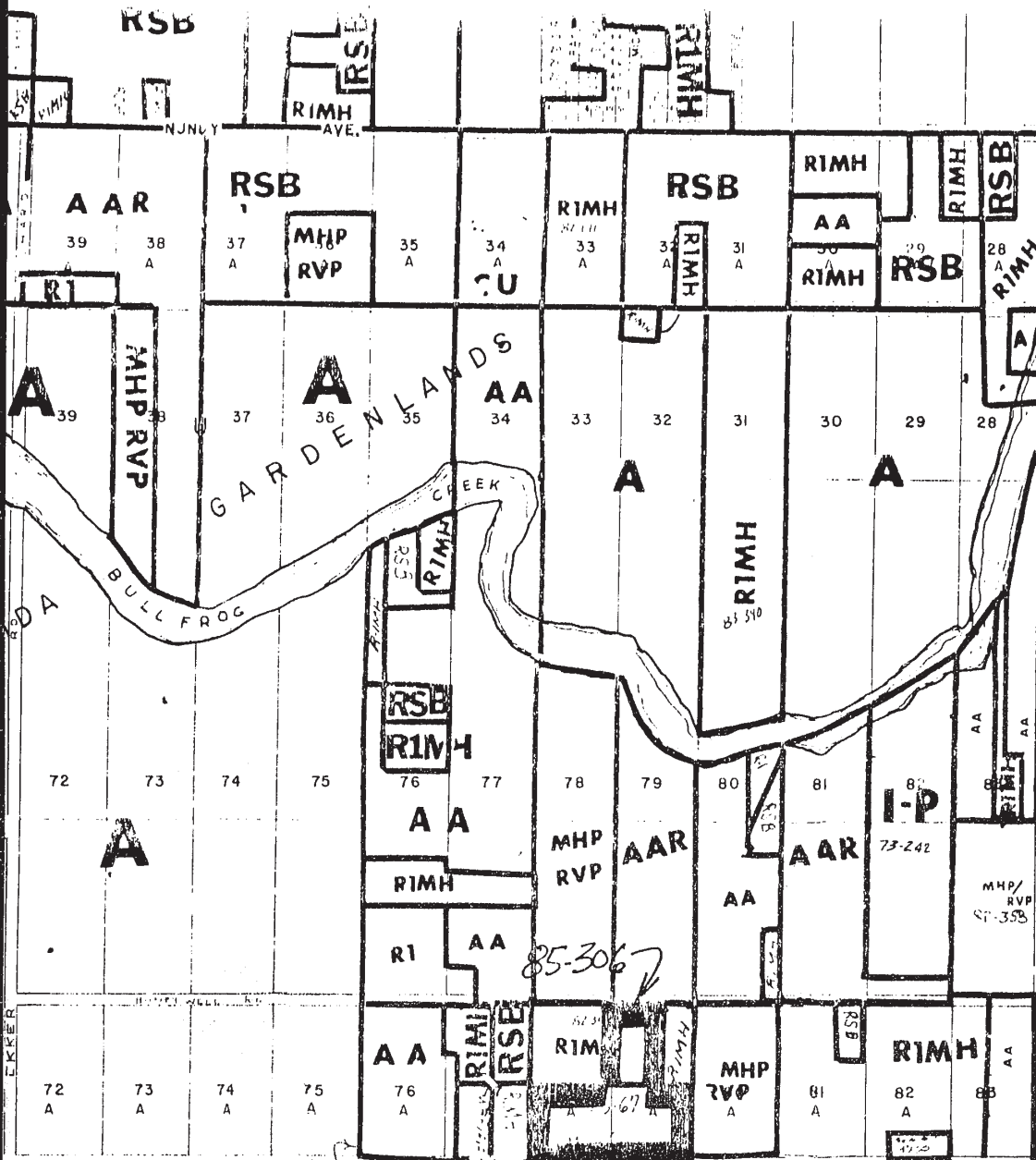
5) Plan is deficient in the following conditions:

Revised General Site Plans Required yes ☐ no ☐

Seventy dollars (\$70) Review Fee Required yes ☐ no ☐

Joel P. Springer
Signature

4-15-86
Date

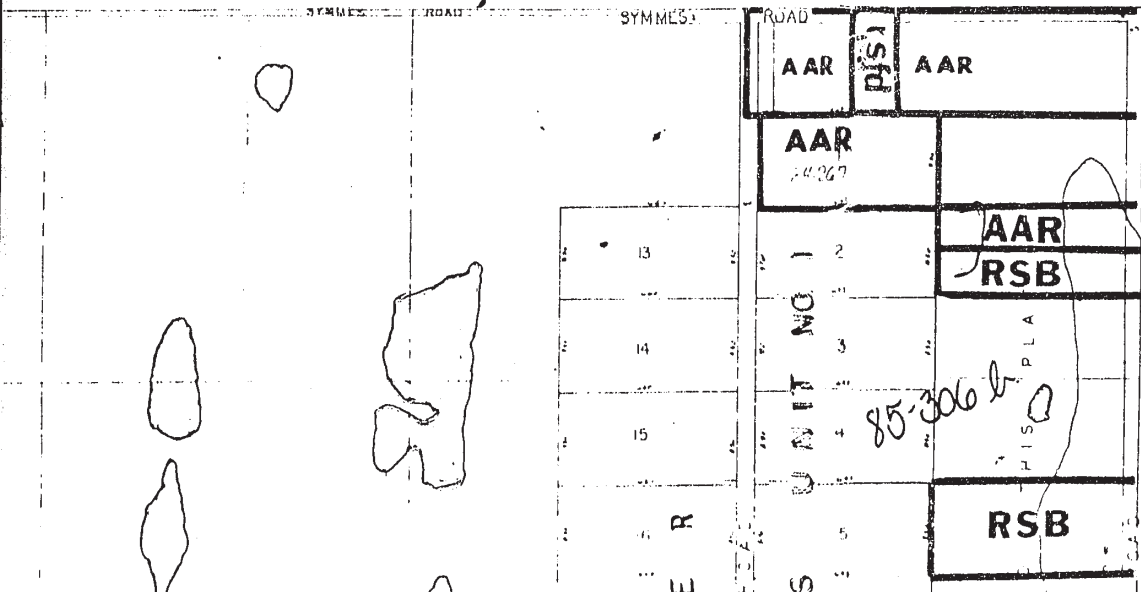


SPIVEY RD

Symmes

5.25-T.30-R.19

NOTE: LOT 84 BEGINS IN SEC. 3 T.30-R.19



DEPARTMENT OF DEVELOPMENT COORDINATION
STAFF REPORT

HEARING DATE: September 12, 1985
PETITION NUMBER: 85-306
PREPARATION DATE: September 4, 1985

(THIS PETITION WAS CONTINUED FROM THE AUGUST 15, 1985
ZONING HEARING MASTER HEARING TO THE SEPTEMBER 12, 1985
ZONING HEARING MASTER HEARING DUE TO IMPROPER
NOTIFICATION.)

I. GENERAL INFORMATION

- A. Requested Zoning District: MHP/RVP
- B. Existing Zoning District: R-1MH and MHP/RVP
- C. Purpose: Expand park to 40 units from 30 recently approved
- D. Existing Land Use: Vacant land
- E. Size: 6.67 acres
- F. Proposed Density: 5.99
- G. Location: North side of Symmes Road and 700 feet east of Spivey Road
S/T/R: 25-30-19 Atlas Page: D-3-7

II. SITE DATA

A. Land Use

Adjacent - North: Vacant land, mobile homes, roadway, mobile home park
East: Mobile home park
South: Roadway (Symmes Road), vacant land
West: Mobile homes, garage

General Area - Mobile homes, mobile home parks, single-family houses, vacant land, fish ponds

B. Zoning

Adjacent - North: MHP/RVP, A-AR
East: R-1MH, MHP/RVP
South: A
West: R-1MH

General Area - Mix of MHP/RVP, A-AR, A, R-1MH

III. HORIZON 2000 LAND USE ELEMENT

- A. This parcel lies within the Low Density Residential area of the adopted Amended Horizon 2000 Plan which designates a maximum allowable density of six dwelling units per acre.

IV. AGENCY COMMENTS

A. The following agencies have no adverse comments:

- 1. Fire Department
- 2. Sheriff's Office

B. These agencies have the following comments:

- 1. Water and Wastewater Utilities Department - The site is within the Hillsborough County public water and public sewer service areas. Public water (water line) exists approximately 3,000 feet from the site. Public sewer is not available to the site. The owner and/or developer shall submit an application to the Department of Water and Wastewater Utilities to be considered for service to the property. Any extension of water or sewer lines shall be done at the expense of the developer.

85-306c

DEPARTMENT OF DEVELOPMENT COORDINATION
STAFF REPORT

HEARING DATE: September 12, 1985
PETITION NUMBER: 85-306
PREPARATION DATE: September 4, 1985

(THIS PETITION WAS CONTINUED FROM THE AUGUST 15, 1985
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2. Engineering Department

a. Drainage Services Section - Federal Emergency Management Agency Flood Insurance Rate Map C indicates that this property is in Zone C. The site drains northwest. There must be compliance with the County Commercial Development Drainage Criteria. All impervious area requires retention.

b. Traffic Operations Services Section - Based on the information provided on the zoning application and the Site Plan received June 11, 1985, the proposed development will consist of a 40-unit mobile home park. Using Institute of Engineers trip generation rates, a development of this size and type would be expected to generate approximately 192 vehicle trip ends per average week day. Of these, an estimated 20 vehicle trip ends would occur during the A.M. peak hour, while approximately 18 vehicle trip ends would occur during the P.M. peak hour. Access to the site is via Symmes Road which presently carries 2,740 vehicles per day at general Level of Service "A." The following conditions of approval are recommended:

(1) Driveway radii shall be a minimum of 40 feet to accommodate single-unit vehicles.

(2) Access to the site shall be offset a minimum of 125 feet from Messler Road, measured from the centerline of the project drive to the centerline of Messler Road. The access as shown on the site plan meets this requirement.

(3) Symmes Road, functionally classified by the Engineering Department as a major collector, requires an additional 17 feet of right-of-way on the north side. This will provide part of the 94 feet of total right-of-way needed ultimately to accommodate a symmetrical 4-lane divided roadway section.

3. Parks and Recreation Department - The developer has the responsibility of designing, constructing, operating and maintaining the recreation area as shown in the site plan as a private park.

4. Environmental Protection Commission - To maintain good water quality, the project must be designed to properly treat stormwater runoff, thereby complying with the requirements of Florida Administrative Code 17-25: Regulation of Stormwater Discharge. Prior to final plat approval, the developer must submit, to the Environmental Protection Commission, a copy of the Southwest Florida Water Management District stormwater discharge permit or exemption for the project.

5. Health Department - The development must comply with Chapters 10D-6, 10D-26 and 17-22 of the Florida Administrative Code. All public water supply and water distribution systems must be installed in full compliance with Chapters 17-22 and 10D-4, both of the Florida Administrative Code, and receive the required water system clearance letters from the Health Department prior to the issuance of Certificates of Occupancy for the project.

85-306 d

DEPARTMENT OF DEVELOPMENT COORDINATION
STAFF REPORT

HEARING DATE: September 12, 1985
PETITION NUMBER: 85-306
PREPARATION DATE: September 4, 1985

(THIS PETITION WAS CONTINUED FROM THE AUGUST 15, 1985
ZONING HEARING MASTER HEARING TO THE SEPTEMBER 12, 1985
ZONING HEARING MASTER HEARING DUE TO IMPROPER
NOTIFICATION.)

V. RECOMMENDATION

A. Approval with Conditions - Staff recommends approval of the MHP/RVP Zoning District request with the conditions listed below. Approval is based on the Site Plan received June 11, 1985 and all data shown, defined, described, noted, referenced, and listed thereon.

1. Development of the site shall be restricted to a maximum of 6 dwelling units per gross acre for a total of 40 mobile home lots.
2. The area occupied by the interim wastewater treatment plant shall be developed as a recreation area or open space once the area is no longer needed for the plant.
3. The average unit area of premises (lot size) shall be 3,200 square feet or greater as required by the MHP/RVP regulations.
4. Prior to Final Site Plan approval, the developer shall submit drainage plans and calculations to, and have received approval from the County Environmental Protection Commission. Said Environmental Protection Commission approval shall be submitted by the developer to the County Department of Development Coordination prior to Final Site Plan approval.
5. Stormwater detention/retention pond design requirements for the development shall be as listed below.
 - a. The side slopes shall be no greater than 4:1.
 - b. The banks shall be completely vegetated to the design low water elevation.
 - c. The sides and the bottom of each pond shall not be constructed of impervious material.
6. The developer shall provide, prior to Final Site Plan approval, an additional 17 feet of right-of-way along the north side of Symmes Road, thereby providing part of the 94 feet of total right-of-way needed ultimately to accommodate a 4-lane divided roadway section.
7. Driveway radii shall be a minimum of 40 feet to accommodate single-unit vehicles.
8. Access to the site shall be offset a minimum of 125 feet from Messler Road, measured from the center line of the project drive to the center line of Messler Road.
9. The developer shall provide, prior to the issuance of Certificates of Occupancy, sidewalks internal to the project and external to the project in the right-of-way area of the major roadway(s) bordering the project (i.e., Symmes Road). The exact location of said sidewalks shall be determined by the County Department of Development Coordination during Final Site Plan approval.
10. The developer shall be required to utilize public water and shall pay all costs to connect for service delivery. The developer shall submit to the County Department of Development

85-306e

DEPARTMENT OF DEVELOPMENT COORDINATION
STAFF REPORT

HEARING DATE: September 12, 1985
PETITION NUMBER: 85-306
PREPARATION DATE: September 4, 1985

(THIS PETITION WAS CONTINUED FROM THE AUGUST 15, 1985
ZONING HEARING MASTER HEARING TO THE SEPTEMBER 12, 1985
ZONING HEARING MASTER HEARING DUE TO IMPROPER
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Coordination, prior to the issuance of Certificates of Occupancy, evidence of commitment from the County Department of Water and Wastewater Utilities to provide public water services. Additionally, the developer shall submit to the County Department of Development Coordination, prior to the issuance of Certificates of Occupancy, evidence of agreement to pay necessary costs to enable the County to provide public water service delivery.

11. The development shall comply with Chapters 10D-6, 10D-26, and 17-22 of the Florida Administrative Code. All public water supply and water distribution systems must be installed in full compliance with Chapters 17-22 and 10D-4, both of the Florida Administrative Code, and receive the required water system clearance letters from the Health Department prior to the issuance of Certificates of Occupancy for the project.
12. Within the area indicated as the approximate location of the interim wastewater treatment plant, the treatment plant itself shall be located a minimum of 200 feet from any residential dwelling located off site. The pond area containing treated effluent may be located nearer than 200 feet from off site residential dwellings, but same shall be located a minimum of 30 feet from any property line.
13. The developer shall design, construct, operate and maintain the recreation area as a private park.
14. The developer shall provide street lighting internal to the project. Any illumination which may emanate from lights on site shall not concurrently illuminate any area and/or structure off site.
15. The developer or the designate thereof shall be responsible for maintenance of the buffer.
16. The developer shall screen, prior to the issuance of Certificates of Occupancy, all trash receptacles, dumpsters, etcetera from view from public places and neighboring properties through the use of features, such as berms, fences, false facades, and dense landscaping.
17. The developer shall comply with all requirements of the MHP/RVP Zoning District.
18. Prior to Commercial Site Plan approval, the developer shall submit, to the County Environmental Protection Commission, a copy of the Southwest Florida Water Management District stormwater discharge permit or exemption for the project.
19. Up to sixty days subsequent to rezoning approval by the Hillsborough County Board of County Commissioners, the developer shall submit to the County Department of Development Coordination a revised Site Plan for certification which shall reflect all the conditions outlined above.

DEPARTMENT OF DEVELOPMENT COORDINATION
STAFF REPORT

HEARING DATE: September 12, 1985
PETITION NUMBER: 85-306
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NOTE:

1. All impervious area shall require retention.
2. There must be compliance with County Commercial Drainage Criteria.
3. Staff recommends above provided that the developer seeks and obtains from the Hillsborough County Board of County Commissioners a waiver of Item 11, Subsection 26 of Section 19A of the Zoning Code. (This item requires that mobile home parks shall abut and have direct property access to a road of collector status or higher rating.)

MEMO TO: Department of Development Coordination

FROM: Hillsborough County City-County Planning Commission STAFF *JS*

PREPARATION DATE: June 24, 1985

HEARING DATE: Sept. 12, 1985

SUBJECT: Rezoning Petition Number 85-306 from R1MH & MHP/RVP to MHP/RVP

PLANNING ANALYSIS

1. Is within the density range allowed by Horizon 2000 Plan.

YES

☒

NO

☐

2. Is compatible with existing land uses in area.

☒

☐

3. Is compatible with existing zoning pattern.

☒

☐

4. Is consistent with future development pattern proposed for the area in adopted land use plan.

☒

☐

5. Is consistent with sound planning principles and standards and adopted plan policies.

☒

☐

CONCLUSION

☒

Planning Commission STAFF DOES NOT object to the proposed rezoning.

☐

Planning Commission STAFF DOES object to the proposed rezoning.

COMMENTS

/af

FOOTNOTES

85-306 h

HILLSBOROUGH COUNTY, FLORIDA

RECOMMENDATION OF THE ZONING HEARING MASTER

PETITION FILE NUMBER: 85-306
PETITIONER: Gary & Rebecca Perrine
PETITION REQUEST: Change in Zoning from R-1MH (Single Family Residential and Mobile Home) and MHP/RVP (Mobile Home and Recreational Park) to MHP/RVP (Mobile Home and Recreational Park)
DATE OF PUBLIC HEARING: September 12, 1985.
LOCATION: North side of Symmes Road, 700 feet East of Spivey Road
DOCUMENTS: Application
Location Map
Photographs
Aerial Photograph
Plot Plan
Site Plan
Staff Report, HCC-CPC
Staff Report, DDC
EXHIBITS: None
COUNSEL: Petitioner - None
Opposition - None
WITNESSES: Petitioner - Mr. Horner
Mr. Adams
Opposition - None
HORIZON 2000 PLAN: Low Density Residential
LAND USE: The subject site is vacant. To the North are mobile homes, a mobile home park and vacant land. To the East is a mobile home park, while to the West are more mobile homes. To the South is vacant land.
ZONING: The subject site is currently zoned R-1MH and MHP/RVP. The general area is a mixture of agricultural, agricultural residential and mobile home zoning districts.
AGENCY REPORTS: Both HCC-CPC and DDC Staff recommend approval of the proposal, subject to conditions.
SITE INSPECTION: The subject site is in a rural area which is undergoing a transition to suburban uses. The majority of residential uses at present are mobile homes, both freestanding and in parks. There are no extraordinary features on site.
SUMMARY OF EVIDENCE: Mr. Gentry (DDC)
DDC recommends approval of the proposal, with conditions.
Mr. Louth (HCC-CPC)
HCC-CPC Staff do not object to the proposal.
Mr. Horner
A rezoning of a portion of the site was approved about 6 months ago as petition 85-67. This application is for the addition of a 1.67 acre tract, to the North of the currently approved site. The proposal adds 10 lots to the total to be built on site, but both proposals are below the density permitted by the Horizon 2000 Plan.

85-306 L.

SUMMARY OF EVIDENCE:
(cont.):

Mr. Horner (cont.)

The land use is compatible, all material is on record from the earlier hearing. The additional land adds 10 units, but also improves the design, and transfers recreation areas.

Wishes to clarify two conditions.

Condition 10 requires the extension of a water main. The cost of that extension would be \$42,000, which is cost prohibitive for the proposal.

Would prefer to bring water from Bull Frog Creek Trailer Park, to the Northeast, a much shorter distance and therefore much less expensive construction project. The water system in Bull Frog Creek Trailer is an approved public system. Tentative approval for this extension has been received from the Utilities Department.

With respect to conditions 6 through 9, dealing with sidewalks, the applicants agree to construct the required sidewalks, but only when there are other sidewalks in the area, in other words, at the request of the County, and not necessarily prior to Certificate of Occupancy.

The waiver required for frontage on a collector or arterial road has been received.

Mr. Adams

There is a 3 inch water line that would serve the park from Bull Frog Creek Park. This line is not adequate for fire flows, so on-site storage will be provided for fire flows.

The water line proposed by Staff for extension would be an 8 or 12 inch system, which would be adequate for fire flows.

Mr. Gentry (DDC)/Mr. Horner

Discussion as to Fire Department's approval of the proposal, and the anticipated water system on which that approval was based.

FINDINGS OF FACT:

I find that the proposed rezoning is an extension of a previously approved site plan district providing for the proposed use on a smaller lot.

I further find that the proposed use is in an area which is urbanizing and to which urban services and utilities are available.

I further find that appropriate methods are available for temporary sewage treatment.

I further find that the proposed use would have no adverse impact on the Level of Service of the adjacent roads.

I further find that there is no apparent flood hazard on the site and that the proposed use will not result in an environmental impairment.

I further find that there are valid economic reasons for utilizing an extension of a shorter and smaller water main to serve the subject site. However, there is no evidence as to the adequacy or inadequacy of this system for fire flows.

FINDINGS OF FACT (Cont.): I further find that there was no expressed opposition to the proposed use and that all evidence submitted by the applicant was uncontroverted.

I further find that the proposed use would have no detrimental effect on its surrounding area.

CONCLUSIONS OF LAW: The proposed use can comply with the County Zoning Ordinance.

HORIZON 2000 COMPLIANCE: The proposed use conforms to and complies with the Horizon 2000 Plan.

RECOMMENDATION: APPROVAL. Subject to the conditions contained in the DDC Staff Report dated September 4, 1985, which conditions are revised as follows:

Condition 9 is revised by striking the words: "prior to the issuance of Certificates of Occupancy" and inserting therefor the words: "at the request of the County,".

Condition 10 is modified to read as follows: "The developer shall be required to utilize public water and shall pay all costs to connect for service delivery. The developer shall be required to obtain the express, written approval of the Hillsborough County Fire Department and of the Hillsborough County Department of Water and Wastewater Utilities for the extension of the water system and for its adequacy as a source of potable water and of fire flows of water. Subject to said approvals, the developer may extend a 3 inch diameter water main from the area of Bull Frog Creek Trailer Park or extend the larger system referred to by the Witness Adams in the Transcript of the Zoning Hearing Master Hearing of September 12, 1985, at Page 100. The developer shall submit to the County Department of Development Coordination, prior to the issuance of Certificates of Occupancy, evidence of commitment from the County Department of Water and Wastewater Utilities to provide public water services, which commitment shall reflect the approvals required above. Additionally, the developer shall submit to the County Department of Development Coordination, prior to the issuance of Certificates of Occupancy, evidence of agreement to pay necessary costs to enable the County to provide public water service delivery."

REASON FOR RECOMMENDATION: The foregoing recommendation is based on the following considerations:

The proposed rezoning is an extension of a previously approved site plan district providing for the proposed use on a smaller lot.

The proposed use is in an area which is urbanizing and to which urban services and utilities are available.

The proposed use would have no detrimental effect on its surrounding area.

REASON FOR RECOMMENDATION: The proposed use conforms to the Horizon 2000 Plan and is appropriate for its area, thereby representing "sound planning".

The provision of external sidewalks prior to the establishment of other sidewalks on Symmes Road is premature and represents an expense to the developer that can reasonably be deferred.

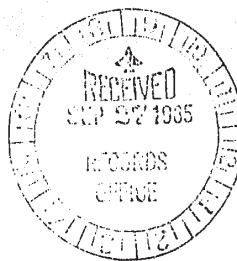
The source of the water supply must, firstly, be adequate for fire flows of water. Secondly, it must be adequate as a source of potable water. Thirdly, it should be the most economic option which is available to the developer, provided that the option is sound from the standpoint of engineering.

The raising of this question created uncertainty as to the basis of the Fire Department's approval of the application. If Mr. Horner inferred that the required route for the water main were the more expensive route with the larger main, it is logical to assume that the Fire Department made the same inference. The revised condition 10 provides for the approval of the route for water service by both the Fire and Utilities Departments.

R. Bruce McLaughlin
R. Bruce McLaughlin, AICP,
Zoning Hearing Master

9/27/85
Date

RBMCL/m
ZHM91285 pp 11-14



REASON FOR RECOMMENDATION: The proposed use conforms to the Horizon 2000 Plan and is appropriate for its area, thereby representing "sound planning".

The provision of external sidewalks prior to the establishment of other sidewalks on Symmes Road is premature and represents an expense to the developer that can reasonably be deferred.

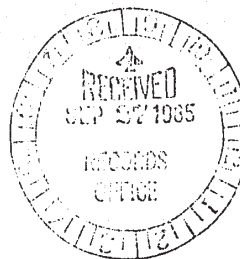
The source of the water supply must, firstly, be adequate for fire flows of water. Secondly, it must be adequate as a source of potable water. Thirdly, it should be the most economic option which is available to the developer, provided that the option is sound from the standpoint of engineering.

The raising of this question created uncertainty as to the basis of the Fire Department's approval of the application. If Mr. Horner inferred that the required route for the water main were the more expensive route with the larger main, it is logical to assume that the Fire Department made the same inference. The revised condition 10 provides for the approval of the route for water service by both the Fire and Utilities Departments.

R. Bruce McLaughlin
R. Bruce McLaughlin, AICP,
Zoning Hearing Master

9/27/85
Date

RBMcL/m
ZHM91285 pp 11-14



DEPARTMENT OF DEVELOPMENT COORDINATION
STAFF REPORT

HEARING DATE: September 12, 1985
PETITION NUMBER: 85-306
PREPARATION DATE: September 4, 1985

(THIS PETITION WAS CONTINUED FROM THE AUGUST 15, 1985
ZONING HEARING MASTER HEARING TO THE SEPTEMBER 12, 1985
ZONING HEARING MASTER HEARING DUE TO IMPROPER
NOTIFICATION.)

V. RECOMMENDATION

- A. Approval with Conditions - Staff recommends approval of the MHP/RVP Zoning District request with the conditions listed below. Approval is based on the Site Plan received June 11, 1985 and all data shown, defined, described, noted, referenced, and listed thereon.
1. Development of the site shall be restricted to a maximum of 6 dwelling units per gross acre for a total of 40 mobile home lots.
 2. The area occupied by the interim wastewater treatment plant shall be developed as a recreation area or open space once the area is no longer needed for the plant.
 3. The average unit area of premises (lot size) shall be 3,200 square feet or greater as required by the MHP/RVP regulations.
 4. Prior to Final Site Plan approval, the developer shall submit drainage plans and calculations to, and have received approval from the County Environmental Protection Commission. Said Environmental Protection Commission approval shall be submitted by the developer to the County Department of Development Coordination prior to Final Site Plan approval.
 5. Stormwater detention/retention pond design requirements for the development shall be as listed below.
 - a. The side slopes shall be no greater than 4:1.
 - b. The banks shall be completely vegetated to the design low water elevation.
 - c. The sides and the bottom of each pond shall not be constructed of impervious material.
 6. The developer shall provide, prior to Final Site Plan approval, an additional 17 feet of right-of-way along the north side of Symmes Road, thereby providing part of the 94 feet of total right-of-way needed ultimately to accommodate a 4-lane divided roadway section.
 7. Driveway radii shall be a minimum of 40 feet to accommodate single-unit vehicles.
 8. Access to the site shall be offset a minimum of 125 feet from Messler Road, measured from the center line of the project drive to the center line of Messler Road.
 9. The developer shall provide, prior to the issuance of Certificates of Occupancy, sidewalks internal to the project and external to the project in the right-of-way area of the major roadway(s) bordering the project (i.e., Symmes Road). The exact location of said sidewalks shall be determined by the County Department of Development Coordination during Final Site Plan approval.
 10. The developer shall be required to utilize public water and shall pay all costs to connect for service delivery. The developer shall submit to the County Department of Development

85-306 m.

~~85-306~~

DEPARTMENT OF DEVELOPMENT COORDINATION
STAFF REPORT

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Coordination, prior to the issuance of Certificates of Occupancy, evidence of commitment from the County Department of Water and Wastewater Utilities to provide public water services. Additionally, the developer shall submit to the County Department of Development Coordination, prior to the issuance of Certificates of Occupancy, evidence of agreement to pay necessary costs to enable the County to provide public water service delivery.

11. The development shall comply with Chapters 10D-6, 10D-26, and 17-22 of the Florida Administrative Code. All public water supply and water distribution systems must be installed in full compliance with Chapters 17-22 and 10D-4, both of the Florida Administrative Code, and receive the required water system clearance letters from the Health Department prior to the issuance of Certificates of Occupancy for the project.
12. Within the area indicated as the approximate location of the interim wastewater treatment plant, the treatment plant itself shall be located a minimum of 200 feet from any residential dwelling located off site. The pond area containing treated effluent may be located nearer than 200 feet from off site residential dwellings, but same shall be located a minimum of 30 feet from any property line.
13. The developer shall design, construct, operate and maintain the recreation area as a private park.
14. The developer shall provide street lighting internal to the project. Any illumination which may emanate from lights on site shall not concurrently illuminate any area and/or structure off site.
15. The developer or the designate thereof shall be responsible for maintenance of the buffer.
16. The developer shall screen, prior to the issuance of Certificates of Occupancy, all trash receptacles, dumpsters, etcetera from view from public places and neighboring properties through the use of features, such as berms, fences, false facades, and dense landscaping.
17. The developer shall comply with all requirements of the MHP/RVP Zoning District.
18. Prior to Commercial Site Plan approval, the developer shall submit, to the County Environmental Protection Commission, a copy of the Southwest Florida Water Management District stormwater discharge permit or exemption for the project.
19. Up to sixty days subsequent to rezoning approval by the Hillsborough County Board of County Commissioners, the developer shall submit to the County Department of Development Coordination a revised Site Plan for certification which shall reflect all the conditions outlined above.

85-306 m.

~~85-306~~

DEPARTMENT OF DEVELOPMENT COORDINATION
STAFF REPORT

HEARING DATE: September 12, 1985
PETITION NUMBER: 85-306
PREPARATION DATE: September 4, 1985

(THIS PETITION WAS CONTINUED FROM THE AUGUST 15, 1985
ZONING HEARING MASTER HEARING TO THE SEPTEMBER 12, 1985
ZONING HEARING MASTER HEARING DUE TO IMPROPER
NOTIFICATION.)

NOTE:

1. All impervious area shall require retention.
2. There must be compliance with County Commercial Drainage Criteria.
3. Staff recommends above provided that the developer seeks and obtains from the Hillsborough County Board of County Commissioners a waiver of Item 11, Subsection 26 of Section 19A of the Zoning Code. (This item requires that mobile home parks shall abut and have direct property access to a road of collector status or higher rating.)

85-306 o.

~~85-306 g.~~

COUNTY



OF HILLSBOROUGH

P.O. BOX 1110 TAMPA, FLORIDA 33601

NORMAN W. HICKEY, COUNTY ADMINISTRATOR

Date: June 19, 1985

To: Department of Development Coordination

Thru: Edward W. Melchen, Jr., P. E. *EWM*
Traffic Operations Engineer, Hillsborough County

From: Vibert L. Griffith, Jr., P. E. *VLG*
Traffic Engineer, Tipton Associates Incorporated

Subject: Zoning Application No. 85-306
Traffic Operations No. T-226
Rezoning From: R-1MH & MHP/RVP To MHP/RVP
Location: North side of Symmes Road, east of
Spivey Road.
Zoning Hearing Date: August 15, 1985

TRAFFIC OPERATIONS REVIEW

Based on the information provided on the zoning application and the site plan received June 11, 1985, the proposed development will consist of a 40 unit mobile home park.

Using ITE trip generation rates, a development of this size and type would be expected to generate approximately 192 vehicle trip ends per average weekday. Of these, an estimated 20 vehicle trip ends would occur during the A.M. peak hour while approximately 18 vehicle trip ends would occur during the P.M. peak hour. Access to the site is via Symmes Road which presently carries 2,740 vehicles per day at general Level of Service (LOS) "A".

The following conditions of approval are recommended:

1. Driveway radii shall be a minimum of 40 feet to accommodate single unit vehicles.

COUNTY



OF HILLSBOROUGH

PO. BOX 1110 TAMPA, FLORIDA 33601

NORMAN W. HICKEY, COUNTY ADMINISTRATOR

Date: June 19, 1985

To: Department of Development Coordination

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Z.A. #85-306

T.O.P. #T-226

PAGE 2

JUNE 19, 1985

2. Access to the site shall be offset a minimum of 125 feet from Messler Road, measured from the centerline of the project drive to the centerline of Messler Road. The access as shown on the site plan meets this requirement.
3. Symmes Road, functionally classified by the Engineering Division as a major collector, requires an additional 58 feet of right-of-way on the north side. This will provide part of the 176 feet of total right-of-way needed ultimately to accommodate a symmetrical four-lane divided roadway section.

VG:JG:nd





COUNTY OF HILLSBOROUGH

MEMORANDUM

Date June 19, 1985

To Vicky Lynn Young, DDC

From George Robinson, EPC GLR

Subject: REZONING PETITIONS FOR ZONING HEARING MASTER HEARING OF AUGUST 15, 1985

1. Gary and Rebecca Perrine, 85-306 (MHP/RVP)

No objections as proposed.

To maintain good water quality, the project must be designed to properly treat stormwater runoff, complying with the requirements of FAC 17-25: Regulation of Stormwater Discharge. Prior to site plan approval, the developer must submit to HCEPC a copy of the SWFWMD stormwater discharge permit or exemption for the project.

GLR/rr

cc: Jim Louth, Planning Commission



COUNTY



OF HILLSBOROUGH

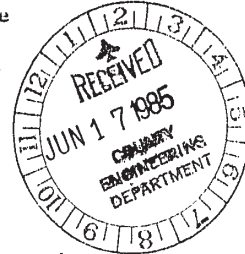
P.O. BOX 1110 TAMPA, FLORIDA 33601

NORMAN W. HICKEY, COUNTY ADMINISTRATOR

MEMORANDUM

Date: June 14, 1985

TO: Clerk of the Board of County Commissioners - Edna Fitzpatrick
Fire Control/Emergency Operations Department - Chet Tharpe
Engineering Department - Ed Melchen
Engineering Department/Drainage - B.J. Burkett
Water & Wastewater Utilities Department - Bob Evans
Parks & Recreation Department - Pete Fowler
Zoning Enforcement - Chuck Branly
Environmental Protection Commission - Richard Gannon
Sheriff's Department - Jim Hargan
School Board - John W. Heuer
Health Department/Environmental Engineering - Al Bertram
Hillsborough County City-County Planning Commission - Jim Louth
Office of Community & Economic Development - Dan Blood
~~City of Tampa - [illegible]~~
~~City of Tampa - [illegible]~~
~~City of Tampa - [illegible]~~



FROM: Gary Engelhardt, Zoning Administrator, Department of Development Coordination
SUBJECT: REZONING PETITIONS FOR ZONING HEARING MASTER HEARING OF August 15, 1985

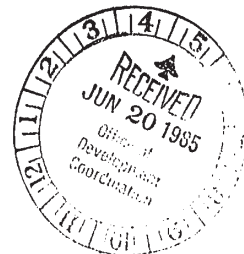
Please review the attached land use petitions and return your reports to this department by June 20, 1985 at the latest. Your reports should be sent to the attention of Vicky Lynn Young.

If you have any questions concerning the petitions or need additional information for the proper review of any petition, please contact the technician listed above at 272-5710 as soon as possible.

Thank you for your assistance.

Attachments: 85-306

An Affirmative Action - Equal Opportunity Employer



COUNTY



OF HILLSBOROUGH

P.O. BOX 1110 TAMPA, FLORIDA 33601

NORMAN W. HICKEY, COUNTY ADMINISTRATOR

DUE DATE June 20, 1985

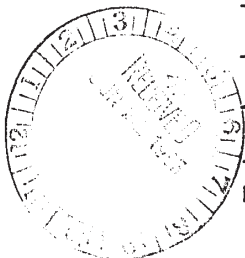
HEARING DATE Aug. 15, 1985

Zoning Application # 85-306
Flood Map 503-C
Flood Zone C

S25 T 30 R 19
FROM R-1 MH & MHP/RVP
TO MHP/RVP

ALL ITEMS CHECKED APPLY TO THIS REZONING:

- 1 Must comply with FEMA & Hillsborough County Flood Damage Control Ordinances.
- 2 Would recommend Finish Floor Elevation be at _____ ft. or above.
- B9B 3 Must comply with Hillsborough County Commercial Development Drainage Criteria.
- 4 Must comply with Hillsborough County Subdivision Regulation _____ if applicable.
- B9B 5 All Impervious Area requires retention.
- 6 Any Additional Impervious Area Requires Retention
- 7 Drainage will be addressed at time of construction plan review.
- B9B 8 Site Drains north & west Direction
- 9 Site Drains to _____ Basin
- 10 Site is volume sensitive.
- 11 No fill will be allowed without mitigation.
- 12 Site receives offsite drainage. This cannot be blocked.
- 13 Drainage Requests _____ ft. R/W or easement along _____
- 14 Drainage Services has no objections.
- 15 Comments: _____



THE SUBJECT PETITION HAS BEEN REVIEWED. THIS IS FOR REZONING ONLY AND DOES NOT IMPLY DRAINAGE APPROVAL OF CONSTRUCTION PLANS

PAA
DRAINAGE ENGINEER

6/21/85
DATE

FD# 85-392-TTB

HILLSBOROUGH COUNTY FIRE DEPARTMENT
LAND USE WORKSHEET

85-392 DC

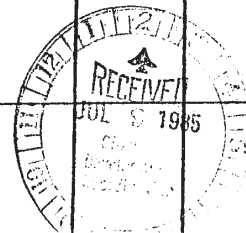
SECTION I CLASSIFICATION	Project/Development: <u>Little Tadpole MHP</u>		Date: <u>6-19-85</u>	
	Developer: <u>Bennett, Mary</u>		Phone: <u>677-1326</u>	
	Location: <u>n/s of Symmes Rd., 700' e/o Spivey Rd.</u>			
	Cross Street: _____		Section: <u>25</u> Township: <u>30</u> Range: <u>19</u>	
	Description of Project: <u>6.67 acres, RIMH, MHP/RUP to MHP/RUP for expanding MHP from 30 m.h. to 40 m.h. lots</u>			
Proposed Completion Date: _____				
<input type="checkbox"/> Hi-Rise Complex, Number of stories in height: _____				
<input checked="" type="checkbox"/> Low Hazard <input type="checkbox"/> Moderate Hazard <input type="checkbox"/> High Hazard				
<input type="checkbox"/> Located within PPIA Boundaries <input type="checkbox"/> Located outside PPIA Boundaries				

SECTION II FIRE STATION	Nearest Fire Station: <u>120/290</u>		ISO Rating: <u>7/7</u>	
	<input checked="" type="checkbox"/> Career - Present Manning Level: <u>4 minutes (121) - 10 minutes 291</u>			
	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Location within Four (4) Minute Response			
<input checked="" type="checkbox"/> Volunteer - Estimated Response Time: <u>161 - 10.12 minutes</u>				

SECTION III APPARATUS	Apparatus	Number Required	# Available within 4 min. Response	Present Manning Levels	Acceptable Substitution	First Alarm Assignment
	Class A Pumper		1-121	121-4		DC III 121 161 291
	Ladder Company		-0-			

SECTION IV WATER SUPPLY	Acceptable Fire Flow: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Public <input type="checkbox"/> Private <input type="checkbox"/> F.D.Tanker			
	FIRE HYDRANT LOCATION(S)			
	Street and Cross Street	Distance from Project		GPM
	<u>Symmes & NORTH</u>	<u>2500' +</u>	<u>1,200 +</u>	

SECTION V PROPOSED SERVICE LEVEL	<input checked="" type="checkbox"/> Existing Fire Protection is Adequate for Proposed Land Use					
	<input type="checkbox"/> Existing Fire Protection is Inadequate for Proposed Land Use Due To Section #: _____					
	ADDITIONAL FIRE PROTECTION SERVICE REQUIRED					
	Required	Initial Cost		Current Need	Proposed Need	Budget FY
	<input type="checkbox"/> Fire Station Construction					
<input type="checkbox"/> Class A Pumper						
<input type="checkbox"/> Captain						
<input type="checkbox"/> Driver/Engineer						
<input type="checkbox"/> Firefighter						
<input type="checkbox"/> Ladder Company						
<input type="checkbox"/> Captain						
<input type="checkbox"/> Driver/Engineer						
<input type="checkbox"/> Firefighter						



Page 1 of _____	<input type="checkbox"/> Follow Up Required	<input type="checkbox"/> Completed	<input type="checkbox"/> Posted on Map
Field Evaluation Prepared By: <u>George H. H. H.</u>		<input checked="" type="checkbox"/> Reply Sent-Date: <u>7-5-85</u>	
Completed By: <u>[Signature]</u>		Submitted To: <u>[Signature]</u>	



COUNTY OF HILLSBOROUGH

MEMORANDUM

To Vicky Young Date June 20, 85
From Game Enforcement
Subject 8-15-85 Healey

85-306

No Violations

WALTER C. HEINRICH, SHERIFF
Hillsborough County
Tampa, Florida

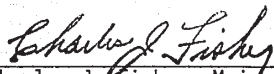
INTER-OFFICE
MEMORANDUM

DATE: 18 June 1985
Vicky Lynn Young
TO: Department of Development Coordination
FROM: Major Charles J. Fisher
Rezoning Petitions to be heard
RE: on 15 August 1985

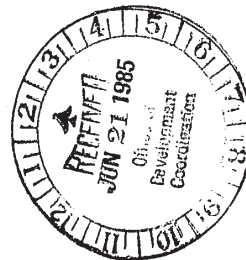
MESSAGE:

85-306

No adverse comments.


