



PD Modification Application: MM 25-1081
Zoning Hearing Master Date: November 17, 2025
BOCC Land Use Meeting Date: January 13, 2026

1.0 APPLICATION SUMMARY

Applicant: SJB Ventures LLC, By It's Manager
XLM Management LLC
FLU Category: SMU-6
Service Area: Urban
Site Acreage: 4.6 +/-
Community Plan Area: Ruskin
Overlay: None



Introduction Summary:
The subject site is zoned PD (Planned Development) 10-0296 and approved for a 25,400 square foot medical clinic.

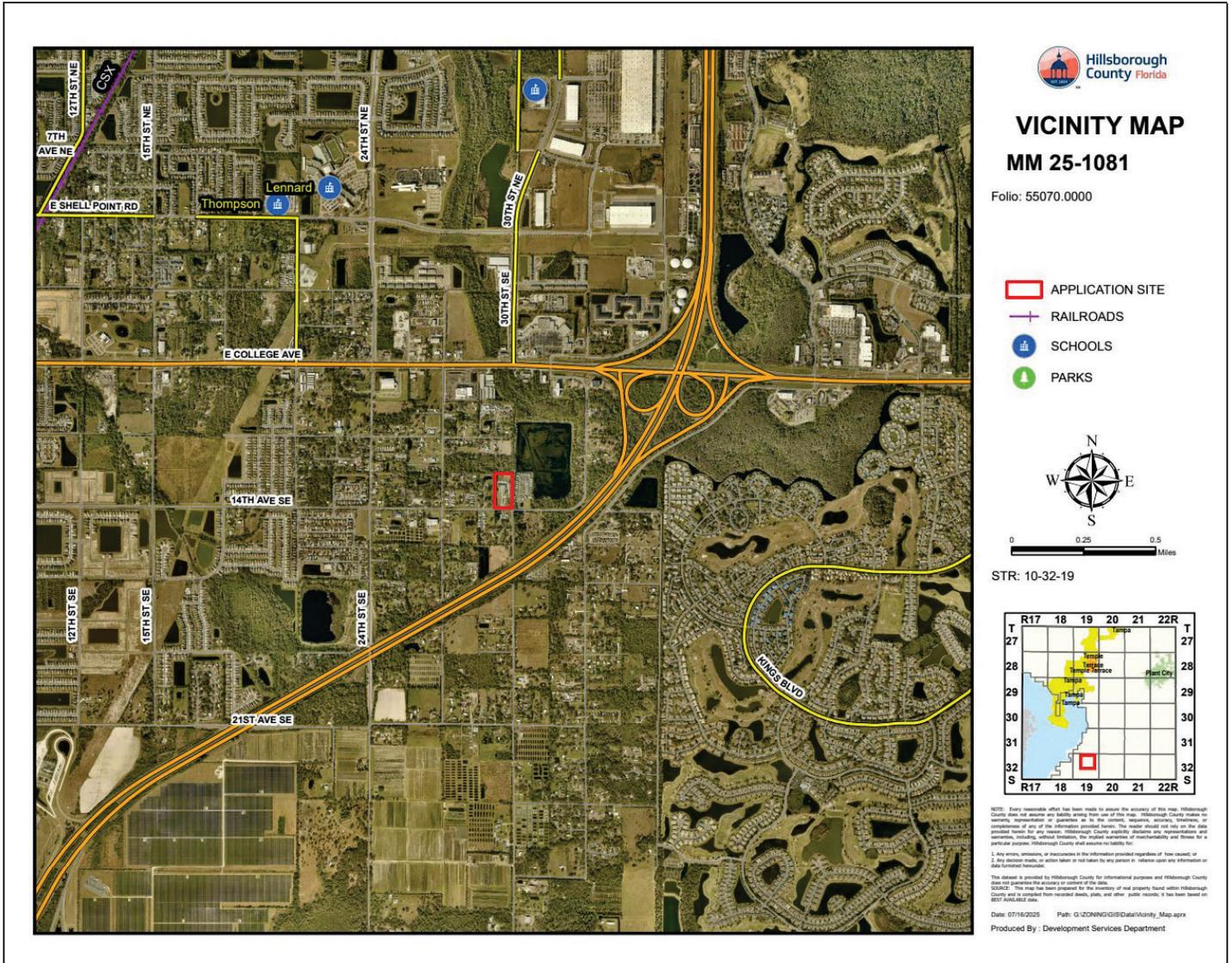
Existing Approval(s):	Proposed Modification(s):
25,400 square foot medical clinic	Add a second development option to permit a 25,400 <u>20,567</u> square foot professional office building for business services, professional offices, and professional services.

Additional Information:	
PD Variation(s):	None Requested as part of this application
Waiver(s) to the Land Development Code:	Non Requested as part of this application

Planning Commission Recommendation: Consistent	Development Services Recommendation: Approvable, subject to proposed conditions
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2.0 LAND USE MAP SET AND SUMMARY DATA

2.1 Vicinity Map

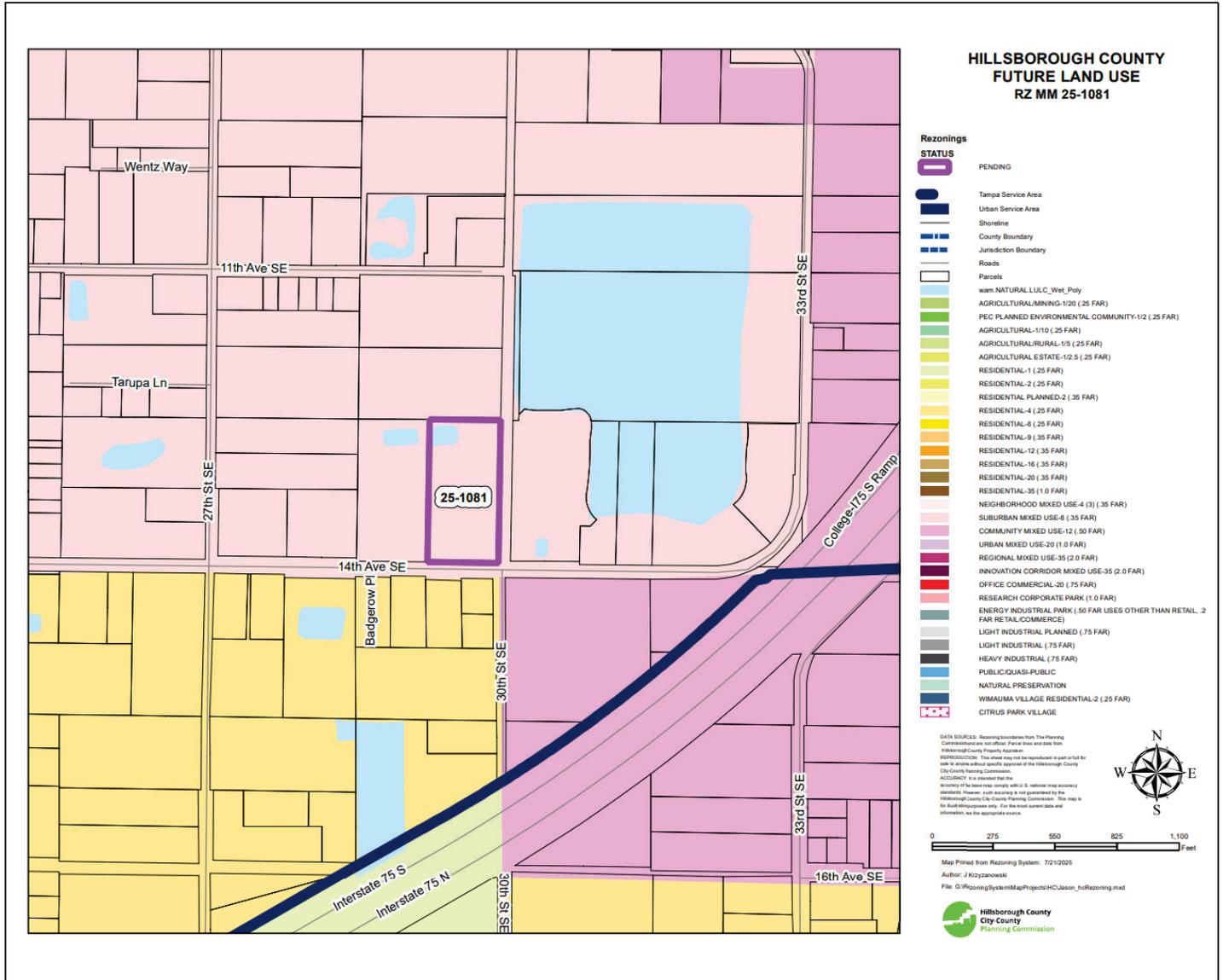


Context of Surrounding Area:

The site is located at the northwest corner of the 14th Avenue SE and 30th Street SE intersection in the Ruskin community. Interstate 75 is located approximately 0.25 miles to the east. The general area is predominately developed with residential uses.

2.0 LAND USE MAP SET AND SUMMARY DATA

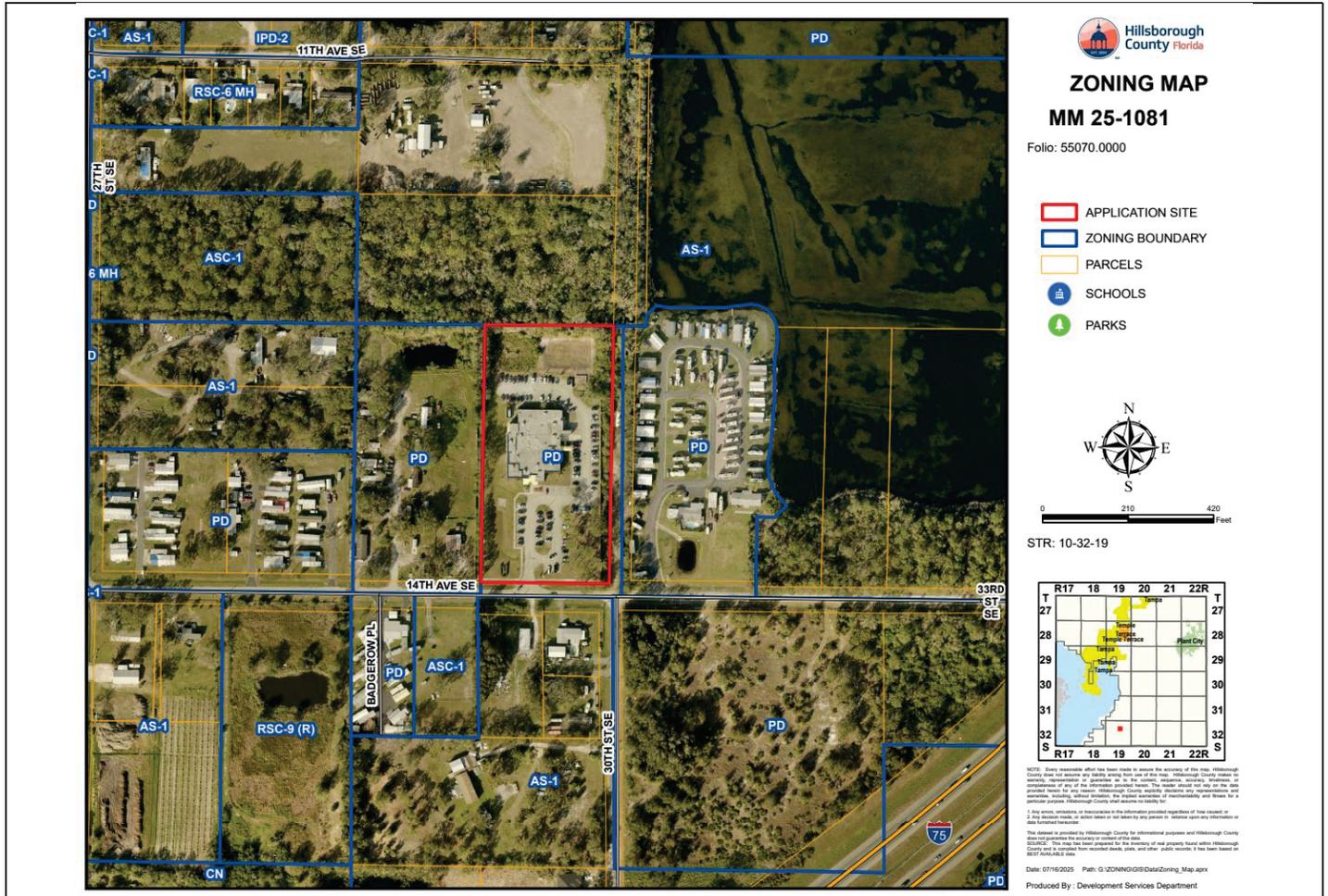
2.2 Future Land Use Map



Subject Site Future Land Use Category:	SMU-6
Maximum Density/F.A.R.:	6 units per acre / 0.25 FAR
Typical Uses:	Agricultural, residential, neighborhood commercial, office uses, research corporate park uses, light industrial multipurpose and clustered residential and/or mixed-use. Office uses are not subject to locational criteria

2.0 LAND USE MAP SET AND SUMMARY DATA

2.3 Immediate Area Map

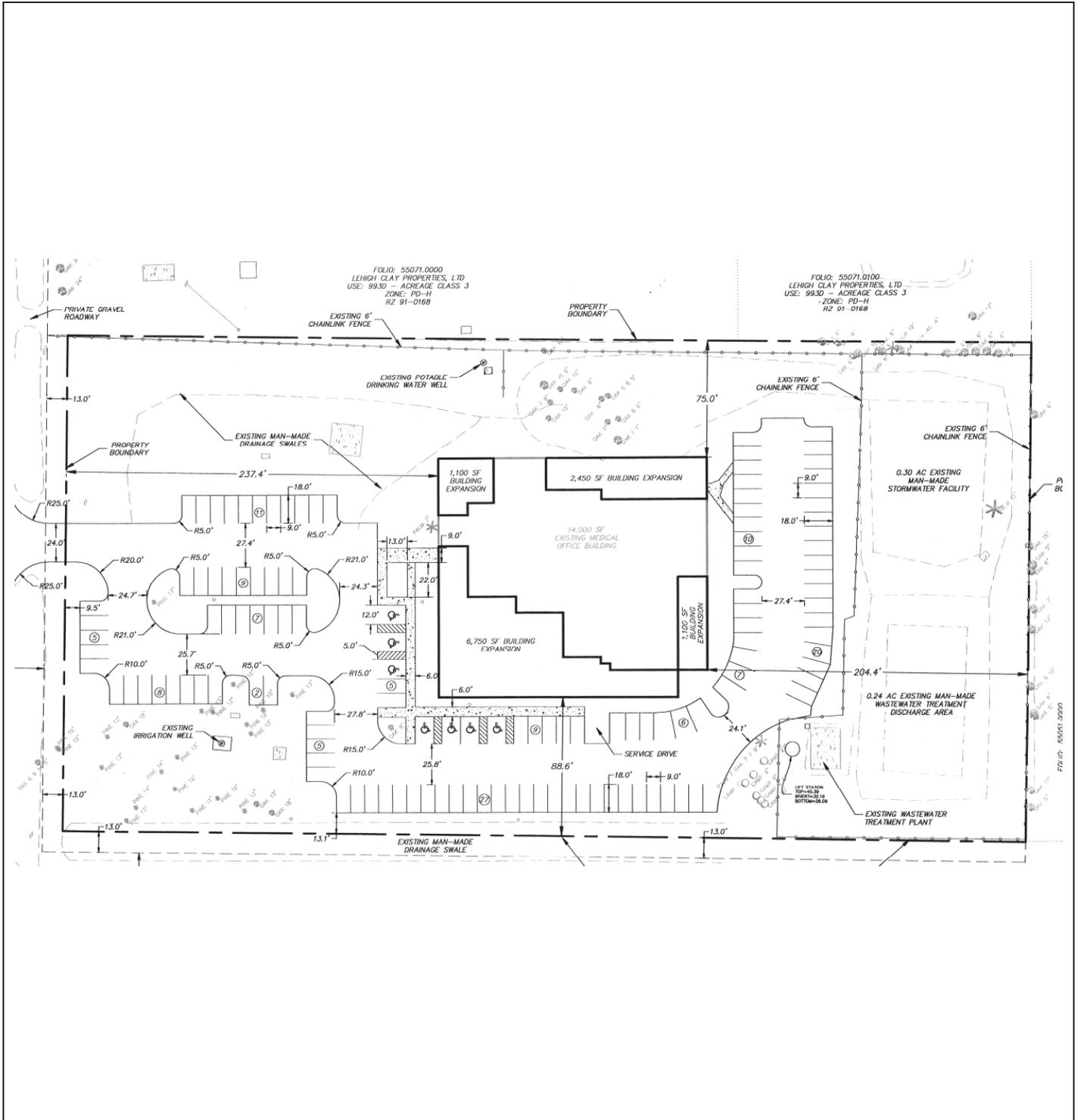


Adjacent Zonings and Uses

Location:	Zoning:	Maximum Density/F.A.R. Permitted by Zoning District:	Allowable Use:	Existing Use:
North	AS-1	1 unit per acre	Agriculture/Residential	Undeveloped
South	AS-1	1 unit per acre	Agriculture/Residential	Residential
East	PD 83-0248	8.9 units per acre	RV/Mobile Home Park	RV/Mobile Home Park
West	PD 91-0168	2.8 units per acre	Mobile Home Park	Mobile Home Park

2.0 LAND USE MAP SET AND SUMMARY DATA

2.4 Approved Site Plan (partial provided below for size and orientation purposes. See Section 8.1 for full site plan)



3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)

Adjoining Roadways (check if applicable)			
Road Name	Classification	Current Conditions	Select Future Improvements
14 th Avenue SE	County Collector - Rural	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> None <input type="checkbox"/> Substandard Road Improvements Proposed <input checked="" type="checkbox"/> Other (TBD)

Project Trip Generation <input type="checkbox"/> Not applicable for this request			
	Average Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing (Option 1)	956	69	88
Proposed (Option 2)	254	15	12
*Difference (+/-)	0	0	0

Trips reported are based on gross external trips unless otherwise noted.

*As Option 1 is proposed to remain, there is no change in the project's trip generation

Connectivity and Cross Access <input type="checkbox"/> Not applicable for this request				
Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North		None	None	Meets LDC
South	X	Pedestrian & Vehicular	None	Meets LDC
East		None	None	Meets LDC
West		None	None	Meets LDC

Notes:

Design Exception/Administrative Variance <input checked="" type="checkbox"/> Not applicable for this request		
Road Name/Nature of Request	Type	Finding
	Choose an item.	Choose an item.

Notes:

4.0 Additional Site Information & Agency Comments Summary

Transportation	Objections	Conditions Requested	Additional Information/Comments
<input type="checkbox"/> Design Exception/Adm. Variance Requested <input type="checkbox"/> Off-Site Improvements Provided	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	See Report.

4.0 ADDITIONAL SITE INFORMATION & AGENCY COMMENTS SUMMARY

INFORMATION/REVIEWING AGENCY				
Environmental:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Environmental Protection Commission	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Natural Resources	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Conservation & Environ. Lands Mgmt.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Check if Applicable: <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Wetlands/Other Surface Waters <input type="checkbox"/> Use of Environmentally Sensitive Land Credit <input type="checkbox"/> Wellhead Protection Area <input type="checkbox"/> Surface Water Resource Protection Area <input type="checkbox"/> Potable Water Wellfield Protection Area <input type="checkbox"/> Significant Wildlife Habitat <input type="checkbox"/> Coastal High Hazard Area <input type="checkbox"/> Urban/Suburban/Rural Scenic Corridor <input type="checkbox"/> Adjacent to ELAPP property <input type="checkbox"/> Other _____ 				
Public Facilities:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Transportation <input type="checkbox"/> Design Exc./Adm. Variance Requested <input type="checkbox"/> Off-site Improvements Provided	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Service Area/ Water & Wastewater <input checked="" type="checkbox"/> Urban <input type="checkbox"/> City of Tampa <input type="checkbox"/> Rural <input type="checkbox"/> City of Temple Terrace	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Hillsborough County School Board Adequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input checked="" type="checkbox"/> N/A Inadequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Impact/Mobility Fees Single Tenant Office (Per 1,000 s.f.) Mobility: \$10,005 Fire: \$158				
Comprehensive Plan:	Comments Received	Findings	Conditions Requested	Additional Information/Comments
Planning Commission <input type="checkbox"/> Meets Locational Criteria <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Locational Criteria Waiver Requested <input type="checkbox"/> Minimum Density Met <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Inconsistent <input checked="" type="checkbox"/> Consistent	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

5.0 IMPLEMENTATION RECOMMENDATIONS

5.1 Compatibility

The subject site is currently approved for a medical clinic. The proposed modification requests a second development option to allow office uses with no changes to ~~the intensity of~~ development requirements and reduced square footage.

Given the above, staff has not identified any compatibility concerns.

5.2 Recommendation

Approvable, subject to proposed conditions.

Requirements for Certification:

1. Certified site plan for PD 10-0296 and MM 25-1081 to be submitted for certification as a 2-page plan sheet. First page to be identified as sheet 1 of 2. Second page to be identified as sheet 2 of 2.
2. Revise “medical office” to “medical clinic”
3. Revise the folio number for the parcel to the west from 55071.0000 to 55071.0100
4. Remove the westernmost ‘dirt driveway’

6.0 PROPOSED CONDITIONS

Approval - Approval of the request, subject to the conditions listed below, is based on the general site plan submitted October 27, 2025.

1. The project is approved for a 25,400-square-foot medical clinic (sheet 1) or a 20,567 square foot single tenant business services, professional offices, and Professional Services building (sheet 2) with the following development standards:
 - Maximum height 35 feet
 - Floor Area Ratio (FAR) 0.13 percent
 - Maximum Impervious Surface 60 percent
2. The applicant ~~may shall~~ be permitted a maximum of one (1) vehicular access point on 14th Avenue. Any change to the general design and location of the access point shall be regulated by the Hillsborough County Access Management regulations. The final design and location of the access point shall be regulated by the Hillsborough County Access Management regulations. Access points may be restricted in movement.
3. ~~Prior to the issuance of certificates of occupancy, the applicant may be required to provide documentation at Preliminary Site Plan submittal regarding the existing pavement width and right of way along 14th Avenue. Subject to the results, the developer may be required to improve/widen 14th Avenue adjacent to the site to Hillsborough County Transportation Technical Manual standards. If the Developer can provide signed and sealed documentation that the current pavement and right of way width on 14th Avenue meets the current standards for a two lane collector roadway, based on the Hillsborough County Transportation Technical Manual, then the Developer may not be required to dedicate right of way or upgrade a portion and/or widen the roadway. As N 78th St is a substandard local roadway, the developer will be required to improve the roadway, between the E. Elm St and E. Sligh Ave, to current County standards unless otherwise approved in accordance with Sec. 6.04.02.B of the Hillsborough County LDC. Design Exceptions (DEs) and Design Deviation Memoranda (DDM) from Transportation Technical Manual (TTM) standards may be considered in accordance with Sec. 1.7 and other applicable sections of the TTM.~~
4. Unless otherwise approved and where applicable as determined by County Staff, the Developer shall construct sidewalks within the right-of-way along all roadways adjacent to the property boundaries and along both sides of all internal roadways. The sidewalks shall be a minimum width of five (5) feet. Pedestrian interconnectivity shall be provided between uses and adjacent parcels. All internal sidewalks shall meet the accessibility requirements of the Americans with Disabilities Act and/or Florida Accessibility Code.
5. Notwithstanding anything herein or shown on the PD site plan or herein these conditions to the contrary, bicycle and pedestrian access may be permitted anywhere along the PD boundaries.
6. All construction ingress and egress shall be limited to project access. The developer shall include a note in each site/construction plan submittal which indicates the same.

- ~~567.~~ Approval of this rezoning petition by Hillsborough County does not constitute a guarantee that the Environmental Protection Commission approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impacts to wetlands, and does not grant any implied or vested right to environmental approvals.
- ~~78.~~ The construction and location of any proposed wetland impacts are not approved by this correspondence but shall be reviewed by EPC staff under separate application pursuant to the EPC Wetlands rule detailed in Chapter 1-11, Rules of the EPC, (Chapter 1-11) to determine whether such impacts are necessary to accomplish reasonable use of the property.
- ~~89.~~ Prior to the issuance of any building or land alteration permits or other development, the approved wetland / other surface water (OSW) line must be incorporated into the site plan. The wetland/OSW line must appear on all site plans, labeled as "Wetland Conservation Area" pursuant to the Hillsborough County Land Development Code (LDC).
- ~~910.~~ Final design of buildings, stormwater retention areas, and ingress/egresses are subject to change pending formal agency jurisdictional determinations of wetland and other surface water boundaries and approval by the appropriate regulatory agencies.
- ~~1011.~~ Approval of this petition by Hillsborough County does not constitute a guarantee that Natural Resources approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impacts to trees, natural plant communities or wildlife habitat, and does not grant any implied or vested right to environmental approvals.
- ~~1112.~~ The construction and location of any proposed environmental impacts are not approved by this correspondence, but shall be reviewed by Natural Resources staff through the site and subdivision development plan process pursuant to the Land Development Code.
- ~~61213.~~ If the notes and/or graphic on the site plan are in conflict with specific zoning conditions and/or the Land Development Code (LDC) regulations, the more restrictive regulation shall apply, unless specifically conditioned otherwise. References to development standards of the LDC in the above stated conditions shall be interpreted as the regulations in effect at the time of preliminary site plan/plat approval.
- ~~71314.~~ The Development of the project shall proceed in strict accordance with the terms and conditions contained in the Development Order, the General Site Plan, the land use conditions contained herein, and all applicable rules, regulations, and ordinances of Hillsborough County.
- ~~81415.~~ Effective as of February 1, 1990, this development order/permit shall meet the concurrency requirements of Chapter 163, Part II, Florida Statutes. Approval of this development order/permit does not constitute a guarantee that there will be public facilities at the time of application for subsequent development orders or permits to allow issuance of such development orders or permits.
- ~~1516.~~ In accordance with LDC Section 5.03.07.C, the certified PD general site plan shall expire for the internal transportation network and external access points, as well as for any conditions related to the internal transportation network and external access points, if site construction plans, or equivalent thereof, have not been approved for all or part of the subject Planned Development within 5 years of the effective date of the PD unless an extension is granted as provided in the LDC. Upon expiration, re-certification of the PD General Site Plan shall be required in accordance with provisions set forth in LDC Section 5.03.07.C.