Charles J. Fisher, Major
Administrative Division

CJF/JB:dh



COUNTY OF HILLSBOROUGH



MEMORANDUM

Date June 19, 1985

To Gary Englehardt, Zoning Administrator, DDC

From Peter Fowler, HCPRD

Subject: 85-306

Attn: Vicky Lynn Young

Please be advised we have reviewed the subject land use petition and, with the understanding that the developer has the responsibility of designing, constructing, operating and maintaining the recreation area as shown on the site plan as a private park, have no objections.

Should you have any questions, please advise.

PF:jk

cc: Ed Radice, Director, HCPRD





STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

June 28, 1985

MEMORANDUM

TO: DEPARTMENT OF DEVELOPMENT COORDINATION
ATTN: VICKY LYNN YOUNG

FROM: KENNETH R. RECH, P.E. *[Signature]*
DIRECTOR, ENVIRONMENTAL ENGINEERING

SUBJECT: REZONING PETITIONS

Please be advised of our comments relative to the following zoning petitions:

85-313 Water comply with Chapter 17-22, F.A.C.
Septic tank comply with Chapter 10D-6, F.A.C.
M.H.P. comply with Chapter 10D-26, F.A.C.

85-310 M.H.P. comply with Chapter 10D-26, F.A.C.

85-302 Comply with Chapters 10D-4 F.A.C. (water) and 10D-6
F.A.C. (septic tank).

85-303 Private M.H. - comply with Chapter 10D-6, F.A.C.

85-305 Private homes - comply with Chapter 10D-6, F.A.C.

85-307 No comment.

85-308 Private M.H. - comply with Chapter 10D-6, F.A.C.

85-309 Private homes - comply with Chapters 10D-4 & 10D-6, F.A.C.

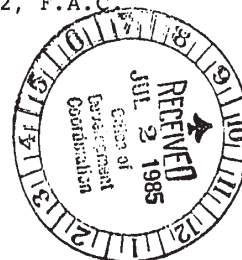
85-311 No comment.

85-312 Septic tank - comply with Chapter 10D-6, F.A.C.

85-306 Comply with Chapters 10D-6, 10D-26 & 17-22, F.A.C.

85-325 No comment.

KRR/JER:vm



DISTRICT SIX, HILLSBOROUGH CO. HEALTH DEPT
1105 E. KENNEDY BLVD • TAMPA, FLORIDA 33602

BOB GRAHAM, GOVERNOR

HILLSBOROUGH COUNTY PUBLIC SCHOOLS
DEVELOPMENT REVIEW QUESTIONNAIRE

APPLICATION NAME: The Little Tadpole Mobile Home Park

APPLICATION NUMBER: 85-306

1. Which public schools currently serve this geographical area and can these facilities or proposed facilities accommodate the projected population increment resulting from the proposed development?

(a) Provide the following information on each facility serving this area (identify proposed facilities including projected date of completion):

GRADE	SCHOOL	CAPACITY	ENROLLMENT	PUPIL STATIONS AVAILABLE (+ or -)	STUDENTS GENERATED	IMPACT (+ or -)
K-5	Gibsonston	700	720	+ 20	9	0
6	Shore	529	401	+128	1	0
7-8	Eisenhower	1165	1521	-356	2	-2
9-12	East Bay	2365	1784	+581	4	0
						-2

- (b) If a negative impact is identified, what are the projected costs required to meet the increased demand? (Multiply impact times total per Full-time Equivalent (FTE). $\$1,672.65 \times 2 = \$3,345.30$)

2. What specific revisions could the developer make to lessen the fiscal impact and/or enhance pedestrian safety?

Sidewalks for school children should be provided so that no child will have to walk in the street while walking to school.

3. If the proposal is a planned residential development and includes a proposed school site(s), does the site(s) satisfy state requirements? If not, what changes must be made by the developer to comply with state requirements?



SIGNATURE OF REVIEWER: [Signature]

DATE: 6/18/85



PO. BOX 1110 TAMPA, FLORIDA 3360

NORMAN W. HICKEY, COUNTY ADMINISTRATOR

MEMORANDUM

Date: June 14, 1985

[illegible]

SUBJECT: REZONING PETITIONS FOR ZONING HEARING MASTER HEARING OF August 15, 1985

If you have any questions concerning the petitions or need additional information for the proper review of any petition, please contact the technician listed above at 272-5710 as soon as possible.

Attachments: 85-306 ✓

6/19/85

PETITION NO. 85-306

REZONING PETITION REVIEW FORM
HILLSBOROUGH COUNTY DEPARTMENT OF WATER AND WASTEWATER UTILITIES

A. Project Name: LITTLE TADPOLE M.H.P. - "GARY & REBECCA PERRINE"

Nearest Street Intersection: N/S SYMMES RD. - OFF MESSIER RD.

Section: 25 Township: 30 Range: 19

B. Proposed Development Type:

☒ Residential 40 No. Units
☐ Commercial
☐ Other _____

C. Property is within the following service area:

☒ County Water ☒ County Wastewater
☐ City of Tampa Water ☐ City of Tampa Wastewater
☐ Other _____ Franchise _____

D. Water/Wastewater Facilities:

☐ Water line adjacent to property
☒ Water line exists approximately 3,000 linear feet from the site
☐ Wastewater line adjacent to property
☐ Wastewater line exists approximately _____ linear feet from the site

E. ☒ The owner/developer shall submit an application to this department to be considered for service to the above property

F. Comments: NO WASTEWATER AVAILABLE.

85-67 - 1/10/85

This review is preliminary and in no way constitutes a commitment for service.

Reviewed by: R.D. EVANS Date: 6/19/85
WWE-82
E74231WT

ZONING APPLICATION

Applicant's Name (Last, First, Middle (Initial)) Perrine, Gary and Rebecca		FOR OFFICIAL USE ONLY <i>Marslene Keit</i>	
Applicant's Address (Number, Street) 11211 East Bay Road		Zoning Application No. 85-306	Receipt No. 337956
City, State, ZIP Code Gibsonton, FL 33534	Phone Nos: Home: ----- Work: 677-1326 Area Code: 813	Hearing Date: 5:30 p.m. August 15, 1985	
Property Interest of Applicant <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Lessee <input type="checkbox"/> Contract Purchaser <input type="checkbox"/> Other		Current Zoning MHP + MHP RVP	Requested Zoning MHP/RVP
Owner's Name if other than Applicant SAME AS ABOVE		1/4 Sec Sec TWP RGE E 30 19 6. 67 D 37	Property Size (Acreage) 6.67
Owner's Address (Number & Street) -----		Location of Site on north side of Symmes Rd 700 feet east of Spawey Rd	
City, State, & ZIP Code -----	Home Phone: ----- Work Phone: -----	County or State Maintained Road 756	Lot of Record <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Presented By: MICHAEL D. HORNER AND ASSOCIATES PLANNING CONSULTANTS		Subdivision Name -----	Site Plan <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Address (Street) NICHOLAS POINTE OFFICE PARK 322 West Bearss Avenue		Plat Book & Page No. -----	HB 1001 Needed <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
City, State, & ZIP Code Tampa, FL 33612	Home Phone: ----- Work Phone: 962-2395	ZONING ADMINISTRATOR (signature) Date Reviewed	
LEGAL DESCRIPTION OF PARCEL (Lot, Block, Subdivision or Metes and Bounds Description. Please provide a sketch of parcel being considered. Show size, building, etc. or sketch of survey). <p style="text-align: center;">Please See Exhibit "A" Attached</p> <p style="text-align: center;">EXHIBIT "A" attached (must be legible instrument or typewritten)</p>			
Present Use of Property (Specify existing structures) No. of Units <u>30</u> Vacant Type of Units: Recently approved for 30 M.H. Lots		Proposed Use of Property (Specify structures to be constructed) No. of Units <u>40</u> Expand Park to 40 M.H. Lots Type of Units:	
Number of Structures on property after Rezoning (specify) No. of Units <u>40</u> Type of Units: 40 M.H. Lots		(On-Site Dist.) Type of Utilities <input checked="" type="checkbox"/> Public Water & Sewer (Please check one) <input type="checkbox"/> Public Water & Septic Tank <input type="checkbox"/> Well & Septic Tank	
Request Rezoning to MHP/RVP	Reason for Rezoning (Intended use of Property) To Expand Previously Approved Park From 30 to 40 Lots.		
Conditional Uses requiring Additional Exhibits: <input type="checkbox"/> Child Care <input checked="" type="checkbox"/> Family Care <input type="checkbox"/> Group Care <input type="checkbox"/> Borrow Pit <input type="checkbox"/> Airports <input type="checkbox"/> Other Specify _____			
Have you had a preapplication conference with the Planning Staff of the Office of Development Coordination? <u>x</u> (Yes) _____ (No)			
Has an application for rezoning on this property been filed in the past year? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> If yes, what was the application number? <u>85-67</u> It is understood that any permit issued on this application will not grant the right or privilege to erect any structure or to use any premises described for any purpose or in any manner prohibited by the zoning ordinance or by other ordinances, code or regulations of Hillsborough County.			
I, the applicant named in the above (and foregoing) application, do hereby certify under penalty of perjury, provided for in Section 837.06, Florida Statutes, that the information contained and the statements therein made are, to the best of my knowledge and belief, true, correct and complete.			
DATE SIGNED BY APPLICANT <i>May 24 1985</i>		APPLICANT'S SIGNATURE <i>X Gary H. Perrine / Rebecca C. Perrine</i>	
DATE SIGNED BY OWNER <i>May 24, 1985</i>		OWNER'S SIGNATURE <i>X Gary H. Perrine / Rebecca C. Perrine</i>	

SITE MAP

LEGAL

THE EAST 30.00 FEET OF TRACT 78-A AND THE WEST 196.85 FEET OF TRACT 79-A OF THE NORTH 337.5 FEET OF TRACT 78-A OF REVISED MAP OF FLORIDA GARDENLANDS ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN PLAT BOOK 6, PAGE 43, PUBLIC RECORDS OF HILLSBOROUGH COUNTY, FLORIDA, LESS THE NORTH 10.0 FEET THEREOF FOR ROAD RIGHT-OF-WAY.

EXHIBIT "A"
6.67 ACRES

SEE PETITION 85-67 (MHP/RUP)

WARRANTY DEED
INDIVID. TO INDIVID.

RAMCO FORM 01

This Warranty Deed Made the 16th day of May A. D. 1985 by

MOHAMMED SAHEBZAMANI AND WIFE, MAHROKH SAHEBZAMANI, as to an undivided 1/2 interest and HASSAN SAHEBZAMANI, married, as to undivided 1/2 interest

hereinafter called the grantor, to

GARY PERRINE AND REBECCA PERRINE, his wife

whose postoffice address is 3078 Tamiami Trail South, Naples, Florida 33962 hereinafter called the grantee;

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth: That the grantor, for and in consideration of the sum of \$ 10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, releases, conveys and confirms unto the grantee, all that certain land situate in Hillsborough County, Florida, viz:

The East 30 feet of the North 337.15 feet of Tract 78-A and the West 70 feet of the North 337.15 feet of Tract 79-A of REVISED MAP OF THE FLORIDA GARDENLANDS, according to the map or plat thereof as recorded in Plat Book 6, page 42-43 of the Public Records of Hillsborough County, Florida, LESS the North 10 feet thereof for road right-of-way.

AND

The East 127.25 feet of the West 196.85 feet of the North 337.15 feet of Tract 79-A of REVISED MAP OF THE FLORIDA GARDENLANDS, according to the map or plat thereof as recorded in Plat Book 6, page 42-43 of the Public Records of Hillsborough County, Florida, LESS the North 10 feet thereof for road right-of-way.

This is NOT THE HOMESTEAD PROPERTY, nor contiguous to the homestead property of the Grantor each of whom resides elsewhere.

☒ **RETURN TO GRANTEE**

Together with all the tenements, hereditaments and appurtenances thereto belonging or in any-wise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 1984 easements and restrictions on record, if any

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Elizabeth B. Camille
Cathy Watson

Mohammed Saheb Zamani
Mohammed Saheb Zamani
Mahrokh Saheb Zamani
Mahrokh Saheb Zamani
Hassan Saheb Zamani
Hassan Saheb Zamani

STATE OF Florida
COUNTY OF Hillsborough

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgments, personally appeared Mohammed Saheb Zamani & wife, Mahrokh Saheb Zamani and Hassan Saheb Zamani, married

to me known to be the person described in and who executed the foregoing instrument and they acknowledged before me that they executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 16th day of

May A. D. 19 85.

Elizabeth B. Camille

This Instrument prepared by: My Commission Expires:
Address NOTARY PUBLIC, State of Florida
My Commission Expires Aug. 6, 1987
ELIZABETH B. CAMILLE

SPACE BELOW FOR RECORDERS USE

THIS INSTRUMENT PREPARED BY

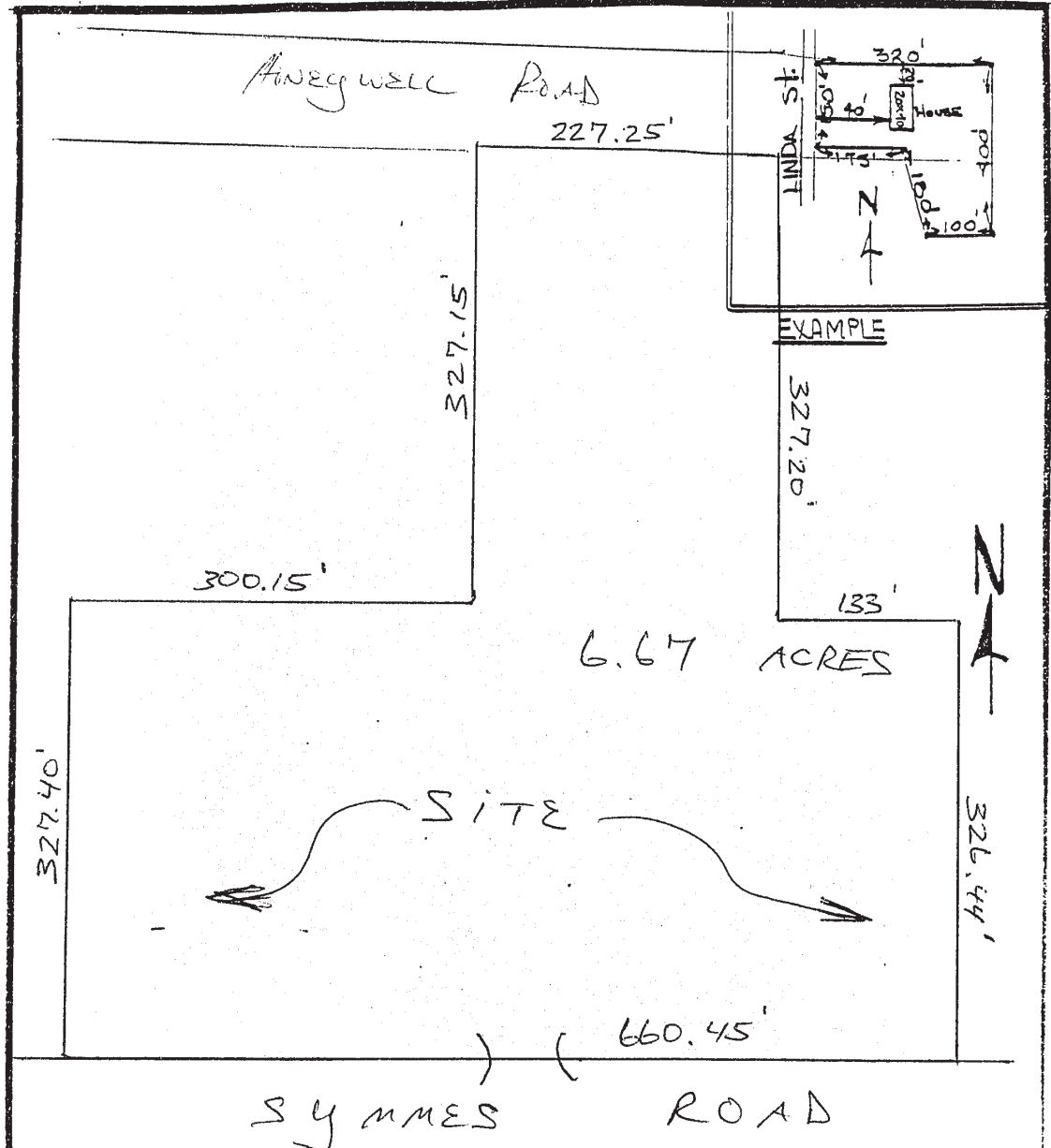
Doreen L. Scovill

CONTINENTAL TITLE INSURANCE, INC.

216 E. Robertson St., Suite A
Brandon, Florida 33511

Pursuant to the issuance of a
title insurance commitment.

Return to Continental Title Ins., Inc.



MICHAEL HORNER & ASSOCIATES
PLANNING CONSULTANTS
NICHOLAS POINT OFFICE PARK
322 W. BEARSS AVE.
TAMPA, FL 33612

SCALE: 1" = 100'

Site Plan Technical Details Required:

1. Site plan should be prepared on paper with a minimum size of 8 1/2" x 11" or a maximum size of 8 1/2" x 14" although larger sizes, if already prepared for other purposes, may be accepted.
2. All dimensions on the site plan must be drawn to scale; example: ten feet to 1 inch or 15 feet to one inch; and all dimensions must be drawn to the same scale; scale used must be shown on the site plan.
3. North arrow must be shown on site plan.
4. Site Plan need not be drawn by a professional and words may be handlettered or typed but drawing should be neat, drawn in ink with legible lettering and numbers.

THIS PLOT PLAN SHOULD CONTAIN THE FOLLOWING:

1. COMPLETE DIMENSIONS OF THE LOT.
2. LOCATIONS OF STRUCTURES ON THE LOT.
3. STREET ON WHICH PROPERTY IS FRONTING.

NOTE: If your plot plan is no larger than 8-1/2" x 14" (the size of this sheet) only one copy is necessary. If you are submitting a survey or plan larger than 8-1/2" x 14", eighteen copies are needed.

216 East Robertson St.
Brandon, Florida 33511
Telephone: 681-5543

BUYER GARY PERRINE AND REBECCA PERRINE, his wife

LEGAL DESCRIPTION Lots 4 & 5, REVISED MAP OF FLORIDA GARDENLANDS

OUR FILE NO. 15487

THIS COMPANY ASSUMES NO LIABILITY FOR THESE ITEMS.

[illegible]

ne same.

Gary N Perrine

Gary Perrine

Rebecca C Perrine

Rebecca Perrine



REZONING PETITION # 85-306

A F F I D A V I T

STATE OF FLORIDA
COUNTY OF HILLSBOROUGH

BEFORE ME, the undersigned authority, personally appeared MICHAEL D. HORNER, who, being first duly sworn, did depose and say:

That I am the person who signed the petition to rezone the area described in the above numbered rezoning petition, or am the agent for the owner of the property.

I further state that I did on the 30TH day of JULY, 1985 notify all persons owning land within one hundred and fifty feet (150') of the property described in the above application, by U. S. Certified Mail, Return Receipt Requested, of my intention to petition the Zoning Hearing Master of Hillsborough County, Florida on the 15TH day of AUG., 1985 for change of zone classification as applied for in said petition, and that I have attached hereto the Certified Mail Return Receipts as evidence of such notification.

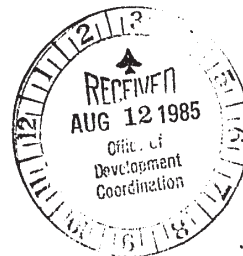
[Signature]
Property owner (or agent for owner)

Sworn to and subscribed before me

this 12 day of Aug, 1985

[Signature]
Notary Public - State of Florida at Large

My commission expires: 7/10/89



ADJACENT PROPERTY OWNERS / Symmes Road

	<u>FOLIO/LOT NUMBER</u>	<u>NAME AND ADDRESS</u>
1.	50712.01	Mohammed & Maroukh Sahbzamani 8825 Bay Point Drive Apt. 102 Tampa, FL 33615
2.	50713	Melvin Hinz Rte 3 Box 484 Riverview, FL 33569
3.	50716	Stanley Steven Spencer 6505 Reed Drive Riverview, FL 33569
4.	50716.02	Rosalee Spencer 6505 Reed Drive Riverview, FL 33569
5.	50709	Donald Adams 3611 Oak Bark Drive Brandon, FL 33511
6.	50703	George/Margaret Brend Rt 1 Box 207 Gibsonston, FL 33534
7.	50700.4	Jerry and Constance Bohlander 713 Spanish Main Apollo Beach, FL 33570
8.	50702	Cecil and Alena Comer 8504 Symmes Road Gibsonston, FL 33534
9.	51372	Henning and Daisy Larsen P.O. Box 1145 Gibsonston, FL 33534
10.	50700.5	Deforest and Mozelle Whitcomb Rt 1 Box 140 Gibsonston, FL 33534
11.	50708	Harold and Shirley Madison Rt 1 Box 209 Gibsonston, FL 33534
12.	50716.01	Same as #50716.0

MICHAEL HORNER & ASSOCIATES
PLANNING CONSULTANTS
NICHOLAS POINT OFFICE PARK
322 W. BEARSS AVE.
TAMPA, FL 33612

85-306

END

OF

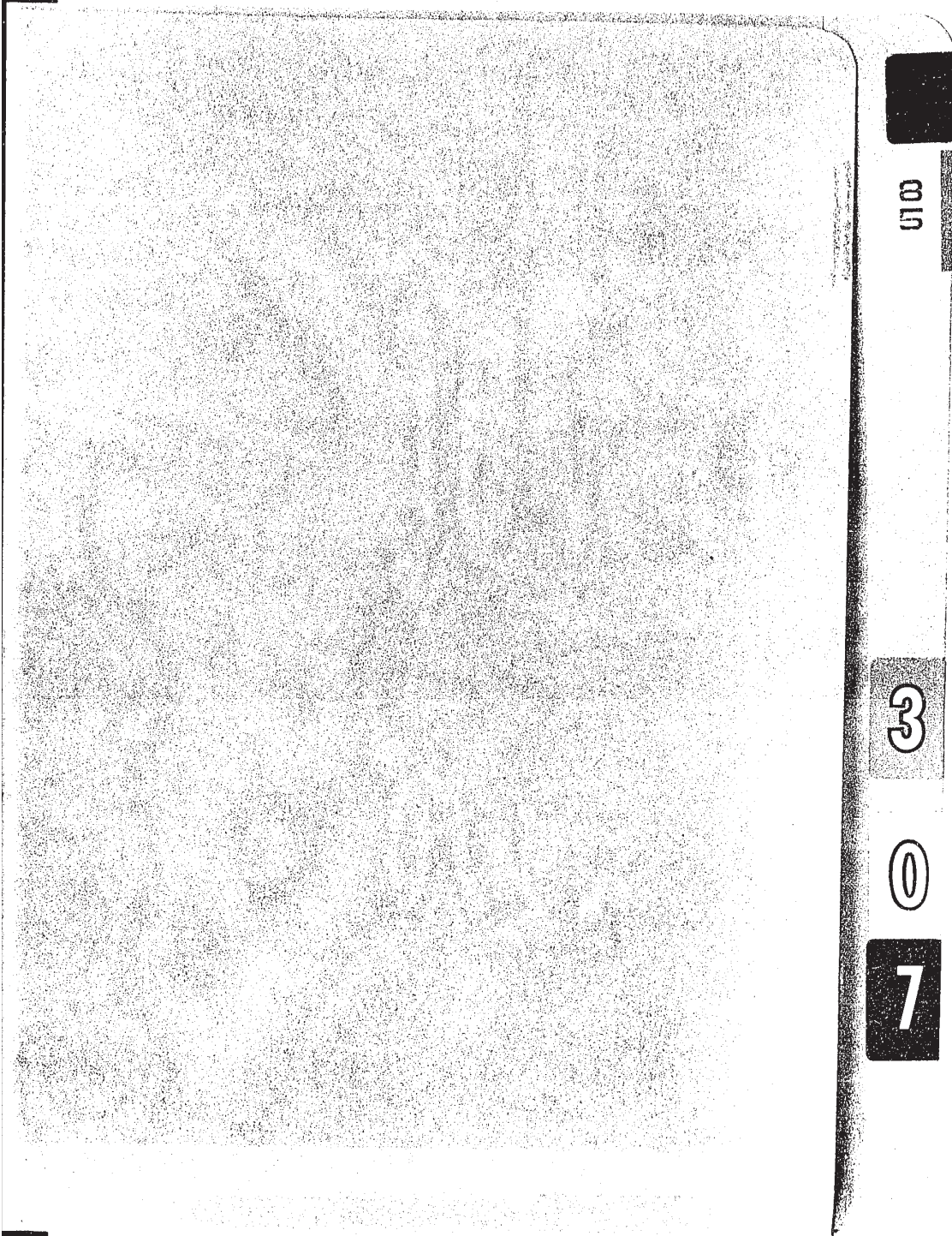
FILE

FILE PREPARED BY:

VDA

FILE PREPARATION DATE:

1995



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PD Modification Application MM 21-0865

Zoning Hearing Master Date:

10/18/2021

BOCC Land Use Meeting Date:

12/14/2021



Hillsborough
County Florida

Development Services Department

1.0 APPLICATION SUMMARY

Applicant: T. Truett Gardener and Gardner
Brewer Martinez Monfort, P.A.

FLU Category: UMU-20

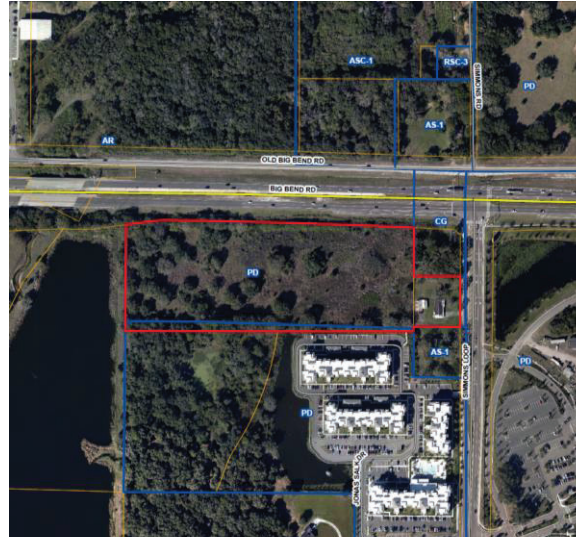
Service Area: Urban

Site Acreage: 11.74 acres

Community Plan Area: Riverview

Overlay: None

Request Major Modification to PD 16-0209



Existing Approvals:

PRS 16-0209, MM 15-0172, PD 11-0415

PRS 16-0209 was approved for a maximum of 40,000-square-feet of floor space for CG (Commercial, General) uses on the eastern portion of the site, excluding gas stations, of which a maximum of 15,000 square feet may be utilized for fast food restaurants. The western portion was to be utilized for passive agricultural uses, storm water management and/or flood plain compensation.

Proposed Modifications:

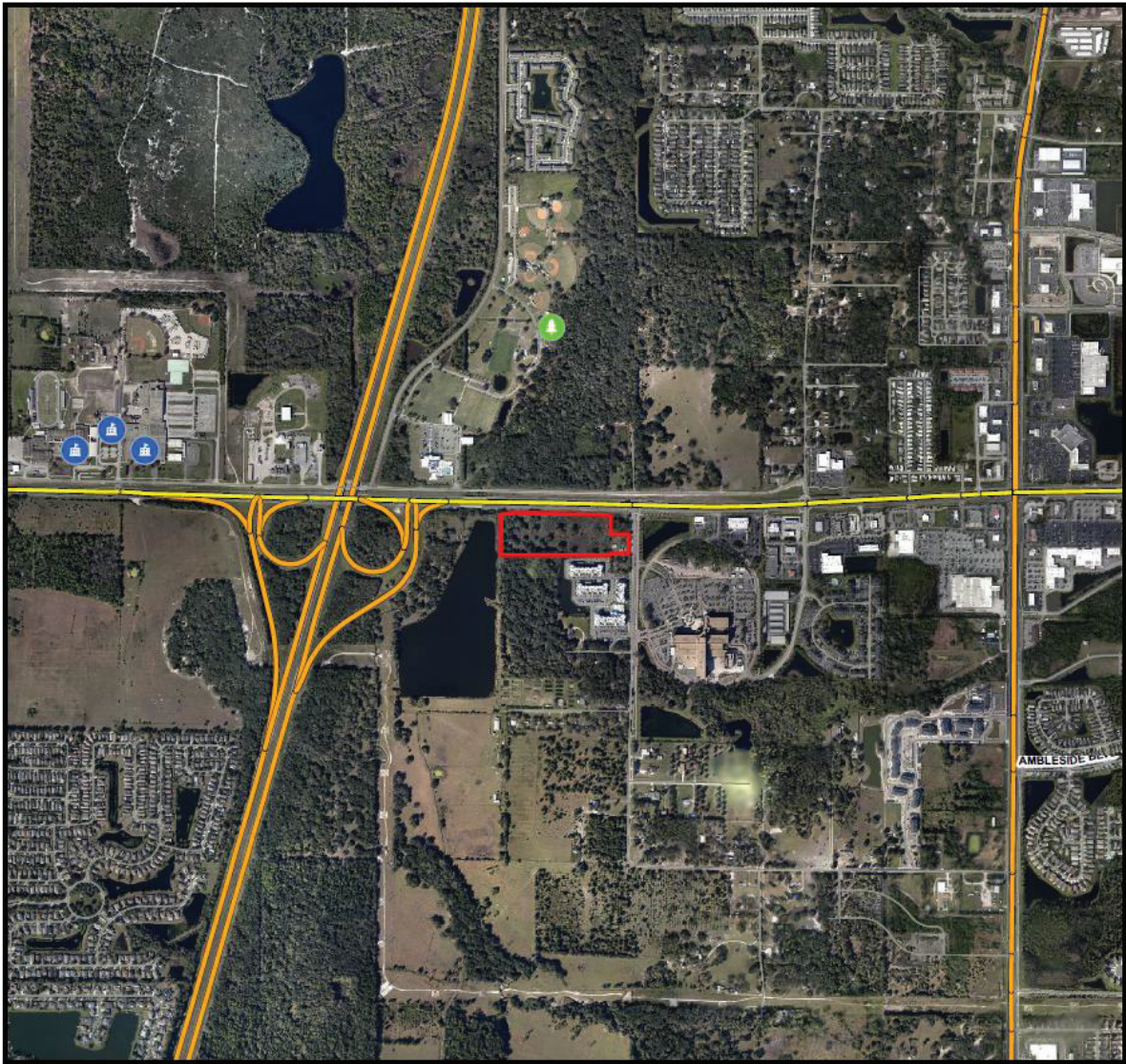
The applicant is seeking a major modification to the existing Planned Development (PD) 16-0209. The development intent includes a multi-family residential development with 211 units based on 10.57 acres at 20 units per acre. The project also proposes a 1.17-acre community dog park located on the western portion of the unified development. The residential building will adhere to a maximum of 300,000 square feet of residential, as well as a maximum height of 58 feet above the base floor elevation and up to four (4) stories.

Additional Information:

PD Variations	Variation to Section 6.06.06 to allow a 5-foot buffer Type A screening in-lieu of a 20-foot buffer with Type B screening on the north side of folio 77734.0000.
Waivers	Waiver of additional setback of 2 feet for every foot over 20 feet for the front, rear and side yard setbacks.
Planning Commission Recommendation	Planning Commission staff finds the proposal consistent with the Hillsborough Comprehensive Plan for Unincorporated Hillsborough County.
Development Services Department Recommendation	Staff finds the proposal APPROVABLE, with conditions.

2.0 LAND USE MAP SET AND SUMMARY DATA

2.1 Vicinity Map



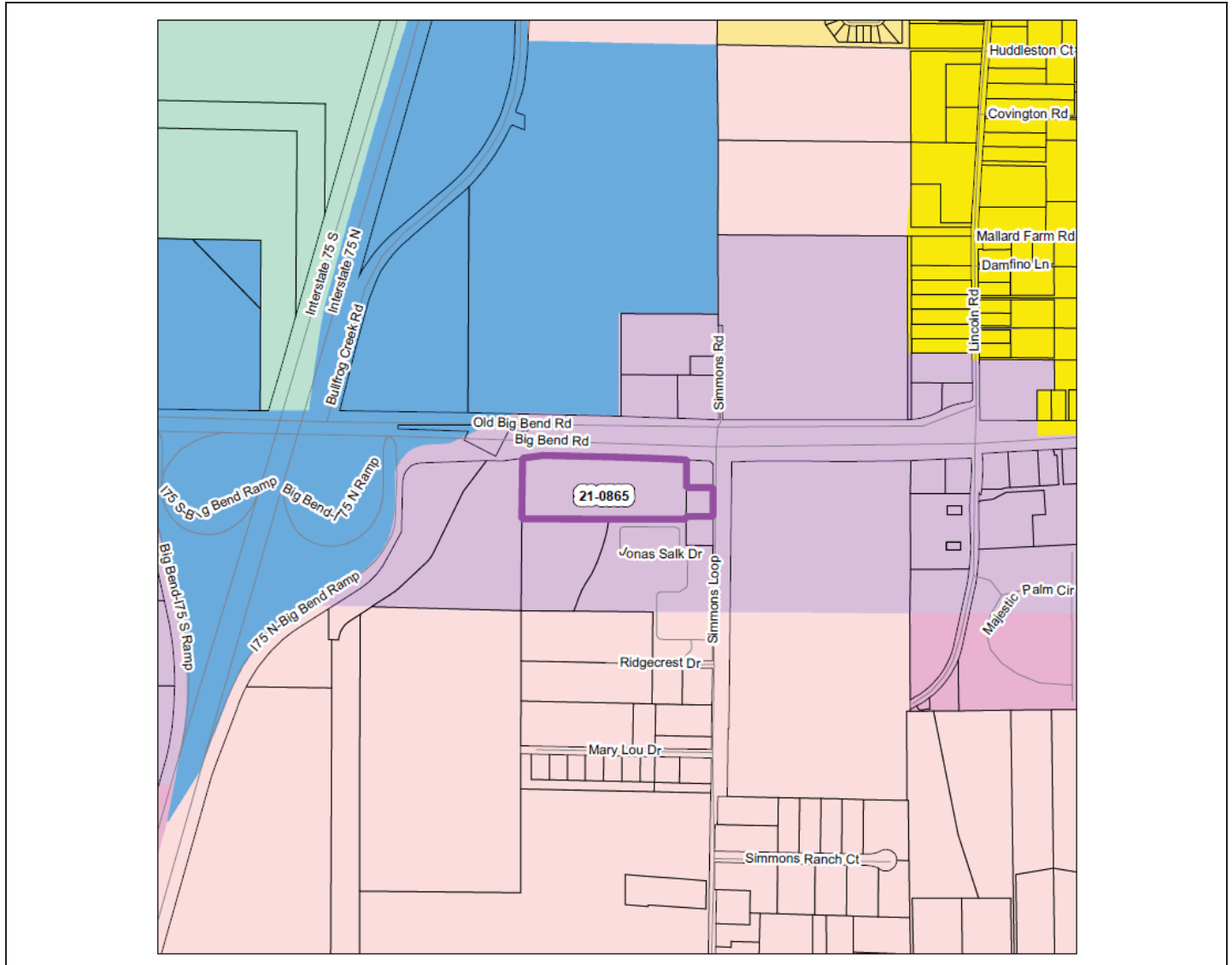
Context of Surrounding Area

The subject site is located off Big Bend Road approximately 900 feet to the west of the subject site is the on/off-ramp to I-75. The site is in the Urban Service Area and within the limits of the Riverview and Southshore Areawide Systems Community Plans. The surrounding area includes a mix of uses including:

- To the northeast is a vacant Commercial, General (CG) zoned property,
- A hospital and medical offices (St. Joseph's Hospital – South) to the east across Simmons Loop,
- A Planned Development (PD 15-0172) to the south was approved for a 400-unit multi-family development,
- To the west is zoned Agricultural Rural (AR) developed with an artificial lake (retention pond) to the west, and
- A County park directly north across Big Bend Road, and northeast across Big Bend Road is vacant agriculturally zoned properties.

2.0 LAND USE MAP SET AND SUMMARY DATA

2.2 Future Land Use Map



Future Land Use Category Description:

The site is designated UMU-20 (Urban Mixed Use – 20) on the Future Land Use Map. UMU-20 allows residential, regional commercial, offices, business parks, research park, light industrial, multi-purpose, and mixed-use development. Projects that are 10 acres or greater within the Urban Mixed Use-20 future land use classification must demonstrate a mix of land uses in accordance with Comprehensive Plan Policy 19.1.

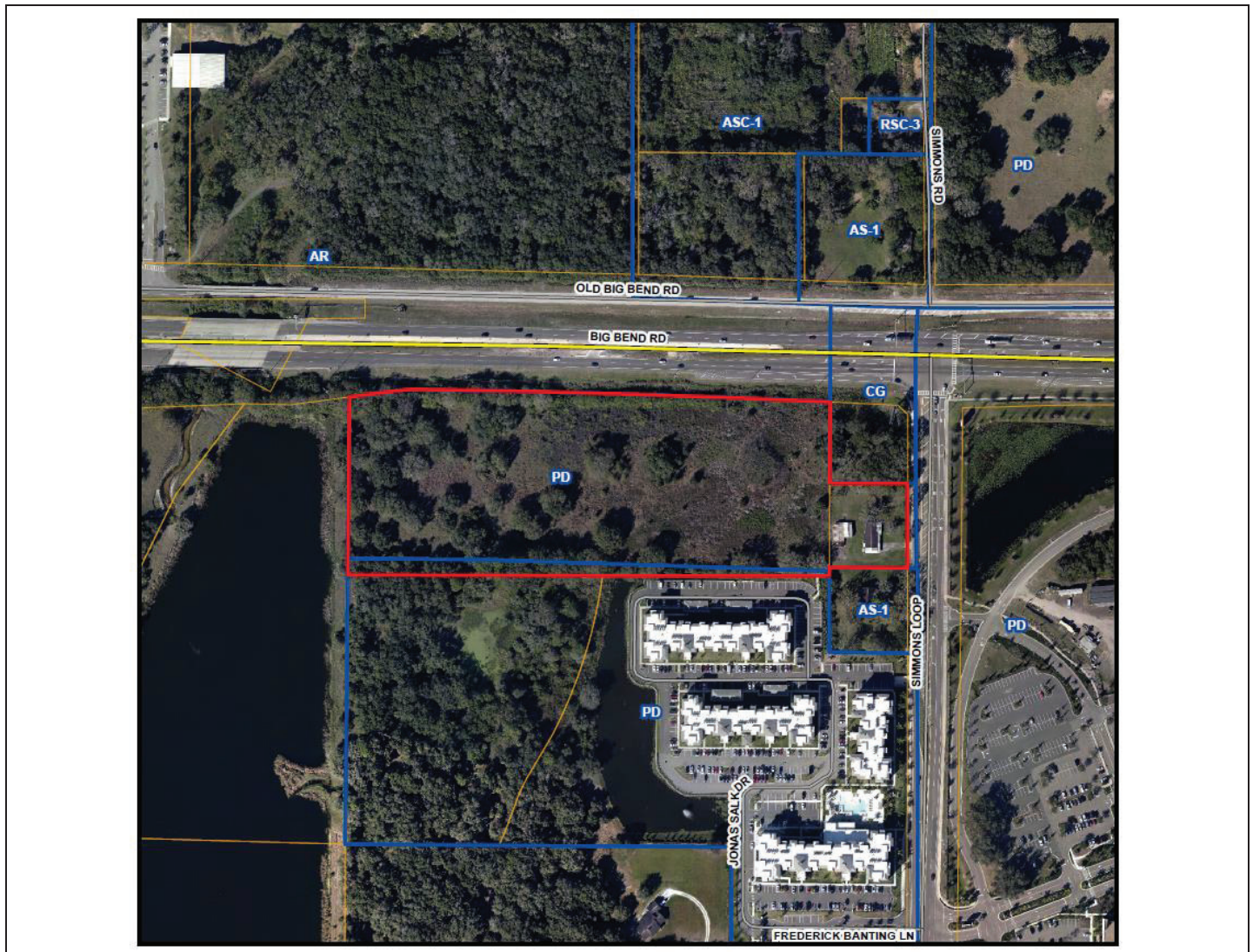
Maximum FAR: 1.0

Maximum Density: 20 dwelling units per acre.