Zoning Administrator Sign Off:



SITE, SUBDIVISION AND BUILDING CONSTRUCTION IN ACCORDANCE WITH HILLSBOROUGH COUNTY SITE DEVELOPMENT PLAN & BUILDING REVIEW AND APPROVAL.

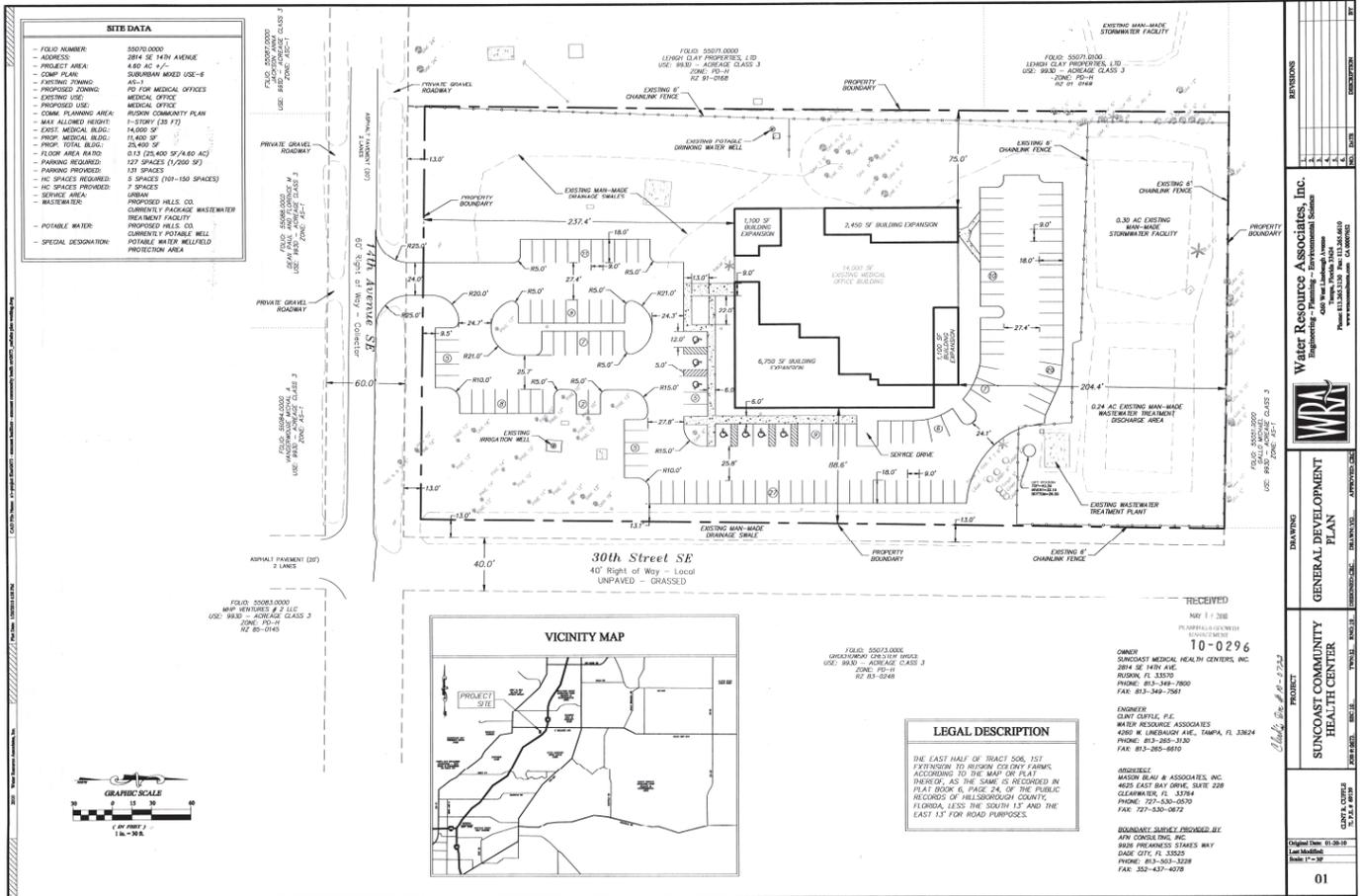
Approval of this re-zoning petition by Hillsborough County does not constitute a guarantee that the project will receive approvals/permits necessary for site development as proposed will be issued, nor does it imply that other required permits needed for site development or building construction are being waived or otherwise approved. The project will be required to comply with the Site Development Plan Review approval process in addition to obtain all necessary building permits for on-site structures.

7.0 ADDITIONAL INFORMATION AND/OR GRAPHICS

None

8.0 SITE PLANS (FULL)

8.1 Approved Site Plan (Full)



Water Resource Associates, Inc. 1400 West Lakeview Avenue Suite 100 Fort Lauderdale, FL 33309 Phone: 954-349-7800 www.waterresource.com	
GENERAL DEVELOPMENT PLAN	
SUNCOAST COMMUNITY HEALTH CENTER	
PROJECT NO: 25-1081	DATE: MAY 1, 2025
SHEET NO: 01	TOTAL SHEETS: 01
RECEIVED MAY 1 2025 PLANNING DEPARTMENT 10-0296	
OWNER: SUNCOAST MEDICAL HEALTH CENTERS, INC. 2814 SE MAIN AVE FORT LAUDERDALE, FL 33309 PHONE: 954-349-7800 FAX: 954-349-7861	
ENGINEER: CLAY CUFFE, P.E. WATER RESOURCE ASSOCIATES 1400 W. LAKEVIEW AVE., SUITE 100 FORT LAUDERDALE, FL 33304 PHONE: 954-349-7800 FAX: 954-349-7861	
BOUNDARY SURVEY PROVIDED BY: ATY CONSULTING, INC. 8800 PINEHURST SQUARE WAY DADE CITY, FL 33625 PHONE: 813-563-3028 FAX: 352-437-6078	

9.0 FULL TRANSPORTATION REPORT (see following pages)

AGENCY REVIEW COMMENT SHEET

TO: Zoning Technician, Development Services Department

DATE: 11/11/2025

REVIEWER: Jessica Kowal, MPA, Principal Planner

AGENCY/DEPT: Transportation

PLANNING AREA: Ruskin

PETITION NO: MM 25-1081

- This agency has no comments.
- This agency has no objection.
- This agency has no objection, subject to the listed or attached conditions.
- This agency objects for the reasons set forth below.

CONDITIONS OF APPROVAL

Revised Conditions

1. ~~The project is approved for a 25,400-square foot medical clinic or a 20,567-square foot single tenant professional office building with the following development standards:~~
 - a. ~~Maximum height~~ 35 feet
 - b. ~~Floor Area Ratio (FAR)~~ 0.13 percent
 - c. ~~Maximum Impervious Surface~~ 60 percent.

2. ~~The applicant may shall be permitted a maximum of one (1) vehicular access point on 14th Avenue. Any change to the general design and location of the access point shall be regulated by the Hillsborough County Access Management regulations. The final design and location of the access point shall be regulated by the Hillsborough County Access Management regulations. Access points may be restricted in movement.~~

3. ~~Prior to the issuance of certificates of occupancy, the applicant may be required to provide documentation at Preliminary Site Plan submittal regarding the existing pavement width and right-of-way along 14th Avenue. Subject to the results, the developer may be required to improve/widen 14th Avenue adjacent to the site to Hillsborough County Transportation Technical Manual standards. If the Developer can provide signed and sealed documentation that the current pavement and right-of-way width on 14th Avenue meets the current standards for a two-lane collector roadway, based on the Hillsborough County Transportation Technical Manual, then the Developer may not be required to dedicate right-of-way or upgrade a portion and/or widen the roadway. As N 78th St is a substandard local roadway, the developer will be required to improve the roadway, between the E. Elm St and E. Sligh Ave, to current County standards unless otherwise approved in accordance with Sec. 6.04.02.B of the Hillsborough County LDC. Design Exceptions (DEs) and Design Deviation Memoranda (DDM) from Transportation Technical Manual (TTM) standards may be considered in accordance with Sec. 1.7 and other applicable sections of the TTM.~~

[Transportation Review Staff proposes modification of this condition to conform with current practice.]

New Conditions

- Notwithstanding anything herein or shown on the PD site plan or herein these conditions to the contrary, bicycle and pedestrian access may be permitted anywhere along the PD boundaries.
- All construction ingress and egress shall be limited to the project access. The developer shall include a note in each site/construction plan submittal which indicates same.

Other Conditions

- Prior to site plan certification, the PD site plan shall be amended as follows:
 - Revise “medical office” to “medical clinic”
 - Revise the folio number for the parcel to the west from 55071.0000 to 55071.0100
 - Remove the westernmost ‘dirt driveway’

PROJECT SUMMARY AND ANALYSIS

The applicant is requesting a major modification to the existing Planned Development (PD) (10-0296) on folio 55070.0000 to add the option for a 20,567 square foot professional office building. The existing PD is approved for a 25,400 square foot medical clinic, of which 20,567 square feet has been developed on the subject site. The subject site is located on the north side of 14th Avenue SE approximately 10 feet west of 30th Street.

Although 25,400 square feet of medical clinic is permitted on the site, the applicant’s submitted PD site plan reflects the existing 20,567 square foot building and does not propose any additions to the existing building or new buildings, therefore any increase in square footage on site will require a minor (PRS) zoning modification.

Trip Generation Analysis

As required pursuant to the Development Review Procedures Manual (DRPM), the applicant submitted a trip generation and site access analysis for the proposed single tenant professional office option. Staff prepared a comparison of the potential trips generated by development Option 1 and the proposed Option 2 based upon the Institute of Transportation Engineer’s *Trip Generation Manual, 12th Edition*. There is no change in trip generation as Option 1 is proposed to remain.

Approved Zoning (Option 1):

Zoning, Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
25,400 SF Medical-Dental Office Building (LUC 720)	956	69	88

Proposed Zoning (Option 2):

Zoning, Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
20,567 Single Tenant Office Building (LUC 715)	254	15	12

Trip Generation Difference:

Zoning, Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
Difference (Option 1 – Option 2)	0	0	0

TRANSPORTATION INFRASTRUCTURE SERVING THE SITE

The site is served by 14th Avenue SE, a 2-lane, undivided, rural collector roadway characterized by +/- 10-foot wide lanes in average condition. The roadway lies within a +/- 60-foot wide right of way. There are no bike lanes on the roadway in the vicinity of the proposed project. There is a 5-foot wide sidewalk along the site’s frontage. No other sidewalks are present within the vicinity of the subject site.

SITE ACCESS

The site currently takes access from 14th Avenue SE and there are no proposed changes to the existing access connection with this zoning request.

14th Avenue SE is currently identified as a substandard road because it does not comply with the 2021 Hillsborough County Transportation Technical Manual’s (TTM) typical section for a two-lane, undivided, urban collector road (TS-4). Although 14th Avenue SE is a substandard collector roadway, the proposal was reviewed by the County Engineer and, due to the proposed project’s significant decrease in daily, AM peak hour, and PM peak hour trips, it was determined that the existing PD’s condition of approval regarding 14th Avenue SE is sufficient to address substandard roads concurrent with this zoning request.

SUBSTANDARD ROAD – 14TH AVE. SE

14th Avenue SE is a substandard roadway. The proposal was reviewed by the County Engineer who determined the PD condition of approval regarding 14th Avenue SE is sufficient to address substandard roads for this zoning request.

ROADWAY LEVEL OF SERVICE (LOS) INFORMATION

The roadway level of service provided for 14th Avenue SE is for informational purposes only. It should be noted that the segment identified is approximately 0.45 miles from the subject site, level of service information for that portion of roadway fronting the site is not available, as that segment was not included in the 2024 LOS Report.

Generalized Level of Service				
Roadway	From	To	LOS Standard	Peak Hr. Directional LOS
14 th Avenue SE	US Highway 41	24 th Street SE	D	E

Source: [2024 Hillsborough County Level of Service \(LOS\) Report](#)

roadway that meets current County standards, unless otherwise approved in accordance with Sec. 6.04.02.B of the Hillsborough County LDC. Design Exceptions (DEs) and Design Deviation Memoranda (DDM) from Transportation Technical Manual (TTM) standards may be considered in accordance with Sec. 1.7 and other applicable sections of the TTM.

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<u>Zoning, Land Use/Size</u>	<u>24 Hour Two-Way Volume</u>	<u>Total Peak Hour Trips</u>	
		<u>AM</u>	<u>PM</u>
<u>25,400 SF Medical-Dental Office Building (LUC 720)</u>	<u>956</u>	<u>69</u>	<u>88</u>

Proposed Zoning (Option 2):

<u>Zoning, Land Use/Size</u>	<u>24 Hour Two-Way Volume</u>	<u>Total Peak Hour Trips</u>	
		<u>AM</u>	<u>PM</u>
<u>20,567 Single Tenant Office Building (LUC 715)</u>	<u>254</u>	<u>15</u>	<u>12</u>

Trip Generation Difference:

<u>Zoning, Land Use/Size</u>	<u>24 Hour Two-Way Volume</u>	<u>Total Peak Hour Trips</u>	
		<u>AM</u>	<u>PM</u>
<u>Difference (Option 1 – Option 2)</u>	<u>0</u>	<u>0</u>	<u>0</u>

TRANSPORTATION INFRASTRUCTURE SERVING THE SITE

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SUBSTANDARD ROAD – 14TH AVE. SE

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ROADWAY LEVEL OF SERVICE (LOS) INFORMATION

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<u>Generalized Level of Service</u>				
<u>Roadway</u>	<u>From</u>	<u>To</u>	<u>LOS Standard</u>	<u>Peak Hr. Directional LOS</u>

<u>14th Avenue SE</u>	<u>US Highway 41</u>	<u>24th Street SE</u>	<u>D</u>	<u>C</u>
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Source: [2024 Hillsborough County Level of Service \(LOS\) Report](#)

COUNTY OF HILLSBOROUGH

**RECOMMENDATION OF THE
LAND USE HEARING OFFICER**

APPLICATION NUMBER: MM 25-1081

DATE OF HEARING: November 17, 2025

APPLICANT: SJB Ventures, LLC / XLM Management, LLC

PETITION REQUEST: The Major Modification request is to modify PD 10-0296

LOCATION: 2814 SE 14th Ave.