The UMU-20 (Urban Mixed Use – 20) Future Land Use category is located north, south, east and west of the subject property. Further southeast of the site is Community Mixed Use-12 (CMU-12). Along the northside of Big Bend Road there is Residential-6 (RES-6) and Office Commercial-20 (OC-20).

2.0 LAND USE MAP SET AND SUMMARY DATA

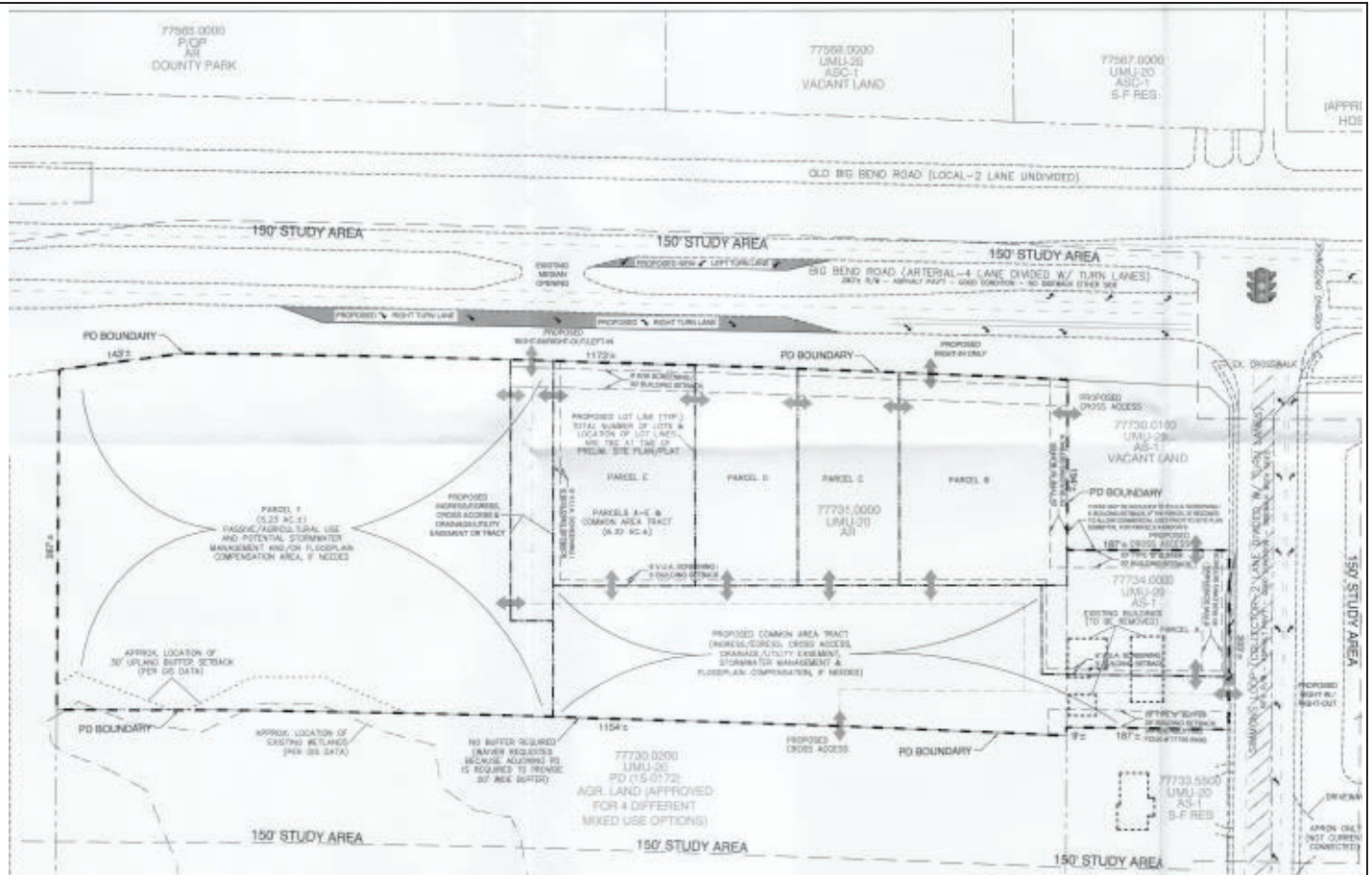
2.3 Immediate Area Map



Adjacent Zonings and Uses					
Location:	Zoning:	Future Land Use:	Density/F.A.R.	Permitted Use:	Existing Use:
North	AR, PD 04-1820, RSC-2, ASC-1, AS-1	UMU-20 (Urban Mixed Use – 20)	PD FAR: 0.40 ASC-1: 53,560 sq. ft.	Park, Agriculture, SF	Vance Vogel Park & Vacant
South	PD 15-0172	UMU-20 (Urban Mixed Use – 20)	PD: max. 400 multi-family units	Multi-family apartment buildings	Multi-family apartment buildings
West	AR	UMU-20 (Urban Mixed Use – 20)	Retention Pond	Retention Pond	Retention Pond
East	PD 17-0501	UMU-20 (Urban Mixed Use – 20)	FAR: 0.29 (excluding energy plant)	Hospital, medical offices and accessory medical uses.	Hospital, medical offices and accessory medical uses.

2.0 LAND USE MAP SET AND SUMMARY DATA

2.4 Existing Site Plan



PROPOSED USE(S): PARCELS A-E: BUSINESS AND COMMERCIAL USES AND/OR OFFICE AND PROFESSIONAL SERVICES USES, AS ALLOWED WITHIN THE "CG" ZONING DISTRICT (LIMITED TO A MAXIMUM OF 15,000 SF OF FAST-FOOD RESTAURANT(S))

PARCEL F: AS ALLOWED WITHIN THE "AR" ZONING DISTRICT

PERIMETER SETBACKS

FRONT (NORTH): 30' (MIN, FROM BIG BEND RD)
 FRONT (EAST): 30' (MIN, FROM SIMMONS LOOP)
 SIDE (EAST): 20' (MIN, FROM FOLIO #77730.0100) / MAY BE REDUCED TO 5' (MIN), IF THE PARCEL IS REZONED TO ALLOW COMMERCIAL USES PRIOR TO SITE PLAN SUBMITTAL FOR PARCELS A AND/OR B.
 SIDE (WEST): N/A, UNLESS PARCEL F IS DEVELOPED, THEN SETBACKS SHALL BE PER "AR" ZONING STANDARDS
 REAR (SOUTH): N/A - NOT REQUIRED FOR COMMON AREA TRACT

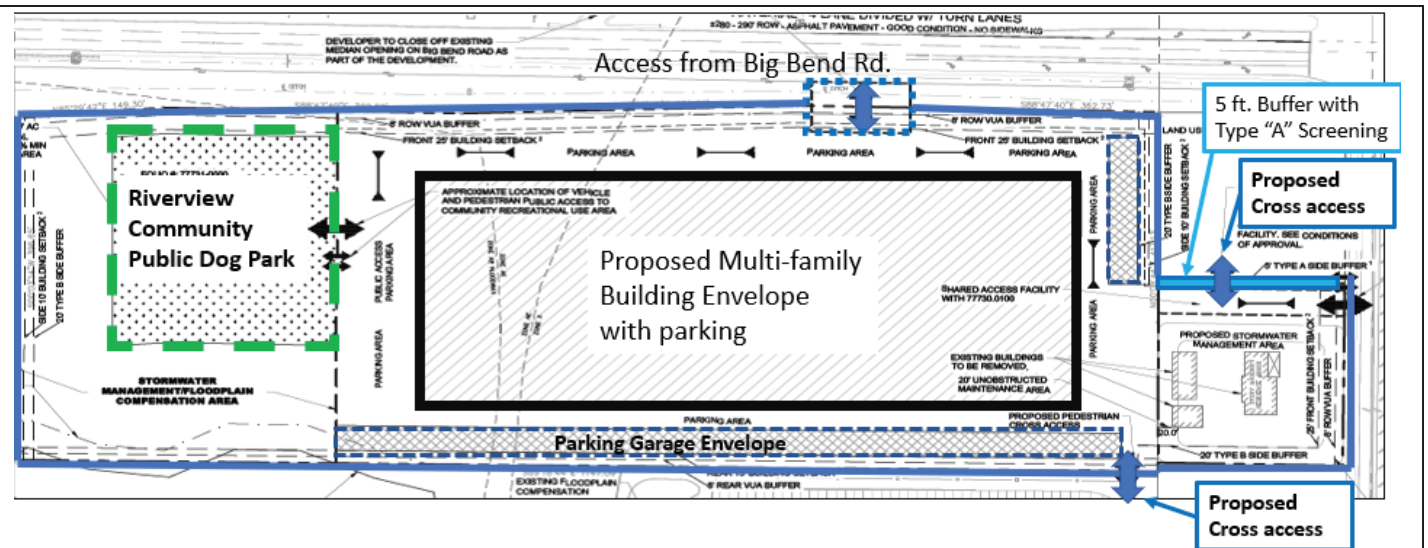
INTERNAL SETBACKS (BETWEEN PROPOSED PARCELS WITHIN THE PD)

SIDE/REAR: 5' (MIN)

BUILDING HEIGHT: 50' MAX (AN ADDITIONAL SETBACK OF 2' FOR EVERY 1' OF HEIGHT OVER 20' SHALL BE ADDED TO PERIMETER SETBACK WHERE ABUTTING A RESIDENTIAL DISTRICT)

2.0 LAND USE MAP SET AND SUMMARY DATA

2.5 Proposed Site Plan



PROPOSED DEVELOPMENT STANDARDS

PERIMETER BUILDING SETBACKS

FRONT (NORTH):	25' (MIN, FROM BIG BEND RD) ⁽²⁾
FRONT (EAST):	25' (MIN, FROM SIMMONS LOOP) ⁽²⁾
SIDE (EAST):	10' (MIN, FROM FOLIO #77730-0100) ⁽²⁾
SIDE (WEST):	10' (MIN, FROM FOLIO #51514-5000) ⁽²⁾
REAR (SOUTH):	15' (MIN, FROM FOLIO #7773-0200) ⁽²⁾

PERIMETER BUFFERING

FRONT (NORTH):	8' VUA (FROM BIG BEND)
FRONT (EAST):	8' VUA (FROM SIMMONS LOOP)
SIDE (NORTH):	5' TYPE A (FROM FOLIO #77730-0100) ⁽¹⁾
SIDE (EAST):	20' TYPE B (FROM FOLIO #77730-0100)
SIDE (WEST):	20' TYPE B (FROM FOLIO #51514-5000)
REAR (SOUTH):	8' VUA (FROM FOLIO #7773-0200)

PROPOSED USE INFORMATION

PROPOSED BUILDING USE (20 DU PER ACRE)	10.57 AC * 20 = 211 DWELLING UNITS
PROPOSED DOG PARK USE	1.17 AC (MIN. 10% OF TOTAL SITE AREA)

The site plan depicts a single envelope for the location of the proposed multi-family buildings with parking, and proposed stormwater management and/or floodplain compensation areas on both the eastern and the western portions of the site. The west of the development is a proposed public dog park.

There are two access points, one located on Big Bend Road and another on Simmons Loop.

2.5 Variation Requested

The applicant has requested a variation from the general site development requirements found in Parts 6.06.06, Buffering and Screening Requirements. Per LDC Section 6.06.06, the proposed residential use would require a 20-foot buffer with Type B screening against the adjacent CG zoned parcel to the north (folio no. 77730.0100). The applicant is requesting a variation of this requirement due to the proposed driveway access to Simmons Loop (shown in blue highlighter in the "Proposed Site Plan"). In lieu of the landscape buffer, the applicant proposes a 5-foot buffer with Type "A" screening which will provide both screening and access. There will be no buffer or screening at the proposed cross access between the CG parcel and the development.

Staff has reviewed the justification statement submitted by the applicant for the variations and finds they meet the criteria for approval per LDC Section 5.03.06.C.6. The Rezoning Hearing Master's recommendation for this application is required to include a finding on whether the requested variations meet the criteria for approval.

3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)**Adjoining Roadways (check if applicable)**

Road Name	Classification	Current Conditions	Select Future Improvements
Big Bend Rd.	County Arterial - Rural	4 Lanes <input type="checkbox"/> Substandard Road <input checked="" type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input checked="" type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input checked="" type="checkbox"/> Other
Simmons Loop	County Collector - Urban	2 Lanes <input type="checkbox"/> Substandard Road <input checked="" type="checkbox"/> Sufficient ROW Width	<input checked="" type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
	Choose an item.	Choose an item. Lanes <input type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
	Choose an item.	Choose an item. Lanes <input type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other

Project Trip Generation ☐ Not applicable for this request

	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	9,701	424	395
Proposed	1,258	87	104
Difference (+/-)	(-) 8,443	(-) 337	(-) 291

*Trips reported are based on net new external trips unless otherwise noted.

Connectivity and Cross Access ☐ Not applicable for this request

Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North	X	Vehicular & Pedestrian	None	Meets LDC
South		None	Pedestrian	Meets LDC
East	X	Vehicular & Pedestrian	Vehicular & Pedestrian	Meets LDC
West		None	None	Meets LDC

Notes: The connection to Simmons Loop also serves as a Shared Access Facility and required vehicular and pedestrian cross access to the folio to the north.

Design Exception/Administrative Variance ☒ Not applicable for this request

Road Name/Nature of Request	Type	Finding
	Choose an item.	Choose an item.
	Choose an item.	Choose an item.

Notes:

4.0 ADDITIONAL SITE INFORMATION & AGENCY COMMENTS SUMMARY

INFORMATION/REVIEWING AGENCY	OBJECTIONS	CONDITIONS REQUESTED	ADDITIONAL INFORMATION/COMMENTS
Environmental:			
Environmental Protection Commission	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Future EPC staff review is not limited to the following, regardless of the obviousness of the concern as raised by the general site plan and EPC staff may identify other legitimate concerns at any time prior to final project approval.
Natural Resources	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Per the applicant's site plan, the site contains 1 acre of environmentally sensitive land. This constitutes less than 25% of the site and therefore density calculations are done without the use of the Environmentally Sensitive Land Credit.
Conservation & Environmental Lands Mgmt.	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Check if Applicable: <div style="display: flex; justify-content: space-between;"> <div> <input checked="" type="checkbox"/> Wetlands/Other Surface Waters <input type="checkbox"/> Use of Environmentally Sensitive Land Credit <input type="checkbox"/> Wellhead Protection Area <input type="checkbox"/> Surface Water Resource Protection Area <input type="checkbox"/> Potable Water Wellfield Protection Area </div> <div> <input type="checkbox"/> Significant Wildlife Habitat <input type="checkbox"/> Coastal High Hazard Area <input type="checkbox"/> Urban/Suburban/Rural Scenic Corridor <input type="checkbox"/> Adjacent to ELAPP property <input type="checkbox"/> Other _____ </div> </div>			
Public Facilities:			
Transportation <input type="checkbox"/> Design Exception Requested <input checked="" type="checkbox"/> Off-site Improvements Required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Utilities Service Area/ Water & Wastewater <input checked="" type="checkbox"/> Urban <input type="checkbox"/> City of Tampa <input type="checkbox"/> Rural <input type="checkbox"/> City of Temple Terrace	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Hillsborough County School Board Adequate <input checked="" type="checkbox"/> K-5 <input checked="" type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input type="checkbox"/> N/A Inadequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input checked="" type="checkbox"/> 9-12 <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	This is an analysis for adequate facilities only and is NOT a determination of school concurrency. A school concurrency review will be issued PRIOR TO preliminary plat or site plan approval.

Impact/Mobility Fees

The project area is located in the Urban Service Area. An 8-inch water main is available approximately 120 feet from the site and is located within the east Right-of-Way of Simmons Loop. The property lies within the Hillsborough County Wastewater Service Area. A 4-inch wastewater force main exists adjacent to the site and is located within the west Right-of-Way of Simmons Loop.

Estimated Fees:

(Fee estimate is based on a 1,200 square foot, 2 bedroom, Multi-Family Units 3+ story)

Mobility: \$3,891 * 235 units = \$914,385

Parks: \$1,316 * 235 units = \$309,260

School: \$3,891 * 235 units = \$914,385

Fire: \$249 * 235 units = \$ 58,515

Total Multi-Family (3+ story) = \$2,196,545

Project Summary/Description:

Urban Mobility, South Park/Fire - 235 Multi-Family Units (two 4-story buildings).

Credit for prior structures may be eligible.

Comprehensive Plan:**Planning Commission**

- ☐ Meets Locational Criteria ☒ N/A
- ☐ Locational Criteria Waiver Requested
- ☒ Minimum Density Met ☐ N/A

- ☐ Inconsistent
- ☒ Consistent
- ☐ N/A

- ☐ Yes
- ☒ No

5.0 IMPLEMENTATION RECOMMENDATION

5.1 Compatibility

The request is to modify Planned Development (PD) 16-0209, associated with two parcels totaling approximately 11.74 acres. The previous PD 16-0209 was approved for up to 40,000 square feet of business and commercial, general uses and/or office and professional services, as allowed within the CG zoning district (limited to a maximum of 15,000 square feet of fast-food restaurants). The applicant proposes a change in use to multi-family development of 211 residential units located on 10.57-acres with a community dog park, located on the 1.17 acres located to the west of the multi-family building. The community dog park will be owned and maintained by the multi-family apartment complex.

The site is located west of the Big Bend Road and Simmons Loop intersection and is predominantly surrounded by residential with nearby medical uses, and vacant land. The underlying future land use (FLU) category of the subject parcel is Urban Mixed Use – 20 (UMU-20). The subject area consists of two parcels.

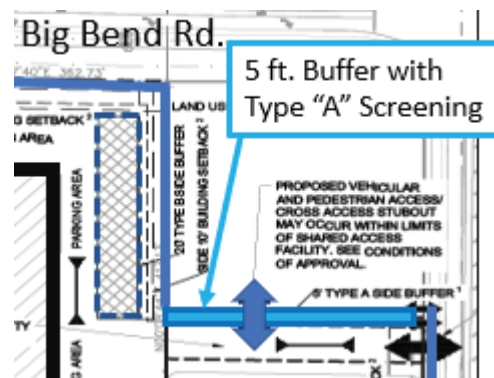
- The property is located just east of Interstate-75 within the Riverview Community Base Planning Area,
- Within the Urban Service Area,
- Residential as well as neighborhood serving uses such as a hospital and a park to the northwest across Big Bend Road.

The existing PD 16-0209 requires a 30-foot front setback and allows a 50-foot maximum building height. The current application is proposing a 25-foot front setback and a maximum 58-foot building height with a maximum of 4 stories. The applicant requests a waiver of additional setback of 2 feet for every foot over 20 feet to allow a 25-foot front yard setback, a 15-foot rear yard setback, and a 10-foot setback on the east side yard. Staff finds the waiver request supportable.

Pedestrian cross-access is proposed along the southern property line to the existing multi-family development. Vehicular access is provided via a right-in/right-out driveway on Big Bend Road as well as another right-in/right-out along Simmons Loop. Future cross access is delineated for the adjacent commercially zoned parcel located to the north of the subject parcel. See Transportation Review Comment Sheet for additional transportation review comments and analysis.

The application requests a variation to Land Development Code Parts 6.06.00 (Landscaping/Buffering) to allow driveway access to Simmons Loop. In lieu of the landscape buffer, the applicant proposes a 5-foot buffer with Type "A" screening which will provide both screening and access. The site will comply with and conform to all other applicable policies and regulations, including but not limited to, the Hillsborough County Land Development Code, Site Development and Technical Manuals.

As reflected in the recommended conditions of approval in this report, staff does not object to the requested variation. The hearing master's recommendation for this application is required to include a finding on whether the requested variation meets the criteria for approval, per LDC Section 5.03.06.C.6.



5.2 Recommendation

The proposed project with the proposed development standards, existing scale and restrictions may be found to be compatible with nearby development patterns. The request would encourage residential development that complements the surrounding character and promotes housing diversity in the Riverview Community Plan area. In compliance with Future Land Use Element (FLUE) Policy 19.1, the applicant is proposing a secondary use that constitutes ten percent of the unified site development. Staff finds the request **APPROVABLE** with conditions, based on the above.

6.0 PROPOSED CONDITIONS

Staff does not find the request supportable. However, if approved, staff recommends it be subject to the following conditions listed below, based on the general site plan submitted July 28, 2021.

1. ~~Parcels A through E shall be limited to a combined total of 40,000 square feet of floor space for C-G (Commercial, General) district uses in the manner allowed by the Land Development Code the date of rezoning approval, excluding gas stations, subject to the following restrictions:~~
 - 1.1 ~~No more than 15,000 square feet of floor space shall be utilized for fast food restaurants. The floor space may be apportioned among the parcels at the discretion of the developer. Each site development plan that is submitted shall include a table tracking all previous development approvals in the PD by floor space and use.~~
1. Development in Parcels A through E shall be limited to 211 units of multi-family residential, with a 1.17-acre community dog park located on the western portion of the unified site plan.
2. Development shall comply with the following standards:
 - ~~Minimum parcel size: 10,000 square feet.~~
 - ~~Minimum parcel width: 75 feet.~~
 - ~~Minimum building setbacks: 30 25 feet from Big Bend Road and Simmons Loop Road rights-of-way, measured from the interior edge of right-of-way preservation areas where required; five feet from the internal project roadway, except that on the west side of Parcel E an eight foot setback from the roadway shall be required; five feet from interior parcel lines; and five feet where adjacent to parcel folio 77730.0100 if no buffer area is required pursuant to Condition 5.3.~~
 - Maximum building height: ~~50~~ 58 feet.
 - Maximum impervious area: 70 percent project wide.
 - Vehicular Use Area Buffer: 8-foot buffer along Big Bend Road and Simmons Loop
 - 8-foot buffer along Rear Yard adjacent to folio no. 77730.0200.
3. ~~Interior lot lines between Parcels A through E shown on the general site plan may be moved and/or parcels may be consolidated at the discretion of the developer, subject to the minimum parcel dimensions in Condition 2. However, the western and southern boundary of the parcels shall strictly conform to the general site plan.~~
4. ~~Parcel F shall be limited to passive agricultural uses, storm water management and/or floodplain compensation area. Buildings shall be subject to the standards of the AR zoning district.~~
3. Buffering and screening between uses shall be provided in accordance with the requirements of LDC Section 6.06.06, except as follows:
 - ~~5.1 No buffering or screening shall be required between parcels within the project.~~
 - ~~5.2 3.1~~ 3.1 No buffering or screening shall be required on the south project boundary where adjacent to PD 11-0415.
 - ~~5.3 3.2 No buffering and or screening shall be required adjacent to the southern boundary of parcel folio 77730.0100 shall include a 5-foot buffer with type "A" screening. if that parcel has been rezoned for commercial and/or office uses prior to the submittal of initial site development plans for Parcels A and/or B.~~

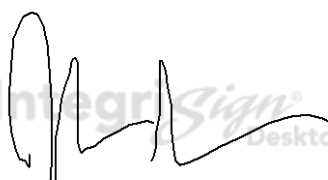
4. Buffering and screening for off-street vehicular use areas shall be provided in accordance with the requirements of LDC Section 6.06.04., ~~except that the requirements of Section 6.06.04.E.1 shall not apply between Parcels A through E.~~
5. An evaluation of the property by Natural Resources staff has identified a number of mature trees that may include grand oaks. The potential stature of these trees warrants every effort to minimize their removal. The developer is encouraged to consult with Natural Resources staff for design input addressing these trees prior to submittal of initial site development plans.
6. The planting of required trees shall be sensitive to overhead electric utility lines. Trees that exceed a mature overall height of 20 feet shall not be planted within 30 feet of an existing or proposed overhead electric utility line.
7. Approval of this rezoning petition by Hillsborough County does not constitute a guarantee that Environmental Protection Commission approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impacts to wetlands, and does not grant any implied or vested right to environmental approvals.
8. This site is located within the Hillsborough County Urban Service Area, therefore the subject property should be served by Hillsborough County Water and Wastewater Service. This does not guarantee water or wastewater service or a point of connection. Developer is responsible for submitting a utility service request at the time of development plan review and will be responsible for any on-site improvements as well as possible off-site improvements.
9. Water distribution system improvements will need to be completed prior to connection to the County's water system. No building permits that would create demand for water service shall be issued until either the completion by the County of funded Capital Improvement Program projects C32001 - South County Potable Water Repump Station Expansion and C32011 - Potable Water In-Line Booster Pump Station, and the projects are put into operation or until June 1, 2022, whichever occurs first.
10. As pedestrian cross-access is required between this and the adjacent project to the south, the developer shall construct a minimum a minimum 5-foot wide sidewalk connection between the internal sidewalk network and the existing pedestrian cross-access (sidewalk) stubout, which was previously constructed within folio 77730.0220. Given the need for public access through the project given the proposed publicly accessible dog park, such connection shall be ungated. Prior to the issuance of any commercial building permits, the developer shall provide a paved roadway stub-out to the southern boundary of the PD to accommodate vehicular and pedestrian cross-access with adjacent PD 11-0415, except as otherwise provided below. Relocation of the cross-access shall require minor modification approval for both PDs.
 - 10.1 ~~— If at the time of initial site development plan approval for the commercial portion of the project there is unexpired site development approval in place for Option 5 of adjacent PD 11-0415, the developer shall provide, prior to the issuance of any commercial building permits, a paved sidewalk to the southern boundary of the PD to accommodate pedestrian cross-access with PD 11-0415. In such case, the developer shall not be required to provide a paved roadway stubout.~~
11. ~~Prior to the issuance of building permits for Parcel A, the developer shall provide a paved stubout to the north parcel line to accommodate cross-access with the adjacent property.~~
12. ~~Prior to the issuance of building permits for Parcel B, the developer shall provide a paved stubout to the east parcel line to accommodate cross-access with the adjacent property.~~

- ~~13. The developer shall be required to modify the existing median opening at the project's western driveway on Big Bend Road to allow for right in/right out/left in movements. The developer shall also construct a westbound left turn lane at this modified median opening.~~
- ~~14. The developer shall construct right turn lanes at each project driveway.~~
- ~~15. The developer shall be required to extend the existing eastbound left turn lane at the intersection of Big Bend Road and Simmons Loop Road to accommodate U-turning vehicles from the project.~~
- ~~16. The developer shall be required to extend the existing westbound left turn lane at the intersection of Big Bend Road and Simmons Loop Road to accommodate project traffic entering the site from Big Bend Road.~~
- ~~17. The Hillsborough County MPO's 2040 Long Range Transportation Plan identifies Simmons Loop Road as a 2-lane undivided roadway. Simmons Loop Road is shown on the Hillsborough County Corridor Preservation Plan as a 2-lane roadway. As such, consistent with the Hillsborough County Corridor Preservation Plan, up to 14 feet of additional right of way shall be preserved along the project's Simmons Loop Road frontage in order to accommodate a 2-lane collector roadway within 64 feet of right of way. If right of way is so preserved, the western boundary of the commercial portion of the project, including access drive and common use area, may be moved westward an equal amount.~~
- ~~18. Prior to site plan submittal, the applicant shall submit a traffic analysis (methodology approved by Hillsborough County) identifying the length of the required turn lanes to be constructed by the applicant. The design and construction of these turn lanes shall be approved by Hillsborough County Public Works and Development Services. The queue (storage) length will be determined based on required detailed transportation analysis.~~
11. The project shall be permitted one (1) right-in/ right-out connection onto Simmons Loop, and one (1) right-in/right-out connection onto Big Bend Rd. Notwithstanding anything herein these conditions or on the PD site plan to the contrary, in the event the right-in/right-out driveway on Big Bend Rd. is being found to cause or contribute to unsafe conditions on Big Bend Rd. or operational issues at the I-75 and Big Bend Rd. interchange, the property owner shall be required (upon written request by Hillsborough County) to propose corrective measures, which could include but shall not be limited to revised onsite operational plans, revised site design, and/or changes to the external roadway/driveway access. Such measures will be subject to the review and approval of Hillsborough County. In the event an agreement on suitable corrective measures cannot be reached, Hillsborough County may require closure of the Big Ben Rd. access, which shall be at the property owners' sole cost and expense.
12. As generally shown on the PD site plan, the Big Bend Rd. access shall be located a minimum of 400 feet and a maximum of 500 feet west of the Big Bend Rd. and Simmons Loop intersection, and the project access may occur anywhere within this area.
13. As generally shown on the PD site plan, those portions of the internal project driveway and sidewalk system to Simmons Loop that runs along the southern boundary of folio 77730.0100 shall be considered a Shared Access Facility with folio 77730.0100. Prior to or concurrent with the initial increment of development, the developer shall record in the Official Records of Hillsborough County a construction easement and any other easement necessary to permit the owner/developer of folio 77730.0100 to construct an utilize the required Shared Access Facility upon (re)development of the adjacent properties without further consultation. The design and location of all connections shall be subject to the review and approval of Hillsborough County.

14. Since the developer is proposing a publicly accessible dog park which will be privately owned and maintained by the property owner, public access to the property must be ensured. As such, prior to or concurrent with the initial increment of development, the developer shall record in the Official Records of Hillsborough County a public access easement over the sidewalks and driveways which connect the proposed publicly accessible dog park with both vehicular and pedestrian entrances to the project (i.e. Big Bend Rd. and Simmons Loop) as well as the pedestrian cross access connection along the project's southern boundary.
15. The internal driveway throat for the Big Bend Rd. access shall be free of parking spaces, internal connections or other conflicts for a minimum of distance of 150 feet.
16. The developer shall construct the following site access improvements:
- 16.1 The Big Bend Rd. driveway connection shall be designed with a minimum radius of 50 feet; and,
 - 16.2 The developer shall close the existing westbound directional median opening on Big Bend Rd. (located approximately 750 feet west of the intersection of Big Bend Rd. and Simmons Loop).
17. Notwithstanding anything on the PD site plan or herein these conditions to the contrary, bicycle and pedestrian access may be permitted anywhere along the project boundaries.
9. 18. If the notes and/or graphic on the site plan are in conflict with specific zoning conditions and/or the Land Development Code (LDC) regulations, the more restrictive regulation shall apply, unless specifically conditioned otherwise. References to development standards of the LDC in the above stated conditions shall be interpreted as the regulations in effect at the time of preliminary site plan/plat approval.
- ~~10.~~ 19. The Development of the project shall proceed in strict accordance with the terms and conditions contained in the Development Order, the General Site Plan, the land use conditions contained herein, and all applicable rules, regulations, and ordinances of Hillsborough County.
- ~~11.~~ 20. Effective as of February 1, 1990, this development order/permit shall meet the concurrency requirements of Chapter 163, Part II, Florida Statutes. Approval of this development order/permit does not constitute a guarantee that there will be public facilities at the time of application for subsequent development orders or permits to allow issuance of such development orders or permits.

1.1 SITE, SUBDIVISION AND BUILDING CONSTRUCTION IN ACCORDNACE WITH HILLSBOROGUH COUNTY SITE DEVELOPMENT PLAN & BUILDING REVIEW AND APPROVAL.

Approval of this re-zoning petition by Hillsborough County does not constitute a guarantee that the project will receive approvals/permits necessary for site development as proposed will be issued, nor does it imply that other required permits needed for site development or building construction are being waived or otherwise approved. The project will be required to comply with the Site Development Plan Review approval process in addition to obtain all necessary building permits for on-site structures.

Zoning Administrator Sign Off:

J. Brian Grady
Mon Oct 11 2021 07:51:30

APPLICATION NUMBER: PD 21-0865

ZHM HEARING DATE: October 18, 2021

BOCC LUM MEETING DATE: December 14, 2021

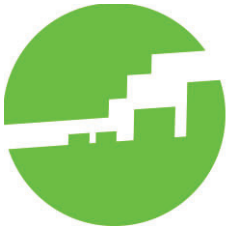
Case Reviewer: Tim Lampkin

7.0 ADDITIONAL INFORMATION

8.0 FULL TRANSPORTATION REPORT

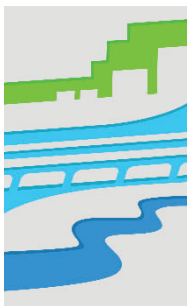
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Hillsborough County City-County Planning Commission

Unincorporated Hillsborough County Rezoning	
Hearing Date: October 18, 2021 Report Prepared: October 7, 2021	Petition: MM 21-0865 6908 Simmons Loop <i>South side of Big Bend Road, west side of Simmons Loop, east of Interstate 75.</i>
Summary Data:	
Comprehensive Plan Finding:	CONSISTENT
Adopted Future Land Use:	Urban Mixed Use-20 (20 du/ag; 1.0 FAR)
Service Area	Urban
Community Plan:	Riverview and Southshore Areawide Systems
Requested Modification:	Modify Planned Development (PD 16-0209) to permit the development of 211 multi-family residential units and a dog park.
Parcel Size (Approx.):	11.74 +/- acres
Street Functional Classification:	Big Bend Road – Arterial Simmons Loop – Collector
Locational Criteria	N/A
Evacuation Zone	The subject property is in Evacuation Zone E



Plan Hillsborough
planhillsborough.org
planner@plancom.org
 813 – 272 – 5940
 601 E Kennedy Blvd
 18th floor
 Tampa, FL, 33602

Context

- The approximately 11.74 ± acres vacant site is located on the south side of Big Bend Road, east of the Interstate 75 and along the west side of Simmons Loop in. The site is in the Urban Service Area and within the limits of the Riverview and Southshore Areawide Systems Community Plans.
- The subject site's Future Land Use designation is Urban Mixed Use-20 (UMU-20). Typical allowable uses in the UMU-20 category include residential, regional scale commercial uses such as a mall, office and business park use, research corporate park uses, light industrial, multi-purpose and clustered residential and/or mixed-use projects at appropriate locations. Agricultural uses may be permitted pursuant to policies in the agricultural objective areas of the Future Land Use Element. Projects that are 10 acres or greater within the Urban Mixed Use-20 future land use classification must demonstrate a mix of land uses in accordance with Policy 19.1.
- The UMU-20 Future Land Use category surrounds the site on all sides. Further southeast of the site is Community Mixed Use-12 (CMU-12). Along the northside of Big Bend Road there is Residential-6 (RES-6) and Office Commercial-20 (OC-20).
- The subject site is currently zoned Planned Development (PD). The site to the south is zoned PD (15-0172). East of the site is also zoned PD and is developed with St. Joseph's Hospital. To the west is zoned Agricultural Rural (AR) and across Big Bend Road to the north are several zoning designations consisting of Agricultural Single Family Conventional -1 (ASC-1) and Agricultural Single Family-1 (AS-1)
- The applicant is requesting a modification of Planned Development (PD 16-0209) to permit a maximum of 211 multi-family residential units and a dog park.

Compliance with Comprehensive Plan:

The following Goals, Objectives, and Policies apply to this rezoning request and are used as a basis for a consistency finding.

Future Land Use Element

Urban Service Area (USA)

Objective 1: Hillsborough County shall pro-actively direct new growth into the urban service area with the goal that at least 80% of all population growth will occur within the USA during the planning horizon of this Plan. Within the Urban Service Area, Hillsborough County will not impede agriculture. Building permit activity and other similar measures will be used to evaluate this objective.

Policy 1.2: Minimum Density All new residential or mixed-use land use categories within the USA shall have a density of 4 du/ga or greater unless environmental features or existing development patterns do not support those densities.

Within the USA and in categories allowing 4 units per acre or greater, new development or redevelopment shall occur at a density of at least 75% of the allowable density of the land use category, unless the development meets the criteria of Policy 1.3.

Policy 1.4: *Compatibility is defined as the characteristics of different uses or activities or design which allow them to be located near or adjacent to each other in harmony. Some elements affecting compatibility include the following: height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor and architecture. Compatibility does not mean “the same as.” Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development.*

Neighborhood/Community Development

Objective 16: Neighborhood Protection *The neighborhood is a functional unit of community development. There is a need to protect existing neighborhoods and communities and those that will emerge in the future. To preserve, protect and enhance neighborhoods and communities, all new development must conform to the following policies.*

Policy 16.1: *Established and planned neighborhoods and communities shall be protected by restricting incompatible land uses through mechanisms such as:*

- a) *locational criteria for the placement of non-residential uses as identified in this Plan,*
- b) *limiting commercial development in residential land use categories to neighborhood scale;*
- c) *requiring buffer areas and screening devices between unlike land uses;*

Policy 16.2: *Gradual transitions of intensities between different land uses shall be provided for as new development is proposed and approved, through the use of professional site planning, buffering and screening techniques and control of specific land uses.*

Policy 16.3: *Development and redevelopment shall be integrated with the adjacent land uses through:*

- a) *the creation of like uses; or*
- b) *creation of complementary uses; or*
- c) *mitigation of adverse impacts; and*
- d) *transportation/pedestrian connections*

Policy 16.10: *Any density increase shall be compatible with existing, proposed or planned surrounding development. Compatibility is defined as the characteristics of different uses or activities or design which allow them to be located near or adjacent to each other in harmony. Some elements affecting compatibility include the following: height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor and architecture. Compatibility does not mean “the same as”. Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development.*

Mixed Use Land Use Categories

Objective 19: *All development in the mixed-use categories shall be integrated and interconnected to each other.*

Policy 19.1: *Larger new projects proposed in all mixed-use plan categories shall be required to develop with a minimum of 2 land uses in accordance with the following:*

- *Requirements for 2 land uses will apply to properties 10 acres or greater in the RMU-35, UMU-20, and CMU-12 land use categories, and to properties 20 acres or greater in the SMU-6 and NMU-4 land use categories.*
- *At least 10% of the total building square footage in the project shall be used for uses other than the primary use.*

- The mix of uses may be horizontally integrated (located in separate building). Horizontal integration may also be achieved by utilizing off-site uses of a different type located within ¼ mile of the project, on the same side of the street of a collector or arterial roadway connected by a continuous pedestrian sidewalk.
- The land uses that may be included in a mixed-use project include: retail commercial, office, light industrial, residential, residential support uses, and civic uses provided that the use is permitted in the land use category.
- These requirements do not apply within ½ of a mile of an identified Community Activity Centers (if other mixed-use standards have been adopted for that area or when the project is exclusively industrial).

Policy 19.2: In the mixed-use land use categories, when two or more uses are required on the same project, then the development shall be implemented through a zoning district that demonstrates street connectivity, description of land uses, and site placement, access locations and internal connections at a minimum.

Objective 35: Incentive programs and design sensitive regulations shall be developed and implemented that will promote high quality private and public development, and to assure creative and responsive approaches to the review of development within the I-75 mixed use categories.

Policy 35.4: Encourage high quality site designs through incentives or specific development standards for on-site lighting, perimeter landscaping, and signage.

Livable Communities Element

Riverview Community Plan

Goal 2 Reflect the vision of Riverview using the Riverview District Concept Map. The Riverview District Concept Map will illustrate the unique qualities and land uses related to distinct geographic areas identified as "districts". (See Figure 10)

The following specific districts are incorporated into the Riverview District Concept Map. Require future development and redevelopment to comply with the adopted Riverview District Concept Map.

5. **Residential** – Encourage attractive residential development that complements the surrounding character and promotes housing diversity.

Staff Analysis of Goals, Objectives, and Policies:

The applicant is requesting a modification to PD 16-0209 for the purpose of developing 211 multi-family units and a dog park. With an acreage of 10.57 reserved for the multi-family residential within the Urban Mixed Use-20 category, the site can be considered for up to a maximum of 211 residential units. The density calculation is as follows: (10.57 acres X 20du/ga= 211). The applicant is maximizing the residential units, that can be considered on the site. The requested use can be considered within and is consistent with the UMU-20 Future Land use category.

Future Land Use Element (FLUE) Objective 19 outlines the intent of all Mixed-Use categories in the Comprehensive Plan. FLUE Policy 19.1 specifically states that "Requirements for 2 land uses will apply to properties 10 acres or greater in the RMU-35, UMU-20, and CMU-12 land use categories, and to properties 20 acres or greater in the SMU-

6 and NMU-4 land use categories.” Furthermore, according to Policy 19.1 at least 10% of the total square footage of the building must be designated for a second use. The request is meeting the intent of this policy direction by providing a 1.17-acre civic use, specifically a dog park that will be open to the public and multi-family residential uses. Additionally, there are internal vehicular and pedestrian connections between the two uses to meet the intent of this policy. The proposed modification is consistent with the Comprehensive Plan.

The site is located within the Urban Service Area. As per Policy 1.2 of the Future Land Use Element, these sites are to be developed at a minimum of 75% of the allowable density per the land use classification. This request is meeting the intent of Policy 1.2 by providing well over 158 units.

As per conditions, the design of the site will include wayfinding so that the public is aware of the civic use, meeting the intent of Policy 35.4 of the Future Land Use Element.