SIZE OF PROPERTY: 4.6 acres, m.o.l.

EXISTING ZONING DISTRICT: PD 10-0296

FUTURE LAND USE CATEGORY: SMU-6

SERVICE AREA: Urban

COMMUNITY PLAN: Ruskin

DEVELOPMENT REVIEW STAFF REPORT

PD Modification Application: MM 25-1081
Zoning Hearing Master Date: November 17, 2025
BOCC Land Use Meeting Date: January 13, 2026



1.0 APPLICATION SUMMARY

Applicant: SJB Ventures LLC, By It's Manager
 XLM Management LLC

FLU Category: SMU-6

Service Area: Urban

Site Acreage: 4.6 +/-

Community Plan Area: Ruskin

Overlay: None



Introduction Summary:
 The subject site is zoned PD (Planned Development) 10-0296 and approved for a 25,400 square foot medical clinic.

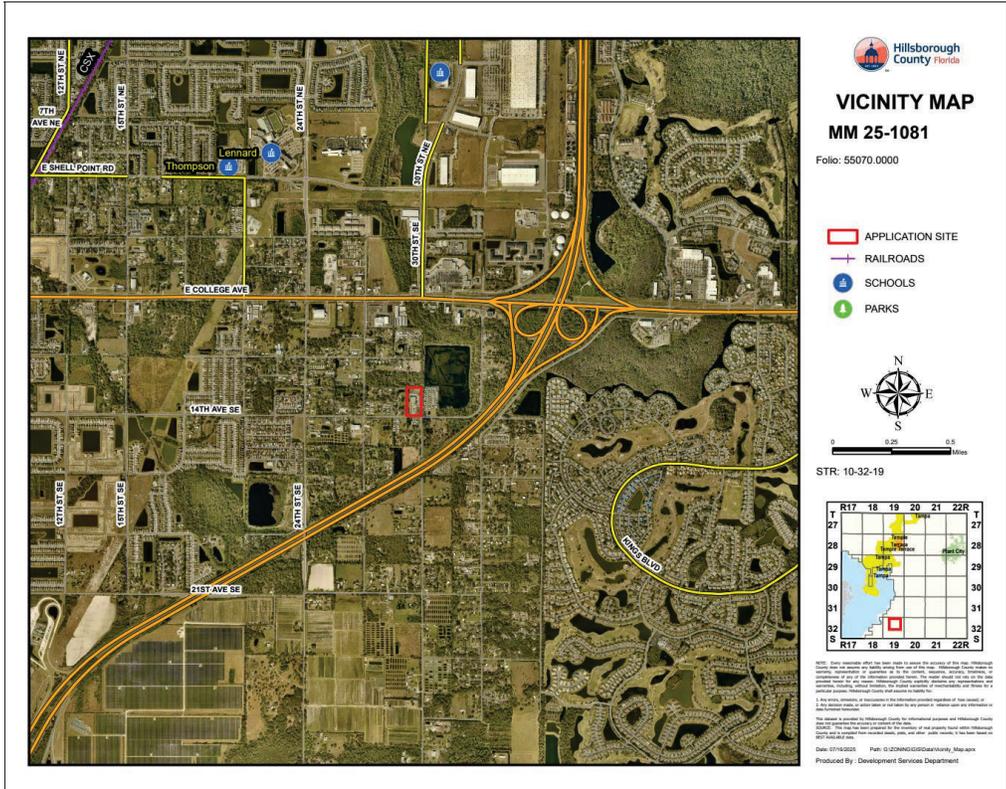
Existing Approval(s):	Proposed Modification(s):
25,400 square foot medical clinic	Add a second development option to permit a 25,400 <u>20,567</u> square foot professional office building for business services, professional offices, and professional services.

Additional Information:	
PD Variation(s):	None Requested as part of this application
Waiver(s) to the Land Development Code:	Non Requested as part of this application

Planning Commission Recommendation: Consistent	Development Services Recommendation: Approvable, subject to proposed conditions
--	---

2.0 LAND USE MAP SET AND SUMMARY DATA

2.1 Vicinity Map

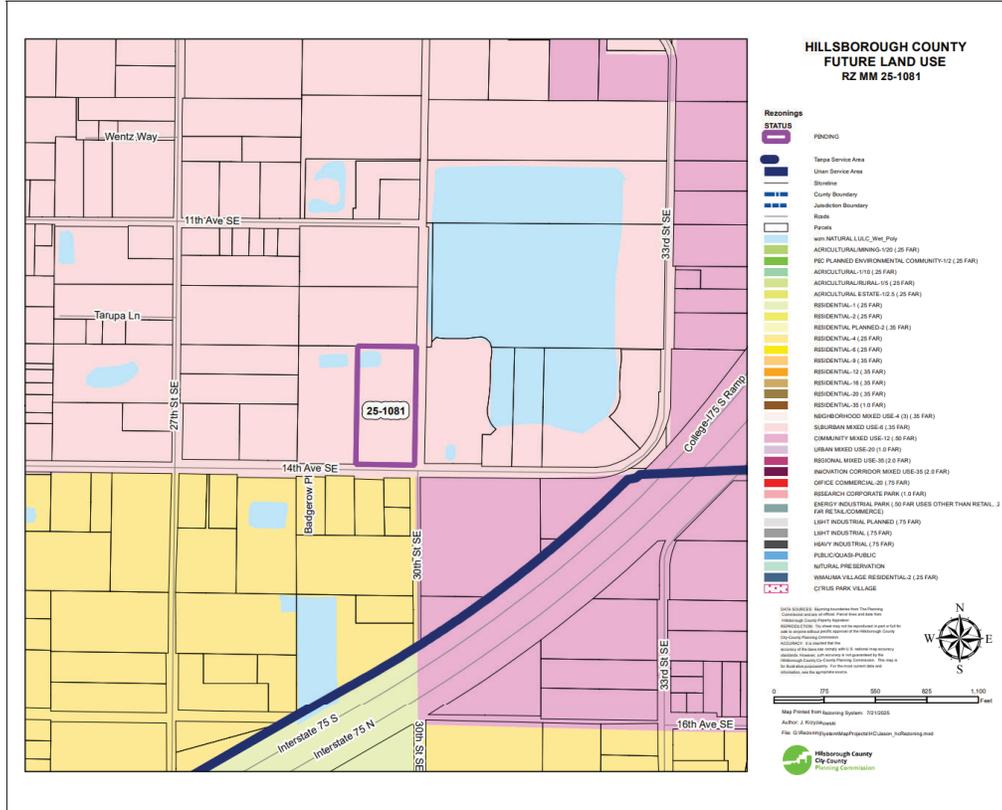


Context of Surrounding Area:

The site is located at the northwest corner of the 14th Avenue SE and 30th Street SE intersection in the Ruskin community. Interstate 75 is located approximately 0.25 miles to the east. The general area is predominately developed with residential uses.

2.0 LAND USE MAP SET AND SUMMARY DATA

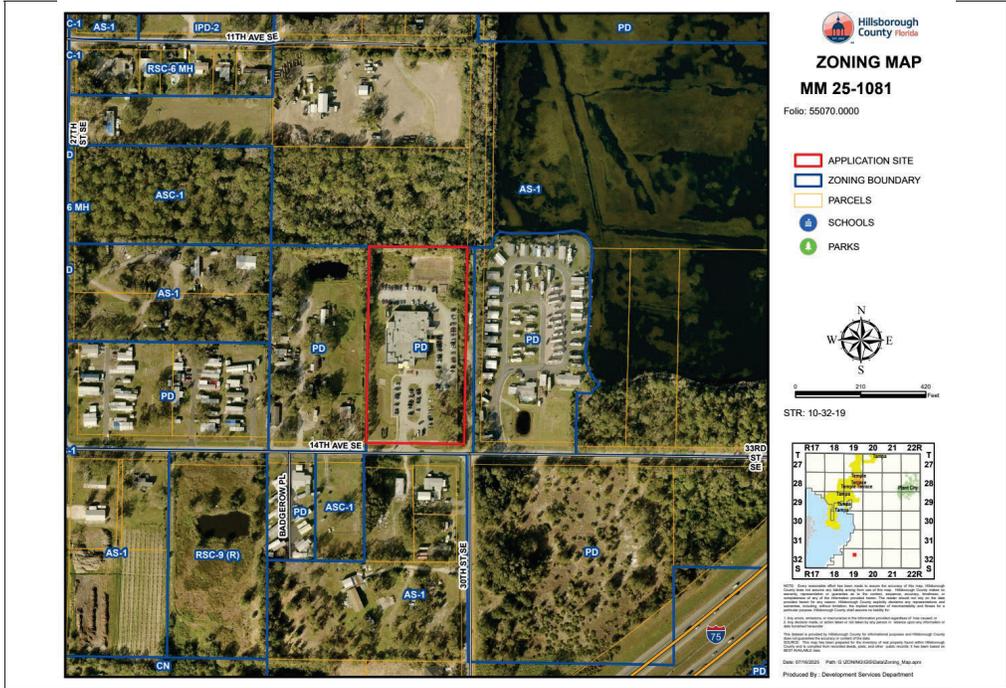
2.2 Future Land Use Map



Subject Site Future Land Use Category:	SMU-6
Maximum Density/F.A.R.:	6 units per acre / 0.25 FAR
Typical Uses:	Agricultural, residential, neighborhood commercial, office uses, research corporate park uses, light industrial multipurpose and clustered residential and/or mixed-use. Office uses are not subject to locational criteria

2.0 LAND USE MAP SET AND SUMMARY DATA

2.3 Immediate Area Map



Adjacent Zonings and Uses				
Location:	Zoning:	Maximum Density/F.A.R. Permitted by Zoning District:	Allowable Use:	Existing Use:
North	AS-1	1 unit per acre	Agriculture/Residential	Undeveloped
South	AS-1	1 unit per acre	Agriculture/Residential	Residential
East	PD 83-0248	8.9 units per acre	RV/Mobile Home Park	RV/Mobile Home Park
West	PD 91-0168	2.8 units per acre	Mobile Home Park	Mobile Home Park

3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)

Adjoining Roadways (check if applicable)			
Road Name	Classification	Current Conditions	Select Future Improvements
14 th Avenue SE	County Collector - Rural	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> None <input type="checkbox"/> Substandard Road Improvements Proposed <input checked="" type="checkbox"/> Other (TBD)

Project Trip Generation <input type="checkbox"/> Not applicable for this request			
	Average Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing (Option 1)	956	69	88
Proposed (Option 2)	254	15	12
*Difference (+/-)	0	0	0

Trips reported are based on gross external trips unless otherwise noted.
 *As Option 1 is proposed to remain, there is no change in the project's trip generation

Connectivity and Cross Access <input type="checkbox"/> Not applicable for this request				
Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North		None	None	Meets LDC
South	X	Pedestrian & Vehicular	None	Meets LDC
East		None	None	Meets LDC
West		None	None	Meets LDC

Notes:

Design Exception/Administrative Variance <input checked="" type="checkbox"/> Not applicable for this request		
Road Name/Nature of Request	Type	Finding
	Choose an item.	Choose an item.

Notes:

4.0 Additional Site Information & Agency Comments Summary			
Transportation	Objections	Conditions Requested	Additional Information/Comments
<input type="checkbox"/> Design Exception/Adm. Variance Requested <input type="checkbox"/> Off-Site Improvements Provided	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	See Report.

4.0 ADDITIONAL SITE INFORMATION & AGENCY COMMENTS SUMMARY

INFORMATION/REVIEWING AGENCY				
Environmental:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Environmental Protection Commission	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Natural Resources	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Conservation & Environ. Lands Mgmt.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Check if Applicable: <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Wetlands/Other Surface Waters <input type="checkbox"/> Use of Environmentally Sensitive Land Credit <input type="checkbox"/> Wellhead Protection Area <input type="checkbox"/> Surface Water Resource Protection Area <input type="checkbox"/> Potable Water Wellfield Protection Area <input type="checkbox"/> Significant Wildlife Habitat <input type="checkbox"/> Coastal High Hazard Area <input type="checkbox"/> Urban/Suburban/Rural Scenic Corridor <input type="checkbox"/> Adjacent to ELAPP property <input type="checkbox"/> Other _____ 				
Public Facilities:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Transportation				
<input type="checkbox"/> Design Exc./Adm. Variance Requested	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<input type="checkbox"/> Off-site Improvements Provided				
Service Area/ Water & Wastewater				
<input checked="" type="checkbox"/> Urban <input type="checkbox"/> City of Tampa	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<input type="checkbox"/> Rural <input type="checkbox"/> City of Temple Terrace				
Hillsborough County School Board				
Adequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Inadequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input checked="" type="checkbox"/> N/A				
Impact/Mobility Fees				
Single Tenant Office (Per 1,000 s.f.) Mobility: \$10,005 Fire: \$158				
Comprehensive Plan:	Comments Received	Findings	Conditions Requested	Additional Information/Comments
Planning Commission				
<input type="checkbox"/> Meets Locational Criteria <input checked="" type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Inconsistent <input checked="" type="checkbox"/> Consistent	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<input type="checkbox"/> Locational Criteria Waiver Requested				
<input type="checkbox"/> Minimum Density Met <input type="checkbox"/> N/A				

5.0 IMPLEMENTATION RECOMMENDATIONS

5.1 Compatibility

The subject site is currently approved for a medical clinic. The proposed modification requests a second development option to allow office uses with no changes to ~~the intensity of~~ development requirements and reduced square footage.