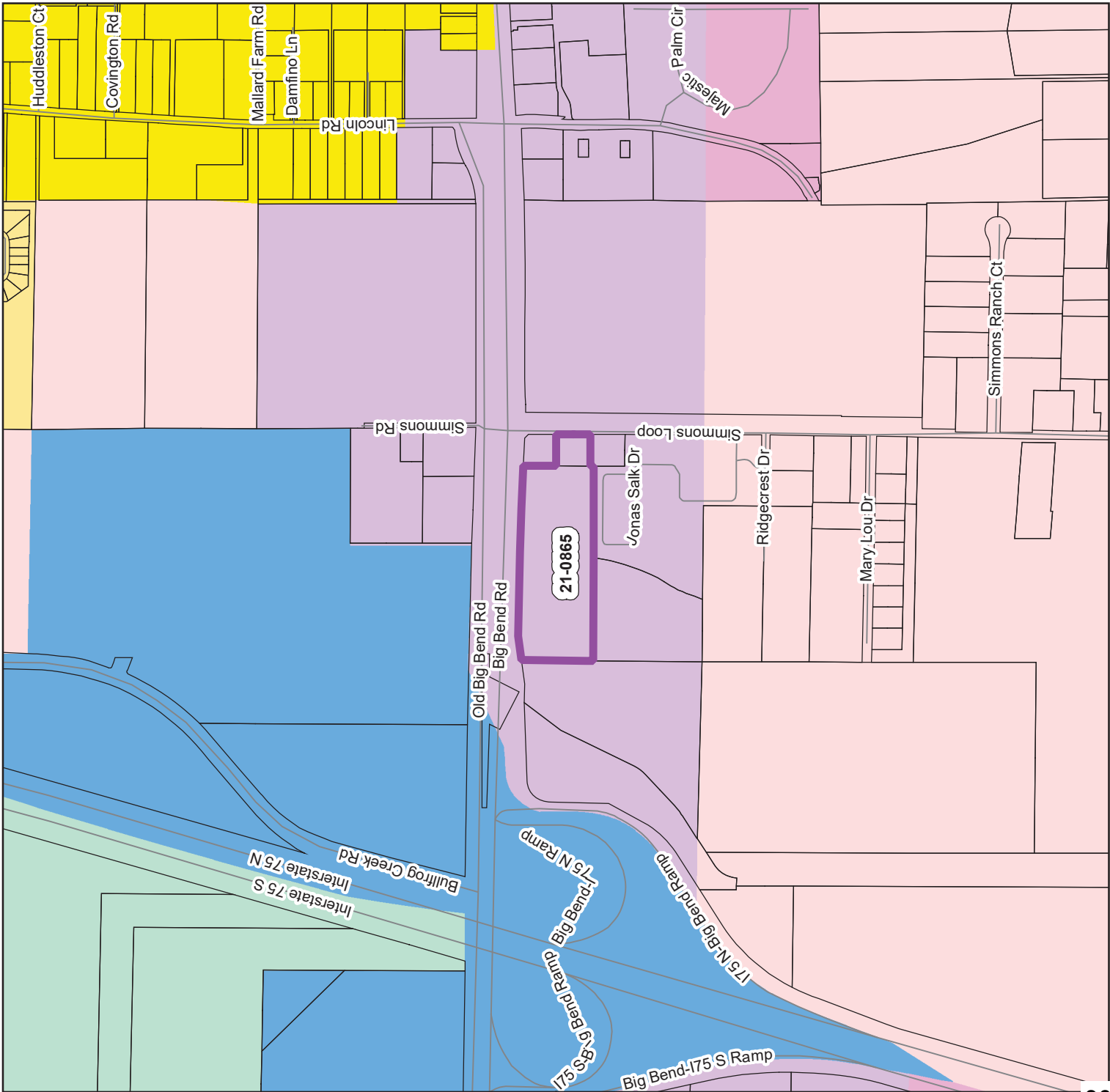
The site is located within the limits of the Riverview Community Plan, specifically within the Residential District. The proposed development would support the vision of the Riverview Community Plan by developing residential uses.

Overall, the proposed major modification would provide for a development pattern that is comparable to the mixed-use development pattern within the surrounding area and meets the intent of the mixed-use policies as well as the vision of the Riverview Community Plan.

Recommendation

Based upon the above considerations, the Planning Commission staff finds the proposed modification **CONSISTENT** with the *Future of Hillsborough Comprehensive Plan for Unincorporated Hillsborough County*, subject to conditions proposed by Development Services.

HILLSBOROUGH COUNTY
FUTURE LAND USE
RZ MM 21-0865



Rezonings
<all other values>

STATUS
APPROVED
CONTINUED
DENIED
WITHDRAWN
PENDING

Tampa Service
Urban Service
Shoreline
County Boundary
Jurisdiction Boundary
Roads
Parcels

AGRICULTURAL/MINING-1/20 (.25 FAR)
PEC PLANNED ENVIRONMENTAL COMMUNITY-1/2 (.25 FAR)
AGRICULTURAL-1/10 (.25 FAR)
AGRICULTURAL/RURAL-1/5 (.25 FAR)
AGRICULTURAL ESTATE-1/2.5 (.25 FAR)
RESIDENTIAL-1 (.25 FAR)
RESIDENTIAL-2 (.25 FAR)
RESIDENTIAL PLANNED-2 (.35 FAR)
RESIDENTIAL-4 (.25 FAR)
RESIDENTIAL-6 (.25 FAR)
RESIDENTIAL-9 (.35 FAR)
RESIDENTIAL-12 (.35 FAR)
RESIDENTIAL-16 (.35 FAR)
RESIDENTIAL-20 (.35 FAR)
RESIDENTIAL-35 (1.0 FAR)
NEIGHBORHOOD MIXED USE-4 (3) (.35 FAR)
SUBURBAN MIXED USE-6 (.35 FAR)
COMMUNITY MIXED USE-12 (.50 FAR)
URBAN MIXED USE-20 (1.0 FAR)
REGIONAL MIXED USE-35 (2.0 FAR)
OC-20
RESEARCH CORPORATE PARK (1.0 FAR)
ENERGY INDUSTRIAL PARK (.50 FAR USES OTHER THAN RETAIL, .25 FAR RETAIL/COMMERCE)
LIGHT INDUSTRIAL PLANNED (.50 FAR)
LIGHT INDUSTRIAL (.50 FAR)
HEAVY INDUSTRIAL (.50 FAR)
PUBLIC/QUASI-PUBLIC
NATURAL PRESERVATION
WIMAUMA VILLAGE RESIDENTIAL-2 (.25 FAR)
CITRUS PARK VILLAGE

DATA SOURCES: Rezonings boundaries from The Planning Commission and are not official. Parcel lines and data from Hillsborough County Property Appraiser. This map is for informational purposes only and is not intended to be used as a legal document. It is intended that the user of this map will verify the accuracy of the information shown on this map with the appropriate authorities. Hillsborough County City/County Planning Commission. ACCURACY: It is intended that the user of this map will verify the accuracy of the information shown on this map with the appropriate authorities. Hillsborough County City/County Planning Commission. This map is for informational purposes only. It is not intended to be used as a legal document. It is intended that the user of this map will verify the accuracy of the information shown on this map with the appropriate authorities.

0 460 920 1,380 1,840 Feet

Map Printed from Rezoning System: 6/7/2021
Author: Beverly F. Daniels
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1.0 APPLICATION SUMMARY

Applicant: Lennar Homes, LLC/Hill Ward Henderson, PA
FLU Category: CMU-12, RES-9, RES-2 and RES-1
Service Area: Urban and Rural
Site Acreage: 180.99
Community Plan Area: Lutz
Overlay: None



Introduction Summary:

The subject PD is approved in 1998 for 205 single-family residential units within five “villages” and two “estate lots” situated around Pearl Lake. The PD pre-dates the adoption of the Lutz Rural Development Standards and requires connection to public water and sewer.

Existing Approval(s):	Proposed Modification(s):
A total of 205 residential units	Decrease to a total of 198 units
Five villages to accommodate 203 residential lots overall <ul style="list-style-type: none"> Village A to the west of Pearl Lake Village B to the southwest of Pearl Lake Village C to the south of Pearl Lake Village D to the southeast of Pearl Lake 	Combine area into two villages to accommodate 193 residential lots <ul style="list-style-type: none"> Village A/B to the west and southwest of Pearl Lake to accommodate 200 residential lots. Village C/D to the south and southeast of Park Lake to accommodate 5 residential lots.
Modify Villages A and B development standards <ul style="list-style-type: none"> Village A (Non-Northern Boundary): <ul style="list-style-type: none"> 10,000 sf Lot Size / 75' Lot Width 25' Front*/5' Side/15' Rear** 35' Building Height 32% Lot Coverage Village A (Northern Boundary): <ul style="list-style-type: none"> 21,789 sf Lot Size/ 100' Lot Width 25' Front*/7.5' Side/25' Rear** 35' Building Height 35% Lot Coverage Village B: <ul style="list-style-type: none"> 5,000 sf Lot Size / 50' Lot Width 25' Front*/5' Side/15' Rear** 35' Building Height 40% Lot Coverage <p>*20' Garage Setback **Additional rear yard setback where abutting wetland conservation areas</p>	Modified Village A/B (combined area of Villages A and B) <ul style="list-style-type: none"> Village A/B: <ul style="list-style-type: none"> 5,500 sf Lot Size/ 50' Lot Width 25' Front* / 5' Side/ 15' Rear** 35' Building Height 40% Lot Coverage <p>*20' Garage Setback **Additional rear yard setback where abutting wetland conservation areas</p>

Modify Villages C and D development standards	Modified Village C/D (combined area of Villages C and D)
<ul style="list-style-type: none"> Village C: <ul style="list-style-type: none"> 5,000 sf Lot Size / 50' Lot Width 25' Front*/5' Side/15' Rear** 35' Building Height 40% Lot Coverage Village D: <ul style="list-style-type: none"> 14,520 sf Lot Size / 100' Lot Width 25' Front*/5' Side/15' Rear** 35' Building Height 32% Lot Coverage Village D (eastern PD boundary) <ul style="list-style-type: none"> 21,780 sf Lot Size/ 125' Lot Width 25'*/ 10' Side/ 35' Rear** 35' Building Height 30% Lot Coverage <p>*20' Garage Setback</p> <p>**Additional rear yard setback where abutting wetland conservation areas</p>	<ul style="list-style-type: none"> Village C and D: <ul style="list-style-type: none"> 43,560 sf Lot Size/ 150' Lot Width 50' Front* / 15' Side/ 50' Rear* 35' Building Height 0% Lot Coverage <p>*20' Garage Setback</p>
Two estate lots to accommodate 2 residential lots located northeast of Pearl Lake	No estate lots and no development located northeast to Pearl Lake
205 residential units permitted within Villages A, B, C and D	193 residential units permitted within Village A/B 5 residential units permitted within Village C/D
Two access/cross access points along western boundary	One cross access point along western boundary
Five access points along the southern boundary (Crystal Lake Road)	Two access points along the southern boundary (Crystal Lake Road)
No access/cross access point along northern boundary	One access/cross access point along northern boundary
No access point along the eastern boundary	One access point along eastern boundary
Lake access only for lakefront lots in Villages A and D; general access prohibited.	Lake access only for units within Village C/D; general access prohibited
Watercraft with internal combustion engines greater than five horsepower prohibited.	Remove watercraft restrictions
Fencing and 10-foot wide landscape buffer along the southern and eastern PD boundaries	Fencing and 10-foot wide landscape buffer along the southern and eastern PD boundaries and along northern Village A boundary.
No AS-1 uses permitted in any Village	<p>Limited AS-1 uses permitted in Village C/D to include the following:</p> <p>By-Right: agriculture, game preserve, recreational uses-private community, recreational uses-passive.</p> <p>Conditional Use: all agricultural conditional uses, accessory dwellings, home-based business-agricultural, home-based business-residential, helistop, agricultural open storage, land excavation/agricultural reservoir, yard waste air curtain incinerator, yard waste composting facility.</p>

	Special Use: Accessory kitchen
Public water and wastewater to be utilized and the developer shall pay all costs for service delivery	Use of one existing private well and septic system and installation of one new septic system (caretaker's manufactured home) in Villages C and D. Upon the construction of the third home in Villages C and D, all existing and new Village C and D homes would utilize public water and public sewer.
No manufactured homes permitted	One manufactured home permitted in Village C/D (caretaker's residence)

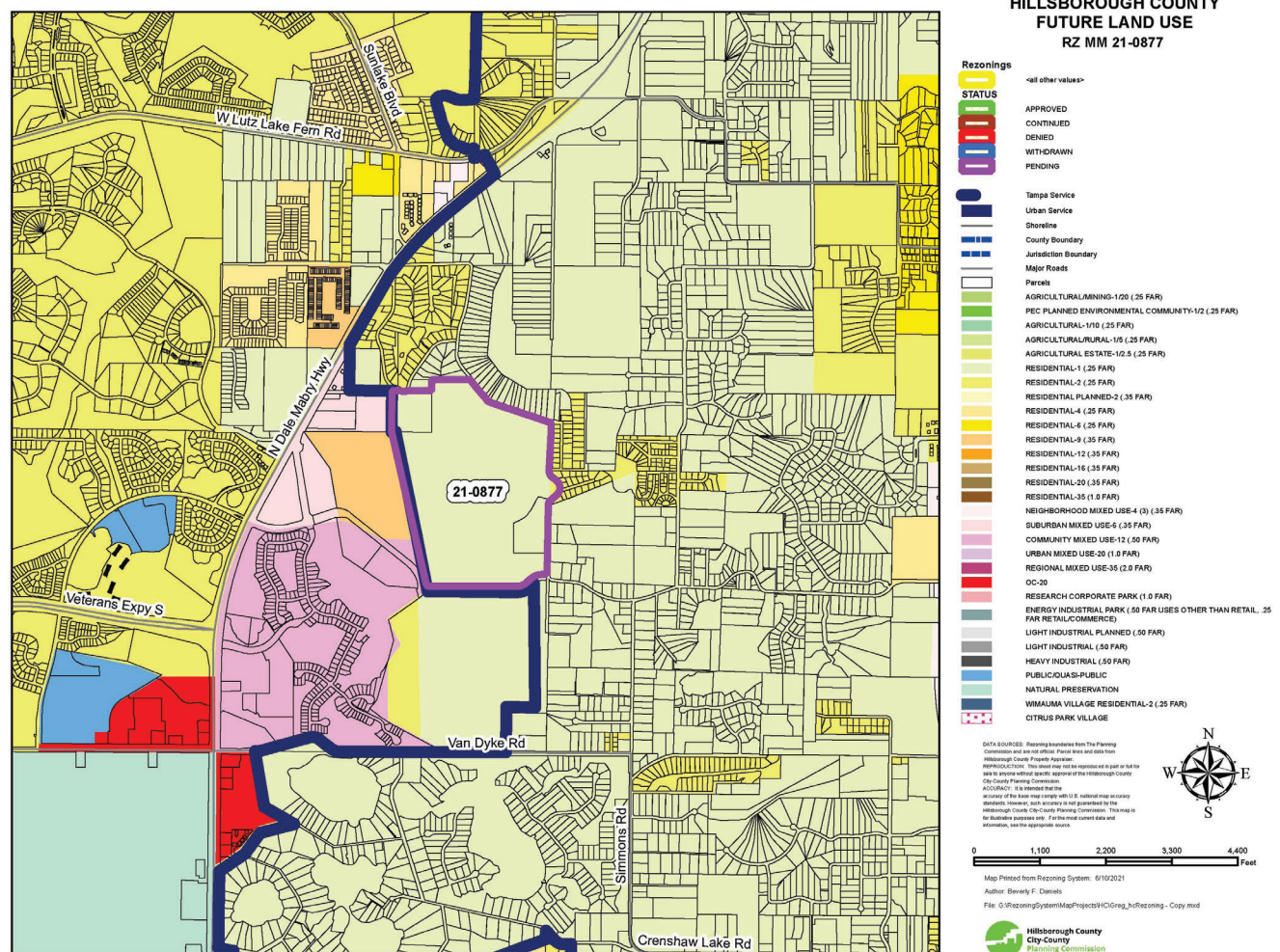
Additional Information:

PD Variation(s):	None Requested as part of this application
Waiver(s) to the Land Development Code:	None Requested as part of this application

Planning Commission Recommendation: Consistent	Development Services Recommendation: Approvable in part, subject to proposed conditions Staff supports the applicant's requests to reduce the number of units, consolidate Village areas, designate densities in the various Villages, modify development standards, the removal of specified access points, the addition of specified access points, modification of lake access restrictions, removal of watercraft prohibitions, inclusion of limited AS-1 uses, allowing one of the 5 units in Villages C and D to be a manufactured home, public water/wastewater connections in Villages C and D for all new development (allowing interim use for existing home). Staff does not support allowing one new septic system in Villages C and D, to be changed to public connections once Village C and D is developed with a third residence.
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2.0 LAND USE MAP SET AND SUMMARY DATA

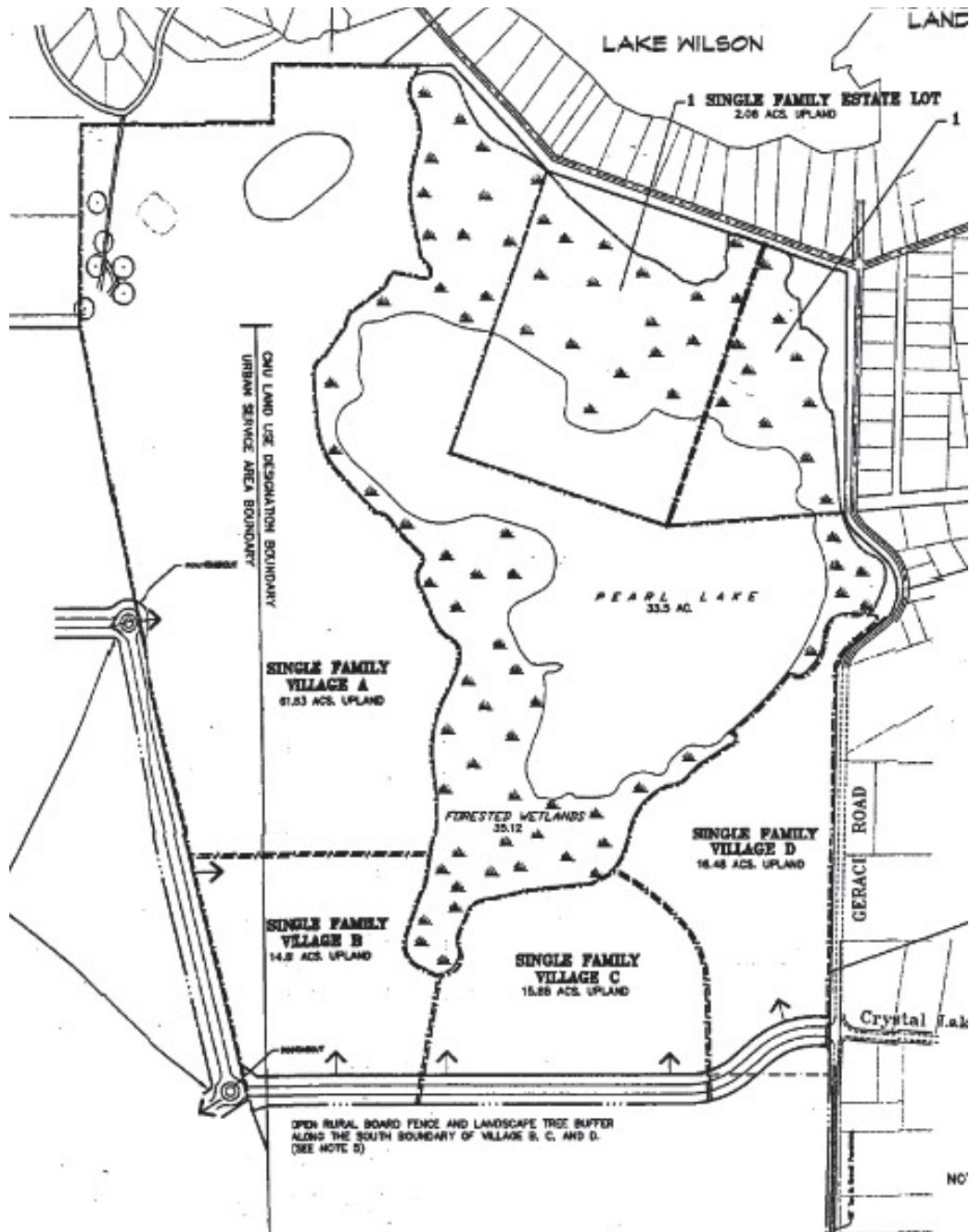
2.2 Future Land Use Map



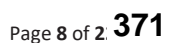
Subject Site Future Land Use Category:	CMU-12, RES-9, RES-2 and RES-1
Maximum Density/F.A.R.:	CMU-12: 12 units per acre; RES-9: 9 units per acre; RES-2: 2 units per acre; and, RES-1: 1 unit per acre
Typical Uses:	CMU-12: Residential, community scale retail commercial, office uses, research corporate park uses, light industrial, multi-purpose and clustered residential, and mixed use projects. RES-9: Residential, urban scale neighborhood commercial, office uses, multi-purpose projects and mixed use developments. RES-2: Residential, suburban scale neighborhood commercial, office uses and multi-purpose projects. RES-1: Farms, ranches, residential uses, rural scale neighborhood commercial uses, offices, and multi-purpose projects.

2.0 LAND USE MAP SET AND SUMMARY DATA

2.4 Approved Site Plan (partial provided below for size and orientation purposes. See Section 8.1 for full site plan)



2.5 Proposed Site Plan (partial provided below for size and orientation purposes. See Section 8.2 for full site plan)



3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)

Adjoining Roadways (check if applicable)			
Road Name	Classification	Current Conditions	Select Future Improvements
Crystal Lake Rd.	County Local - Rural	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input checked="" type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input checked="" type="checkbox"/> Site Access Improvements <input checked="" type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
Geraci Rd.	County Collector - Rural	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input checked="" type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
Wilson Cr.	County Local - Rural	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input checked="" type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other

Project Trip Generation <input type="checkbox"/> Not applicable for this request			
	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	1,935	152	203
Proposed	1,935	152	203
Difference (+/-)	0	0	0

*Trips reported are based on net new external trips unless otherwise noted.

Connectivity and Cross Access <input type="checkbox"/> Not applicable for this request				
Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North		Vehicular & Pedestrian	None	Meets LDC
South	X	None	None	Meets LDC
East		Vehicular	None	Does Not Meet LDC
West		None	Vehicular & Pedestrian	Meets LDC
Notes: East access is existing and proposed to be temporary. See staff report.				

Design Exception/Administrative Variance <input type="checkbox"/> Not applicable for this request		
Road Name/Nature of Request	Type	Finding
Crystal Lake Rd./Substandard Roadway Improvements	Design Exception Requested	Approvable
Wilson Rd./Substandard Roadway Improvements	Administrative Variance Requested	Approvable
Notes:		

4.0 ADDITIONAL SITE INFORMATION & AGENCY COMMENTS SUMMARY

INFORMATION/REVIEWING AGENCY				
Environmental:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Environmental Protection Commission	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	59.3 acres wetlands/40% wetlands 31 acres natural water
Natural Resources	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Conservation & Environ. Lands Mgmt.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Check if Applicable: <input checked="" type="checkbox"/> Wetlands/Other Surface Waters <input type="checkbox"/> Use of Environmentally Sensitive Land Credit <input checked="" type="checkbox"/> Wellhead Protection Area <input type="checkbox"/> Surface Water Resource Protection Area <input type="checkbox"/> Potable Water Wellfield Protection Area <input type="checkbox"/> Significant Wildlife Habitat <input type="checkbox"/> Coastal High Hazard Area <input type="checkbox"/> Urban/Suburban/Rural Scenic Corridor <input type="checkbox"/> Adjacent to ELAPP property <input type="checkbox"/> Other _____				
Public Facilities:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Transportation <input checked="" type="checkbox"/> Design Exc./Adm. Variance Requested <input checked="" type="checkbox"/> Off-site Improvements Provided	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Service Area/ Water & Wastewater <input checked="" type="checkbox"/> Urban <input type="checkbox"/> City of Tampa <input checked="" type="checkbox"/> Rural <input type="checkbox"/> City of Temple Terrace	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	County water service line adjacent to property and available for a single POC only. Wastewater service not available.
Hillsborough County School Board Adequate <input checked="" type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input type="checkbox"/> N/A Inadequate <input type="checkbox"/> K-5 <input checked="" type="checkbox"/> 6-8 <input checked="" type="checkbox"/> 9-12 <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Additional capacity exists in adjacent concurrency service areas at elementary and high school levels
Impact/Mobility Fees (Fee estimate is based on a 2,000 square foot, 3 bedroom, Single Family Detached) Mobility: \$10,430 * 200 units = \$2,086,000 Parks: \$1,815 * 200 units = \$ 363,000 School: \$8,227 * 200 units = \$1,645,400 Fire: \$335 * 200 units = \$ 67,000 Total Single Family Detached = \$4,161,400 Rural Mobility, Northeast Park, Northwest Fire - 200 Single Family Units				

APPLICATION NUMBER: MM 21-0877

ZHM HEARING DATE: October 18, 2021

BOCC LUM MEETING DATE: December 14, 2021

Case Reviewer: Michelle Heinrich, AICP

Comprehensive Plan:	Comments Received	Findings	Conditions Requested	Additional Information/Comments
Planning Commission <input type="checkbox"/> Meets Locational Criteria <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Locational Criteria Waiver Requested <input type="checkbox"/> Minimum Density Met <input checked="" type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Inconsistent <input checked="" type="checkbox"/> Consistent	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

5.0 IMPLEMENTATION RECOMMENDATIONS

5.1 Compatibility

Staff has not identified any compatibility issues due to this proposed modification. The existing PD was approved with a maximum number of 205 residential units, which is not proposed to increase. The original PD was approved without minimums or maximums within any Village or with any general roadway circulation within the project. Using the uplands acreage provided for each “village” and minimum lot sizes, staff estimates that Village A could have achieved approximately 260 lots, while Village B could have achieved approximately 127 lots. Village C The could have been developed with approximately 138 lots. Village D could have accommodated approximately 49 lots. These individual Village maximums would be dependent on what is already developed or planned overall and the total number of units could not exceed 205.

The proposed modification will place the majority of the units (200) within Village AB, with a maximum of 5 lots within Villages C and D. The “estate lots” in the northeastern portion of the site are no longer proposed. This layout places the bulk of the entitlements within the western portion of the site, which is an appropriate location given development to the west. Village AB includes a small area along the entire western boundary that is within the Urban Service Area and RES-9 and CMU-12 FLU categories; however, the majority of Village AB is within the Rural Service Area and RES-1 FLU category. This places Village AB at the edge of the community’s rural area which is characterized by larger lots, while the area to the west is planned for and zoned for more intense suburban development featuring single-family, multi-family, office and commercial uses. Village AB will therefore serve as “transition” between the two development patterns and minimizes a noticeable development change due to the clustering of lots within Village AB. Villages C and D, further east, are more reflective of the rural character with larger lots located internal to the project. This area, unlike the existing approval, limits the maximum number of lots to 5. This pattern also is a clustering pattern, which is encouraged in the Lutz Community Plan to provide more undeveloped area and open space. Previously required fencing (in accordance with the Lutz Rural Development Standards) and landscaping will continue to be provided along Crystal Lake Road.

The proposed net density for Village AB is 3.3 units per acre. Zoning to the north consists of predominately RSC-4 zoning and 1 ASC-1 zoned lots. The RSC-4 properties are developed with half acre lots situated around the north side of Wilson Circle. While the proposed layout does remove the previously required half acre lots along the north, the project proposes to provide landscaping and fencing (in accordance with the Lutz Rural Development Standards) along the common boundary. Almost half of Village AB’s northern boundary consists of wetlands, which will prohibit any development within that area. The remaining area is directly south of an ASC-1 zoned parcel and the south side of Wilson Circle. The ASC-1 zoned parcel is vacant. An access point to Wilson Circle, a public roadway, from the project is proposed to provide connectivity with the adjacent neighborhood, as encouraged in the Land Development Code.

The eastern portions of the PD are adjacent to Geraci Road and ASC-1 and RSC-4 zonings. The two previously approved estate lots in the northeast portion are proposed for removal. The southeast portion remains approved for development; however, development is now limited 5 lots, a net density of 0.19 units per acre. Given that one access on Crystal Lake Road and one access on Geraci Road is proposed, homes will not be accessed directly from this roadway and therefore be more internal to the two Villages.

Property to the south of the project is zoned AR and developed with Exciting Idlewild Church on a 147 acre site.

Access changes are primarily along Geraci Road and Crystal Lake Road. However, two cross access changes are proposed which remove one of the two access points along the western PD boundary and adds one new point along the northern PD boundary – both within Village AB. The retained cross access along the west is consistent with the adjacent PD’s approved cross access. Approved uses to the west of Village AB is multi-family. The other cross access along the west was to connect to a roadway, which at the time of the original PD, was expected to run along the western boundary.

That roadway was not developed and therefore no connection is needed. The additional cross access along the northern PD boundary provides an opportunity to connect to Wilson Circle, a public roadway. Internal vehicular connections between all the villages is proposed required, which currently is not required. These internal and external connectivity changes are an improvement in comparison to the connectivity required in the existing PD.

5.2 Recommendation

Staff recommends approval, in part, subject to proposed conditions.

The re-allocation of previously approved entitlements is in keeping with the area's vision for "semi-rural" development, a clustered development to provide open areas, and allows the PD to serve as a transition between the urban and rural areas of the Lutz community. Given the maximum number of lots proposed and proposed lot sizes for Villages AB, a "clustered" pattern is provided which results in a density that does not exceed than what could currently be developed. Lot sizes in Villages C and D are increasing and are now limited in density, which provides for a less dense and more rural development than what could currently be developed. Development within the northeastern portion of the site is no longer proposed.

AS-1 uses are limited to those which are non-commercial in nature and permitted on adjacent properties outside of the PD. All conditional use and special use requirements for the stated uses will remain.

Lake access was previously permitted only for lakefront lots in Villages A and D and no public access was allowed. Village D previously and currently serves as the property owner's residence. The modification retains private access and further restricts lake use to those within Villages C and D, which are the larger lots in the more "rural" area of the PD. Because the lake use was previously allowed by more units, horsepower of the boats was limited to reduce noise impacts. Given that the is owned by the Village D property owner and access to the lake is proposed to be significantly decreased, the condition is no longer needed.

Water and wastewater connection will continue to be required, and at the developer's cost. While this site is located primarily in the Rural Service Area, the majority of the site is also located within the Wellhead Resource Protection Area. Improved resource protection is provided when not utilizing septic and private wells and connection to public facilities is desired if and when available.

Staff is not supportive of the applicant's request to allow one new additional septic system in Villages C and D, which would then be connected to public facilities along with the existing home's utilities upon the development of a third home in this area. The current home's existing septic system in Villages C and D is not objected to as it is preexisting and will connect to public utilities once brought into the PD. Non-compliance with approved PD conditions from that point forward is not supported.

6.0 PROPOSED CONDITIONS

Prior to Certification:

1. General Note #12 shall be deleted.
2. Proposed number of units to be reduced to 198 units.

Approval - Approval of the request, subject to the conditions listed below, is based on the general site plan submitted July 27, 2021.

1. Development shall be limited to a maximum of ~~205~~ 198 conventional detached single-family dwellings. A maximum of 193 units shall be permitted in Village AB and a maximum of 5 units shall be permitted in Villages C and D. Limited AS-1 zoning district uses shall also be permitted in Villages C and D, which includes: permitted by right: agriculture, game preserves, recreational uses-private community and recreational uses-passive; permitted as a conditional use when adhering the use's supplemental conditional use requirements: agricultural equipment storage, agricultural stands, public stables, private stables, accessory dwellings, home-based business-agriculture, home-based business-residential, helistop, open storage in agricultural districts, land excavation/agricultural reservoir, yard waste air curtain incinerator, and yard waste composting facility; permitted as a special use when adhering to the use's supplemental special use requirements: accessory kitchen. Also, prior to the development of each village, interim agricultural uses shall be permitted. However, all land alteration activities shall be subject to prior review and approval of the Hillsborough County ~~Planning and Growth Management~~ Development Services Department and agricultural activities shall not be exempt from the land alteration regulations of the Land Development Code.

2. Development standards for Village AB, ~~excluding perimeter lots on the north boundary of the tract,~~ shall be as follows:

Minimum lot size:	10,000 <u>5,500</u> square feet
Minimum lot width:	75 <u>50</u> feet
Minimum front yard:	25 feet, except the minimum setback for garages shall be 20 feet
Minimum side yard:	5 feet
Minimum rear yard:	15 feet (condition 84)
Maximum building height:	35 feet
Maximum lot coverage:	32 <u>40</u> percent

- 2.1 Development standards for ~~perimeter lots along the north boundary of Village A~~ shall be as follows:

Minimum lot size:	21,780 square feet
Minimum lot width:	100 feet
Minimum front yard:	25 feet, except the minimum setback for garages shall be 20 feet
Minimum side yard:	7.5 feet
Minimum rear yard:	25 feet
Maximum building height:	35 feet
Maximum lot coverage:	35 percent

3. Development standards for Villages ~~B~~ C and D shall be as follows:

Minimum lot size:	5,000 <u>43,560</u> square feet
Minimum lot width:	50 <u>150</u> feet

Minimum front yard: 25 50 feet, except the minimum setback for garages shall be 20 feet
 Minimum side yard: 5 15 feet
 Minimum rear yard: 15 50 feet (condition 8)
 Maximum building height: 35 feet
 Maximum lot coverage: 40 percent

3.1. One of the 5 residential units permitted in Village C or D may be a manufactured home.

4. Development standards for Village C shall be as follows:

Minimum lot size: 5,000 square feet
 Minimum lot width: 50 feet
 Minimum front yard: 25 feet, except the minimum setback for garages shall be 20 feet
 Minimum side yard: 5 feet
 Minimum rear yard: 15 feet (condition 8)
 Maximum building height: 35 feet
 Maximum lot coverage: 40 percent

5. Development standards for Village D, excluding perimeter lots on the east boundary of the tract, shall be as follows:

Minimum lot size: 14,520 square feet
 Minimum lot width: 100 feet
 Minimum front yard: 25 feet, except the minimum setback for garages shall be 20 feet
 Minimum side yard: 5 feet
 Minimum rear yard: 15 feet (condition 8)
 Maximum building height: 35 feet
 Maximum lot coverage: 32 percent

5.1 Development standards for perimeter lots along the east boundary of Village D shall be as follows:

Minimum lot size: 21,780 square feet
 Minimum lot width: 125 feet
 Minimum front yard: 25 feet, except the minimum setback for garages shall be 20 feet
 Minimum side yard: 10 feet
 Minimum rear yard: 35 feet
 Maximum building height: 35 feet
 Maximum lot coverage: 30 percent

6. The isolated "estate" areas at the northeast corner of the project on Geraci Road shall be limited to a maximum of two lots in total. The lots shall be accessed directly from Geraci Road and shall be developed to the following standards:

Minimum lot size: 10,000 square feet
 Minimum lot width: 100 feet
 Minimum front yard: 25 feet
 Minimum side yard: 7.5 feet
 Minimum rear yard: 15 feet (condition 8)

Maximum building height: 35 feet

Maximum lot coverage: 32 percent

74. On lots incorporating or abutting wetland conservation areas, the principal dwelling structure, excluding non-air conditioned spaces such as covered patios, pool enclosures, etc., shall be a minimum of 15 feet from the required conservation area 30-foot setback line, unless a greater separation is required by the rear yard standards noted above.
85. The 30-foot conservation setback zone shall be maintained in its natural state. Grading, filling, sodding or removal of existing vegetation, except for nuisance species, shall be subject to approval of Hillsborough County.
9. ~~Lakefront lots in Villages A and D shall have a minimum rear width of 150 feet as measured at the ordinary high water line.~~
106. Common access to lakes shall be prohibited. Private ~~a~~Access to Lake Pearl shall be permitted for lakefront lots in Villages AC and D only, subject to the conditions below and standard EPC construction permitting procedures. Private ~~a~~Access shall not be allowed for lakefront lots in Villages AB and C and the two "estate" areas.
- 106.1 Lake access structures shall be elevated with a maximum walkway width of five feet and maximum terminal platform size of 160 feet. Boat launching ramps shall be prohibited.
- 10.2 ~~Use of the lake project residents or guests on watercraft with internal combustion engines greater than five horsepower shall be prohibited on Lake Pearl. This restriction shall not apply to the existing homestead property owner until such time that Village D is developed.~~
117. ~~Perimeter A~~ fencing and landscaping buffer shall be provided on the northern boundary of Village AB, the southern boundary of Village AB, the southern boundary of Village C and both the southern and eastern boundary of Village D, and the east boundary of Village D, pursuant to as depicted on the general site plan submitted on January 21, 2000. This fencing and landscaping buffer is not required within any wetlands.
12. ~~Prior to the issuance of any Certificate of Occupancy for Villages A, B, C and D, the developer shall construct an extension of the project's internal collector road to, and connect with, North Dale Mabry Highway. Design, alignment and construction of the extension road shall be subject to approval of Hillsborough County.~~
8. If MM 21-0420 is approved, the County Engineer will approve a Section 6.04.02 Design Exception (dated July 30, 2021) which was found approvable by the County Engineer (on August 2, 2021). Approval of this Design Exception will allow 2,100 linear feet of sidewalk on the north side of Crystal Lake Rd. from Exciting Idlewild Blvd to Geraci Rd in lieu of the standard TS-7 typical section of the Hillsborough County Transportation Technical Manual required by Section 6.02.07. of the LDC.
9. Primary access to the project shall be provided from Crystal Lake Road from two (2) full access points, as shown on the PD Site Plan.
10. One full access will be provided from the project north to Wilson Lake Circle, as shown on the PD Site Plan.
11. One full access limited to the existing 10-acre homesite located within Village D will be provided from Geraci Road, as shown on the PD Site Plan. If the existing residential dwelling located on the existing 10-acre homesite is demolished or removed, then the use of the Geraci Road access shall terminate, and the Crystal Lake Road

access will be used. Any new single-family dwelling units located on Villages C and D shall be required to use the Crystal Lake Road access.

12. The vehicular and pedestrian cross access between Village AB and Village C may be gated until such time that Villages C and D are developed with units in excess of the existing homestead and up to one manufactured home within Village C. At the time of said redevelopment of Villages C and D, all gates shall be removed.
13. Future cross access to align with PRS 15-0343 will be provided at the western boundary, as shown on the PD Site Plan.
14. Prior to the issuance of any Certificates of Occupancy for Village AB, the developer shall construct a 245-foot eastbound left turn lane into the project from Chrystal Lake Road.
15. All existing access connections and driveway aprons that will not be utilized for access shall be removed at the time of site construction.
16. Notwithstanding anything shown in the PD site plan or in the PD conditions to the contrary, pedestrian access shall be allowed anywhere along the project boundary and in between the project Villages.
- ~~13~~17. Public water and wastewater service shall be utilized, unless otherwise stated, in all Villages. The existing home in Village D shall be permitted to utilize the existing private well and septic system until public water and wastewater facilities are available in the PD. Future development in Villages C and D shall require public water and wastewater. The developer shall pay all costs for service delivery.
- ~~14~~18. Development of the project shall comply with all applicable regulations of the Hillsborough County Environmental Protection Commission.
- ~~15~~19. Development of the project shall proceed in strict accordance with the terms and conditions contained in the Development Order, the General Site Plan, the land use conditions contained herein, and all applicable rules, regulations and ordinances of Hillsborough County.
- ~~16~~20. ~~Within ninety days of approval RZ 98-917-LU by the Hillsborough County Board of County Commissioners, the developer shall submit to the County Planning and Growth Management Department a revised General Development Plan for certification reflecting all the conditions outlined above. If the notes and/or graphics on the site plan are in conflict with specific zoning conditions and/or the LDC regulations, the more restrictive regulation shall apply, unless specifically conditioned otherwise. References to development standards of the LDC in the above stated conditions shall be interpreted as the regulations in effect at the time of preliminary site plan/plat approval.~~
- ~~17~~21. Effective as of February 1, 1990, this development order/permit shall meet the concurrency requirements of Chapter 163, Part II, Florida Statutes. Approval of this development order/permit does not constitute a guarantee that there will be public facilities in place at the time of application for subsequent development orders or permits to allow issuance of such development orders or permits.