Given the above, staff has not identified any compatibility concerns.

5.2 Recommendation

Approvable, subject to proposed conditions.

Zoning conditions were presented to the Zoning Hearing Master at the hearing and are hereby incorporated into the Zoning Hearing Master’s recommendation.

SUMMARY OF HEARING

THIS CAUSE came on for hearing before the Hillsborough County Land Use Hearing Officer on November 17, 2025. Ms. Michelle Heinrich of the Hillsborough County Development Services Department introduced the petition.

Ms. Linda Stewart 6901 Professional Pkwy. Sarasota testified on behalf of the applicant. Ms. Stewart showed a presentation and stated that she is a certified land use planner. She introduced the development team. Ms. Stewart testified that the modification is for a Ruskin office building specifically to add a single tenant professional office use on-site. She stated that the site is currently approved for 25,400 square feet of commercial which was previously a medical office and is now vacant. No modifications are proposed to be made to the exterior of the building or the parking.

Hearing Master Finch asked Ms. Stewart to confirm that the square footage of the building will remain the same. Ms. Stewart replied yes.

Ms. Stewart continued her presentation by discussing the surrounding conditions including the location of sidewalks and land uses. She stated that staff found the modification consistent with Land Development Code and the Comprehensive Plan.

Ms. Michelle Heinrich of the Development Services Department, testified regarding the County staff report. She stated that the modification seeks to add a second development option to allow for slightly over 20,000 square feet of office uses. Ms. Heinrich testified that the use will be in the existing building with no changes to the development standards and that staff found the request approvable.

Ms. Jillian Massey of the Planning Commission testified regarding the Planning Commission staff report. Ms. Massey stated that the property is designated Suburban Mixed Use-6 and located in the Urban Service Area and the Ruskin Community Plan. She cited numerous policies that the modification complies with and added that the request meets Goal 2 of the Ruskin Community Plan. Ms. Massey concluded her presentation by stating that staff found the modification is consistent with both the Ruskin Community Plan and the Comprehensive Plan.

Hearing Master Finch asked audience members if there were any proponents of the application. No one replied.

Hearing Master Finch asked audience members if there were any opponents of the application. No one replied.

County staff and Ms. Stewart did not have additional comments.

Hearing Master Finch then concluded the hearing.

EVIDENCE SUBMITTED

Ms. Rome submitted a revised Development Services Department staff report into the record.

PREFACE

All matters that precede the Summary of Hearing section of this Decision are hereby incorporated into and shall constitute a part of the ensuing Findings of Fact and Conclusions of Law.

FINDINGS OF FACT

1. The subject site is 4.6 acres and is zoned Planned Development (10-0296). The property is designated OC-20 by the Comprehensive Plan and located in the Urban Service Area and the Ruskin Community Planning Area.
2. The subject property is currently approved for a 25,400 square foot medical office building.
3. The Major Modification requests to add a development option to permit a 20,567 square foot single-tenant business service, professional office and professional service building.
4. The applicant's representative testified that there will be no exterior changes to the existing building which is currently vacant.
5. No PD variations or waivers are requested.
6. The Planning Commission supports the request and found the modification consistent with both the Ruskin Community Plan and the Comprehensive Plan.
7. The subject property is abutting AS-1 zoning to the north and south, and PD zonings to the east and west. The surrounding development pattern is primarily residential
8. No testimony in opposition was provided at the Zoning Hearing Master hearing.
9. The proposed modification is compatible with the surrounding development pattern and consistent with the Comprehensive Plan and Land Development Code.

FINDINGS OF COMPLIANCE/NON-COMPLIANCE WITH THE HILLSBOROUGH COUNTY COMPREHENSIVE PLAN

The Major Modification request is in compliance with and does further the intent of the Goals, Objectives and the Policies of the Future of Hillsborough Comprehensive Plan.

CONCLUSIONS OF LAW

Based on the Findings of Fact cited above, there is substantial competent evidence to demonstrate that the requested Major Modification to the Planned Development zoning is in conformance with the applicable requirements of the Land Development Code and with applicable zoning and established principles of zoning law.

SUMMARY

The subject PD 10-0296 is approved for a 25,400 square foot medical office building.

The Major Modification requests to add a development option to permit a 20,567 square foot single-tenant business service, professional office and professional service building. The applicant's representative testified that there will be no exterior changes to the existing building which is currently vacant.

No Planned Development variations or waivers are requested.

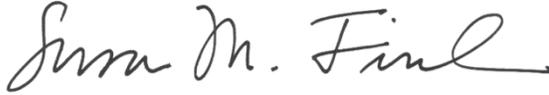
The Planning Commission supports the request and found the modification consistent with the Ruskin Community Plan and the Comprehensive Plan.

No testimony in opposition was provided at the Zoning Hearing Master hearing.

The proposed modification is compatible with the surrounding development pattern and consistent with the Comprehensive Plan and Land Development Code.

RECOMMENDATION

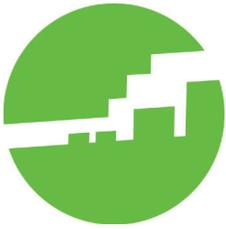
Based on the foregoing, this recommendation is for **APPROVAL** of the Major Modification to Planned Development 10-0296 as indicated by the Findings of Fact and Conclusions of Law stated above subject to the zoning conditions prepared by the Development Services Department.



December 10, 2025

Susan M. Finch, AICP
Land Use Hearing Officer

Date



**Hillsborough County
City-County
Planning Commission**

Plan Hillsborough
planhillsborough.org
planner@plancom.org
813 – 272 – 5940
601 E Kennedy Blvd
18th floor
Tampa, FL, 33602

Unincorporated Hillsborough County Rezoning Consistency Review	
Hearing Date: November 17, 2025 Report Prepared: November 6, 2025	Case Number: MM 25-1081 Folio(s): 55070.0000 General Location: North of 14 th Avenue Southeast and west of 30 th Avenue Southeast
Comprehensive Plan Finding	CONSISTENT
Adopted Future Land Use	Suburban Mixed Use-6 (6 du/ga; 0.25/0.35/0.50 FAR)
Service Area	Urban
Community Plan(s)	Ruskin & SouthShore Areawide Systems
Rezoning Request	Major Modification (MM) to Planned Development (PD 10-0296) to add a Business Professional Office (BPO) use
Parcel Size	4.64 ± acres
Street Functional Classification	14 th Avenue Southeast – County Collector 30 th Avenue Southeast – Local
Commercial Locational Criteria	N/A
Evacuation Area	None

Table 1: COMPARISON OF SURROUNDING PROPERTIES

Vicinity	Future Land Use Designation	Zoning	Existing Land Use
Subject Property	Suburban Mixed Use-6	PD	Two-Family
North	Suburban Mixed Use-6	AS-1 + PD	Vacant Land + Single Family + Light Commercial
South	Suburban Mixed Use-6 + Residential-4	AS-1 + ASC-1	Vacant Land + Mobile Home Park + Single Family
East	Suburban Mixed Use-6 + Community Mixed Use-12	AS-1 + PD	Mobile Home Park + Vacant Land
West	Suburban Mixed Use-6 + Residential-4	AS-1 + RSC-6 + PD + ASC-1	Mobile Home Park + Single Family + Vacant Land

Staff Analysis of Goals, Objectives and Policies:

The 4.64 ± acre subject site is located north of 14th Avenue Southeast and west of 30th Avenue Southeast. The subject site is in the Urban Service Area and is within the limits of the Ruskin Community Plan and SouthShore Areawide Systems Plan. The applicant is requesting a Major Modification (MM) to Planned Development (PD 10-0296) to add a Business Professional Office (BPO) use.

The subject site is in the Urban Service Area where, according to Objective 1.1 of the Future Land Use Section (FLUS), 80 percent of the county’s growth is to be directed. Policy 3.1.3 requires all new developments to be compatible with the surrounding area, noting that Compatibility does not mean “the same as.” Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development.” The subject site currently has two family uses on the property. Vacant land is on all sides of the site. Single-family uses are to the north, south and west while there are mobile home parks to the south, east and west. According to the revised request, which was uploaded into Optix on October 24, 2025, the proposed development does not intend to expand, nor propose new construction of structures on the property. The proposed office/professional use meets the intents of FLUS Objective 1.1 and FLUS Policy 3.1.3.

Per Objective 2.2, Future Land Use categories outline the maximum level of intensity or density and range of permitted land uses allowed in each category. Table 2.2 contains a description of the character and intent permitted in each of the Future Land use categories. The subject site is in the Suburban Mixed Use-6 (SMU-6) Future Land Use category. The SMU-6 designation allows for the consideration of agricultural, residential, neighborhood commercial, office uses, research corporate park uses, light industrial multi-purpose and clustered residential and/or mixed-use. Office uses are not subject to locational criteria. The category allows neighborhood commercial up to 175,000 sq. ft. or 0.25 Floor Area Ratio (FAR), whichever

is less intense or 20% of the projects land area when part of larger planned research/corporate park. Office, research corporate park uses, light industrial multi-purpose and mixed-use projects up to a 0.35 FAR. Light industrial uses may achieve up to a 0.50 FAR. As the language states above, office uses are not subject to locational criteria and the proposed FAR for the Major Modification is 0.10, which is under the maximum of 0.35 FAR for office uses. The proposal is consistent with FLUS Objective 2.2 and Table 2.2.

The Comprehensive Plan requires that all development meet or exceed the land development regulations in Hillsborough County (FLUS Objective 4.1, FLUS Policy 4.1.1 and FLUS Policy 4.1.2). However, at the time of uploading this report, Transportation comments were not yet available in Optix and thus were not taken into consideration for analysis of this request.

The proposal does meet the intent of FLUS Objective 4.4 and FLUS Policy 4.4.1 that require new development to be compatible to the surrounding neighborhood. In this case, the surrounding land use pattern is comprised mostly of mixed uses with residential and vacant land in the immediate area. FLUS Policy 4.4.1 states that any density or intensity increases shall be compatible with existing, proposed or planned surrounding development. Development and redevelopment shall be integrated with the adjacent land uses through the creation of like uses, the creation of complementary uses, mitigation of adverse impacts, transportation/pedestrian connections and gradual transition of intensity. Existing vegetative buffers around the parcel will remain in place for screening and buffering to adjacent properties. The proposed office use would complement the surrounding area and meets the intent of FLUS Objective 4.4 and FLUS Policy 4.4.1.

The site is located within the limits of the Ruskin Community Plan and SouthShore Areawide Systems Community Plan. Goal 2 of the Ruskin Community Plan is dedicated to economic development and provide opportunities for business growth and jobs in the Ruskin community. One of the strategies is to ensure that there's appropriate land areas zoned for office and light industrial development. As such, Goal 1a under the Economic Development Objective of the SouthShore Areawide Systems Plan is to analyze, identify and market lands that are available for economic development, including: residential, commercial, office, industrial, agricultural (i.e., lands that already have development orders or lands that are not developable.) Goal 1 of the Cultural/Historic Objective of the SouthShore Areawide Systems Plan, which seeks to promote sustainable growth and development that is clustered and well planned to preserve the area's environment, cultural identity and livability. The request to add a BPO use meets the intent of the Ruskin Community Plan and the SouthShore Areawide Systems Plan outlined in the Livable Communities Element.

Overall, staff finds that the proposed use is compatible with the existing development pattern found within the surrounding area and does support the vision of the Ruskin Community Plan and SouthShore Areawide Systems Plan. The proposed Major Modification would allow for development that is consistent with the Goals, Objectives and Policies of the *Unincorporated Hillsborough County Comprehensive Plan*.

Recommendation

Based upon the above considerations and the following Goals, Objectives and Policies, Planning Commission staff finds the proposed Major Modification **CONSISTENT** with the *Unincorporated Hillsborough County Comprehensive Plan*, subject to the conditions proposed by the Development Services Department.

FUTURE LAND USE SECTION

Urban Service Area

Objective 1.1: Hillsborough County shall pro-actively direct new growth into the urban service area with the goal that at least 80% of all population growth will occur within the USA during the planning horizon of this Plan. Within the Urban Service Area, Hillsborough County will not impede agriculture. Building permit activity and other similar measures will be used to evaluate this objective.

Compatibility

Policy 3.1.3: Compatibility is defined as the characteristics of different uses or activities or design which allow them to be located near or adjacent to each other in harmony. Some elements affecting compatibility include the following: height, scale, mass and bulk of structures, pedestrian or vehicular traffic, circulation, access and parking impacts, landscaping, lighting, noise, odor and architecture. Compatibility does not mean “the same as.” Rather, it refers to the sensitivity of development proposals in maintaining the character of existing development.