APPLICATION NUMBER: MM 21-0877

ZHM HEARING DATE: October 18, 2021

BOCC LUM MEETING DATE: December 14, 2021

Case Reviewer: Michelle Heinrich, AICP

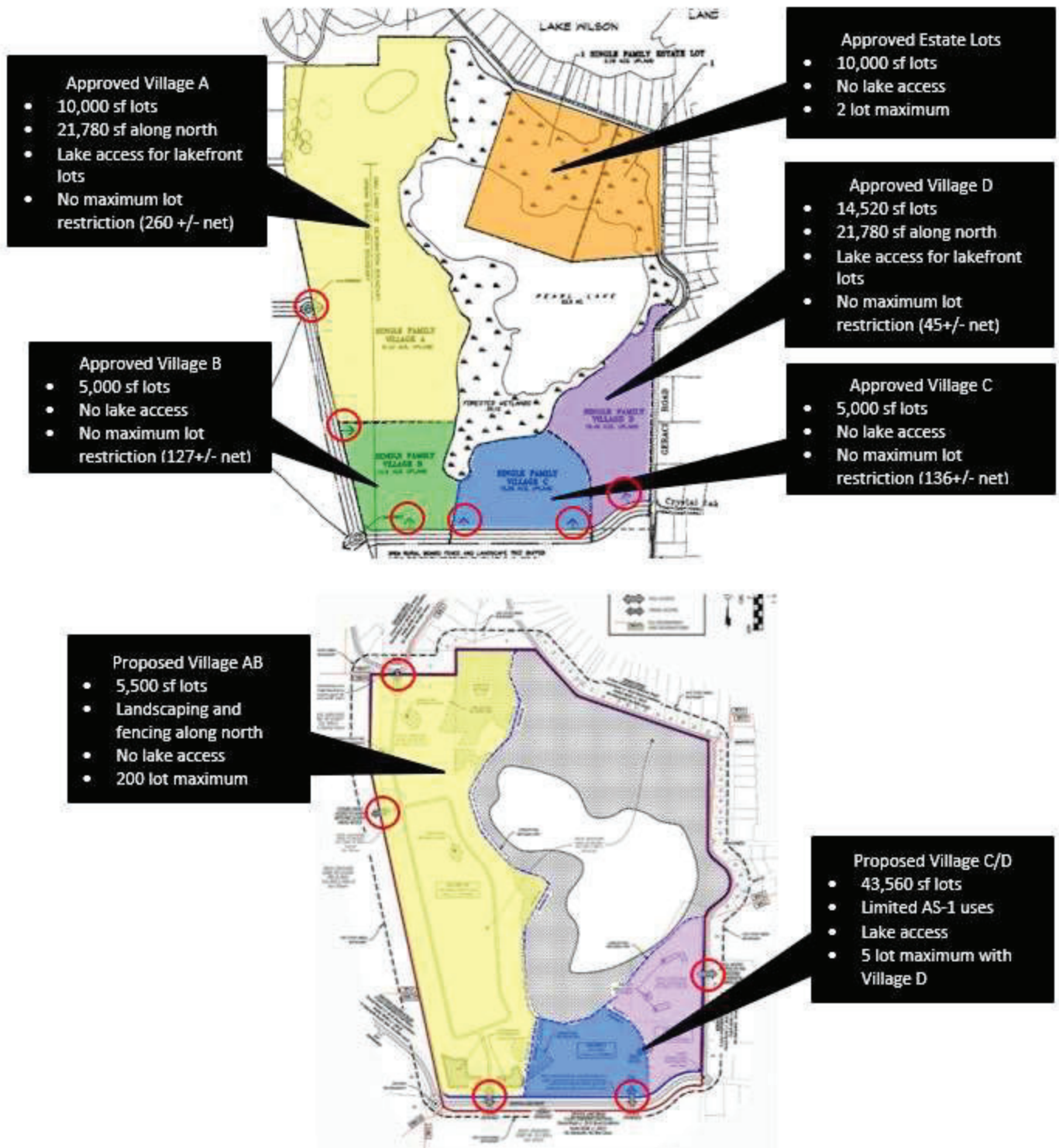
Zoning Administrator Sign Off:


J. Brian Grady
Fri Oct 8 2021 08:34:42

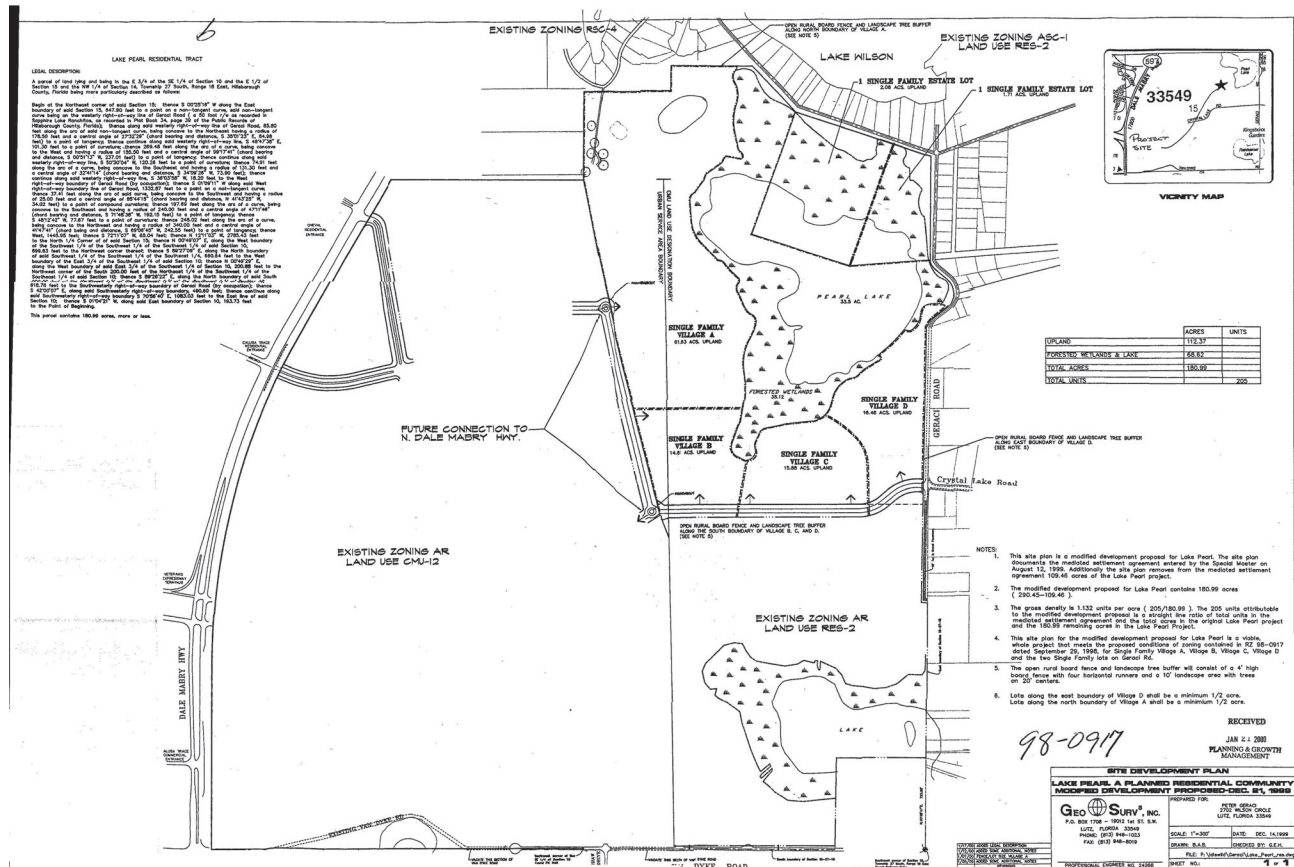
SITE, SUBDIVISION AND BUILDING CONSTRUCTION IN ACCORDANCE WITH HILLSBOROUGH COUNTY SITE DEVELOPMENT PLAN & BUILDING REVIEW AND APPROVAL.

Approval of this re-zoning petition by Hillsborough County does not constitute a guarantee that the project will receive approvals/permits necessary for site development as proposed will be issued, nor does it imply that other required permits needed for site development or building construction are being waived or otherwise approved. The project will be required to comply with the Site Development Plan Review approval process in addition to obtain all necessary building permits for on-site structures.

7.0 ADDITIONAL INFORMATION AND/OR GRAPHICS

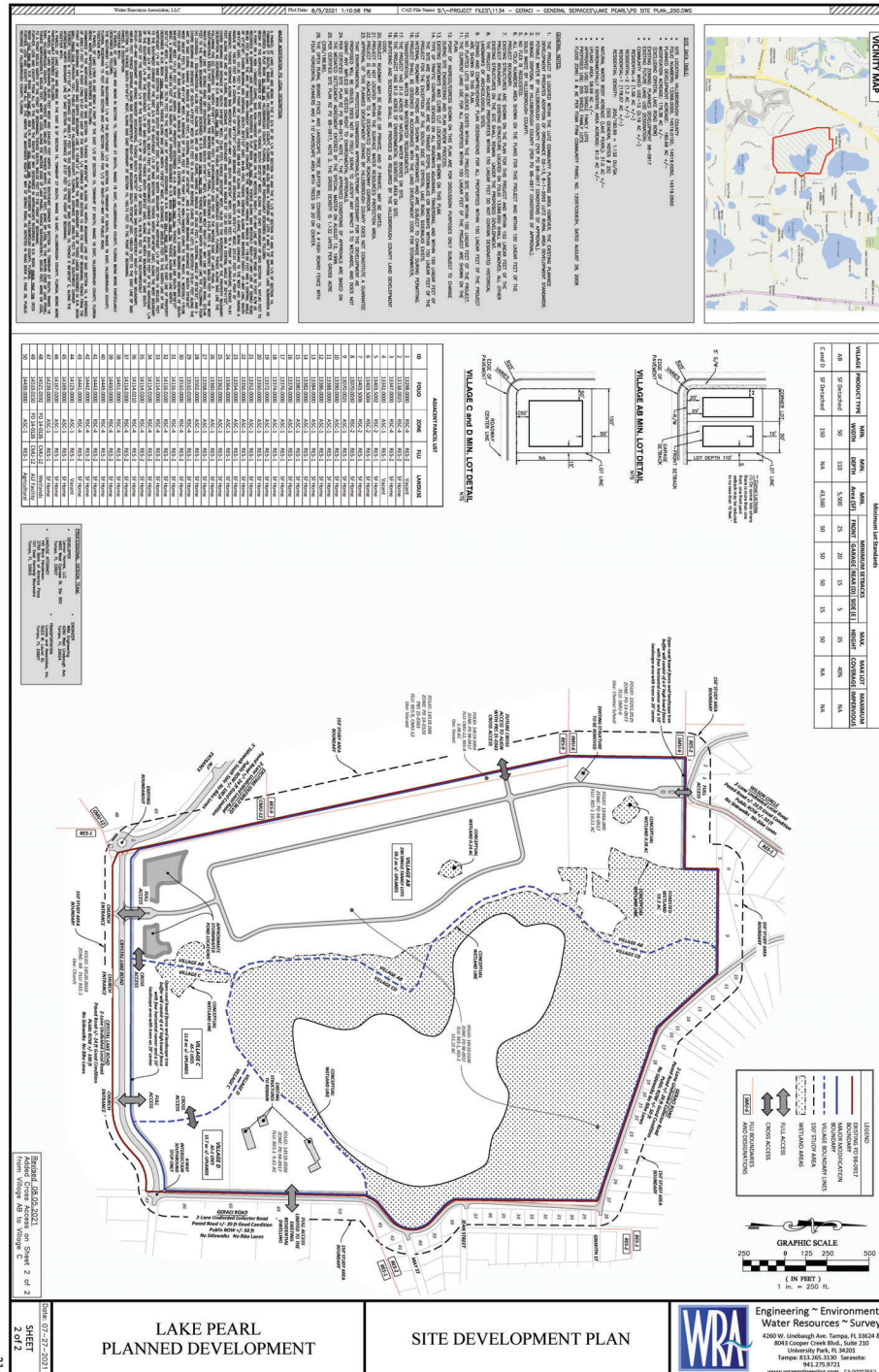


8.1 Approved Site Plan (Full)



8.0 SITE PLANS (FULL)

8.2 Proposed Site Plan (Full)



9.0 FULL TRANSPORTATION REPORT (see following pages)

AGENCY REVIEW COMMENT SHEET

TO: Zoning Technician, Development Services Department

REVIEWER: Richard Perez, AICP

PLANNING AREA: LUTZ / NW

DATE: 8/03/2021

REVISED: 10/04/2021

AGENCY/DEPT: Transportation

PETITION NO: MM 21-0877

- ☐ This agency has no comments.
- ☐ This agency has no objection.
- ☒ This agency has no objection, subject to the listed or attached conditions.
- ☐ This agency objects for the reasons set forth below.

REPORT SUMMARY AND CONCLUSIONS

- The proposed rezoning will not result in an increase in potential trip generation.
- Crystal Lake Rd. is a substandard local roadway. The applicant requested a Design Exception from the Section 6.02.07. requirement to improve the substandard roadway to typical standards set forth in the Hillsborough County Transportation County Technical Manual, which was found approvable by the County Engineer. If the rezoning is approved, the County Engineer will approve the Design Exception, upon which the developer will make alternative improvements to Crystal Lake Rd.
- Wilson Circle is a substandard local roadway. The applicant requested a Section 6.04.02.B Administrative Variance from the Section 6.04.03.L. requirement to improve the substandard roadway, which was found approvable by the County Engineer. If the rezoning is approved, the County Engineer will approve the Administrative Variance, upon which the developer will not be required to make improvements to Wilson Circle.
- Two access connections are proposed on Crystal Lake Rd and one access point is proposed on Wilson Cr.
- The applicant is proffering to construct an eastbound left turn lane into the western access connection on Crystal Lake Rd.
- The applicant is proposing replace a required collector road off-site improvement with a cross access connection to the west to align with the adjacent planned development.
- The applicant is proposing temporary access to Geraci Rd. to accommodate an existing home on an existing +/-10-acre parcel.
- Staff is recommending the applicant provide additional internal connectivity throughout all phases of the planned development.
- Transportation Review Section staff has no objection to this request, subject to the conditions of approval provided herein.

CONDITIONS OF ZONING APPROVAL

NEW CONDITIONS:

- If MM 21-0420 is approved, the County Engineer will approve a Design Exception (dated July 30, 2021) which was found approvable by the County Engineer (on August 2, 2021). Approval of this Design Exception will allow +/- 2,100 linear feet of sidewalk on the north side of Crystal Lake Rd. from Exciting Idlewood Blvd to Geraci Rd. in lieu of the standard TS-7 typical section of the Hillsborough County Transportation County Technical Manual required by Section 6.02.07. of the LDC.
- Primary access to the project shall be provided from Crystal Lake Road from two (2) full access points, as shown on the PD Site Plan.
- One full access will be provided from the project north to Wilson Lake Circle, as shown on the PD Site Plan.
- One full access limited to the existing 10-acre homesite located within Village D will be provided from Geraci Road, as shown on the PD Site Plan. If the existing residential dwelling located on the existing 10-acre homesite is demolished or removed, then the use of the Geraci Road access shall terminate, and the Crystal Lake Road access will be used. Any new single-family dwelling units located on Villages C and D shall be required to use the Crystal Lake Road access.
- The vehicular and pedestrian cross access between Village AB and Village C that may be gated until such time that Villages C & D is developed with units in excess of the existing homestead and up to one manufactured home within Village C. At the time of said redevelopment of Villages C & D, all gates shall be removed.
- Future cross access to align with PRS 15-0343 will be provided at the western boundary, as shown on the PD Site Plan.
- Prior to the issuance of any Certificates of Occupancy for Village AB, the developer shall construct a 245-foot eastbound left turn lane into the Project from Crystal Lake Road.
- All existing access connections and driveway aprons that will not be utilized for access shall be removed at the time of site construction.
- Notwithstanding anything shown in the PD site plan or in the PD conditions to the contrary, pedestrian access shall be allowed anywhere along the project boundary and in between the project Villages.

REVISED CONDITIONS:

- ~~12. Prior to the issuance of any Certificates of Occupancy for Villages A, B, C and D, the developer shall construct an extension of the project's internal collector road to, and connect with, North Dale Mabry Highway. Design, alignment and construction of the extension road shall be subject to approval of Hillsborough County.~~

[The said collector road extension off-site improvement has since been removed from the PD15-0343.]

OTHER CONDITIONS:

- Prior to Site Plan Certification, general note # 12 “POINT OF INGRESS/EGRESS SHOWN ON THIS PLAN ARE FOR DISCUSSION PURPOSES ONLY SUBJECT TO CHANGE DURING SITE ENGINEERING AND PLAN REVIEW PROCESS.”, shall be deleted.

[Access connection points shown on a PD site plan are evaluated and approved as depicted and may not be substantively changed without seeking approval through a PD modification.]

PROJECT SUMMARY AND ANALYSIS

The applicant is requesting to modify PD 98-0917 to reconfigure the residential subdivision layout and access connections while maintaining the same number of approved units. The subject property consists of four (4) parcels totaling 173.44 acres and the subdivision is grouped in to 4 villages. Villages A and B are 200 single family residential units clustered together on lots with a minimum of 5,000 square feet. Village C and D will be limited to 5 single family residential units with 1-acre minimum lot size and agricultural uses. The site is located at the northwest corner of Crystal Lake Rd. and Geraci Rd within the Lutz Rural Community Plan Area. The Future Land Use designation of the site is R-1, R-2, R-9, CMU-12.

Trip Generation Analysis

The applicant submitted a trip generation and site access analysis as required by the Development Review Procedures Manual (DRPM). Staff has prepared a comparison of the trips potentially generated under the existing and proposed zoning designations, utilizing a generalized worst-case scenario. Data presented below is based on the Institute of Transportation Engineer's Trip Generation Manual, 10th Edition.

Approved Zoning:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
PD: 205 Units Single Family Detached (ITE 210)	1,935	152	203

Proposed Zoning:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
PD: 205 Units Single Family Detached (ITE 210)	1,935	152	203

Trip Generation Difference:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
Difference	0	0	0

The proposed rezoning will not result in an increase in potential trip generation.

TRANSPORTATION INFRASTRUCTURE SERVING THE SITE

The site is bounded by Crystal Lake Rd to the south, Geraci Rd to the east, and Wilson Cr. to the north.

Crystal Lake Road:

Crystal Lake Rd. is a substandard 2-lane, undivided, County local rural roadway. The roadway consists of +/-12-foot lanes, 8-foot shoulders with 4 feet paved, a 5-foot sidewalk on the south side, swales. Along the project frontage, the roadway lies within +/- 100 feet of right-of-way.

Pursuant to the Hillsborough County Transportation Technical Manual, a rural local roadway shall meet the typical section TS-7 standard. TS-7 standard includes 12-foot-wide lanes, 8-foot shoulders with 5 foot paved, and 5-foot wide sidewalks on both sides and swales within a minimum of 96 feet of right-of-way. Crystal Lake Rd. is not included in the Hillsborough County Corridor Preservation Plan.

The applicant is requesting a design exception to construct 2,100 feet of sidewalk on the north side of Crystal Lake Rd in lieu of improving the roadway to standard.

Geraci Road:

Geraci Rd. is a substandard 2-lane, undivided, County rural collector roadway. The roadway consists of +/-10-foot lanes, unpaved shoulders, no sidewalks, no bike lanes and swales. Along the project frontage, the roadway lies within +/- 54 feet of right-of-way. A traffic hump is located on the segment adjacent to the subject site.

Pursuant to the Hillsborough County Transportation Technical Manual, a rural collector roadway shall meet the typical section TS-7 standard. TS-7 standard includes 12-foot-wide lanes, 8-foot shoulders with 5 foot paved, and 5-foot wide sidewalks on both sides and swales within a minimum of 96 feet of right-of-way.

Geraci Rd. is not included in the Hillsborough County Corridor Preservation Plan.

Wilson Circle:

Wilson Cr. is a substandard 2-lane, undivided, County rural local roadway. The roadway consists of +/-10-foot lanes, unpaved shoulders, no sidewalks, no bike lanes and swales. Along the project frontage, the roadway lies within +/- 50 feet of right-of-way. Traffic humps are located within close proximity off the segment adjacent to the subject site.

Pursuant to the Hillsborough County Transportation Technical Manual, a rural local roadway shall meet the typical section TS-7 standard. TS-7 standard includes 12-foot-wide lanes, 8-foot shoulders with 5 foot paved, and 5-foot wide sidewalks on both sides and swales within a minimum of 96 feet of right-of-way.

Geraci Rd. is not included in the Hillsborough County Corridor Preservation Plan.

The applicant is requesting an 6.04.02.B administrative variance to waive substandard roadway improvements discussed below.

SITE ACCESS

The existing PD site plan allows four access points onto Crystal Lake Road, each associated with the number of Villages accessing said road (Villages A, B, C, and D), and required construction of a new road along a portion of the western boundary with two access points.

The request proposes to eliminate access connections to the property associated with changes to the surrounding property that were not contemplated in 2000 when PD 98-0917 was finally approved. When approved, the conditions of approval required the completion of an offsite extension to Crystal Lake Road (existing condition #12). Based upon the approved site plan (exhibit A, below), it appears that the extension of Crystal Lake Road was to connect to a roadway adjacent to the Planned Development to the west running north-south (labeled on the PD 98-0917 Site Plan as “Future Connection to N. Dale Mabry Hwy.”). This segment has not been built, nor is required to be built on the adjacent property, as shown on the Certified Site Plan 15-0343. Instead, the extension to Crystal Lake Road connects to Exciting Idlewild Blvd, which leads to Dale Mabry Highway. As a result, the western access point in Village B is proposed to be removed and the western access to the north in Village A is proposed as a cross access consistent with the cross access shown in the Certified Site Plan 15-0343 (exhibit B, below) and consistent with LDC, Section 6.04.03. Q.

Exhibit A: Excerpt from PD 98-0917 Site Plan (Red symbols added for illustrative purposes indicated proposed elimination off approved access point and off-site improvements.)

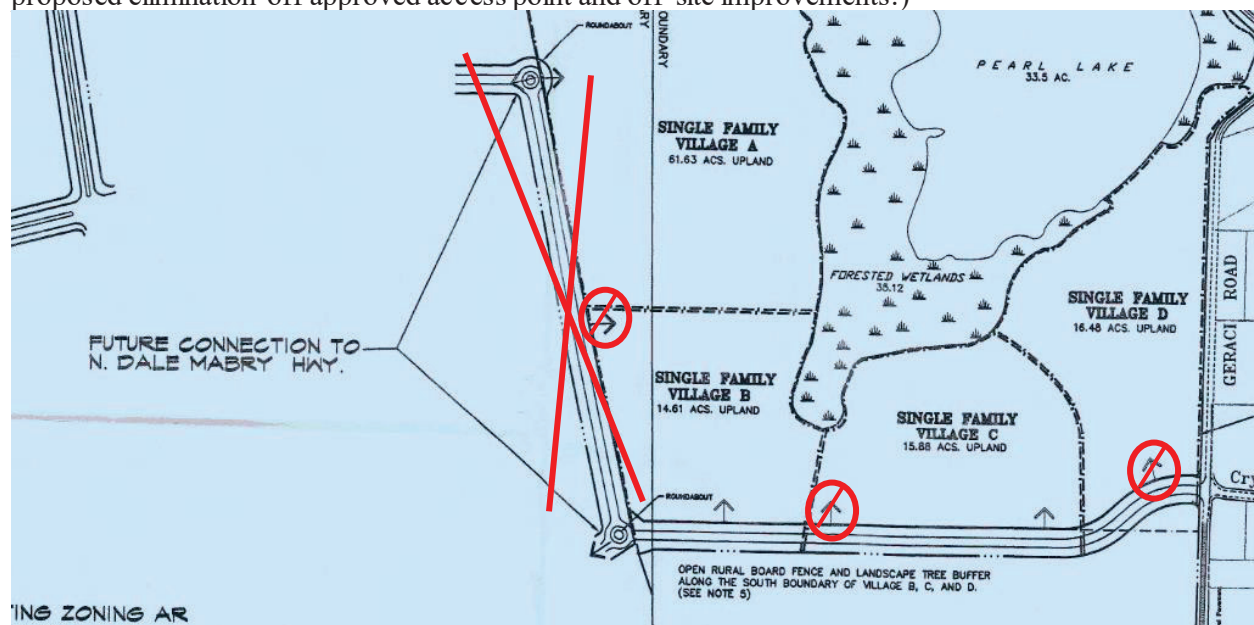
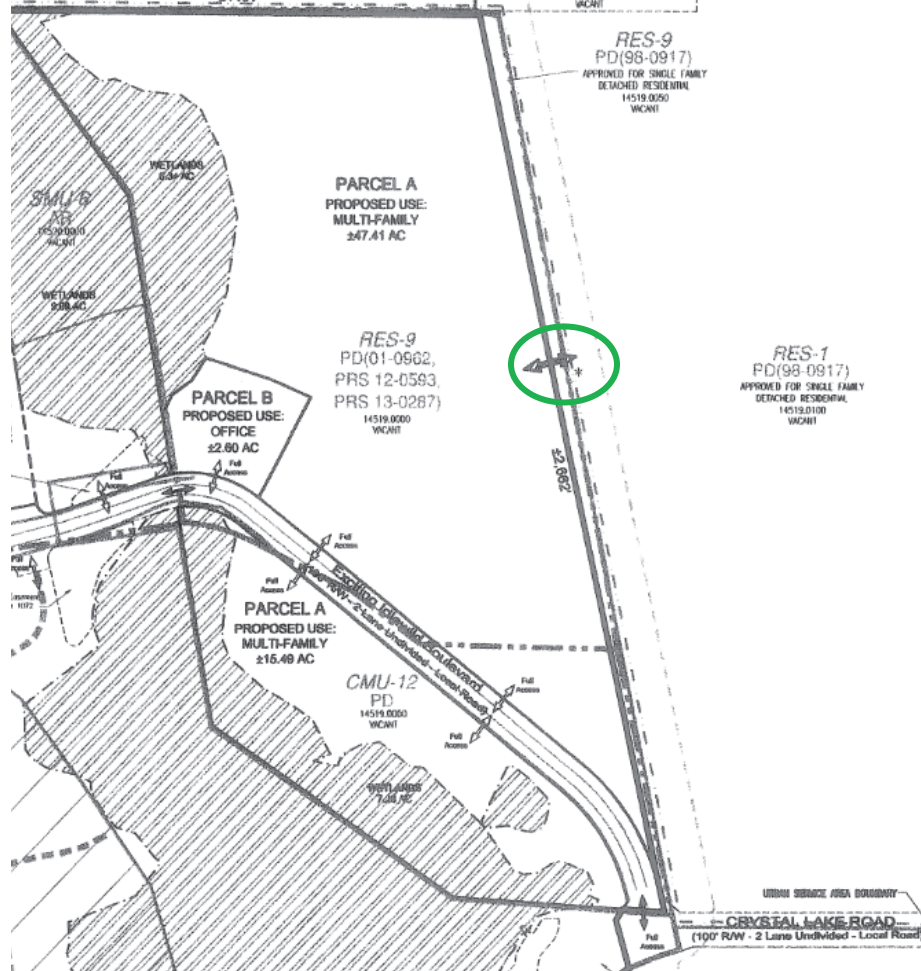


Exhibit B: Excerpted from PD 15-0343 Certified Site Plan (Green symbol added for illustrative purposes depicting location of cross access point on adjacent planned development to the west of the subject site.)



The proposed modified PD site plan provides for two (2) access connections to Crystal Lake Rd., one access connection to Wilson Cr, and one on Geraci Rd. Additionally, one (1) cross access connection to the west is provided.

On Crystal Lake Rd, the proposed western access connection is a full access point serving Villages A and B; and the eastern access connection is a full access point serving Villages C and D. Crystal Lake Rd. is a local roadway and does not meet warrants for turn lanes per County LDC, Sec. 6.04.04 D. Design Standards for Site Access Management. However, the applicant has proffered in their zoning request to construct a 245-foot eastbound left turn lane at the the western access connection (serving Villages A and B) to enhance site access for vehicles traveling from Dale Mabry Hwy to the site.

The proposed access connection on Wilson Rd is a full access connection that is a requirement of the County LDC, Sec. 6.02.01.16. for subdivisions to connect to existing contiguous streets and serves to efficiently addresses the access needs of visitors, delivery trucks, and emergency vehicles as well as local residents.

The applicant is requesting that the existing access on Geraci Rd, serving Village D, remain in place with full access until such time that the existing 10-acre residential estate located on folio# 14519.0500 is

removed or demolished. When the access on Geraci Rd. is removed, the parcel will take access from Crystal Lake Dr. through Village C as shown on the PD site plan.

INTERNAL SITE CONNECTIVITY

The applicant is proposing to gate the internal vehicular and pedestrian access between Village AB and C and D until such time that Villages C and D develop with units in excess of the existing homestead and up to one manufactured home within Village C. In the interim, the installation of gates is proposed by the applicant because the modified proposal seeks to preserve Villages C and D in a manner consistent with the existing homesite, as well as the semi-rural character of property to the north and east of the development area. At such time that (re)development occurs the gates will be removed to allow open cross access between Village AB and C and D consistent with the LDC internal connectivity standards and the Lutz Community Plan Vision and Strategies within the Livable Communities Element.

REQUESTED DESIGN EXCEPTION – CRYSTAL LAKE ROAD

As Crystal Lake Rd. is a substandard local rural roadway, the applicant's Engineer of Record (EOR) submitted a Design Exception request for Crystal Lake Rd. (July 30, 2021) to determine the specific improvements that would be required by the County Engineer. Based on factors presented in the Design Exception request, the County Engineer found the Design Exception request approvable (on August 2, 2021). To mitigate the deviations from the Hillsborough County Transportation Technical Manual (TTM) TS-7 Typical Section (for 2-Lane, undivided, rural local roadways) the developer has proposed to construct 2,100 linear feet of sidewalk on the north side of Crystal Lake Rd from Exciting Idlewood Blvd to Geraci Rd.

If this zoning is approved, the County Engineer will approve the Design Exception request.

REQUESTED ADMINISTRATIVE VARIANCE: WILSON CIRCLE SUBSTANDARD ROADWAY

The applicant submitted a Section 6.04.02.B. Administrative Variance Request (dated July 30, 2021) from the Section 6.04.03. L. LDC requirement, governing improvements to substandard roadways. Based upon the substandard condition of Idlewild Ave. the LDC requires that improvements to meet the current standards of the Hillsborough County Transportation Technical Manual (TTM) TS-7 Typical Section (for 2-Lane, undivided, rural local roadways). The applicant is requesting to be exempted from improving Wilson Cir. Based on factors presented in the Administrative Variance Request, the County Engineer found the request approvable on August 2, 2021.

If this rezoning is approved, the County Engineer will approve the above referenced Administrative Variance Request.

LEVEL OF SERVICE (LOS)

Level of Service (LOS) information is reported below.

FDOT Generalized Level of Service				
Roadway	From	To	LOS Standard	Peak Hr Directional LOS
Crystal Lk Rd/ Exciting Idlewild Blvd	Dale Mabry Hwy	Geraci Rd	D	C

Source: [2020 Hillsborough County Level of Service \(LOS\) Report](#)

3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)

Adjoining Roadways (check if applicable)			
Road Name	Classification	Current Conditions	Select Future Improvements
Crystal Lake Rd.	County Local - Rural	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input checked="" type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input checked="" type="checkbox"/> Site Access Improvements <input checked="" type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
Geraci Rd.	County Collector - Rural	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input checked="" type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
Wilson Cr.	County Local - Rural	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input checked="" type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other

Project Trip Generation <input type="checkbox"/> Not applicable for this request			
	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	1,935	152	203
Proposed	1,935	152	203
Difference (+/-)	0	0	0

*Trips reported are based on net new external trips unless otherwise noted.

Connectivity and Cross Access <input type="checkbox"/> Not applicable for this request				
Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North		Vehicular & Pedestrian	None	Meets LDC
South	X	None	None	Meets LDC
East		Vehicular	None	Does Not Meet LDC
West		None	Vehicular & Pedestrian	Meets LDC
Notes: East access is existing and proposed to be temporary. See staff report.				

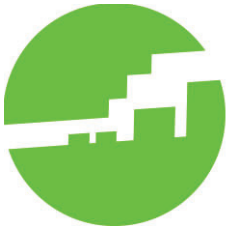
Design Exception/Administrative Variance <input type="checkbox"/> Not applicable for this request		
Road Name/Nature of Request	Type	Finding
Crystal Lake Rd./Substandard Roadway Improvements	Design Exception Requested	Approvable
Wilson Rd./Substandard Roadway Improvements	Administrative Variance Requested	Approvable
Notes:		

4.0 Additional Site Information & Agency Comments Summary

Transportation	Objections	Conditions Requested	Additional Information/Comments
<input checked="" type="checkbox"/> Design Exception/Adm. Variance Requested <input checked="" type="checkbox"/> Off-Site Improvements Provided	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	See staff report.

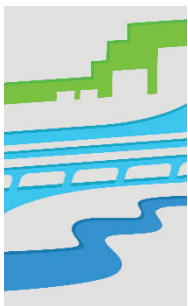
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Hillsborough County City-County Planning Commission

Unincorporated Hillsborough County Rezoning	
Hearing Date: October 18, 2021 Report Prepared: October 7, 2021	Petition: MM 21-0877 Geraci Road & Crystal Lake Road <i>North of Crystal Lake Road, west of Geraci Road</i>
Summary Data:	
Comprehensive Plan Finding:	CONSISTENT
Adopted Future Land Uses:	Residential-1 (1 du/ga; 0.25 FAR) Residential-2 (2 du/ga; .25 FAR) Residential-9 (9 du/ga; .50 FAR) Commercial Mixed Use-12 (12 du/ga; .50 FAR)
Service Area:	Rural: Folios 14519.0100, 14519.0500, and 13366.0000 Urban: Folio 14519.0050
Community Plan:	Lutz
Requested Zoning:	Major Modification (MM) of Planned Development (PD) 98-0917 to reorient previously approved 205 single family dwelling units and revise access points
Parcel Size (Approx.):	176.38 acres +/-
Street Functional Classification:	Crystal Lake Road - Local Geraci Road – Collector
Locational Criteria	N/A
Evacuation Zone	None



Plan Hillsborough
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 Tampa, FL, 33602

Context

- The subject site is located on approximately 176 acres. The site is located north of Crystal Lake Road, east of North Dale Mabry Highway and west of Geraci Road. The majority of the subject site (three of the four folios involved) is located in the Rural Area, and one folio is located in the Urban Service Area. It is located within the limits of the Lutz Community Plan.
- The site consists of four folios in which there is a combination of Residential-1 (RES-1), Residential-2 (RES-2), Residential-9 (RES-9), and Commercial Mixed Use-12 (CMU-12) Future Land Use categories. The majority the project site is designated as RES-1. Typical allowable uses within the RES-1 Future Land Use includes farms, ranches, residential uses, rural scale neighborhood commercial uses, offices, and multi-purpose projects. Commercial, office, and multi-purpose uses are required to meet locational criteria for a specific land use projects. Agricultural uses may be permitted pursuant to policies in the agricultural objective areas of the Future Land Use Element.
- RES-1 surrounds the subject site to the north, east, and south. RES-2 is also located to the east, with RES-9 and CMU-12 is located to the west.
- The subject site is currently zoned as a Planned Development (PD). The site is surrounded by Agricultural Single Family Conventional-1 (ASC-1) zoning to the north and east, Residential Single Family Conventional-4 (RSC-4) zoning also to the east, Agricultural Rural (AR) zoning to the south, and Planned Development (PD) zoning to the west.
- There are currently three single-family residential dwellings on the southeastern portion of the subject site that are to remain. The remainder of the site is in a natural state, designated as pasture and agricultural land.
- Surrounding the site there are single family residential dwellings to the north and east. There is agricultural land also to the east. To the west there is vacant residential land and a charter school, and to the south there is a church.
- The applicant requests to reorient the previously approved 205 single family dwelling units and revise access points to appropriately serve the new site layout.

Compliance with Comprehensive Plan:

The following Goals, Objectives, and Policies apply to this rezoning request and are used as a basis for a consistency finding.

Future Land Use Element

Urban Service Area

Objective 1: Hillsborough County shall pro-actively direct new growth into the urban service area with the goal that at least 80% of all population growth will occur within the USA during the planning horizon of this Plan. Within the Urban Service Area, Hillsborough County will not impede agriculture. Building permit activity and other similar measures will be used to evaluate this objective.

Rural Area

Within the rural area there are existing developments that are characterized as suburban enclaves or rural communities. These are residential developments which have a more dense development pattern and character, usually 1 or 2 du/ga. These enclaves are recognized through the placement of land use categories that permit densities higher than 1 du/5 acres. New development of a character similar to the established community will be permitted to infill in a limited manner, but not be permitted to expand into areas designated with lower land use densities.

Objective 4: *The Rural Area will provide areas for long term, agricultural uses and large lot, low density rural residential uses which can exist without the threat of urban or suburban encroachment, with the goal that no more than 20% of all population growth within the County will occur in the Rural Area.*

Policy 4.1: *Rural Area Densities: Within rural areas, densities shown on the Future Land Use Map will be no higher than 1 du/5 ga unless located within an area identified with a higher density land use category on the Future Land Use Map as a suburban enclave, planned village, a Planned Development pursuant to the PEC ½ category, or rural community which will carry higher densities.*

Relationship to Land Development Regulations

Objective 9: *All existing and future land development regulations shall be made consistent with the Comprehensive Plan, and all development approvals shall be consistent with those development regulations as per the timeframe provided for within Chapter 163, Florida Statutes. Whenever feasible and consistent with Comprehensive Plan policies, land development regulations shall be designed to provide flexible, alternative solutions to problems.*

Policy 9.1: *Each land use plan category shall have a set of zoning districts that may be permitted within that land use plan category, and development shall not be approved for zoning that is inconsistent with the plan.*

Policy 9.2: *Developments must meet or exceed the requirements of all land development regulations as established and adopted by Hillsborough County, the state of Florida and the federal government unless such requirements have been previously waived by those governmental bodies.*

Environmental Considerations

Objective 13: *New development and redevelopment shall not adversely impact environmentally sensitive areas and other significant natural systems as described and required within the Conservation and Aquifer Recharge Element and the Coastal Management Element of the Comprehensive Plan.*

Clustering for Conservation and Natural Resources

Objective 14: *New residential development and redevelopment shall provide open space that achieves one or more of the following purposes pursuant to requirements of the Land Development Code: protects natural resources (including wetlands, wildlife habitat, aquifer recharge, floodplains, and other resources), creates usable open spaces and/or permits the continuation of agricultural activities in areas suited for such uses.*

Policy 14.1: *Clustering will be provided in a compact and contiguous fashion to the extent necessary to achieve the above referenced open space objective. Types of uses allowed in the open space areas must be consistent with the stated objective of clustering and open space. Clustering can be achieved as provided by the Land Development Code*

Policy 14.2: *For purposes of clustering, in the Rural Area, open spaces shall be conservation areas, preservation areas, mitigation areas, and passive recreational uses such as but not limited to nature observation and hiking.*

Neighborhood/Community Development

Objective 16: *Neighborhood Protection The neighborhood is a functional unit of community development. There is a need to protect existing neighborhoods and communities and those that will emerge in the future. To preserve, protect and enhance neighborhoods and communities, all new development must conform to the following policies.*

Policy 16.1: *Established and planned neighborhoods and communities shall be protected by restricting incompatible land uses through mechanisms such as:*

- a) *locational criteria for the placement of non-residential uses as identified in this Plan,*
- b) *limiting commercial development in residential land use categories to neighborhood scale;*
- c) *requiring buffer areas and screening devices between unlike land uses;*

Policy 16.2: *Gradual transitions of intensities between different land uses shall be provided for as new development is proposed and approved, through the use of professional site planning, buffering and screening techniques and control of specific land uses.*

Policy 16.3: *Development and redevelopment shall be integrated with the adjacent land uses through:*

- a) *the creation of like uses; or*
- b) *creation of complementary uses; or*
- c) *mitigation of adverse impacts; and*
- d) *transportation/pedestrian connections*

Policy 16.8: *The overall density and lot sizes of new residential projects shall reflect the character of the surrounding area, recognizing the choice of lifestyles described in this Plan.*

Policy 16.10: *Any density increase shall be compatible with existing, proposed or planned surrounding development. Compatibility is defined as the characteristics of different uses or activities or design which allow them to be located near or adjacent to each other in harmony. Some elements affecting compatibility include the following: height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor and architecture. Compatibility does not mean “the same as”. Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development.*

Agriculture-General Considerations

Objective 29: *In recognition of the importance of agriculture as an industry and valuable economic resource, Hillsborough County shall protect the economic viability of agricultural activities by recognizing and providing for its unique characteristics in land use planning and land development regulations.*

Agriculture – Retention

Objective 30: Recognizing that the continued existence of agricultural activities is beneficial, the county will develop, in coordination with appropriate entities, economic incentives to encourage and expand agricultural activities

Policy 30.6: Agriculture and agricultural support uses are the preferred uses in rural areas.

Community Design Component

4.0 Community Level Design

4.1 Rural Residential Character

Goal 7: Preserve existing rural uses as viable residential alternatives to urban and suburban areas.

Objective 7-1: Support existing agricultural uses for their importance as a historical component of the community, their economic importance to the County and for the open space they provide.

Policy 7-1.1: Preserve natural areas in rural residential lot development.

Policy 7-1.2: Vary lot size in order to encourage diversity of housing product types and respect natural resources.

5.0 Neighborhood Level Design

5.1 Compatibility

Goal 12: Design neighborhoods which are related to the predominant character of the surroundings.

Objective 12-1: New developments should recognize the existing community and be designed in a way that is compatible (as defined in FLUE policy 1.4) with the established character of the surrounding neighborhood.

Policy 12-1.4: Compatibility may be achieved through the utilization of site design techniques including but not limited to transitions in uses, buffering, setbacks, open space and graduated height restrictions, to affect elements such as height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor and architecture.

Livable Communities Element

Lutz Community Plan

Semi-rural, Single-family Residential Community Character

Residents desire to maintain Lutz as a low density, semi-rural, single family community offering a variety of housing styles, lot sizes, configurations, and setbacks; while ensuring quality of life and sustainability. To do so residents want to:

- ensure modular homes have the appearance of being site built;

- *retain native vegetation and utilize drought tolerant and preferably native plantings in landscaping plans which will attract wildlife (encourage the removal of exotic plants);*
- *maintain lot sizes of one acre or greater, using clustering only in projects with a minimum acreage of 30 acres or more to allow for the preservation of open space, and to restore a semi-rural environment;*
- *support existing agricultural uses for their importance as a historical component of the community, their economic importance to the County and for the open space they provide;*
- *require new subdivisions to face existing local roads or as new residential areas are developed, create inter-connected roadways to link the community together*

Water Quality and Quantity (Wetlands, Open Space, Environment, Wildlife, Natural Systems)

Improving existing protection of water resources is a high priority. To ensure healthy lakes and wetlands for aesthetics and recreation by preserving the aquifer and moving water in a natural way:

- *New lakefront development shall be required to retain a natural vegetative buffer, for the water quality and wildlife benefits it affords. New hardened shoreline is prohibited, and existing hardened shoreline shall not preclude the requirement for the preservation of a vegetative buffer. However, these requirements should recognize the provision for recreational access, which minimizes impacts to these natural resources*

Staff Analysis of Goals, Objectives and Policies

With this proposed modification of PD 98-0917, the applicant requests to reconfigure the previously approved 205 single family dwelling units and revise access points to appropriately serve the new site layout.

According to Objective 4 of the Future Land Use Element (FLUE) of the Comprehensive Plan 20% of the growth in the region will occur in the Rural Area. Most of the subject site is in the Rural Area and the proposed modification intends to balance the suburban character of the area to the west of the development and semi-rural character to the east of the development. The reconfiguration of development allows for more of the forested wetlands, lake, open space, and agricultural uses to be undisturbed and remain rural in character. Therefore, the proposal therefore meets the intent of the Rural Area and Objective 4.

Objective 9 of the FLUE requires development to be consistent with all land development regulations in Hillsborough County. Policy 9.1 states that *“each land use plan category shall have a set of zoning districts that may be permitted within that land use plan category.”* Most of the subject site is in the Rural Service Area and Residential-1 (RES-1) Future Land Use Classification which permits 1 dwelling unit per gross acre (du/ga). The intent of the RES-1 category is to designate areas for rural residential uses that are compatible with short-term agricultural uses. The proposal meets the requirements of the RES-1 Future Land Use category and Objective 9 and Policies 9.1 and 9.2

The Community Design Component (CDC) of the FLUE provides policy direction regarding residential development in the Rural Area. Goal 7, Objective 7-1 and its accompanying policies seek to preserve rural residential areas as a viable alternative to urban and suburban areas. The proposed reconfiguration of residential development meets the intent of preserving rural residential lifestyles. Goal 12 and Objective 12-1 of the CDC directs new

development to relate to the predominant character of its surroundings and be designed to be compatible with the area. As the surrounding land use pattern is primarily agricultural and low density rural residential in character, a rezoning request to reconfigure residential development to preserve more natural and agricultural land would be compatible with the surrounding area and the existing development pattern. In addition, the proposal is consistent with Policy 12-1.4 as the vehicular traffic, circulation, access and cross access points have been revised to more appropriately serve the reconfiguration and allow for a compatible transition to the surrounding area.

Objectives 13 and 14 discuss environmental considerations and clustering for conservation and natural resources. The proposal maintains the previously approved density which was reviewed by Environmental Protection Commission with no objection to the new configuration of development. The reconfiguration clusters the majority of the single family dwellings in Village AB (200 of the 205) at the western end of the development, allowing there to be greater preservation of existing forested wetlands, open space and agricultural uses. The proposal meets the intent of Objectives 13 and 14.

Objective 16 and its accompanying policies 16.1, 16.2, 16.3, seek to protect existing neighborhoods and development by ensuring compatibility with the surrounding area through various buffering requirements and mitigation techniques. The creation of single family residential lots and preservation of natural and agricultural lands would be consistent with these policies as the use is similar and complementary to the surrounding residential and agricultural uses. Policy 16.8 specifically requires the density and lot sizes of the surrounding area to be compatible with new development. The existing uses in the area are low density single family residential dwellings and agricultural uses. Policy 16.10 states that *“any density increase shall be compatible with existing, proposed or planned surrounding development.”* In this case, the surrounding area has existing agricultural rural and low density residential zoning districts in the immediate vicinity and preserves the existing rural residential character of the area. The proposal is therefore compatible with the surrounding area and meets the intent of Objective 16 and Policies 16.1, 16.2, 16.3, 16.8 and 16.10.

The Agricultural Objectives in the FLUE provide policy direction that aims to protect the economic viability of agricultural activities by recognizing and providing for its unique characteristics in land use planning and land development regulations. It also recognizes agricultural activities and how it is beneficial to develop, in coordination with appropriate entities, economic incentives to encourage and expand agricultural activities. In addition, there is policy direction that states that agriculture and agricultural support uses are the preferred uses in rural areas. The proposal not only clusters the residential development in a way that will preserve existing agricultural uses, but also requests that new residential development within Villages C & D shall be developed in accordance with AS-1 standards, therefore allowing agriculture uses also. Therefore, the proposal is consistent with Objectives 29 and 30.

The subject site is located within the limits of the Lutz Community Plan. One of the strategies in the plan discusses using lot sizes of one acre or greater, using clustering only in projects with a minimum acreage of 30 acres or more to allow for the preservation of open space, and to restore a semi-rural environment. The plan also discusses how new lakefront development shall be required to retain a natural vegetative buffer, for the water quality and wildlife benefits it affords. The modification includes lot sizes of a minimum of an acre. In addition to that, one of the main intentions of the modified proposal is to reorient

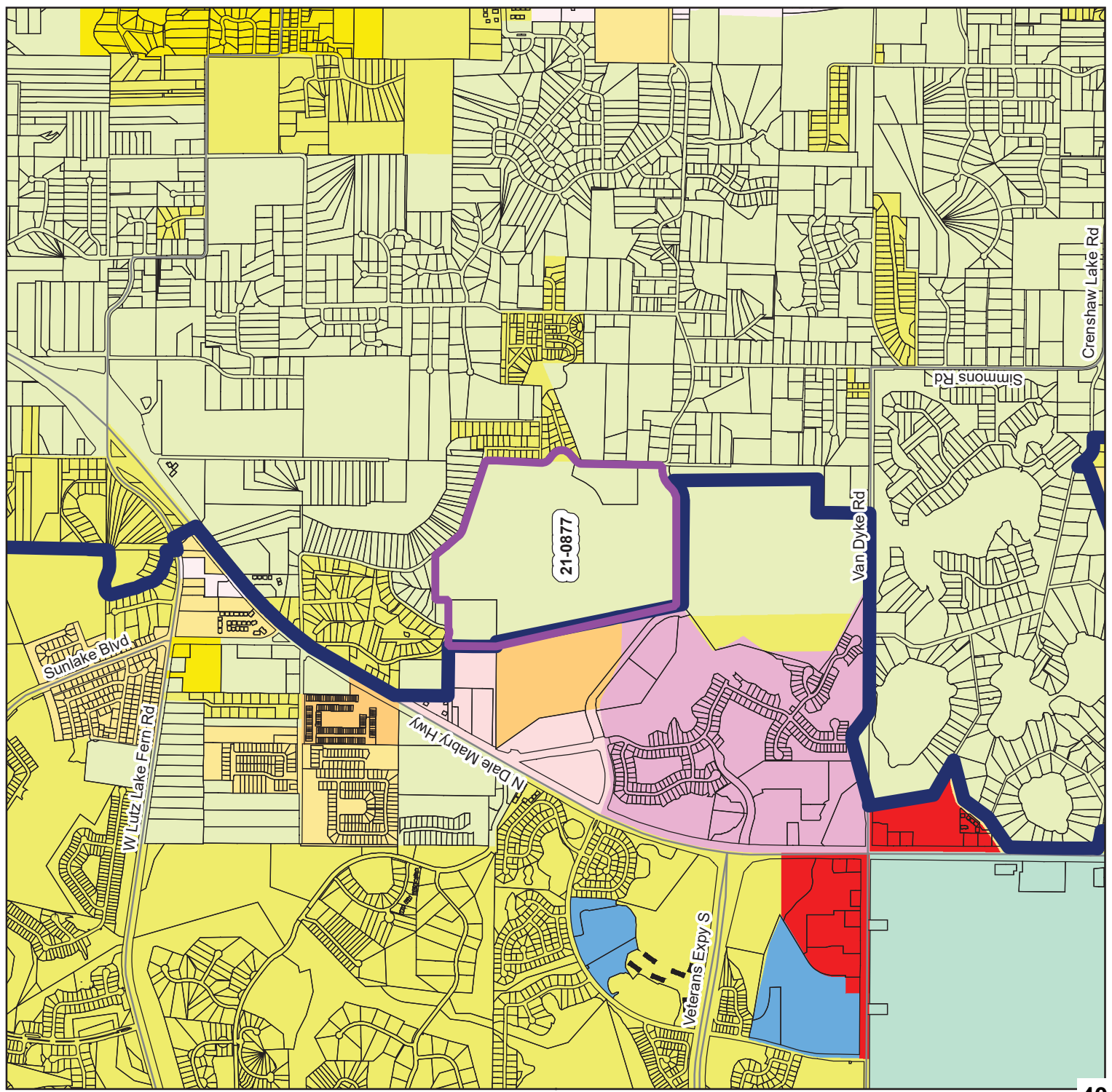
the residential development in order to leave more forested wetland, lake, open space and agricultural land undisturbed, therefore meeting the intent of the strategies in the Lutz Community Plan that was previously outlined.

Overall, the proposed rezoning would allow for development that is consistent with the Goals, Objectives and Policies of the Future of Hillsborough Comprehensive Plan for Unincorporated Hillsborough County and is compatible with the existing and planned development pattern found in the surrounding area.

Recommendation

Based upon the above considerations, the Planning Commission staff finds the proposed modification **CONSISTENT** with the *Future of Hillsborough Comprehensive Plan for Unincorporated Hillsborough County*, subject to the conditions of the Development Services Department.

HILLSBOROUGH COUNTY FUTURE LAND USE RZ MM 21-0877



- Rezonings
- STATUS
- APPROVED
 - CONTINUED
 - DENIED
 - WITHDRAWN
 - PENDING
- Tampa Service
- Urban Service
- Shoreline
- County Boundary
- Jurisdiction Boundary
- Major Roads
- Parcels
- AGRICULTURAL/MINING-1/20 (.25 FAR)
- PEC PLANNED ENVIRONMENTAL COMMUNITY-1/2 (.25 FAR)
- AGRICULTURAL-1/10 (.25 FAR)
- AGRICULTURAL/RURAL-1/5 (.25 FAR)
- AGRICULTURAL ESTATE-1/2.5 (.25 FAR)
- RESIDENTIAL-1 (.25 FAR)
- RESIDENTIAL-2 (.25 FAR)
- RESIDENTIAL PLANNED-2 (.35 FAR)
- RESIDENTIAL-4 (.25 FAR)
- RESIDENTIAL-6 (.25 FAR)
- RESIDENTIAL-9 (.35 FAR)
- RESIDENTIAL-12 (.35 FAR)
- RESIDENTIAL-16 (.35 FAR)
- RESIDENTIAL-20 (.35 FAR)
- RESIDENTIAL-35 (1.0 FAR)
- NEIGHBORHOOD MIXED USE-4 (3) (.35 FAR)
- SUBURBAN MIXED USE-6 (.35 FAR)
- COMMUNITY MIXED USE-12 (.50 FAR)
- URBAN MIXED USE-20 (1.0 FAR)
- REGIONAL MIXED USE-35 (2.0 FAR)
- OC-20
- RESEARCH CORPORATE PARK (1.0 FAR)
- ENERGY INDUSTRIAL PARK (.50 FAR USES OTHER THAN RETAIL, .25 FAR RETAIL/COMMERCE)
- LIGHT INDUSTRIAL PLANNED (.50 FAR)
- LIGHT INDUSTRIAL (.50 FAR)
- HEAVY INDUSTRIAL (.50 FAR)
- PUBLIC/QUASI-PUBLIC
- NATURAL PRESERVATION
- WIMAUMA VILLAGE RESIDENTIAL-2 (.25 FAR)
- CITRUS PARK VILLAGE

DATA SOURCES: Rezonings boundaries from The Planning Commission and are not official. Parcel lines and data from Hillsborough County Property Appraiser. This map is for informational purposes only and is not intended to be used as a legal document. It is intended that the map be used in conjunction with the official zoning map. ACCURACY: It is intended that the map be used in conjunction with the official zoning map. Hillsborough County City-County Planning Commission. This map is for informational purposes only. It is not intended to be used as a legal document. It is intended that the map be used in conjunction with the official zoning map.



Map Printed from Rezoning System: 6/10/2021
Author: Beverly F. Daniels
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Rezoning Application: PD 21-0961
Zoning Hearing Master Date: October 18, 2021
BOCC Land Use Meeting Date: December 14, 2021



**Hillsborough
County Florida**

Development Services Department

1.0 APPLICATION SUMMARY

Applicant: Tampa Bay Community Church Inc.
FLU Category: RES-4
Service Area: Urban
Site Acreage: 3.51
Community Plan Area: Greater Carrollwood Northdale
Overlay: None



Introduction Summary:

The applicant seeks to combine two adjacent properties to allow for medical office uses. Both sites are currently zoned to allow for office and medical uses and both are to be constructed with architectural features to maintain a residential style. PD 19-1037 was approved with a PD variation (LDC Part 6.06.00 Landscaping/Buffering) along the western and northwestern PD boundaries.

Zoning:	Existing		Proposed
District(s)	PD 19-1037	BPO-R (16-0916)	PD 21-0961
Typical General Use(s)	Medical and General Office	Medical and Professional Office	Medical Office
Acreage	1.39	2.12	3.51
Density/Intensity	0.20 FAR	0.06 FAR	0.12 FAR
Mathematical Maximum*	12,000 sf	6,000 sf	18,000

*number represents a pre-development approximation

Development Standards:	Existing		Proposed
District(s)	PD 19-1037	BPO-R (16-0916)	PD 21-0961
Lot Size / Lot Width	n/a	n/a	n/a
Setbacks/Buffering and Screening	30' Front Yard 70' West Side Yard/Buffer 5' East Side Yard/Buffer 20' Rear Yard/Buffer	30' Front Yard 0' West Side Yard/Buffer 40' East Side Yard/Buffer 40' Rear Yard/Buffer	30' Front Yard 70' West Side Yard/ Buffer 280' East Side Yard/Buffer 20' Rear Yard/Buffer
Height	35' / 1-story	50' / 1-story	35' / 1-story

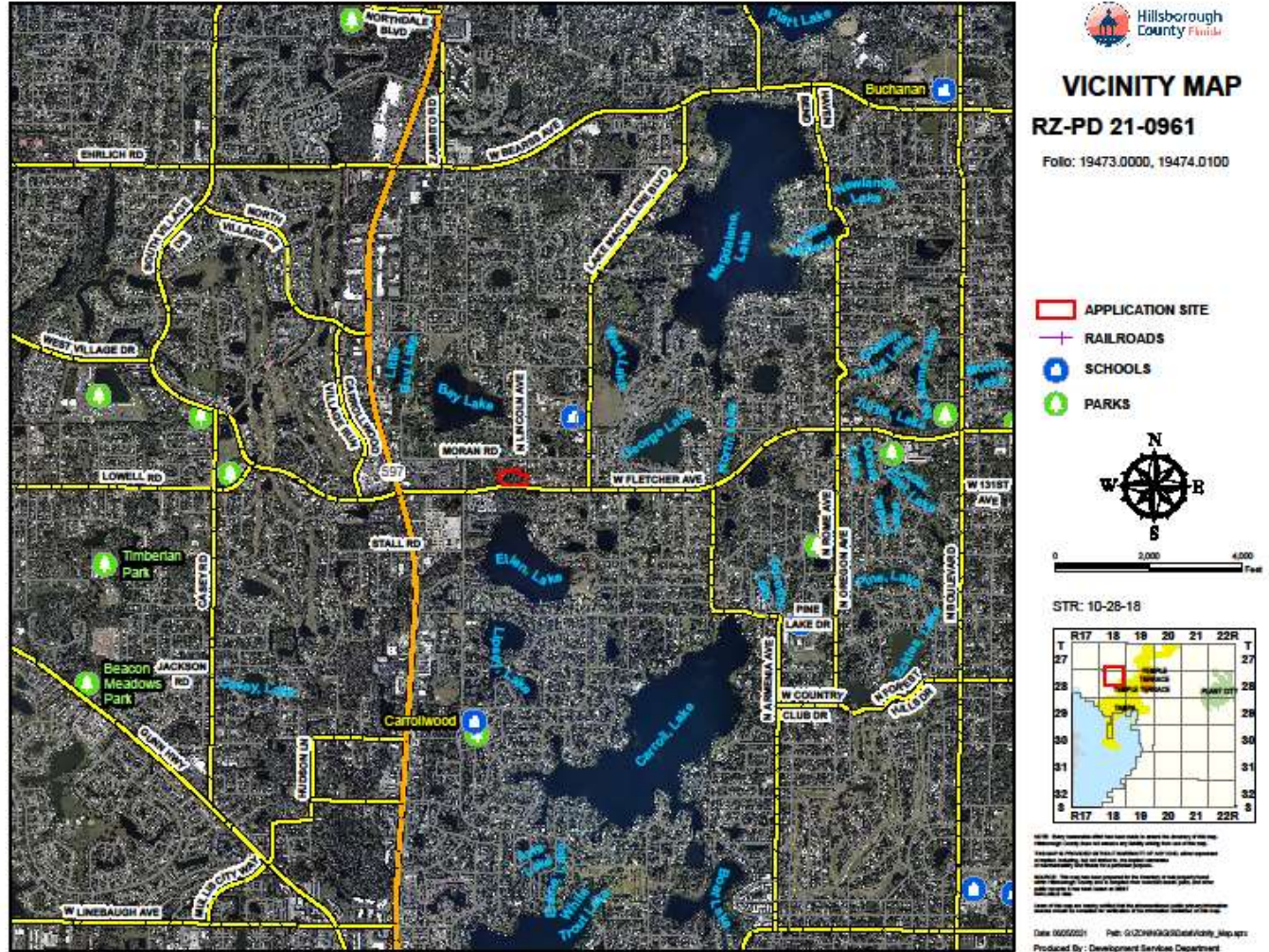
Additional Information:

PD Variation(s)	LDC Part 6.06.00 (Landscaping/Buffering) Reduce the 20-foot wide buffer to 5-feet along the western line and 10-feet along the northwestern line.
Waiver(s) to the Land Development Code	None Requested

Planning Commission Recommendation: Consistent	Development Services Recommendation: Approvable, subject to proposed conditions
--	---

2.0 LAND USE MAP SET AND SUMMARY DATA

2.1 Vicinity Map

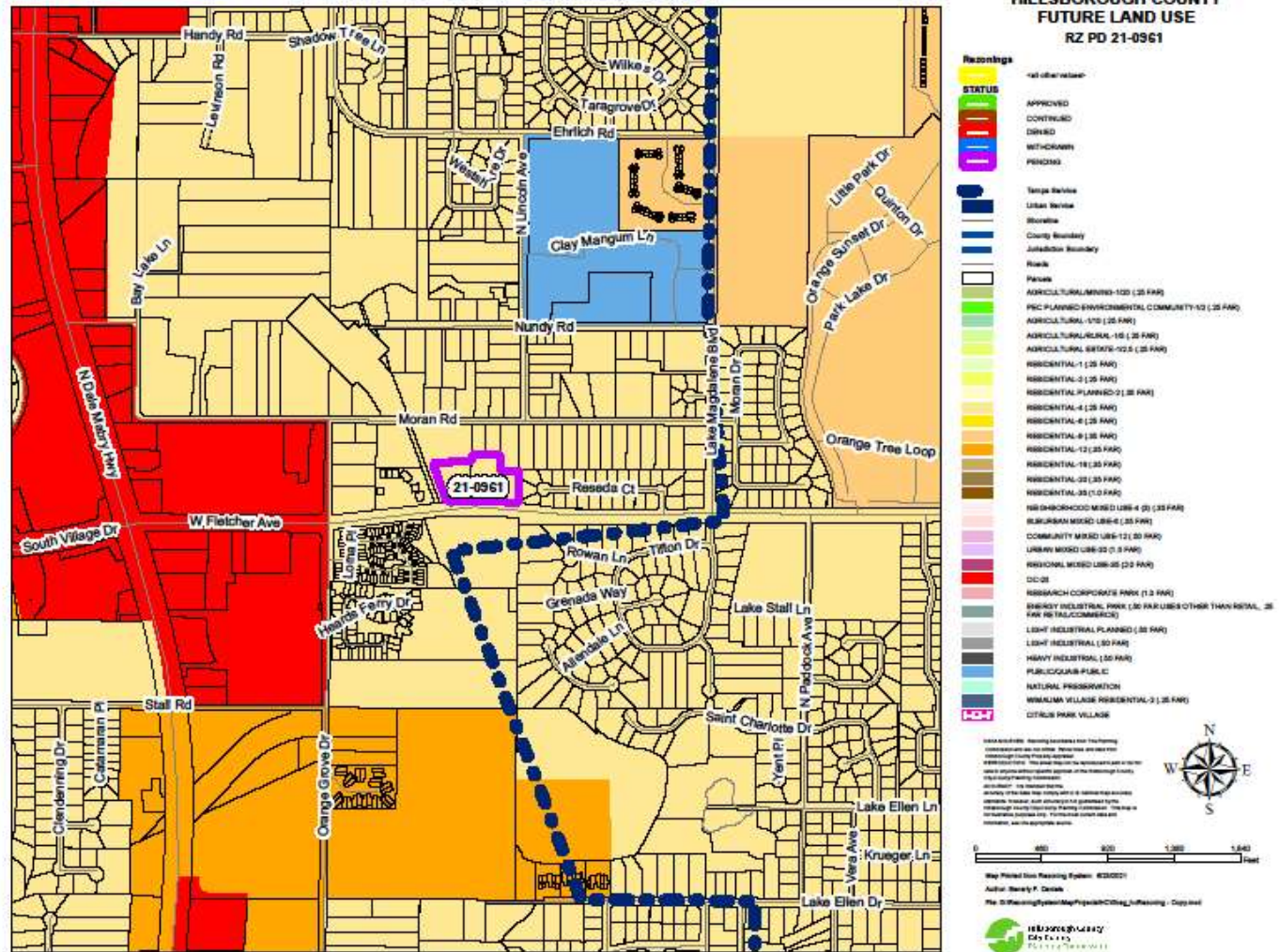


Context of Surrounding Area:

The site is located in the Carrollwood-Northdale community on the north side of Fletcher Avenue. Uses found to the west of the site include office and commercial uses. Uses found to the south and east of the site consists of townhome and single-family residential. Directly north of the site is an existing church. The subject project was previously utilized by church as open space and access along Fletcher Avenue. The church remains north of the site with access through the property to/from Fletcher Avenue permitted. Both subject sites are currently zoned for office use, which provides an appropriate transition to the area's residential development and an alternative to residential on a heavily traveled roadway.

2.0 LAND USE MAP SET AND SUMMARY DATA

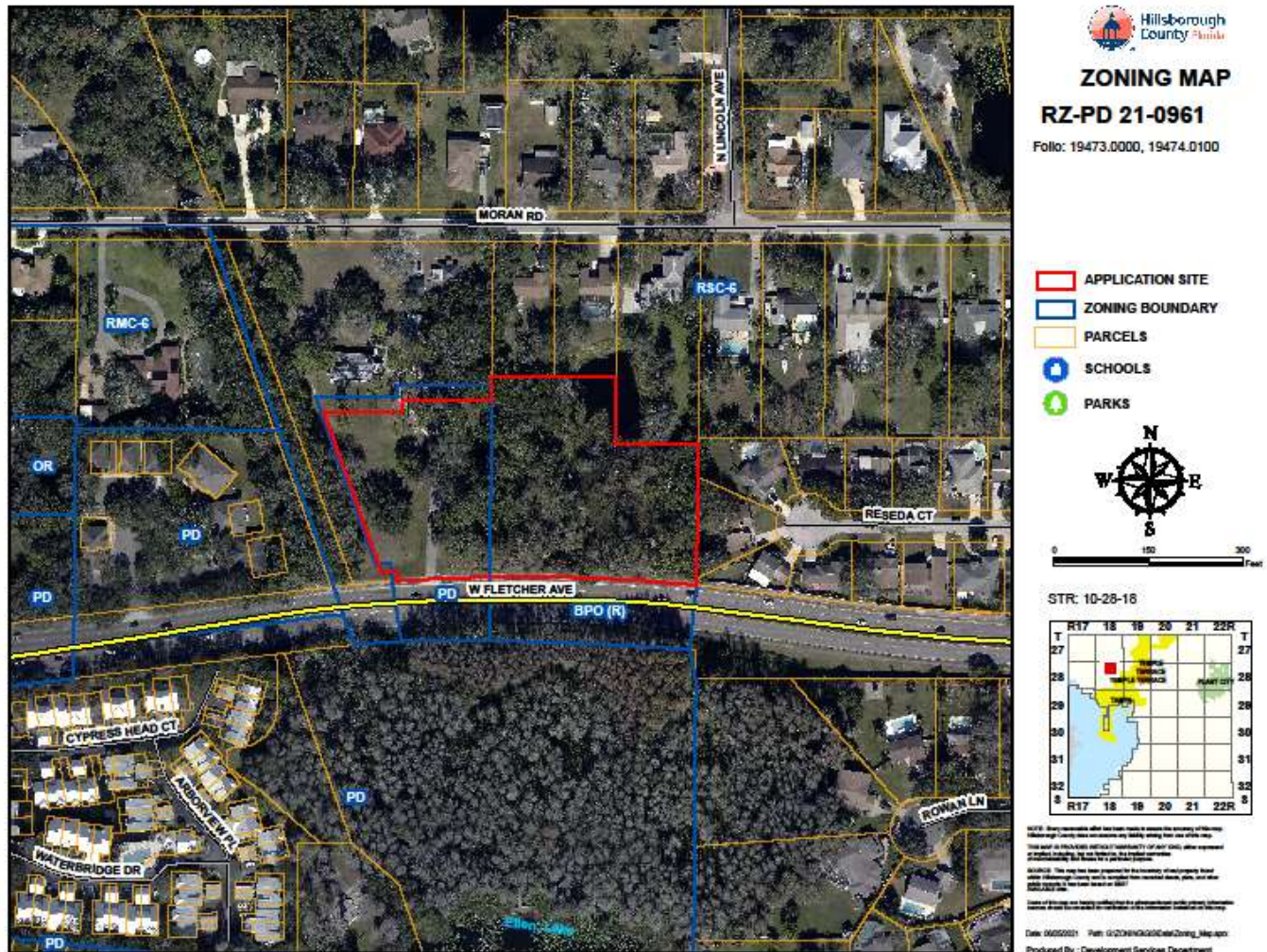
2.2 Future Land Use Map



Subject Site Future Land Use Category:	RES-4
Maximum Density/F.A.R.:	0.25 FAR
Typical Uses:	Residential, suburban scale neighborhood commercial, office and multi-purpose projects. Non-residential uses are subject to locational criteria policies.

2.0 LAND USE MAP SET AND SUMMARY DATA

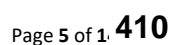
2.3 Immediate Area Map



Adjacent Zonings and Uses

Location:	Zoning:	Maximum Density/F.A.R. Permitted by Zoning District:	Allowable Use:	Existing Use:
North	RSC-6	0.25 / 6 units per acre	Single-Family Residential and residential support	Church, Single-Family Residential
South	PD	6 units per acre	Townhomes, Multi-Family Residential	Wetlands
East	RSC-6	6 units per acre	Single-Family Residential	Single-Family Residential
West	RSC-6	6 units per acre	Single-Family Residential	Sweetwater Creek

2.4 Proposed Site Plan (partial provided below for size and orientation purposes. See Section 8.0 for full site plan)



3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)**Adjoining Roadways (check if applicable)**

Road Name	Classification	Current Conditions	Select Future Improvements
Fletcher Ave.	County Arterial - Urban	4 Lanes <input checked="" type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input checked="" type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other

Project Trip Generation ☐ Not applicable for this request

	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	661	48	65
Proposed	661	48	65
Difference (+/-)	0	0	0

*Trips reported are based on net new external trips unless otherwise noted.

Connectivity and Cross Access ☐ Not applicable for this request

Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North		None	Vehicular & Pedestrian	Meets LDC
South	X	None	None	Meets LDC
East		None	None	Meets LDC
West		None	None	Meets LDC

Notes: Vehicular cross access to the north is restricted to the use from the adjacent Church and to remain gated when not in use.

Design Exception/Administrative Variance ☐ Not applicable for this request

Road Name/Nature of Request	Type	Finding
Fletcher Ave./Substandard Roadway	Design Exception Requested	Approvable
	Choose an item	Choose an item

Notes: Restoring raised median to standard to eliminate safety concerns and extending turn lane traffic separator.

4.0 ADDITIONAL SITE INFORMATION & AGENCY COMMENTS SUMMARY

INFORMATION/REVIEWING AGENCY				
Environmental:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Environmental Protection Commission	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Site contains exempt and non-exempt wetlands.
Natural Resources	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Conservation & Environ. Lands Mgmt.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Check if Applicable: <input checked="" type="checkbox"/> Wetlands/Other Surface Waters <input checked="" type="checkbox"/> Use of Environmentally Sensitive Land Credit <input type="checkbox"/> Wellhead Protection Area <input type="checkbox"/> Surface Water Resource Protection Area <input checked="" type="checkbox"/> Potable Water Wellfield Protection Area <input type="checkbox"/> Significant Wildlife Habitat <input type="checkbox"/> Coastal High Hazard Area <input checked="" type="checkbox"/> Urban/Suburban/Rural Scenic Corridor <input type="checkbox"/> Adjacent to ELAPP property <input type="checkbox"/> Other _____				
Public Facilities:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Transportation <input checked="" type="checkbox"/> Design Exc./Adm. Variance Requested <input type="checkbox"/> Off-site Improvements Provided	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Service Area/ Water & Wastewater <input type="checkbox"/> Urban <input checked="" type="checkbox"/> City of Tampa <input type="checkbox"/> Rural <input type="checkbox"/> City of Temple Terrace	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Hillsborough County School Board Adequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input checked="" type="checkbox"/> N/A Inadequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Impact/Mobility Fees				
Comprehensive Plan:	Comments Received	Findings	Conditions Requested	Additional Information/Comments
Planning Commission <input type="checkbox"/> Meets Locational Criteria <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Locational Criteria Waiver Requested <input type="checkbox"/> Minimum Density Met <input checked="" type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Inconsistent <input checked="" type="checkbox"/> Consistent	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

5.0 IMPLEMENTATION RECOMMENDATIONS

5.1 Compatibility

Staff has not identified any compatibility concerns associated with the request. The proposed intensity is less than what can be considered, and the proposed use is appropriate given the existing office uses to the west of the area. Fletcher Avenue provides separation between the subject site and residential to the south, which is developed to the southwest of the site and not directly south. Residential properties to the north and east are provided with setbacks greater than previously approved under the BPO-R zoning and LDC required buffering and screening will be provided. The church property to the south will be provided LDC required buffering and screening where adjacent to the northernmost building. The northwestern portion will provide a reduced buffer and no screening (PD Variation). Properties to the west are utilized for office uses. Lastly, the project will be residential in appearance and limited to 1-story in height.

5.2 Recommendation

Staff does not object to the PD variation requests allowing a 5-foot wide buffer with no screening along the northwest and western portions of the PD (in lieu of a 10-foot wide buffer with Type A screening). The southernmost church related building is located approximately 48 feet from the common boundary line. The adjacent western property is zoned RSC-6 but contains a County-owned waterway. Property further west is zoned for and developed with an office use. This request was reviewed and approved by the BOCC as part of the original PD in 2019. No intensification in this area is proposed when compared to the original PD that would warrant a different recommendation.

The site is located in a Future Land Use category allowing consideration of the proposed use and is found compatible based upon the proposed intensity and site planning techniques. Therefore, staff recommends approval, subject to proposed conditions.

6.0 PROPOSED CONDITIONS

Requirements for Certification:

1. Prior to site plan certification, the applicant shall revise site plan to show required improvement to lengthen the existing eastbound to northbound left turn lane traffic separator to meet minimum length standards.

Approval - Approval of the request, subject to the conditions listed below, is based on the general site plan submitted September 23, 2021.

1. The project shall be permitted a maximum of 18,000 sf of medical office uses. If more than one building is developed, each building shall contain a maximum of 9,000 square feet. A maximum of two buildings shall be permitted.
2. Notwithstanding building setbacks delineated or noted in the Project Data Table, the following setbacks shall be provided from the PD boundaries:

Minimum Front Yard:	60 feet
Minimum West Side Yard:	100 feet
Minimum East Side Yard:	170 feet
Minimum Rear Yard:	20 feet
3. Maximum building height shall be 35' / 1-story. No additional 2:1 setback from the side and rear property lines shall be required.
4. A 5-foot wide buffer shall be provided along the western and northwestern PD boundaries, where depicted on the site plan. No screening shall be required within this 5-foot wide buffer.
5. A 10-foot wide buffer shall be provided along the northern PD boundary, where depicted on the site plan. Type A screening shall be required within this 10-foot wide buffer.
6. A 20-foot wide buffer shall be provided along the northern PD boundary, where depicted on the site plan. Type B screening shall be required within this 20-foot wide buffer; however, no screening shall be required within the northern buffer occupied by wetlands or within a wetland setback.
7. A 20-foot wide buffer shall be provided along the eastern PD boundary, where depicted on the site plan. Type B screening shall be required within this 20-foot wide buffer; however, no screening shall be required within the eastern buffer occupied by wetlands or within a wetland setback.
8. Buildings shall be developed to be residential in appearance and in general compliance with the elevations submitted as part of the general site plan. At a minimum, each building shall have a pitched roof, windows on all sides and prominent entrance features. Each façade shall have at least 2 horizontal patterns. Patterns shall include, but not be limited to, color changes, texture changes, and/or material changes.
9. Approval of this zoning petition by Hillsborough County does not constitute a guarantee that the Environmental Protection Commission of Hillsborough County (EPC) approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impact to wetlands, and does not grant any implied or vested right to environmental approvals.

10. The construction and location of any proposed wetland impacts are not approved by this correspondence, but shall be reviewed by EPC staff under separate application pursuant to the EPC Wetlands rule detailed in Chapter 1-11, Rules of the EPC, (Chapter 1-11) to determine whether such impacts are necessary to accomplish reasonable use of the subject property.
11. Prior to the issuance of any building or land alteration permits or other development, the approved wetland / other surface water (OSW) line must be incorporated into the site plan. The wetland/ OSW line must appear on all site plans, labeled as "EPC Wetland Line", and the wetland must be labeled as "Wetland Conservation Area" pursuant to the Hillsborough County Land Development Code (LDC).
12. Final design of buildings, stormwater retention areas, and ingress/egresses are subject to change pending formal agency jurisdictional determinations of wetland and other surface water boundaries and approval by the appropriate regulatory agencies.
13. The wetlands exemption by EPC is valid until December 9, 2021. After that date, the applicant must re-notice EPC prior to performing any exempt activities in the wetlands per condition #8 of the EPC approval letter dated December 9, 2016.
14. The developer shall be permitted one (1) connection to Fletcher Ave.
15. The two unutilized driveway aprons shall be removed; and curbing and grass strip restored to meet typical standards.
16. The PD shall be permitted a secondary access along the northern PD boundary to serve the existing church to the north. The location of the secondary access shall be consistent with the easement granting access to the church through the subject PD. This secondary access shall be located within the PD property and be gated. The gate shall be a minimum of 4 feet in height and may consist of chain link, may be a swinging or rolling gate, or other materials as reviewed and approved by Hillsborough County. The gate shall remain closed Monday-Friday, 8am - 5pm, except when in actual use, and except during any of the following activities: church functions and other church uses, deliveries and garbage pickup. A modification to this zoning shall be required if and when this secondary access point is intended to serve a different use and/or provide full access to Moran Road from Fletcher Avenue.
17. Notwithstanding anything herein these conditions or on the PD site plan to the contrary, bicycle and pedestrian access may be permitted anywhere along the PD boundary.
18. If PD 21-0961 is approved, the County Engineer will approve a Design Exception (dated August 19, 2021) which was found approvable by the County Engineer (on September 28, 2021). Approval of this Design Exception will allow conversion of the existing two-way left turn lane east of the project driveway to be converted to a raised divided median on Fletcher Ave. and lengthen the existing eastbound to northbound left turn lane traffic separator as necessary to meet minimum length standards in lieu of the standard TS-6 typical section of the Hillsborough County Transportation County Technical Manual required by Section 6.02.07. of the LDC.
19. If the notes and/or graphics on the site plan are in conflict with specific zoning conditions and/or the LDC regulations, the more restrictive regulation shall apply, unless specifically conditioned otherwise. References to development standards of the LDC in the above stated conditions shall be interpreted as the regulations in effect at the time of preliminary site plan/plat approval.


APPLICATION NUMBER: PD 21-0961

ZHM HEARING DATE: October 18, 2021

BOCC LUM MEETING DATE: December 14, 2021

Case Reviewer: Michelle Heinrich, AICP

Zoning Administrator Sign Off:


J. Brian Grady
Wed Oct 6 2021 14:12:29

SITE, SUBDIVISION AND BUILDING CONSTRUCTION IN ACCORDANCE WITH HILLSBOROUGH COUNTY SITE DEVELOPMENT PLAN & BUILDING REVIEW AND APPROVAL.

Approval of this re-zoning petition by Hillsborough County does not constitute a guarantee that the project will receive approvals/permits necessary for site development as proposed will be issued, nor does it imply that other required permits needed for site development or building construction are being waived or otherwise approved. The project will be required to comply with the Site Development Plan Review approval process in addition to obtain all necessary building permits for on-site structures.

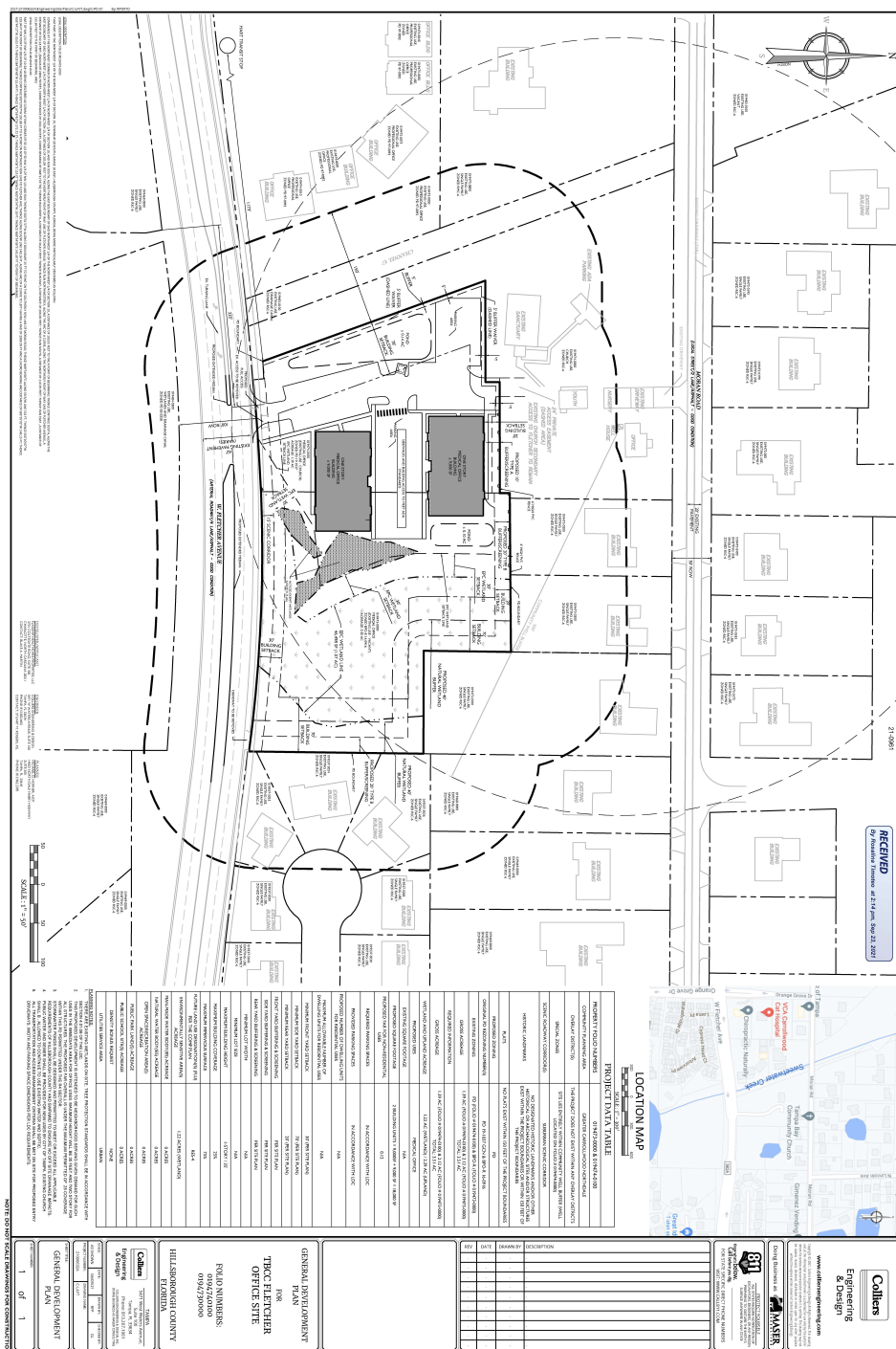
APPLICATION NUMBER: PD 21-0961

ZHM HEARING DATE: October 18, 2021

BOCC LUM MEETING DATE: December 14, 2021

Case Reviewer: Michelle Heinrich, AICP

7.0 ADDITIONAL INFORMATION AND/OR GRAPHICS



APPLICATION NUMBER: PD 21-0961

ZHM HEARING DATE: October 18, 2021

BOCC LUM MEETING DATE: December 14, 2021

Case Reviewer: Michelle Heinrich, AICP

9.0 FULL TRANSPORTATION REPORT (see following pages)

AGENCY REVIEW COMMENT SHEET

TO: Zoning Technician, Development Services Department
REVIEWER: Richard Perez, AICP
PLANNING AREA: GCN/Northwest

DATE: 9/29/2021
AGENCY/DEPT: Transportation
PETITION NO: RZ-PD 21-0961

- ☐ This agency has no comments.
- ☐ This agency has no objection.
- ☒ This agency has no objection, subject to the listed or attached conditions.
- ☐ This agency objects for the reasons set forth below.