Land Use Categories

Objective 2.2: The Future Land Use Map (FLUM) shall identify Land Use Categories summarized in the table below, that establish permitted land uses and maximum densities and intensities.

Policy 2.2.1: The character of each land use category is defined by building type, residential density, functional use, and the physical composition of the land. The integration of these factors sets the general atmosphere and character of each land use category. Each category has a range of potentially permissible uses which are not exhaustive, but are intended to be illustrative of the character of uses permitted within the land use designation. Not all of those potential uses are routinely acceptable anywhere within that land use category.

Relationship to Land Development Regulations

Objective 4.1: All existing and future land development regulations shall be made consistent with the Comprehensive Plan, and all development approvals shall be consistent with those development regulations as per the timeframe provided for within Chapter 163, Florida Statutes. Whenever feasible and consistent with Comprehensive Plan policies, land development regulations shall be designed to provide flexible, alternative solutions to problems.

Policy 4.1.1: Each land use plan category shall have a set of zoning districts that may be permitted within that land use plan category, and development shall not be approved for zoning that is inconsistent with the plan.

Policy 4.1.2: Developments must meet or exceed the requirements of all land development regulations as established and adopted by Hillsborough County, the state of Florida and the federal government unless such requirements have been previously waived by those governmental bodies.

Neighborhood/Community Development

Objective 4.4: *Neighborhood Protection – The neighborhood is the functional unit of community development. There is a need to protect existing, neighborhoods and communities and those that will emerge in the future. To preserve, protect, and enhance neighborhoods and communities, all new development must conform to the following policies.*

Policy 4.4.1: *Development and redevelopment shall be integrated with the adjacent land uses through:*

- a) the creation of like uses; or*
- b) creation of complementary uses; or*
- c) mitigation of adverse impacts; and*
- d) transportation/pedestrian connections*

LIVABLE COMMUNITIES ELEMENT: RUSKIN COMMUNITY PLAN

Goal 2: *Economic Development – Provide opportunities for business growth and jobs in the Ruskin community.*

Strategies:

- *Ensure that there are appropriate land areas zoned for office and light industrial development.*

LIVABLE COMMUNITIES ELEMENT: SOUTHSHORE AREAWIDE SYSTEMS PLAN

Cultural/Historic Objective

The SouthShore region of Hillsborough County supports a diverse population with people living in unique communities, interspersed with farms, natural areas, open spaces and greenways that preserve and enhance the natural and cultural heritage.

The community desires to:

1. *Promote sustainable growth and development that is clustered and well planned to preserve the area's environment, cultural identity and livability.*
 - a. *Employ an integrated, inclusive approach to sustainable growth and development that is well planned to maintain the cultural and historic heritage and unique agricultural and archaeological resources of SouthShore*

Economic Development Objective

The SouthShore community encourages activities that benefits residents, employers, employees, entrepreneurs, and businesses that will enhance economic prosperity and improve quality of life.

The community desires to pursue economic development activities in the following areas:

1. *Land Use/Transportation*
 - a. *Analyze, identify and market lands that are available for economic development, including: residential, commercial, office, industrial, agricultural (i.e., lands that already have development orders or lands that are not developable.)*

HILLSBOROUGH COUNTY FUTURE LAND USE RZ MM 25-1081

Rezoning
STATUS



PENDING

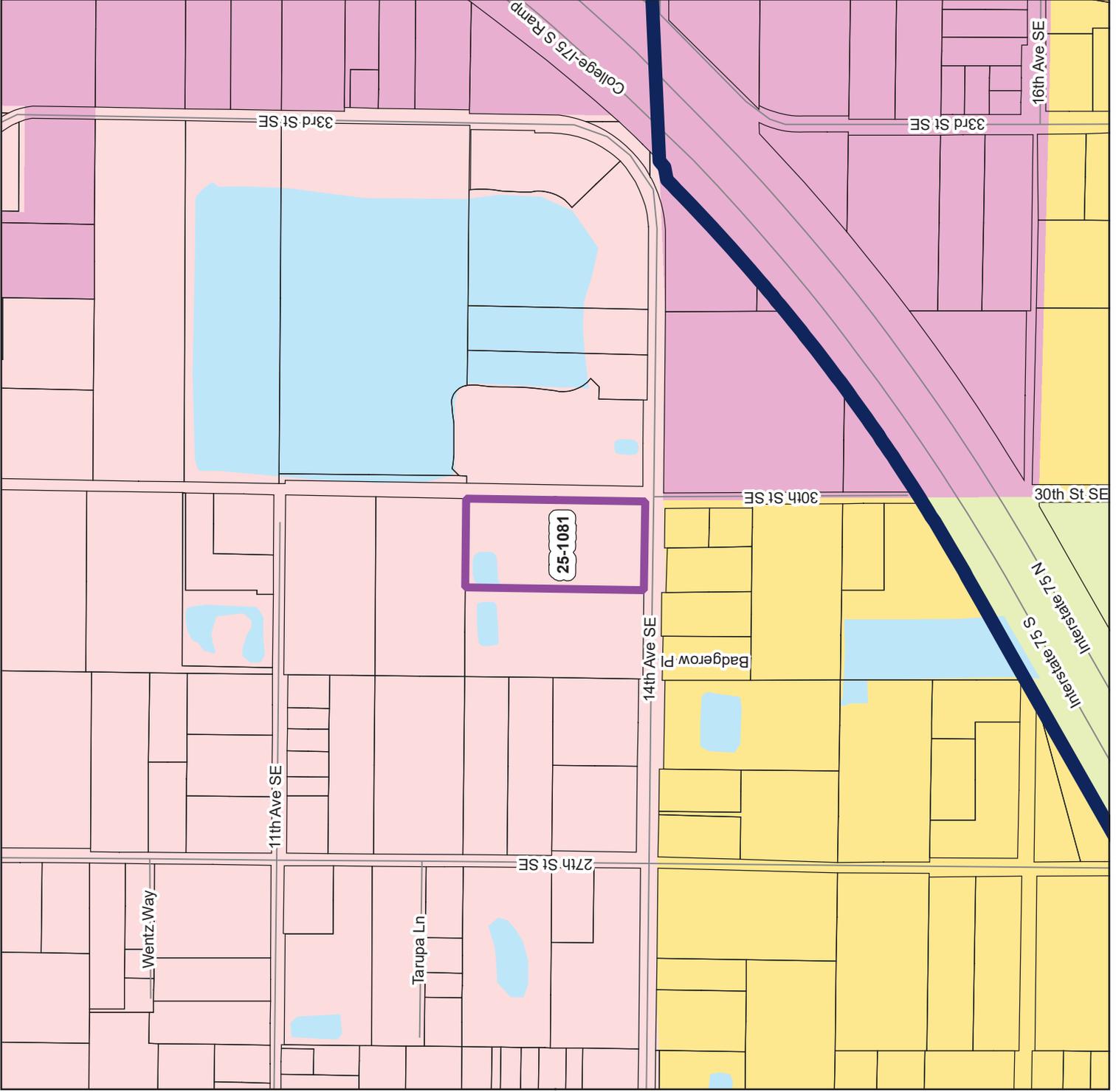
- Tampa Service Area
- Urban Service Area
- Shoreline
- County Boundary
- Jurisdiction Boundary
- Roads
- Parcels

- wamNATURAL LULC_Wee_Poly
- AGRICULTURAL/MINING-1/20 (.25 FAR)
- PEC PLANNED ENVIRONMENTAL COMMUNITY-1/2 (.25 FAR)
- AGRICULTURAL-1/10 (.25 FAR)
- AGRICULTURAL/RURAL-1/5 (.25 FAR)
- AGRICULTURAL ESTATE-1/2.5 (.25 FAR)
- RESIDENTIAL-1 (.25 FAR)
- RESIDENTIAL-2 (.25 FAR)
- RESIDENTIAL-PLANNED-2 (.35 FAR)
- RESIDENTIAL-4 (.25 FAR)
- RESIDENTIAL-6 (.25 FAR)
- RESIDENTIAL-9 (.35 FAR)
- RESIDENTIAL-12 (.35 FAR)
- RESIDENTIAL-16 (.35 FAR)
- RESIDENTIAL-20 (.35 FAR)
- RESIDENTIAL-35 (1.0 FAR)
- NEIGHBORHOOD MIXED USE-4 (0.1, .35 FAR)
- SUBURBAN MIXED USE-6 (.35 FAR)
- COMMUNITY MIXED USE-12 (.50 FAR)
- URBAN MIXED USE-20 (1.0 FAR)
- REGIONAL MIXED USE-35 (2.0 FAR)
- INNOVATION CORRIDOR MIXED USE-35 (2.0 FAR)
- OFFICE COMMERCIAL-20 (.75 FAR)
- RESEARCH CORPORATE PARK (1.0 FAR)
- ENERGY INDUSTRIAL PARK (.50 FAR USES OTHER THAN RETAIL, .25 FAR RETAIL/COMMERCE)
- LIGHT INDUSTRIAL PLANNED (.75 FAR)
- LIGHT INDUSTRIAL (.75 FAR)
- HEAVY INDUSTRIAL (.75 FAR)
- PUBLIC/QUASH-PUBLIC
- NATURAL PRESERVATION
- WIMAUMA VILLAGE RESIDENTIAL-2 (.25 FAR)
- CITRUS PARK VILLAGE



DATA SOURCES: Rezoning boundaries from The Planning Commission and are not official. Parcel lines and data from Hillsborough County Property Appraiser. This map is intended for informational purposes only. It is not intended for use as a basis for any legal action. The user assumes all responsibility for the accuracy of the information presented on this map. Hillsborough County City-County Planning Commission. This map is for informational purposes only. For the most current data and information, see the appropriate source.

Map Printed from Rezoning System: 7/21/2025
 Author: J. Krzyzaniowski
 File: C:\Rezoning\System\Map\Projects\HCL\HCL\Map\Rezoning.mxd





**GENERAL
SITE PLAN
FOR
CERTIFICATION**



DEVELOPMENT SERVICES

PO Box 1110, Tampa, FL 33601-1110
(813) 272-5600

**HILLSBOROUGH COUNTY
DEVELOPMENT SERVICES DEPARTMENT**

GENERAL SITE PLAN REVIEW/CERTIFICATION

**BOARD OF COUNTY
COMMISSIONERS**

Chris Boles
Donna Cameron Cepeda
Harry Cohen
Ken Hagan
Christine Miller
Gwendolyn "Gwen" Myers
Joshua Wostal

COUNTY ADMINISTRATOR

Bonnie M. Wise

COUNTY ATTORNEY

Christine M. Beck

COUNTY INTERNAL AUDITOR

Melinda Jenzarli

DEPUTY COUNTY ADMINISTRATOR

Gregory S. Horwedel

Project Name: RUSKIN OFFICE PARK

Zoning File: PD 10-0296 Modification: MM 25-1081

Atlas Page: None Submitted: 12/19/25

To Planner for Review: 12/19/25 Date Due: ASAP

Contact Person: PAPE-DAWSON (fka Morris Engineering) Phone: 941.444.6644/ linda.stewart@pape-dawson.com

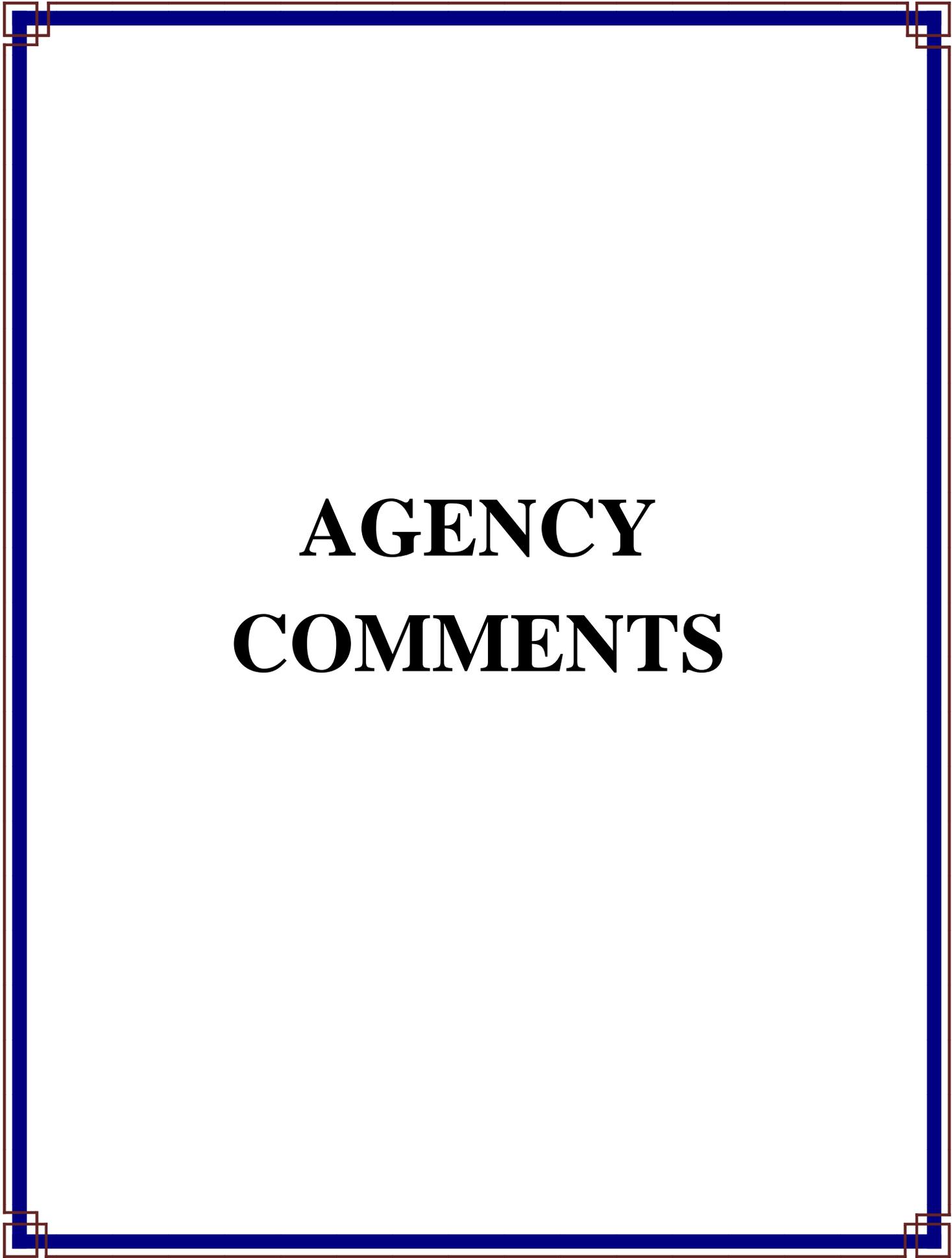
Right-Of-Way or Land Required for Dedication: Yes No

The Development Services Department HAS NO OBJECTION to this General Site Plan.