REPORT SUMMARY AND CONCLUSIONS

- The proposed planned development will generate a maximum potential 661 daily trips, 48 AM peak hour trips, and 65 PM peak hour trips.
- Fletcher Ave. is a substandard arterial roadway. The applicant requested a Design Exception from the typical section to improve the substandard roadway, which was found approvable by the County Engineer. If the rezoning is approved, the County Engineer will approve the Design Exception for improvements to Fletcher Ave., which will include improvements to the existing eastbound left turn lane and median extensions.
- The project is limited to a single access connection to Fletcher Ave., and shall construct a vehicular cross access serving the existing church to the north, which has retained a private access easement through the subject PD, that will be permitted to serve church traffic; however, staff has proposed a condition requiring such gate be closed when not in immediate use by the church.
- The developer will be required to construct a 5-foot wide sidewalk within the property, connecting the entrance to the proposed use(s) to the existing multi-purpose pathway along Fletcher Ave. Additionally, the developer shall provide an ungated sidewalk stubout to its northern property boundary.
- The developer shall extend the existing eastbound to northbound left turn lane traffic separator as necessary to meet minimum standards. No right turn lane into the subject property was warranted.
- Transportation Review Section staff has no objection to this request, subject to the proposed conditions herein.

CONDITIONS OF APPROVAL

- The developer shall be permitted one (1) connection to Fletcher Ave.

- The two unutilized driveway aprons shall be removed; and curbing and grass strip restored to meet typical standards.
- The PD shall be permitted a secondary access along the northern PD boundary to serve the existing church to the north. The location of the secondary access shall be consistent with the easement granting access to the church through the subject PD. This secondary access shall be located within the PD property and be gated. The gate shall remain closed except when in immediate use by the existing northern church for services and related functions. A modification to this zoning shall be required if and when this secondary access point is intended to serve a different use and/or provide full access to Moran Road from Fletcher Avenue.
- Notwithstanding anything herein these conditions or on the PD site plan to the contrary, bicycle and pedestrian access may be permitted anywhere along the PD boundary.
- If PD 21-0961 is approved, the County Engineer will approve a Design Exception (dated August 19, 2021) which was found approvable by the County Engineer (on September 28, 2021). Approval of this Design Exception will allow conversion of the existing two-way left turn lane east of the project driveway to be converted to a raised divided median on Fletcher Ave. and lengthen the existing eastbound to northbound left turn lane traffic separator as necessary to meet minimum length standards in lieu of the standard TS-6 typical section of the Hillsborough County Transportation County Technical Manual required by Section 6.02.07. of the LDC.

OTHER CONDITIONS:

- Prior to site plan certification, the applicant shall revise site plan to show required improvement to lengthen the existing eastbound to northbound left turn lane traffic separator to meet minimum length standards.

PROJECT SUMMARY AND ANALYSIS

The applicant is requesting to rezone two parcels totaling +/- 3.51 acres from Business Professional Office Restricted (BPO-R 16-0916) and Planned Development (PD 19-1037) to PD to construct a maximum of 18,000 sq. ft. of medical office uses. The site is located on Fletcher Ave., approximately +/- 1,000 feet east of Orange Grove Drive. The Future Land Use designation of the site is R-4.

Trip Generation Analysis

The applicant submitted a trip generation and site access analysis as required by the Development Review Procedures Manual (DRPM). Staff has prepared a comparison of the trips potentially generated under the existing and proposed zoning designations, utilizing a generalized worst-case scenario. Data presented below is based on the Institute of Transportation Engineer's Trip Generation Manual, 10th Edition.

Approved Zoning:

Zoning, Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
BPO-R: 6, 000 s.f. Medical Office (ITE Code 720)	217	14	21
PD, 12,000 s.f. Medical Office (ITE Code 720)	444	34	44
Total Trips	661	48	65

Proposed Zoning:

Zoning, Lane Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
PD: 18,000 sf, Medical-Dental Office (ITE LUC 720)	661	48	65

Trip Generation Difference:

	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
Difference	(+) 0	(+) 0	(+) 0

The proposed rezoning does not result in an increase of trips potentially generated by development of the subject site.

TRANSPORTATION INFRASTRUCTURE SERVING THE SITE

Fletcher Ave. is a 4-lane, divided, urban arterial roadway characterized by +/- 12-foot wide travel lanes. The roadway lies within a +/- 110-foot wide right-of-way along the project's frontage. There is a +/- 7-foot wide multi-purpose pathway along the project's Fletcher Ave. frontage, and no bike lanes. There is a two-way left turn lane along the project frontage that does not serve the project access connection and does not meet the standard of the Transportation Technical Manual typical section for this roadway.

Pursuant to the Hillsborough County Transportation Technical Manual, an urban arterial roadway shall meet the typical section TS-6 standard. TS-6 standard includes 11-foot-wide lanes, 18-foot raised medians, 7-foot buffered bike lanes, and 5-foot wide sidewalks within a minimum of 110 feet of right-of-way.

The applicant is requesting a design exception that is discussed in greater detail below.

Fletcher Avenue is not included on the Hillsborough County Corridor Preservation Plan.

SITE ACCESS

The medical office uses will be accessed via the driveway on Fletcher Ave. A secondary access is provided along the northern property boundary in the location of the private access easement retained by the existing church through the subject PD (as further described above). The church has a Moran Rd. address and access to that roadway, and the intent of the secondary access within the subject PD is to maintain their existing access to Fletcher Ave. (via a retained private access easement). This easement does not permit access to the church or Moran Rd. via the secondary access.

Staff has proposed a condition that requires a gate within the subject PD to remain closed when not in immediate use, thereby eliminating the possibility of cut through traffic between the medical office uses and Moran Rd. While staff would not be opposed to such access, future opening of this connection to allow bilateral access (or future development on the church site) would trigger an evaluation of the improvements which may be required to Moran Rd., which is a substandard local roadway. Additionally, while unpaved, the church property does allow vehicular travel through the site. Further site improvements (e.g. paved

driveways and drive aisles) on the church property would be required to formalize access/cross access to and through the site.

Based on the applicant's site access analysis, no westbound to northbound right turn lane is needed to serve the site. The existing eastbound to northbound left turn lane does not meet minimum length standards, which requires a length of 255 feet. Given the existing turn lane is substandard, the Developer will be required to be extend the traffic separator to the proposed driveway to meet minimum requirements.

There are two unutilized existing driveway connections (aprons) to the subject site that will be removed at the time of site construction. An existing two-way left turn lane (TWLTL) to the east of the project driveway does not serve the access connection to the subject property or to any other property along this segment of Fletcher Ave. This current condition is substandard as the applicable County Transportation Technical Manual typical section for a 4-lane, divided, urban arterial calls for raised medians where turn lanes are not applicable. As part of this project and the applicant's proposed design exception, the existing two-way left turn lane will be converted to a raised divided median to match the cross section to the east and west of the project site. There have been two eastbound side swipe crashes over the past eight years that may have been caused by the TWLTL. The construction of a raised median will reduce the potential for this type of crash.

REQUESTED DESIGN EXCEPTION: FLETCHER AVE SUBSTANDARD ROADWAY

As Fletcher Ave. is a substandard arterial roadway, the applicant's Engineer of Record (EOR) submitted a Design Exception request for Fletcher Ave. (August 19, 2021) to determine the specific improvements that would be required by the County Engineer. Based on factors presented in the Design Exception request, the County Engineer found the Design Exception request approvable (on September 28, 2021). To mitigate the deviations from the Hillsborough County Transportation Technical Manual (TTM) TS-6 Typical Section (for 4-Lane, divided, urban arterial roadways) the developer has proposed to convert approximately 385 feet of an existing two-way left turn lane to a raised divided median and extend the existing eastbound to northbound left turn lane traffic separator as necessary to meet minimum standards on Fletcher Ave. as shown on the proposed site plan.

If this zoning is approved, the County Engineer will approve the Design Exception request.

LEVEL OF SERVICE (LOS)

Level of Service (LOS) information is reported below.

FDOT Generalized Level of Service				
Roadway	From	To	LOS Standard	Peak Hr Directional LOS
FLETCHER AVE	DALE MABRY HWY	ARMENIA AVE	E	D

Source: [2020 Hillsborough County Level of Service \(LOS\) Report](#)

3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)

Adjoining Roadways (check if applicable)			
Road Name	Classification	Current Conditions	Select Future Improvements
Fletcher Ave.	County Arterial - Urban	4 Lanes <input checked="" type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input checked="" type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other

Project Trip Generation <input type="checkbox"/> Not applicable for this request			
	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	661	48	65
Proposed	661	48	65
Difference (+/-)	0	0	0

*Trips reported are based on net new external trips unless otherwise noted.

Connectivity and Cross Access <input type="checkbox"/> Not applicable for this request				
Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North		None	Vehicular & Pedestrian	Meets LDC
South	X	None	None	Meets LDC
East		None	None	Meets LDC
West		None	None	Meets LDC
Notes: Vehicular cross access to the north is restricted to the use from the adjacent Church and to remain gated when not in use.				

Design Exception/Administrative Variance <input type="checkbox"/> Not applicable for this request		
Road Name/Nature of Request	Type	Finding
Fletcher Ave./Substandard Roadway	Design Exception Requested	Approvable
	Choose an item.	Choose an item.
Notes: Restoring raised median to standard to eliminate safety concerns and extending turn lane traffic separator.		

4.0 Additional Site Information & Agency Comments Summary

Transportation	Objections	Conditions Requested	Additional Information/Comments
<input checked="" type="checkbox"/> Design Exception/Adm. Variance Requested <input type="checkbox"/> Off-Site Improvements Provided	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	See staff report.

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Hillsborough County City-County Planning Commission

Unincorporated Hillsborough County Rezoning	
Hearing Date: October 18, 2021 Report Prepared: October 6, 2021	Petition: PD 21-0961 <i>North of West Fletcher Avenue and east of Orange Grove Drive</i>
Summary Data:	
Comprehensive Plan Finding:	CONSISTENT
Adopted Future Land Use:	Residential-4 (4 du/ga; 0.25 FAR)
Service Area:	Urban
Community Plan:	Greater Carrollwood Northdale
Requested Modification:	From Business Professional Office (BPO) and Planned Development (PD) to a Planned Development (PD) to allow for two 9,000 sq. ft. medical office buildings.
Parcel Size (Approx.):	3.51 +/- acres (152,896 sq. ft.)
Street Functional Classification:	West Fletcher Avenue – County Arterial Orange Grove Drive – Collector Dale Mabry Highway – State Principal Arterial
Locational Criteria:	Does not meet; waiver submitted
Evacuation Zone:	None



Plan Hillsborough
planhillsborough.org
planner@plancom.org
 813 – 272 – 5940
 601 E Kennedy Blvd
 18th floor
 Tampa, FL, 33602

Context

- The subject property is located on approximately 3.51 acres east of North Dale Mabry Highway and north of West Fletcher Avenue. The site is located in the Urban Service Area and is within the limits of the Greater Carrollwood-Northdale Community Plan.
- The subject property's Future Land Use designation is Residential-4 (RES-4). RES-4 surrounds the property on all sides. The Office Commercial-20 (OC-20) Future Land Use category is located further west of the site. The intent of the RES-4 Future Land Use category is to designate areas that are suitable for low density residential development. In addition, suburban scale neighborhood commercial, office, multi-purpose and mixed use projects serving the area may be permitted subject to the Goals, Objectives, and Policies of the Land Use Element and applicable development regulations and conforming to established locational criteria for specific land use.
- The subject property is comprised of vacant commercial lots and is zoned Business Professional Office (BPO) and Planned Development (PD). Single-family residential dwellings are located to the north, west and south west with Residential - Single-Family Conventional-6 (RSC-6) zoning. Public institutional lots are located to the northeast and south Planned Development (PD) zoning. Vacant commercial and light commercial are located to the west with Planned Development (PD) zoning. Further northwest is single-family residential and Residential - Multi-Family Conventional-6 (RMC-6) zoning.
- The applicant requests to rezone the subject site from Business Professional Office (BPO) and Planned Development (PD) to a Planned Development (PD) to allow for two 9,000 sq. ft. medical office buildings.

Compliance with Comprehensive Plan:

The following Goals, Objectives and Policies apply to this rezoning request and are used as a basis for a consistency finding.

Future Land Use Element

Urban Service Area (USA)

Objective 1: *Hillsborough County shall pro-actively direct new growth into the urban service area with the goal that at least 80% of all population growth will occur within the USA during the planning horizon of this Plan. Within the Urban Service Area, Hillsborough County will not impede agriculture. Building permit activity and other similar measures will be used to evaluate this objective.*

Policy 1.4: *Compatibility is defined as the characteristics of different uses or activities or design which allow them to be located near or adjacent to each other in harmony. Some elements affecting compatibility include the following: height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor and architecture. Compatibility does not mean "the same as." Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development.*

Relationship to Land Development Regulations

Policy 9.2: *Developments must meet or exceed the requirements of all land development regulations as established and adopted by Hillsborough County, the state of Florida and the federal government unless such requirements have been previously waived by those governmental bodies.*

Environmental Considerations

Objective 13: *New development and redevelopment shall not adversely impact environmentally sensitive areas and other significant natural systems as described and required within the Conservation and Aquifer Recharge Element and the Coastal Management Element of the Comprehensive Plan.*

Policy 13.3: Environmentally Sensitive Land Credit

Density and FAR calculations for properties that include wetlands will comply with the following calculations and requirements for determining density/intensity credits.

- *Wetlands are considered to be the following:*
 - *Conservation and preservation areas as defined in the Conservation and Aquifer Recharge Element*
 - *Man-made water bodies as defined (including borrow pits).*
- *If wetlands are less than 25% of the acreage of the site, density and intensity is calculated based on:*
 - *Entire project acreage multiplied by Maximum intensity/density for the Future Land Use Category*
- *If wetlands are 25% or greater of the acreage of the site, density and intensity is calculated based on:*
 - *Upland acreage of the site multiplied by 1.25 = Acreage available to calculate density/intensity based on*
 - *That acreage is then multiplied by the Maximum Intensity/Density of the Future Land Use Category*

Neighborhood/Community Development

Objective 16: Neighborhood Protection *The neighborhood is the functional unit of community development. There is a need to protect existing, neighborhoods and communities and those that will emerge in the future. To preserve, protect, and enhance neighborhoods and communities, all new development must conform to the following policies.*

Policy 16.1: *Established and planned neighborhoods and communities shall be protected by restricting incompatible land uses through mechanisms such as:*

- a. *locational criteria for the placement of non-residential uses as identified in this Plan;*
- b. *limiting commercial development in residential land use categories to neighborhood scale;*
- c. *requiring buffer areas and screening devices between unlike land uses;*

Policy 16.2: Gradual transitions of intensities between different land uses shall be provided for as new development is proposed and approved, through the use of professional site planning, buffering and screening techniques and control of specific land uses.

Policy 16.3: Development and redevelopment shall be integrated with the adjacent land uses through:

- a. the creation of like uses; or
- b. creation of complementary uses; or
- c. mitigation of adverse impacts; and
- d. transportation/pedestrian connections

Policy 16.5: Development of higher intensity non-residential land uses that are adjacent to established neighborhoods shall be restricted to collectors and arterials and to locations external to established and developing neighborhoods.

Policy 16.10: Any density increase shall be compatible with existing, proposed, or planned surrounding development. Compatibility is defined as the characteristics of different uses or activities or design which allow them to be located near or adjacent to each other in harmony. Some elements affecting compatibility include the following: height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor and architecture. Compatibility does not mean “the same as.” Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development.

Conservation and Aquifer Recharge Element

Wetlands and Floodplain Resources

Objective 4: The County shall continue to apply a comprehensive planning-based approach to the protection of wetland ecosystems assuring no net loss of ecological values provided by the functions performed by wetlands and other surface waters authorized for projects in Hillsborough County, consistent with the Uniform Mitigation Assessment Method. The County shall work with the Environmental Protection Commission, the Southwest Florida Water Management District, the Florida Department of Environmental Protection, and the Tampa Bay Estuary Program to achieve a measurable annual increase in ecological values provided by the functions performed by wetlands and other surface waters. It shall be the County's intent to maintain optimum wetland functions as well as acreage.

Policy 4.1: The County shall, through the land use planning and development review processes, and in cooperation with the Environmental Protection Commission, continue to conserve and protect wetlands from detrimental physical and hydrological alteration.

Policy 4.3: The County shall, through the land planning and development review processes, and in cooperation with the Environmental Protection Commission, continue to prohibit unmitigated encroachment into wetlands.

Policy 4.12: Priority shall be given to avoiding the disturbance of wetlands in the County and to encourage their use only for purposes which are compatible with their natural functions and environmental benefits.

Policy 4.13: Development which impacts wetlands may be deemed appropriate only as a last resort; where:

1. reasonable use of the property is otherwise unavailable and/or onsite preservation of a functioning wetland system is deemed unsustainable;
2. the adverse impact is offset by the benefit of the development to the public such that it is reasonable, in the public interest and an acceptable mitigation plan is proposed.

This determination shall be made by Hillsborough County and/or the Environmental Protection Commission of Hillsborough County.

Policy 4.14: The development review process, part of a comprehensive program for the protection of wetlands, shall make every effort to maintain natural undisturbed wetlands by way of a sequential review process that first evaluates all means of avoiding wetland impacts in regard to a particular project; if necessary, secondly, evaluates and requires measures to minimize wetland impacts; and if necessary, thirdly, evaluates and requires the mitigation of wetland impacts.

Livable Communities Element: Greater Carrollwood-Northdale Community Plan

Community Growth/Revitalization

Encourage development and redevelopment opportunities that reflect the citizens' vision for an aesthetically pleasing, well designed, transit supported, mixed use activity centers and residential neighborhoods which promote a vibrant and economically sustainable community.

Goal 1: Establish sustainable community activity centers that allow the citizens to live, work and play all within walking distance.

Strategies:

- Discourage new development of strip commercial in our community, mixed use development and redevelopment shall be focused at identified community activity center or intersections complying with the locational criteria.
- Priority shall be given to the following locations as community activity centers identified for revitalization and redevelopment using Transit Oriented Development (TOD) techniques: near the intersections of North Dale Mabry Highway and Handy Road, North Dale Mabry Highway, Florida Avenue and Fletcher Avenue/ Bearss Avenue, and at the intersections of Lynn Turner Road and Erlich Road, and Gunn Highway and Nixon Road. (see concept map)

Staff Analysis of Goals, Objectives and Policies:

The subject property is located on approximately 3.51 acres east of North Dale Mabry Highway and north of West Fletcher Avenue. The site is located in the Urban Service Area and is within the limits of the Greater Carrollwood-Northdale Community Plan. The applicant requests to rezone from Business Professional Office (BPO) and Planned Development (PD) to a Planned Development (PD) to allow for two 9,000 sq. ft. medical office buildings. The property was previously approved for two medical office buildings for 18,000 sq. ft. on two separate parcels (RZ 19-1037 and 16-0916). The Tampa Bay Community Church property to the east will remain as is and the applicant has agreed to honor the church gating condition as approved under PD 19-1037. The proposed development will have access to Fletcher Avenue and will continue to allow access north

to the existing church from Moran Road. No medical office traffic is permitted to access Moran Road.

The subject property is designated Residential-4 (RES-4) on the Future Land Use Map. The intent of the RES-4 Future Land Use category is to designate areas that are suitable for low density residential development. In addition, suburban scale neighborhood commercial, office, multi-purpose and mixed use projects serving the area may be permitted subject to the Goals, Objectives, and Policies of the Land Use Element and applicable development regulations and conforming to established locational criteria for specific land use.

Per Policy 13.3, the Environmentally Sensitive Land Credit (FLUE), if wetlands are 25% or greater of the acreage of the site, density and intensity is calculated based on the upland acreage of the site multiplied by 1.25. That resulting acreage is what is available to calculate density/intensity based on the maximum Intensity/Density of the Future Land Use Category. For this site, 2.29 acres is upland, multiplied by 1.25 equals 2.86 acres to calculate density/intensity based on the Future Land Use Category ($2.29 \times 1.25 = 2.86$ acres). For this site, up to 31,145 sq. ft. can be permitted. The applicant is asking for 18,000 sq. ft., well below the maximum permitted.

At least 75% of the site is not within 900 feet of a qualifying intersection and does not meet Commercial Locational Criteria as outlined in Policy 22.2 (FLUE). Per policy 22.6, office development may be exempt from locational criteria if it is proposed as a buffer between existing commercial and residential uses or adjacent to existing commercial uses other than offices. The proposed medical office development is adjacent to existing office uses on the west side and does not meet the exemption. A Commercial Locational Criteria waiver is required per Policy 22.8 (FLUE). The subject site does not meet Commercial Locational Criteria. The applicant has submitted a waiver request.

According to the waiver, the proposed development of professional medical buildings are similar to current approvals and no retail or commercial uses are proposed. No entitlements beyond the 18,000 sq. ft. previously approved are requested, with no increase in FAR. The waiver also states that the proposed development will continue to incorporate only one-story medical office buildings with architectural standards and pitched roof elevations. In addition, the waiver states that the number of buildings will be reduced from 3 to 2 and there will be no buildings proposed on the eastern parcel due to existing wetlands. Based on the waiver, curb cuts to Fletcher Avenue will be reduced and only one driveway with a left turn lane extension is proposed. Lastly, the waiver states the proposed rezoning is buffered from residential properties with no drive aisles, access doorways, dumpsters or entry ways and only internal access. This results in no additional traffic than previously approved.

The subject property is comprised of vacant commercial lots and single-family properties are located to the north, west and southwest. Public institutional lots are located to the northeast and south. Vacant commercial and light commercial are located to the west. Policy 16.1 of the Future Land Use Element (FLUE) requires the use of locational criteria for placement of non-residential uses. Policy 16.3 requires that development and redevelopment be integrated with adjacent land uses through creation of complementary uses. Policy 16.10 requires that any density increase be compatible with existing, proposed or planned development.

Compatibility does not mean “the same as.” It refers to the sensitivity of development proposals in maintaining the character of existing development. The previously approved office building plan for the eastern portion of the site is no longer proposed as part of this application. The applicant proposes a 10-foot buffer with type A screening on the north, a 20 foot buffer with type B screening on the northwest and will preserve the existing natural buffer area and wetlands on the eastern portion of the site. The requested medical office use is consistent with other office uses on West Fletcher Avenue. Due to the proposed conditions, Planning Commission staff recommends that the Board approve and grant the waiver for Commercial Locational Criteria.

The subject site is located within the limits of the Greater Carrollwood Northdale Community Plan. The Community Plan discourages new developments from being strip commercial and requires that mixed use development and redevelopment to be at identified community activity centers or intersections complying with the locational criteria. The proposed development is not a mixed use or redevelopment project. The proposed development will not be strip commercial and is just under ½ mile east from the designated West Fletcher Avenue and Dale Mabry Highway activity center. The proposed site meets the intent of the Greater Carrollwood Northdale Community Plan.

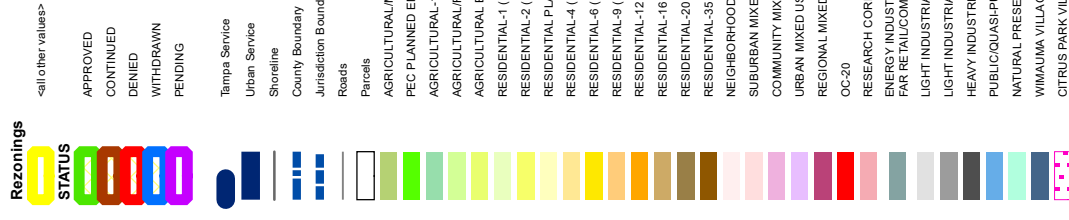
The EPC Wetlands Division has reviewed the proposed rezoning. In the site plan’s current configuration, a resubmittal is not necessary. If the zoning proposal changes and/or the site plans are altered, EPC staff will need to review the zoning again. This project as submitted is conceptually justified to move forward through the zoning review process as long as the request include the EPC’s conditions of approval.

Overall, the proposed Planned Development is consistent with the Goals, Objectives, and Policies of the Future of Hillsborough Comprehensive Plan for Unincorporated Hillsborough County, as it is compatible with the existing development pattern.

Recommendation

Based upon the above considerations, the Planning Commission staff finds the proposed Major Modification **CONSISTENT** with the *Future of Hillsborough Comprehensive Plan for Unincorporated Hillsborough County*, subject to the conditions proposed by the Development Services Department.

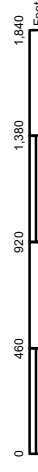
**HILLSBOROUGH COUNTY
FUTURE LAND USE
RZ PD 21-0961**



DATA SOURCES: Reverting boundaries from The Planning Commission and are not official. Parcel lines and data from Hillsborough County Property Appraiser.

REPRODUCTION: This sheet may not be reproduced in part or full without the express written permission of the Hillsborough County Planning Commission.

ACCURACY: It is intended that the County map comply with U.S. national map accuracy standards. The County map is not intended to be used for navigation purposes only. For the most current data and information, see the appropriate airport.



Map Printed from Rezoning System: 6/23/2021

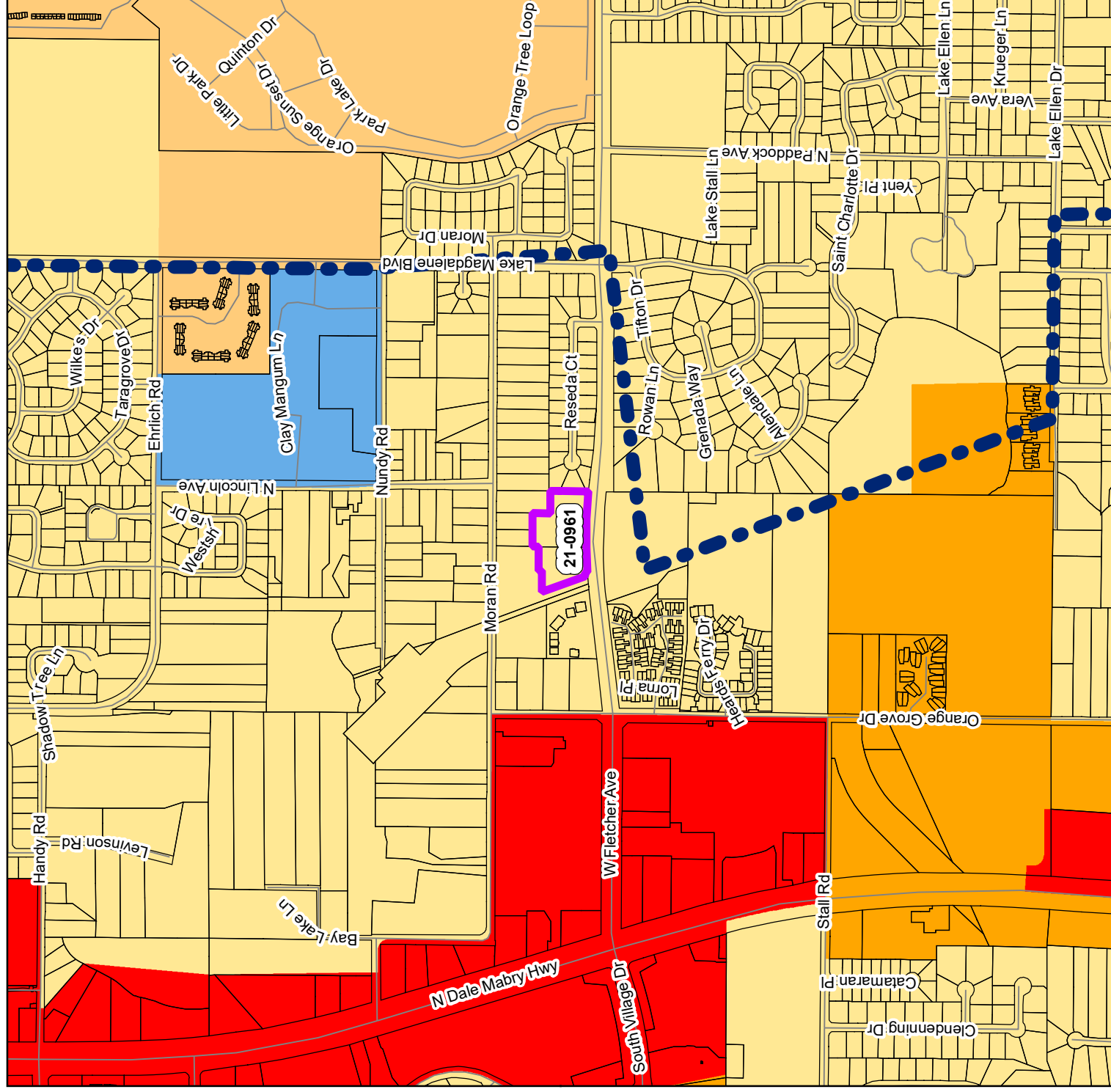
Author: Beverly E. Daniels

Author: Beverly F. Daniels
File: G:\Re zoningSystem\MapProjects\HC\Greg hRe zoning - Copy.mxd



**Hillsborough County
City-County
Planning Commission**

433



Rezoning Application: 21-0962
Zoning Hearing Master Date: October 18, 2021
BOCC Land Use Meeting Date: December 14, 2021

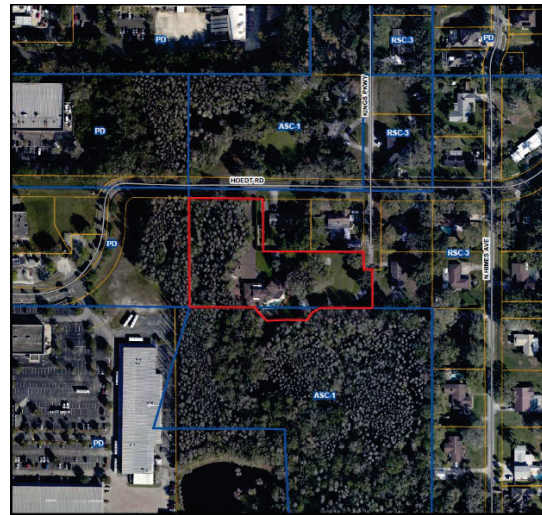


**Hillsborough
County Florida**

Development Services Department

1.0 APPLICATION SUMMARY

Applicant: Stephen J. Dibbs
FLU Category: Res 4
Service Area: Urban
Site Acreage: 2.67 Acres
Community Plan Area: Greater Carrollwood Northdale
Overlay: None
Request: Rezone from RSC-3 & ASC-1 & to PD



Request Summary:

The applicant seeks to rezone the subject parcel with a single family home with 11,024 total square feet of area to a Planned Development to allow for a Professional Residential Facility Type C to provide lodging and on site treatments for a maximum of 20 place residents.

Zoning:

Uses	Current Zoning RSC-3	Proposed PD Zoning
	Single Family Residential	1 Professional Residential Facility, 20 Placed Residents
Mathematical Maximum Entitlements*	7 Residential lots	1 Professional Residential Facility, 20 Placed residents

*Mathematical maximum entitlements may be reduced due to roads, stormwater and other improvements.

Development Standards:

	Current RSC-3 Zoning	Proposed PD Zoning
Density / Intensity	3 dwelling units per acre	1 facility per 2.67 Acres
Lot Size / Lot Width	14,520sf / 75'	2.67 Acres/ NA
Setbacks/Buffering and Screening	25' Front 7.5 sides/none 25' rear/none	25' front * 7.5' sides/ * 20' rear/*
Height	35'	35'

* Setbacks for existing single-family home will remain in compliance for RSC-3 Standards

APPLICATION NUMBER: PD 21-0962

ZHM HEARING DATE: October 18, 2021

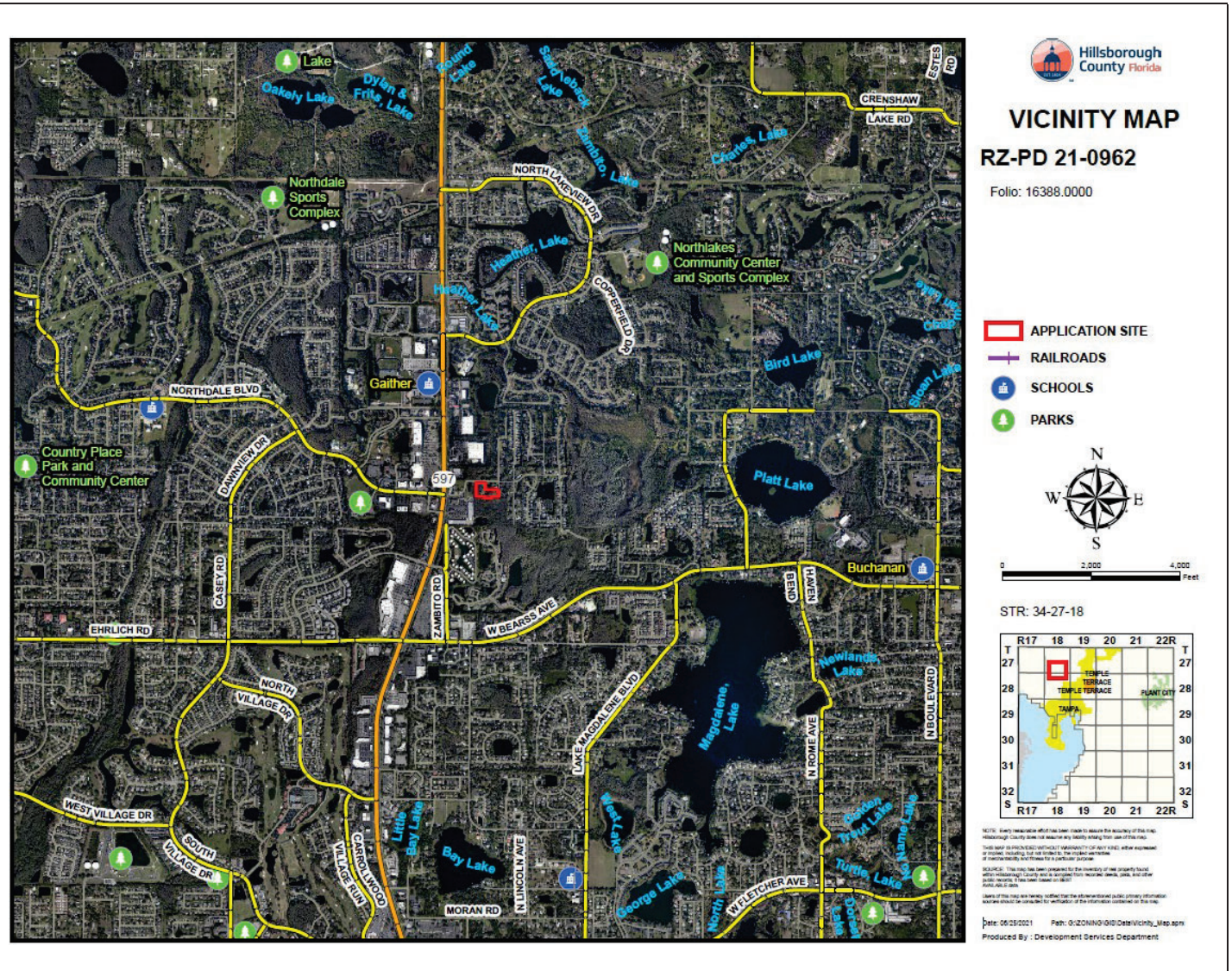
BOCC LUM MEETING DATE: December 14, 2021

Case Reviewer: Steve Beachy, AICP

• Additional Information:	
• PD Variations	• None
• Waiver(s) to the Land Development Code	• None
Planning Commission Recommendation	Consistent
Development Services Department Recommendation	Approvable Subject to Conditions

2.0 LAND USE MAP SET AND SUMMARY DATA

2.1 Vicinity Map



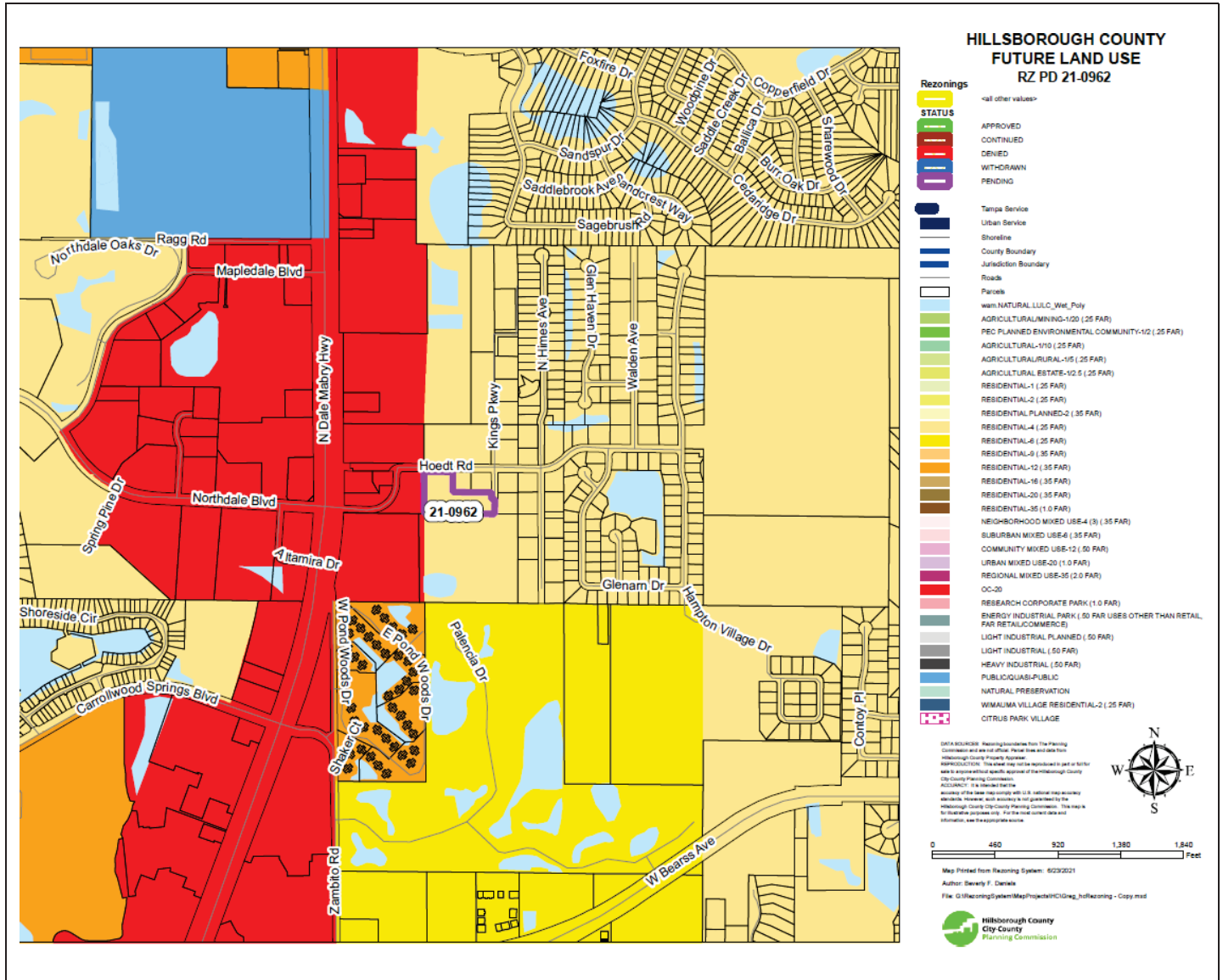
Context of Surrounding Area:

The subject parcel is located less than a ¼ mile east of Dale Mabry Highway and less than ¾ miles north of Bearss Avenue. The area to the east of the subject site is exclusively residentially developed with single family homes situated on lots that generally consist of ¼ acre in area and larger. The area to the west of the subject site is primarily commercial general uses that take access off of Dale Mabry Highway.

The subject site is bounded to the south and west by wetlands.

2.0 LAND USE MAP SET AND SUMMARY DATA

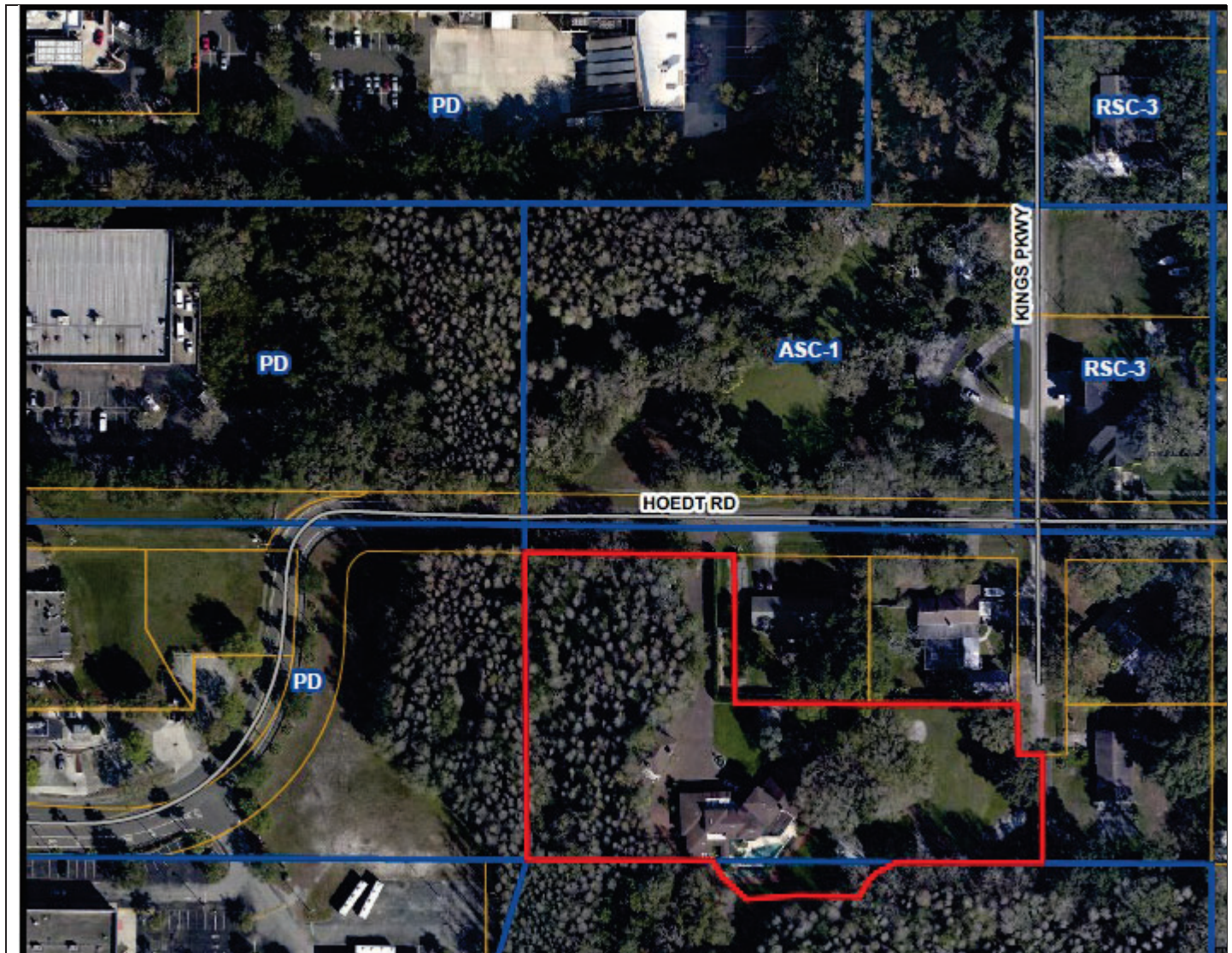
2.2 Future Land Use Map



Subject Site Future Land Use Category:	Residential - 4
Maximum Density/F.A.R (Floor Area Ratio):	4unit per acre / .25 FAR
Typical Uses:	Low density residential, suburban scale neighborhood commercial office, multi-purpose and mixed-use projects.

2.0 LAND USE MAP SET AND SUMMARY DATA

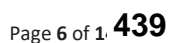
2.3 Immediate Area Map



Adjacent Zonings and Uses

Location:	Zoning:	Maximum Density/F.A.R. Permitted by Zoning District:	Allowable Use:	Existing Use:
North	ASC-1	1 du per acre	Agricultural, Residential	Single Family Home
	RSC-3	3 du per acre	Residential	Single Family Homes
South	ASC-1	1 du/ 1 acre	Agricultural, Residential	Vacant Lowlands
West	PD 80-0196	0.08 FAR	Commercial	Vacant
East	RSC-3	3 units / acre	Residential	SF Homes

2.4 Proposed Site Plan (partial provided below for size and orientation purposes. See Section 8.0 for full site plan)



3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)

Adjoining Roadways (check if applicable)			
Road Name	Classification	Current Conditions	Select Future Improvements
Hoedt Rd.	County Local – Urban and Rural	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input checked="" type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
	Choose an item.	Choose an item. Lanes <input type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
	Choose an item.	Choose an item. Lanes <input type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
	Choose an item.	Choose an item. Lanes <input type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other

Project Trip Generation <input type="checkbox"/> Not applicable for this request			
	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	66	5	7
Proposed	52	4	5
Difference (+/-)	(-) 14	(-) 1	(-) 2

*Trips reported are based on net new external trips unless otherwise noted.

Connectivity and Cross Access <input type="checkbox"/> Not applicable for this request				
Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North	X	Vehicular & Pedestrian	None	Meets LDC
South		None	None	Meets LDC
East		None	None	Meets LDC
West		None	None	Meets LDC
Notes:				

Design Exception/Administrative Variance <input checked="" type="checkbox"/> Not applicable for this request		
Road Name/Nature of Request	Type	Finding
	Choose an item.	Choose an item.
	Choose an item.	Choose an item.
Notes: By policy of the County Engineer, projects generating fewer than 10 peak hour trips in total are generally exempt from the requirement to improve the roadway to County standards provided the roadway being accessed meets minimum life safety standards (i.e. 15 feet of pavement width within a 20-foot wide clear area). The project generates 5 peak hour trips in the highest generating peak hour (i.e. the p.m. peak hour). As such, no substandard road improvements are required to Hoedt Rd. and no Design Exception or Section 6.04.02.B. Administrative		

Variance was necessary.

4.0 Additional Site Information & Agency Comments Summary

Transportation	Objections	Conditions Requested	Additional Information/Comments
<input type="checkbox"/> Design Exception/Adm. Variance Requested <input type="checkbox"/> Off-Site Improvements Provided	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	

4.0 ADDITIONAL SITE INFORMATION & AGENCY COMMENTS SUMMARY

INFORMATION/REVIEWING AGENCY								
Environmental:			Comments Received	Objections	Conditions Requested	Additional Information/Comments		
Environmental Protection Commission			<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Wetlands Line Validity Expired		
Natural Resources			<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
Conservation & Environ. Lands Mgmt.			<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
Check if Applicable: <input checked="" type="checkbox"/> Wetlands/Other Surface Waters <input type="checkbox"/> Use of Environmentally Sensitive Land Credit <input checked="" type="checkbox"/> Wellhead Protection Area <input type="checkbox"/> Surface Water Resource Protection Area			<input type="checkbox"/> Potable Water Wellfield Protection Area <input checked="" type="checkbox"/> Significant Wildlife Habitat <input type="checkbox"/> Coastal High Hazard Area <input type="checkbox"/> Urban/Suburban/Rural Scenic Corridor <input type="checkbox"/> Adjacent to ELAPP property <input type="checkbox"/> Other _____					
Public Facilities:			Comments Received	Objections	Conditions Requested	Additional Information/Comments		
Transportation <input type="checkbox"/> Design Exc./Adm. Variance Requested <input type="checkbox"/> Off-site Improvements Provided			<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	See Staff Report		
Service Area/ Water & Wastewater <input checked="" type="checkbox"/> Urban <input type="checkbox"/> City of Tampa <input type="checkbox"/> Rural <input type="checkbox"/> City of Temple Terrace			<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
Hillsborough County School Board Adequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input checked="" type="checkbox"/> N/A Inadequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input checked="" type="checkbox"/> N/A			<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
Impact/Mobility Fees Assisted Living 20 beds 7,593 s.f. Less (per bed Mobility) Prior Use Estimated (per 1,000 s.f. Fire) Credit Balance Due								

Mobility $\$1,002 \times 20 = \$20,040$ - $\$8,440$ = $\$11,600$

Fire $\$95 \times 7.593 = \721.33 - $\$335$ = $\$386.33$

Urban Mobility, Northwest Fire - ALF 20 beds, within existing 7,593 s.f living area single family (prior use credit)

Additional Notes: The parcel located south of the subject parcel is owned by the applicant and has a boardwalk that appears to be accessible from the existing home. This facility is not a part of the subject application.

Comprehensive Plan:	Comments Received	Findings	Conditions Requested	Additional Information/Comments
Planning Commission <input type="checkbox"/> Meets Locational Criteria <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Locational Criteria Waiver Requested <input type="checkbox"/> Minimum Density Met <input checked="" type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Inconsistent <input checked="" type="checkbox"/> Consistent	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

5.0 IMPLEMENTATION RECOMMENDATIONS

5.1 Compatibility

The commercially developed parcels to the west of the subject site are separated from the residential neighborhoods to the east by a wetland area that is partially located on the subject parcel. If approved, the reuse of the subject residence as a professional residential facility will become a land use transition parcel in addition to comprising physical transition between the residential neighborhood to the east and the commercial plaza to the west.

Given that a Professional Residential Facility has a residential component and that the subject parcel is on the western boundary of the residential neighborhood the use is appropriate as a transitional use between commercial and residential land uses.

Type C Professional Residential Facilities per the LDC are not required to maintain a residential appearance, however the applicant has agreed to maintain the residential appearance of the facility similar to its current appearance as required in the proposed conditions of approval.

In order to lessen the appearance of a commercial use at this location a condition has been included that limits the signage for the facility to the existing address at a residential scale. The sign limitation along with the parcel configuration which provides for a large wetland area with a long access drive along Hoedt Road and large structure setback will help to minimize being able to distinguish the proposed facility from a standard single-family home.

Finally, the applicant has provided the documentation of finding no other Professional Residential Facility or Community Residential Homes Type B or C within 1,200 feet of the proposed facility.

5.2 Recommendation


Given the considerations mentioned above, staff recommendation is for support of the application.

6.0 PROPOSED CONDITIONS

Approval - Approval of the request, subject to the conditions listed below, is based on the general site plan submitted August 18, 2021.

1. Development shall be limited to a Professional Residential Facility, Recovery Home Type C, with a maximum of 20 placed residents in need of a structured environment. The facility shall provide board, lodging, supervision, medication, counseling or other diagnostic or therapeutic treatment services to the residents. The medical and treatment services shall be provided on the premises.
2. The project shall conform to the submitted site plan and all other applicable regulations. All required improvements shall be completed prior to the issuance of a Completion of Work certificate for the facility.
3. The facility shall utilize the existing single-family structure on the property for treatment and housing, and shall be required to maintain the appearance of a residential structure similar to its current appearance. The detached garage may be used for storage, parking and administrative purposes.
4. Modification of the structures shall be subject to the requirements of the Land Development Code and RSC-3 Development Standards.
5. Signage for the facility shall be limited to the established address of the parcel or “3408 Hoedt Road” and sized to a residential scale.
6. Buffering and screening shall be provided in accordance with LDC Section 6.06.06.A as shown on the site plan.
7. The facility shall utilize public water and wastewater services.
8. Although Hoedt Rd. is a substandard roadway, the proposed development generates fewer than 10 peak hour trips. Given the road meets minimum life-safety standards, no improvements to Hoedt Rd. will be required. Notwithstanding the above, the developer shall provide sidewalks as shown on the PD site plan and as otherwise required by the LDC.
9. If the notes and/or graphics on the site plan are in conflict with specific zoning conditions and/or the Land Development Code (LDC) regulations, the more restrictive regulation shall apply, unless specifically conditioned otherwise. References to development standards of the LDC in the above stated conditions shall be interpreted as the regulations in effect at the time of preliminary site plan approval.
10. Development of the project shall proceed in accordance with the terms and conditions contained in the Development Order, the General Site Plan, the land use, conditions contained herein, and all applicable rules, regulations, and ordinances of Hillsborough County.

Zoning Administrator Sign Off:

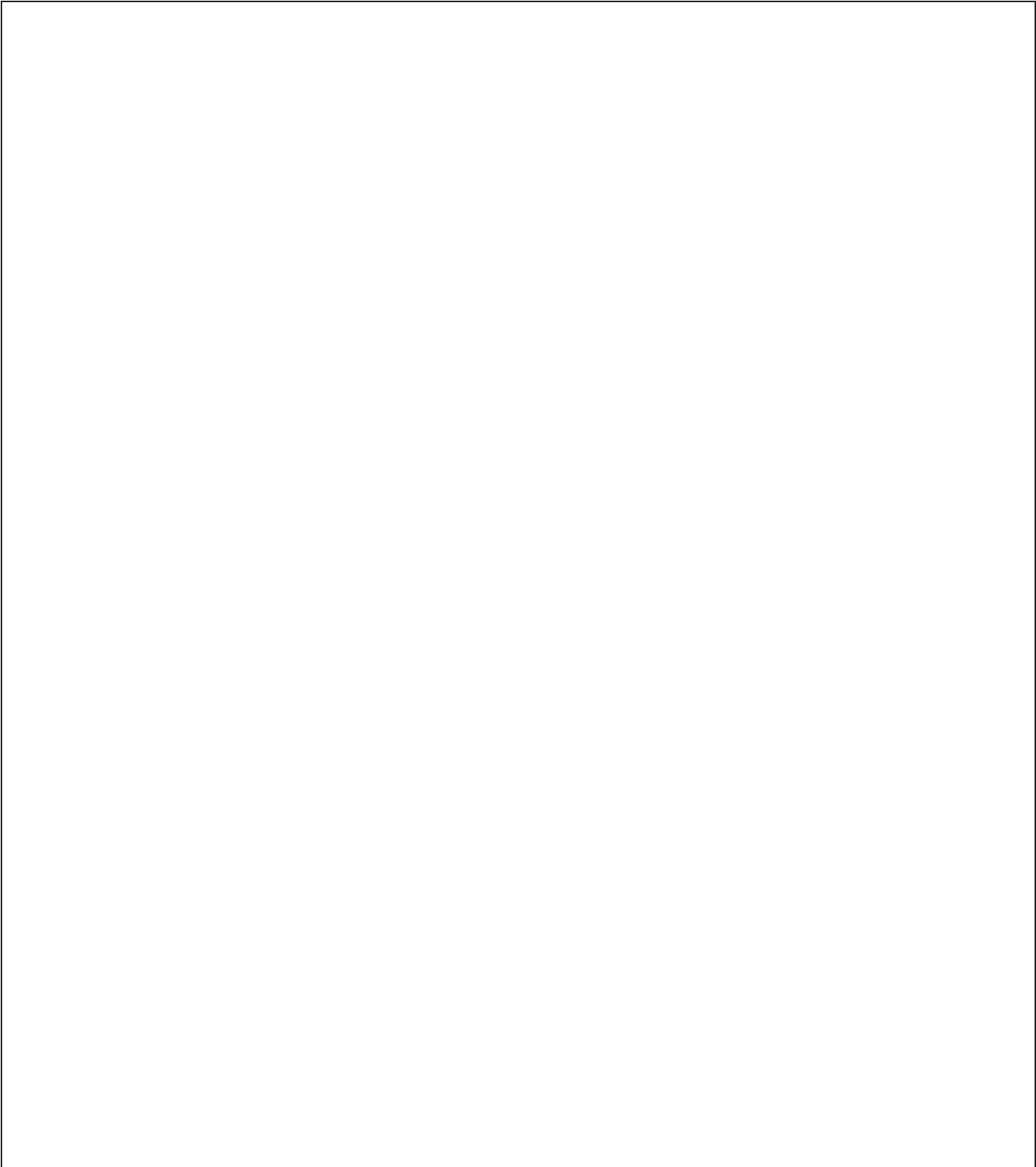

J. Brian Grady
Mon Oct 11 2021 08:12:30

SITE, SUBDIVISION AND BUILDING CONSTRUCTION IN ACCORDANCE WITH HILLSBOROUGH COUNTY SITE DEVELOPMENT PLAN & BUILDING REVIEW AND APPROVAL.

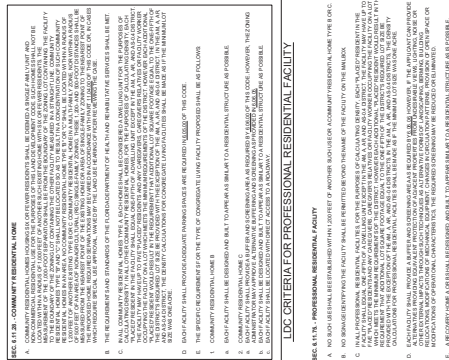
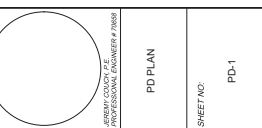
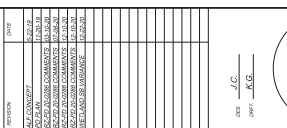
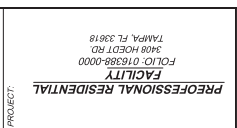
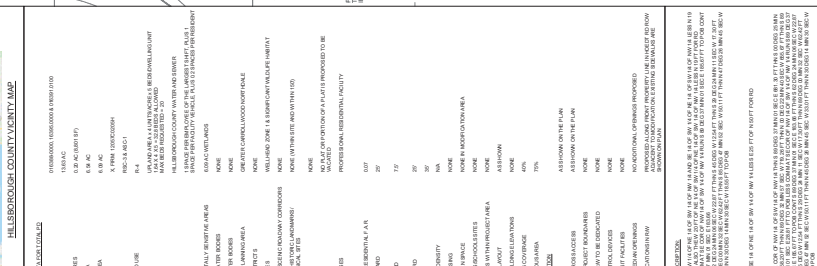
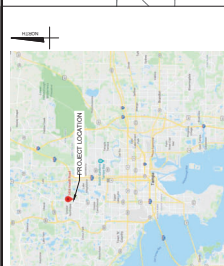
Approval of this re-zoning petition by Hillsborough County does not constitute a guarantee that the project will receive approvals/permits necessary for site development as proposed will be issued, nor does it imply that other required permits needed for site development or building construction are being waived or otherwise approved. The project will be required to comply with the Site Development Plan Review approval process in addition to obtain all necessary building permits for on-site structures.

7.0 ADDITIONAL INFORMATION AND/OR GRAPHICS

8.0 PROPOSED SITE PLAN (FULL)



9.0 FULL TRANSPORTATION REPORT (see following pages)



AGENCY REVIEW COMMENT SHEET

TO: Zoning Technician, Development Services Department

DATE: 10/06/2021

REVIEWER: James Ratliff, AICP, PTP

AGENCY/DEPT: Transportation

PLANNING AREA/SECTOR: TNC/ Northwest

PETITION NO: RZ 21-0962

- ☐ This agency has no comments.
- ☐ This agency has no objection.
- ☒ This agency has no objection, subject to the listed or attached conditions.
- ☐ This agency objects for the reasons set forth below.

CONDITIONS OF APPROVAL

1. Although Hoedt Rd. is a substandard roadway, the proposed development generates fewer than 10 peak hour trips. Given the road meets minimum life-safety standards, no improvements to Hoedt Rd. will be required. Notwithstanding the above, the developer shall provide sidewalks as shown on the PD site plan and as otherwise required by the LDC.

PROJECT SUMMARY AND ANALYSIS

The applicant is requesting to rezone a +/- 2.67 ac. parcel from Agricultural Single-Family Conventional – 1 (ASC-1) and Residential Single-Family Conventional – 3 (RSC-3) to Planned Development. The site is presently occupied by one single-family house. The applicant is proposing to allow the home to be converted into use as a 20-bed maximum Professional Residential Facility (i.e. Recovery Home Type C).

Consistent with the Development Review Procedures Manual (DRPM), the applicant submitted a letter indicating that a trip generation and site access analysis is not required as the project generates fewer than 50 peak hour trips. Transportation Review Section staff has prepared a comparison of the maximum trip generation potential of the site under the existing and proposed zoning designations, utilized a generalized worst-case scenario based on gross site acreage. Data presented below is based on rates obtained from the Institute of Transportation Engineer's Trip Generation Manual, 10th Edition.

Existing Zoning:

Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
ASC-1/RSC-3, 7 single-family detached dwelling units (ITE LUC 210)	66	5	7

Proposed Zoning (Maximum Entitlements):

Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
PD, 20 bed Professional Residential Facility (ITE LUC 254)	52	4	5

Trip Generation Difference:

Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
Difference	(-) 14	(-) 1	(-) 2

TRANSPORTATION INFRASTRUCTURE SERVING THE SITE

Hoedt Rd. is a publicly maintained, 2-lane, undivided, substandard, local roadway characterized by +/- 9-foot to 11-foot wide travel lanes in average condition. Adjacent to the project site, Hoedt Rd. lies within a +/- 60-foot wide right-of-way. There are no bicycle facilities present on Hoedt Rd. in the vicinity of the proposed project. There are +/- 5-foot wide sidewalks along the north side of Hoedt Rd. in the vicinity of the proposed project.

By policy of the County Engineer, projects generating fewer than 10 peak hour trips in total are generally exempt from the requirement to improve the roadway to County standards provided the roadway being accessed meets minimum life safety standards (i.e. 15 feet of pavement width within a 20-foot wide clear area). The project generates 5 peak hour trips in the highest generating peak hour (i.e. the p.m. peak hour). As such, no substandard road improvements are required.

SITE ACCESS AND CONNECTIVITY

The project is proposing one full access (1) connection to Hoedt Rd. The existing residential driveway is being widened to meet the 24-foot wide standard per Transportation Technical Manual Typical Detail – 2 (TD-2), and a 6-foot wide sidewalk is being provided along the west side of the driveway to connect the proposed use with the sidewalk to be constructed along the project's Hoedt Rd. frontage.

No additional opportunities for access exist, due to the wetland system which runs west and south of the existing home.

ROADWAY LEVEL OF SERVICE (LOS)

Hoedt Rd. is not a regulated roadway, and as such was not included in the County's 2020 Level of Service (LOS) Report, as such, no LOS data can be provided. Data for the nearest regulated roadway segment has been provided below.

Roadway	From	To	LOS Standard	Peak Hour Directional LOS
Dale Mabry Hwy.	Ehrlich Rd.	Van Dyke Rd.	D	C

Source: Hillsborough County 2020 Level of Service Report.

3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)

Adjoining Roadways (check if applicable)			
Road Name	Classification	Current Conditions	Select Future Improvements
Hoedt Rd.	County Local – Urban and Rural	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input checked="" type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
	Choose an item.	Choose an item. Lanes <input type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
	Choose an item.	Choose an item. Lanes <input type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
	Choose an item.	Choose an item. Lanes <input type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other

Project Trip Generation <input type="checkbox"/> Not applicable for this request			
	Average Annual Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	66	5	7
Proposed	52	4	5
Difference (+/-)	(-) 14	(-) 1	(-) 2

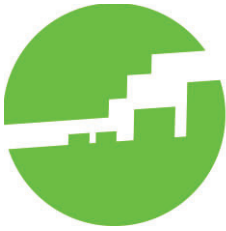
*Trips reported are based on net new external trips unless otherwise noted.

Connectivity and Cross Access <input type="checkbox"/> Not applicable for this request				
Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North	X	Vehicular & Pedestrian	None	Meets LDC
South		None	None	Meets LDC
East		None	None	Meets LDC
West		None	None	Meets LDC
Notes:				

Design Exception/Administrative Variance <input checked="" type="checkbox"/> Not applicable for this request		
Road Name/Nature of Request	Type	Finding
	Choose an item.	Choose an item.
	Choose an item.	Choose an item.
Notes: By policy of the County Engineer, projects generating fewer than 10 peak hour trips in total are generally exempt from the requirement to improve the roadway to County standards provided the roadway being accessed meets minimum life safety standards (i.e. 15 feet of pavement width within a 20-foot wide clear area). The project generates 5 peak hour trips in the highest generating peak hour (i.e. the p.m. peak hour). As such, no substandard road improvements are required to Hoedt Rd. and no Design Exception or Section 6.04.02.B. Administrative Variance was necessary.		

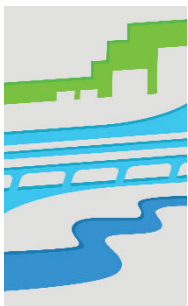
Transportation Comment Sheet

4.0 Additional Site Information & Agency Comments Summary			
Transportation	Objections	Conditions Requested	Additional Information/Comments
<input type="checkbox"/> Design Exception/Adm. Variance Requested <input type="checkbox"/> Off-Site Improvements Provided	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	



**Hillsborough County
City-County
Planning Commission**

Unincorporated Hillsborough County Rezoning	
Hearing Date: October 18, 2021	Petition: PD 21-0962
Report Prepared: October 7, 2021	3408 Hoedt Road <i>South of Hoedt Road, east of Dale Mabry Highway</i>
Summary Data:	
Comprehensive Plan Finding:	CONSISTENT
Adopted Future Land Use:	Residential-4 (4 du/ga; 0.25 FAR)
Service Area	Urban
Community Plan:	Greater Carrollwood Northdale
Requested Zoning:	Residential Single-Family Conventional-3 (RSC-3) and Agricultural Single-Family Conventional-1 (ASC-1) to a Planned Development (PD) to convert an existing 11,000 square foot Single-Family Residential dwelling to a Professional Residential Facility with 20 beds.
Parcel Size (Approx.):	2.67+/- acres (116, 305.2 sq. ft.)
Street Functional Classification:	Hoedt Road – Local Dale Mabry Highway – State Principal Arterial
Locational Criteria	N/A
Evacuation Zone	None



Plan Hillsborough
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planner@plancom.org
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18th floor
Tampa, FL, 33602

Context

- The 2.67+/- acre site is located on the south side of Hoedt Road, east of Dale Mabry Highway. It is located in the Urban Service Area and is within the limits of the Greater Carrollwood Northdale Community Plan.
- The subject site's Future Land Use designation is Residential-4 (RES-4). Typical uses of RES-4 include residential, suburban scale neighborhood commercial, office uses, and multi-purpose projects. Non-residential uses are required to meet locational criteria for a specific land use. RES-4 surrounds the subject property on the north, east and south sides. Office Commercial-20 (OC-20) is adjacent to the subject site on the west side. Residential-6 (RES-6) is located farther south and Residential-12 (RES-12) is located to the southwest of the subject site.
- The subject property is primarily zoned as Residential Single-Family Conventional-3 (RSC-3), with a small portion of the site on the southeast edge zoned as Agricultural Single-Family Conventional-1 (ASC-1). ASC-1 is also to the north and south of the subject property. Immediately west of the subject site are several Planned Developments (PDs).
- Existing land uses on the site include a single-family dwelling and a secondary garage structure. There are a significant number of wetlands on the western portion of the subject site, which total 1.03 acres. There are 1.64 acres of uplands. Single family residential exists to the immediate north, northeast and east of the subject site. To the southwest, west and northwest of the subject property are light industrial uses. Vacant lands are present to the immediate west, and south of the subject site. There are also significant wildlife habitat lands on the southeastern portion of the property.
- The applicant is requesting to rezone the subject site from Residential Single-Family Conventional-3 (RSC-3) and Agricultural Single-Family Conventional-1 (ASC-1) to a Planned Development (PD) to convert the existing single-family residential dwelling to a Professional Residential Facility with a 20 bed capacity.

Compliance with Comprehensive Plan:

The following Goals, Objectives, and Policies apply to this rezoning request and are used as a basis for a consistency finding.

Future Land Use Element

Urban Service Area

Objective 1: Hillsborough County shall pro-actively direct new growth into the urban service area with the goal that at least 80% of all population growth will occur within the USA during the planning horizon of this Plan. Within the Urban Service Area, Hillsborough County will not impede agriculture. Building permit activity and other similar measures will be used to evaluate this objective.

Policy 1.2: Minimum Density

All new residential or mixed-use land use categories within the USA shall have a density of 4 du/ga or greater unless environmental features or existing development patterns do not support those densities.

Within the USA and in categories allowing 4 units per acre or greater, new development or redevelopment shall occur at a density of at least 75% of the allowable density of the land use category, unless the development meets the criteria of Policy 1.3.

Policy 1.3:

Within the USA and within land use categories permitting 4 du/ga or greater, new rezoning approvals for residential development of less than 75% of the allowable density of the land use category will be permitted only in cases where one or more of the following criteria are found to be met:

- *Development at a density of 75% of the category or greater would not be compatible (as defined in Policy 1.4) and would adversely impact with the existing development pattern within a 1,000 foot radius of the proposed development;*

Policy 1.4:

Compatibility is defined as the characteristics of different uses or activities or design which allow them to be located near or adjacent to each other in harmony. Some elements affecting compatibility include the following: height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor and architecture. Compatibility does not mean “the same as.” Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development.

Environmental Considerations

Objective 13: *New development and redevelopment shall not adversely impact environmentally sensitive areas and other significant natural systems as described and required within the Conservation and Aquifer Recharge Element and the Coastal Management Element of the Comprehensive Plan.*

Policy 13.3: Environmentally Sensitive Land Credit

Density and FAR calculations for properties that include wetlands will comply with the following calculations and requirements for determining density/intensity credits.

- *Wetlands are considered to be the following:*
 - *Conservation and preservation areas as defined in the Conservation and Aquifer Recharge Element*
 - *Man-made water bodies as defined (including borrow pits).*
- *If wetlands are less than 25% of the acreage of the site, density and intensity is calculated based on:*
 - *Entire project acreage multiplied by Maximum intensity/density for the Future Land Use Category*

- If wetlands are 25% or greater of the acreage of the site, density and intensity is calculated based on:
 - Upland acreage of the site multiplied by 1.25 = Acreage available to calculate density/intensity based on
 - That acreage is then multiplied by the Maximum Intensity/Density of the Future Land Use Category

Neighborhood/Community Development

Objective 16: Neighborhood Protection *The neighborhood is a functional unit of community development. There is a need to protect existing neighborhoods and communities and those that will emerge in the future. To preserve, protect and enhance neighborhoods and communities, all new development must conform to the following policies.*

Policy 16.2:

Gradual transitions of intensities between different land uses shall be provided for as new development is proposed and approved, through the use of professional site planning, buffering and screening techniques and control of specific land uses.

Policy 16.3:

Development and redevelopment shall be integrated with the adjacent land uses through:

- a) the creation of like uses; or
- b) creation of complementary uses; or
- c) mitigation of adverse impacts; and
- d) transportation/pedestrian connections

Policy 16.8:

The overall density and lot sizes of new residential projects shall reflect the character of the surrounding area, recognizing the choice of lifestyles described in this Plan.

Policy 16.10:

Any density increase shall be compatible with existing, proposed or planned surrounding development. Compatibility is defined as the characteristics of different uses or activities or design which allow them to be located near or adjacent to each other in harmony. Some elements affecting compatibility include the following: height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor and architecture. Compatibility does not mean “the same as”. Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development.

Objective 17: Neighborhood and Community Serving Uses *Certain non-residential land uses, including but not limited to residential support uses and public facilities, shall be allowed within residential neighborhoods to directly serve the population. These uses shall be located and designed in a manner to be compatible to the surrounding residential development pattern.*

Policy 17.1:

Residential support uses (child care centers, adult care centers, churches, etc.) is an allowable land use in any of the residential, commercial and industrial land use plan categories consistent with the following criteria:

- a) *The facility shall be of a design, intensity and scale to serve the surrounding neighborhood or the non-residential development in which it occurs, and to be compatible with the surrounding land uses and zoning;*

Residential-Targeted Groups & Incentives

Objective 20: *The County shall encourage new development and redevelopment of residential housing for special target groups of people. The provisions specified within the Housing Element of the Comprehensive Plan shall be applied with respect to the following policies.*

Policy 20.5:

The development of congregate living facilities will be allowed within each of the land use plan categories that permit residential development; however, the locations of facilities shall be considered to prevent excessive concentration in any one area.

Policy 20.6:

The Land Development Code shall include appropriate development standards and/or placed persons-to-dwelling unit conversion factors shall be utilized for congregate living facilities to allow for the consistent application of residential densities otherwise established in this element. The resulting application of density equivalents to proposed congregate living facilities shall be utilized to ensure that cumulative impacts upon surrounding residential land uses are reasonable and to ensure compatible densities between congregate living facilities and other residential land uses in the surrounding area. Consideration should be given to having conversion factors which vary depending on the land use designation, to ensure compatibility with surrounding areas.

Community Design Component

5.0 NEIGHBORHOOD LEVEL DESIGN

5.1 COMPATIBILITY

GOAL 12: *Design neighborhoods which are related to the predominant character of the surroundings.*

OBJECTIVE 12-1: *New developments should recognize the existing community and be designed in a way that is compatible (as defined in FLUE policy 1.4) with the established character of the surrounding neighborhood.*

Livable Communities Element: Greater-Carrollwood Northdale Communities Plan

1. Community Growth/Revitalization

Encourage development and redevelopment opportunities that reflect the citizens' vision for an aesthetically pleasing, well designed, transit supported, mixed use activity centers and residential neighborhoods which promote a vibrant and economically sustainable community.

Goal 1: *Establish sustainable community activity centers that allow the citizens to live, work and play all within walking distance.*

Strategies:

- *Community facilities and residential support uses with appropriate parking and functional open space.*
- *Incentives for adaptive reuse of existing facilities and redevelopment activities.*

2. Community Design/Culture

Maintain and enhance community pride by promoting the areas' history, culture and volunteerism while preserving each community's value and unique character. As the area redevelops it is important that the existing residential neighborhoods remain suburban in nature.

Goal 2: Reinforce community identity through maintenance and enhancement of the community's unique characteristics, assets and physical appearance.

Strategies:

- *New development and redevelopment shall use compatibility design techniques to ensure the appearance (architectural style), mass and scale of development is integrated with the existing suburban nature of each neighborhood. (i.e. transitions, buffers etc).*

Staff Analysis of Goals, Objectives and Policies:

The applicant is requesting to rezone the property from Agricultural Single-Family Conventional-1 (ASC-1) and Residential Single-Family Conventional-3 (RSC-3) to a Planned Development (PD) to allow for the conversion of an 11 000 square foot single-family residential dwelling to a 20 bed Professional Residential Facility.

The proposed use meets the intent of Objective 1 and Policies 1.2 and 1.3 that require growth to be in the Urban Service Area and meet a minimum density of 4 du/ga. As a residential support use that is surrounded by single-family residential to the east, the proposal meets the compatibility requirements of Policy 1.4. Policy 1.4 states that "Compatibility does not mean "the same as." Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development." In this case, the existing structure will not be changed and will remain compatible with the surrounding area.

The subject site is in the Residential-4 (RES-4) Future Land Use category and is surrounded by single-family residential dwellings. As a residential support use that is adaptively reusing an existing single-family residential dwelling, the proposal meets the compatibility requirements of Objective 16 and policies 16.2, 16.3, 16.8, 16.10 of the FLUE. The subject site is located between higher intensity Office Commercial 20 (OC-20) uses on the west and single-family residential on the east and serves as an appropriate transitional use between them as emphasized in Policy 16.2.

The proposed use also meets the intent of Objective 20 which encourages the development and redevelopment of residential housing for special target groups of people. Policy 20.5 outlines the conditions for the siting of such facilities and this proposed site is not located in proximity to another congregational living facility. Policy 20.6 outlines the appropriate person to dwelling unit conversion and density. The proposed number of 20 beds is acceptable as outlined in the policy.

There are wetlands on the western portion of the site. The applicant received a variance (VAR 20-0275) for the impacts of wetlands on the site that would be affected. Therefore, the proposal meets the intent of Objective 13 that development and redevelopment shall not adversely affect environmentally sensitive areas. The proposal also qualifies for the Environmentally Sensitive Land Credit outlined in Policy 13.3 and the requested beds are appropriate as per the calculations outlined in Policy 13.3. The calculation is as follows:

1.64 (uplands) x 1.25 (credit) x 5 (beds) x 4 (FLUE category) = 41. The proposed number of 20 beds is acceptable.

The Community Design Component (CDC) in the FLUE provides policy direction about designing neighborhoods that are related to the predominant character of the area. Goal 12 and Objective 12-1 require new development to be designed in a compatible way to the surrounding area. As the site is an example of the adaptive reuse of an already existing and residential structure, it is already designed to be compatible with the surrounding area.

The request is consistent with the Greater Carrollwood-Northdale Communities Plan Goal 1 which seeks to establish sustainable walkable community activity centers. The accompanying strategies of Goal 1 mention the development of residential support uses with appropriate parking and functional open space as well as incentives for the adaptive reuse of existing facilities. The subject site is located directly adjacent to a proposed community activity center (at the intersection of Dale Mabry and Northdale Boulevard) to the west. The proposal is also an example of an adaptive reuse of a single-family residential development to a residential support use that will provide ample open space, particularly on the wetlands portion of the parcel. Goal 2 and its accompanying strategy of the Community Plan seeks to preserve the nature of suburban neighborhoods in character. The adaptive reuse of the existing structure will preserve the existing suburban character of the area.

Overall, the proposed rezoning would allow for development that is consistent with the Goals, Objectives and Policies of the *Future of Hillsborough Comprehensive Plan for Unincorporated Hillsborough County*, and that is compatible with the existing and planned development pattern found in the surrounding area.

Recommendation

Based upon the above considerations, the Planning Commission staff finds the proposed Planned Development **CONSISTENT** with the *Future of Hillsborough Comprehensive Plan for Unincorporated Hillsborough County* subject to the conditions of the Development Services Department.

HILLSBOROUGH COUNTY FUTURE LAND USE RZ PD 21-0962

Rezoning

<all other values>

- STATUS**
- APPROVED
 - CONTINUED
 - DENIED
 - WITHDRAWN
 - PENDING

- Tampa Service
- Urban Service
- Shoreline
- County Boundary
- Jurisdiction Boundary
- Roads
- Parcels
- WATER NATURAL LULC, Wet Poly
- AGRICULTURAL/MINING-1/20 (.25 FAR)
- PEC PLANNED ENVIRONMENTAL COMMUNITY-1/2 (.25 FAR)
- AGRICULTURAL-1/10 (.25 FAR)
- AGRICULTURAL/RURAL-1/5 (.25 FAR)
- AGRICULTURAL ESTATE-1/2.5 (.25 FAR)
- RESIDENTIAL-1 (.25 FAR)
- RESIDENTIAL-2 (.25 FAR)
- RESIDENTIAL PLANNED-2 (.35 FAR)
- RESIDENTIAL-4 (.25 FAR)
- RESIDENTIAL-6 (.25 FAR)
- RESIDENTIAL-9 (.35 FAR)
- RESIDENTIAL-12 (.35 FAR)
- RESIDENTIAL-16 (.35 FAR)
- RESIDENTIAL-20 (.35 FAR)
- RESIDENTIAL-35 (1.0 FAR)
- NEIGHBORHOOD MIXED USE-4 (3) (.35 FAR)
- SUBURBAN MIXED USE-6 (.35 FAR)
- COMMUNITY MIXED USE-12 (.50 FAR)
- URBAN MIXED USE-20 (1.0 FAR)
- REGIONAL MIXED USE-35 (2.0 FAR)
- OC-20
- RESEARCH CORPORATE PARK (1.0 FAR)
- ENERGY INDUSTRIAL PARK (.50 FAR USES OTHER THAN RETAIL, .25 FAR RETAIL/COMMERCIAL)
- LIGHT INDUSTRIAL PLANNED (.50 FAR)
- LIGHT INDUSTRIAL (.50 FAR)
- HEAVY INDUSTRIAL (.50 FAR)
- PUBLIC/QUASI-PUBLIC
- NATURAL PRESERVATION
- WIMAUMA VILLAGE RESIDENTIAL-2 (.25 FAR)
- CITRUS PARK VILLAGE



Map Printed from Rezoning System: 6/23/2021

Author: Beverly F. Daniels

File: G:\Rezoning\System\MapProject\Hillsborough_Hillsborough - Copy.mxd