The Development Services Department RECOMMENDS DISAPPROVAL of this General Site Plan for the following reasons:

Reviewed by: Michelle Heinrich Date: 12/19/25

Date Agent/Owner notified of Disapproval: _____



AGENCY COMMENTS

AGENCY REVIEW COMMENT SHEET

TO: Zoning Technician, Development Services Department

DATE: 11/11/2025

Revised 11/17/2025

REVIEWER: Jessica Kowal, MPA, Principal Planner

AGENCY/DEPT: Transportation

PLANNING AREA: Ruskin

PETITION NO: MM 25-1081

- This agency has no comments.
- This agency has no objection.
- This agency has no objection, subject to the listed or attached conditions.
- This agency objects for the reasons set forth below.

CONDITIONS OF APPROVAL

Revised Conditions

1. The project is approved for a 25,400-square-foot medical clinic or a 20,567-square-foot single tenant professional office building with the following development standards:
 - a. Maximum height 35 feet
 - b. Floor Area Ratio (FAR) 0.13 percent
 - c. Maximum Impervious Surface 60 percent.

2. The applicant ~~may shall~~ be permitted a maximum of one (1) vehicular access point on 14th Avenue. Any change to the general design and location of the access point shall be regulated by the Hillsborough County Access Management regulations. The final design and location of the access point shall be regulated by the Hillsborough County Access Management regulations. Access points may be restricted in movement.

3. ~~Prior to the issuance of certificates of occupancy, the applicant may be required to provide documentation at Preliminary Site Plan submittal regarding the existing pavement width and right of way along 14th Avenue. Subject to the results, the developer may be required to improve/widen 14th Avenue adjacent to the site to Hillsborough County Transportation Technical Manual standards. If the Developer can provide signed and sealed documentation that the current pavement and right of way width on 14th Avenue meets the current standards for a two lane collector roadway, based on the Hillsborough County Transportation Technical Manual, then the Developer may not be required to dedicate right of way or upgrade a portion and/or widen the roadway As N 78th St is a substandard local roadway, the developer will be required to improve the roadway, between the E. Elm St and E. Sligh Ave, to current County standards unless otherwise approved in accordance with Sec. 6.04.02.B of the Hillsborough County LDC. Design Exceptions (DEs) and Design Deviation Memoranda (DDM) from Transportation Technical Manual (TTM) standards may be considered in accordance with Sec. 1.7 and other applicable sections of the TTM. As 14th Ave SE is a substandard local roadway, the developer will be required to improve the roadway to current County standards from the project's access to the next~~

roadway that meets current County standards, unless otherwise approved in accordance with Sec. 6.04.02.B of the Hillsborough County LDC. Design Exceptions (DEs) and Design Deviation Memoranda (DDM) from Transportation Technical Manual (TTM) standards may be considered in accordance with Sec. 1.7 and other applicable sections of the TTM.

[Transportation Review Staff proposes modification of this condition to conform with current practice.]

New Conditions

- Notwithstanding anything herein or shown on the PD site plan or herein these conditions to the contrary, bicycle and pedestrian access may be permitted anywhere along the PD boundaries.
- All construction ingress and egress shall be limited to the project access. The developer shall include a note in each site/construction plan submittal which indicates same.

Other Conditions

- Prior to site plan certification, the PD site plan shall be amended as follows:
 - Revise “medical office” to “medical clinic”
 - Revise the folio number for the parcel to the west from 55071.0000 to 55071.0100
 - Remove the westernmost ‘dirt driveway’

PROJECT SUMMARY AND ANALYSIS

The applicant is requesting a major modification to the existing Planned Development (PD) (10-0296) on folio 55070.0000 to add the option for a 20,567 square foot professional office building. The existing PD is approved for a 25,400 square foot medical clinic, of which 20,567 square feet has been developed on the subject site. The subject site is located on the north side of 14th Avenue SE approximately 10 feet west of 30th Street.

Although 25,400 square feet of medical clinic is permitted on the site, the applicant’s submitted PD site plan reflects the existing 20,567 square foot building and does not propose any additions to the existing building or new buildings, therefore any increase in square footage on site will require a minor (PRS) zoning modification.

Trip Generation Analysis

As required pursuant to the Development Review Procedures Manual (DRPM), the applicant submitted a trip generation and site access analysis for the proposed single tenant professional office option. Staff prepared a comparison of the potential trips generated by development Option 1 and the proposed Option 2 based upon the Institute of Transportation Engineer’s *Trip Generation Manual, 12th Edition*. There is no change in trip generation as Option 1 is proposed to remain.

Approved Zoning (Option 1):

Zoning, Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
25,400 SF Medical-Dental Office Building (LUC 720)	956	69	88

Proposed Zoning (Option 2):

Zoning, Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
20,567 Single Tenant Office Building (LUC 715)	254	15	12

Trip Generation Difference:

Zoning, Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
Difference (Option 1 – Option 2)	0	0	0

TRANSPORTATION INFRASTRUCTURE SERVING THE SITE

The site is served by 14th Avenue SE, a 2-lane, undivided, rural collector roadway characterized by +/- 10-foot-wide lanes in average condition. The roadway lies within a +/- 60-foot-wide right of way. There are no bike lanes on the roadway in the vicinity of the proposed project. There is a 5-foot-wide sidewalk along the site’s frontage. No other sidewalks are present within the vicinity of the subject site.

SITE ACCESS

The site currently takes access from 14th Avenue SE and there are no proposed changes to the existing access connection with this zoning request.

14th Avenue SE is currently identified as a substandard road because it does not comply with the 2021 Hillsborough County Transportation Technical Manual’s (TTM) typical section for a two-lane, undivided, urban collector road (TS-4). Although 14th Avenue SE is a substandard collector roadway, the proposal was reviewed by the County Engineer and, due to the proposed project’s significant decrease in daily, AM peak hour, and PM peak hour trips, it was determined that the existing PD’s condition of approval regarding 14th Avenue SE is sufficient to address substandard roads concurrent with this zoning request.

SUBSTANDARD ROAD – 14TH AVE. SE

14th Avenue SE is a substandard roadway. The proposal was reviewed by the County Engineer who determined the PD condition of approval regarding 14th Avenue SE is sufficient to address substandard roads for this zoning request.

ROADWAY LEVEL OF SERVICE (LOS) INFORMATION

The roadway level of service provided for 14th Avenue SE is for informational purposes only. It should be noted that the segment identified is approximately 0.45 miles from the subject site, level of service information for that portion of roadway fronting the site is not available, as that segment was not included in the 2024 LOS Report.

Generalized Level of Service				
Roadway	From	To	LOS Standard	Peak Hr. Directional LOS

14 th Avenue SE	US Highway 41	24 th Street SE	D	C
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Source: [2024 Hillsborough County Level of Service \(LOS\) Report](#)

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 Rick Muratti, Esq. LEGAL DEPT
 Steffanie L. Wickham WASTE DIVISION

AGENCY COMMENT SHEET

REZONING	
HEARING DATE: October 20, 2025 PETITION NO.: 25-1081 EPC REVIEWER: Kelly M. Holland CONTACT INFORMATION: (813) 627-2600 x 1222 EMAIL: hollandk@epchc.org	COMMENT DATE: July 30, 2025 PROPERTY ADDRESS: 2814 14th Avenue SE, Ruskin FOLIO #: 0550700000 STR: 10-32S-19E
REQUESTED ZONING: Adding Business, Professional Services use to an existing PD	
FINDINGS	
WETLANDS PRESENT	YES
SITE INSPECTION DATE	N/A
WETLAND LINE VALIDITY	EXPIRED
WETLANDS VERIFICATION (AERIAL PHOTO, SOILS SURVEY, EPC FILES)	Ditches throughout the property
<p>The EPC Wetlands Division has reviewed the proposed rezoning. In the site plan’s current configuration, a resubmittal is not necessary. If the zoning proposal changes and/or the site plans are altered, EPC staff will need to review the zoning again. This project as submitted is conceptually justified to move forward through the zoning review process as long as the following conditions are included:</p> <ul style="list-style-type: none"> Approval of this zoning petition by Hillsborough County does not constitute a guarantee that the Environmental Protection Commission of Hillsborough County (EPC) approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impact to wetlands, and does not grant any implied or vested right to environmental approvals. The construction and location of any proposed wetland impacts are not approved by this correspondence but shall be reviewed by EPC staff under separate application pursuant to the EPC Wetlands rule detailed in Chapter 1-11, Rules of the EPC, (Chapter 1-11) to determine whether such impacts are necessary to accomplish reasonable use of the subject property. Prior to the issuance of any building or land alteration permits or other development, the approved wetland / other surface water (OSW) line must be incorporated into the site plan. The 	

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Environmental Protection Commission - Roger P. Stewart Center
 3629 Queen Palm Drive, Tampa, FL 33619 - (813) 627-2600 - www.epchc.org

wetland/ OSW line must appear on all site plans, labeled as "EPC Wetland Line", and the wetland must be labeled as "Wetland Conservation Area" pursuant to the Hillsborough County Land Development Code (LDC).

- Final design of buildings, stormwater retention areas, and ingress/egresses are subject to change pending formal agency jurisdictional determinations of wetland and other surface water boundaries and approval by the appropriate regulatory agencies.

INFORMATIONAL COMMENTS:

The following specific comments are made for informational purposes only and to provide guidance as to the EPC review process. However, future EPC staff review is not limited to the following, regardless of the obviousness of the concern as raised by the general site plan and EPC staff may identify other legitimate concerns at any time prior to final project approval.

- The subject property may contain wetland/OSW areas, which have not been delineated. Knowledge of the actual extent of the wetland and OSW are necessary in order to verify the avoidance of wetland impacts pursuant to Chapter 1-11. Prior to the issuance of any building or land alteration permits or other development, the wetlands/OSWs must be field delineated in their entirety by EPC staff or Southwest Florida Water Management District staff (SWFWMD) and the wetland line surveyed. Once delineated, surveys must be submitted for review and formal approval by EPC staff.
- Chapter 1-11 prohibits wetland impacts unless they are necessary for reasonable use of the property. Staff of the EPC recommends that this requirement be taken into account during the earliest stages of site design so that wetland impacts are avoided or minimized to the greatest extent possible. The size, location, and configuration of the wetlands may result in requirements to reduce or reconfigure the improvements depicted on the plan.
- The Hillsborough County Land Development Code (LDC) defines wetlands and other surface waters as Environmentally Sensitive Areas. Pursuant to the LDC, wetlands and other surface waters are further defined as Conservation Areas or Preservation Areas and these areas must be designated as such on all development plans and plats. A minimum setback must be maintained around the Conservation/Preservation Area and the setback line must also be shown on all future plan submittals.
- Any activity interfering with the integrity of wetland(s) or other surface water(s), such as clearing, excavating, draining or filling, without written authorization from the Executive Director of the EPC or authorized agent, pursuant to Section 1-11.07, would be a violation of Section 17 of the Environmental Protection Act of Hillsborough County, Chapter 84-446, and of Chapter 1-11.

Kmh / app

ec: Bradley Herremans, property owner – bherremans@suncoast-chc.org
Brian Robinson, applicant – brobinson@solecp.com
Linda Stewart, agent – lstewart@morrisengineering.net

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**Hillsborough
County Florida**
Development Services

AGENCY REVIEW COMMENT SHEET

NOTE: THIS IS ONLY FOR ESTIMATE PURPOSES, BASED ON THE FEES AT THE TIME THE REVIEW WAS MADE. ACTUAL FEES WILL BE ASSESSED BASED ON PERMIT APPLICATIONS RECEIVED AND BASED ON THE FEE SCHEDULE AT THE TIME OF BUILDING PERMIT APPLICATION.

TO: Zoning Review, Development Services

DATE: 11/05/2025

REVIEWER: Ron Barnes, Impact & Mobility Fee Coordinator

APPLICANT: SJB Ventures LLC, By XLM Management LLC

PETITION NO: 25-1081

LOCATION: 2814 SE 14th Ave

FOLIO NO: 55070.0000

Estimated Fees:

Single Tenant Office

(Per 1,000 s.f.)

Mobility: \$10,005

Fire: \$158

Project Summary/Description:

Urban Mobility, South Fire - Single Tenant Office - size not specified

AGENCY COMMENT SHEET

TO: **Zoning/Code Administration, Development Services Department**

FROM: **Reviewer: Andria McMaugh** **Date: 08/06/2025**

Agency: Natural Resources **Petition #: 25-1081**

- This agency has **no comment**
- This agency has **no objections**
- This agency has **no objections, subject to listed or attached conditions**
- This agency **objects, based on the listed or attached issues.**

1. Approval of this petition by Hillsborough County does not constitute a guarantee that Natural Resources approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impacts to trees, natural plant communities or wildlife habitat, and does not grant any implied or vested right to environmental approvals.
2. The construction and location of any proposed environmental impacts are not approved by this correspondence, but shall be reviewed by Natural Resources staff through the site and subdivision development plan process pursuant to the Land Development Code.
3. If the notes and/or graphic on the site plan are in conflict with specific zoning conditions and/or the Land Development Code (LDC) regulations, the more restrictive regulation shall apply, unless specifically conditioned otherwise. References to development standards of the LDC in the above stated conditions shall be interpreted as the regulations in effect at the time of preliminary site plan/plat approval.

AGENCY REVIEW COMMENT SHEET

TO: ZONING TECHNICIAN, Planning Growth Management

DATE: 08/04/2025

REVIEWER: Sherri A. Wilson, Conservation and Environmental Lands Management

APPLICANT: MORRIS ENGINEERING

PETITION NO: 25-1081

LOCATION: 2814 SE 14th Ave., Ruskin, FL 33570

FOLIO NO: 55070.0000

SEC: 10 TWN: 32 RNG: 19

- This agency has no comments.

- This agency has no objection.

- This agency has no objection, subject to listed or attached conditions.

- This agency objects, based on the listed or attached conditions.

COMMENTS: _____.



Agency Review Comment Sheet

NOTE: Wellhead Resource Protection Areas (WRPA), Potable Water Wellfield Protection Areas (PWWPA), and Surface Water Resource Protection Areas (SWRPA) reviews are based on the most current available data on the Hillsborough County maps, as set forth in Part 3.05.00 of the Land Development Code.

TO: Zoning Review, Development Services **REQUEST DATE:** 7/16/2025
REVIEWER: Kim Cruz, Environmental Supervisor **REVIEW DATE:** 7/30/2025
PROPERTY OWNER: Ruskin Community Health Centers **PID:** 25-1081
Inc.
APPLICANT: SJB Ventures LLC by its Manager XLM Management LLC
LOCATION: 2814 SE 14th Ave. Ruskin, FL 33575
FOLIO NO.: 55070.0000

AGENCY REVIEW COMMENTS:

At this time, according to the Hillsborough County BOCC approved maps adopted in the Comprehensive Plan, the site is not located within a Wellhead Resource Protection Area (WRPA) and/or Surface Water Resource Protection Area (SWRPA), as defined in Part 3.05.00 of the Hillsborough County Land Development Code (LDC).

At this time, according to the Florida Department of Environmental Protection well location information, the site is not located within 500-feet of non-transient non-community and/or community water system wells; therefore, the site is not located within a Potable Water Wellfield Protection Area (PWWPA).

At this time, Hillsborough County Environmental Services Division has no objection to the applicant's request as it relates to the County's wellhead and surface water protection regulations.

**WATER RESOURCE SERVICES
REZONING REVIEW COMMENT SHEET: WATER & WASTEWATER**

PETITION NO.: MM 25-1081

REVIEWED BY: Clay Walker, E.I. DATE: 7/21/2025

FOLIO NO.: 55070.0000

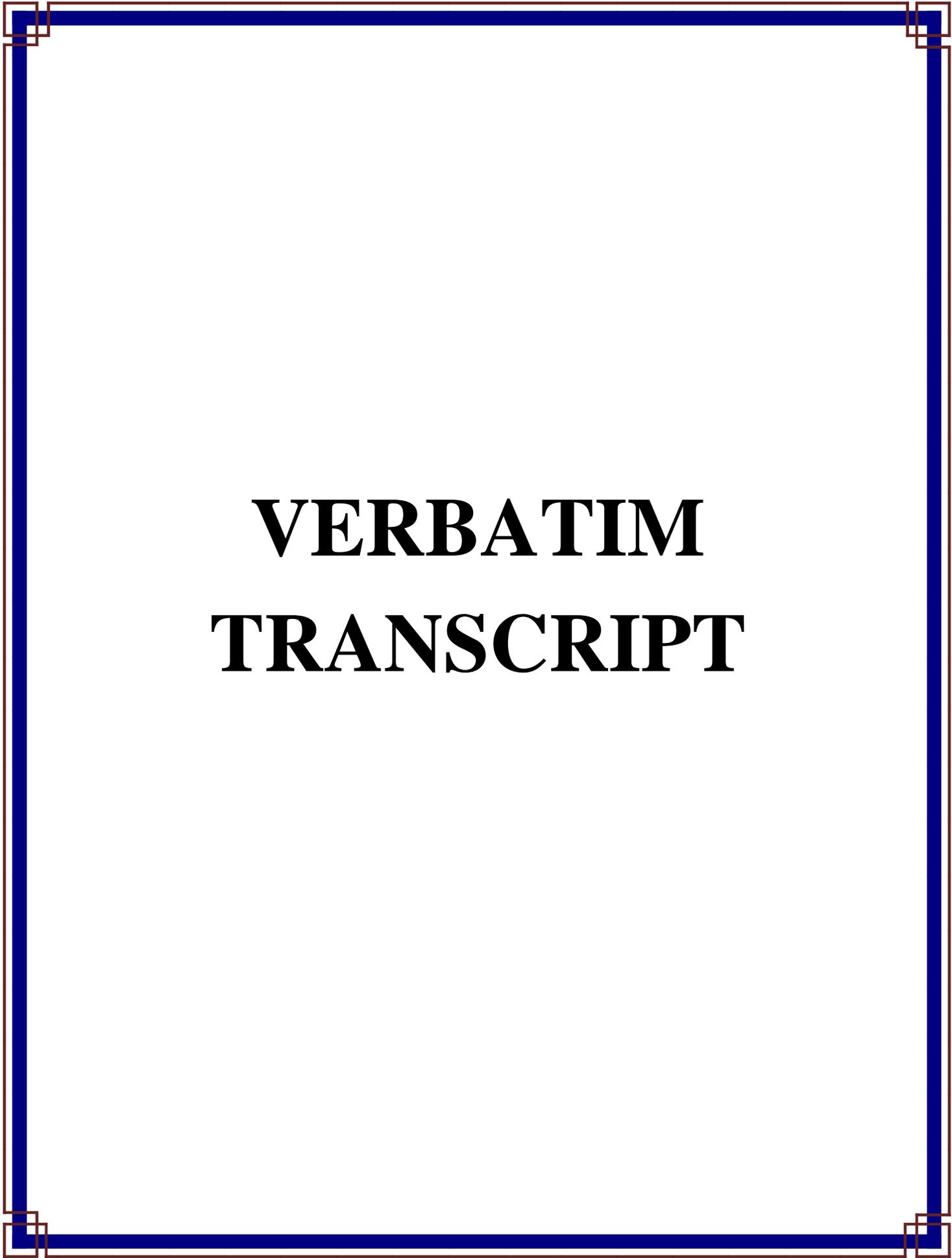
WATER

- The property lies within the _____ Water Service Area. The applicant should contact the provider to determine the availability of water service.
- A 8 inch water main exists (approximately ___ feet from the site), (adjacent to the site), and is located south of the subject property within the north Right-of-Way of 14th Avenue Southeast. This will be the likely point-of-connection, however there could be additional and/or different points-of-connection determined at the time of the application for service. This is not a reservation of capacity.
- Water distribution system improvements will need to be completed prior to connection to the County's water system. The improvements include _____ and will need to be completed by the _____ prior to issuance of any building permits that will create additional demand on the system.

WASTEWATER

- The property lies within the _____ Wastewater Service Area. The applicant should contact the provider to determine the availability of wastewater service.
- A 6 inch wastewater forcemain exists (approximately ____ feet from the project site), (adjacent to the site) and is located south of the subject property within the south Right-of-Way of 14th Avenue Southeast. This will be the likely point-of-connection, however there could be additional and/or different points-of-connection determined at the time of the application for service. This is not a reservation of capacity.
- Wastewater collection system improvements will need to be completed prior to connection to the County's wastewater system. The improvements include _____ and will need to be completed by the _____ prior to issuance of any building permits that will create additional demand on the system.

COMMENTS: The subject rezoning includes parcels that are within the Urban Service Area and would require connection to the County's potable water and wastewater systems. The subject area is located within the Hillsborough County Wastewater Service Area and will be served by the South County Wastewater Treatment Plant. If all of the development commitments for the referenced facility are added together, they would exceed the existing reserve capacity of the facility. However, there is a plan in place to address the capacity prior to all of the existing commitments connecting and sending flow to the referenced facility. As such, an individual permit will be required based on the following language noted on the permits: The referenced facility currently does not have, but will have prior to placing the proposed project into operation, adequate reserve capacity to accept the flow from this project.



VERBATIM TRANSCRIPT

HILLSBOROUGH COUNTY, FLORIDA
BOARD OF COUNTY COMMISSIONERS

IN RE:

ZONING HEARING MASTER MEETING

ZONING HEARING MASTER MEETING
TRANSCRIPT OF TESTIMONY AND PROCEEDINGS

BEFORE: Susan Finch
Zoning Hearing Master

DATE: Monday, November 17, 2025

TIME: Commencing at 6:00 p.m.
Concluding at 10:26 p.m.

LOCATION: Hillsborough County BOCC -
Development Services Dept.
(LUHO, ZHM, Phosphate)
601 East Kennedy Boulevard
Second Floor Boardroom
Tampa, Florida 33601

Reported by:
Diane DeMarsh, AAERT No. 1654
Notary Public for the State of Florida

1 MS. HEINRICH: Our next application is Item D.5 Nature
2 Bond 25-1081. The applicant is requesting Major Modification of
3 PD 10-0296. James Baker has reviewed this application and I
4 will provide comments on his behalf after the applicant's
5 presentation.

6 HEARING MASTER: Okay. Is the applicant here?

7 Okay. Good evening.

8 MS. STEWART: Hi, Good evening. Linda Stewart.
9 Sorry, getting over the flu. Linda Stewart and certified
10 planner for Morris Engineering, Kate Dawson, representing the
11 applicant who is here, as well as the traffic engineer, in case
12 there's any questions at the end.

13 THE CLERK: Can you state your address for the record,
14 please?

15 MS. STEWART: Sorry. 6901 Professional Parkway,
16 Sarasota. This is for a Ruskin office building. It is located
17 at 2814 14th Avenue, southeast of Ruskin. It's 4.6 acres. The
18 current zoning is Planned Development. We are not requesting a
19 rezone of this property. The Future Land Use is SMU-6. It's
20 located in the urban service area. The maximum FAR for the
21 property is 0.35. The provided FAR is less than half of that,
22 at 0.13. We're requesting a major modification to the existing
23 plan development simply to add a single tenant professional
24 office use on the property.

25 Currently, there is a 25,400 square foot commercial

1 building approved, which was a previous medical office use and
2 is currently vacant. The building was approved for 25,000
3 square feet. The actual construction was 20,567 square feet.
4 And that's what we're requesting to utilize with the office use.

5 There are no modifications to the property proposed at
6 all. Not to the building currently, on the exterior. We're not
7 going to modify the parking. We're not going to modify the
8 utilities. We're going to utilize the site as -- as existing
9 unless they want to do some interior remodeling. But you know,
10 as approved for the site plan and plan development, this will
11 remain the same.

12 HEARING MASTER: So the building is existing and
13 that's what that square footage represents.

14 MS. STEWART: Yes, ma'am.

15 HEARING MASTER: Understood. Thank you.

16 MS. STEWART: There's a single point of access that's
17 provided on 14th Avenue Southeast, with an existing sidewalk
18 that runs from property line to property line in front of the
19 building. The exterior sidewalk also connects to an interior
20 sidewalk, providing pedestrian access to the -- to the building.
21 There is existing sufficient code compliant parking for the
22 property, with no modifications being requested.

23 This is the zoning map of the area showing that it is
24 compatible with the existing PD zonings. An aerial view of the
25 site showing the existing building with the existing

1 infrastructure, as well as the existing uses within the
2 surrounding area. These are two photos, one looking east, one
3 looking west of the property. This -- as I stated this was a
4 medical office use. We are now changing it to a single medical
5 use -- medical office use to a single tenant professional office
6 use. The applicant is proposing to occupy himself.

7 The utilities are provided by Hillsborough County.
8 There's existing water and sewer lines that we are not
9 requesting to be modified. The traffic analysis shows a very
10 large reduction in traffic trips from a medical use to a single
11 tenant office use. Staff has found the request consistent with
12 the Land Development Code and the Comprehensive Plan, and with
13 objective 4.4 Neighborhood Protection with Livable Communities
14 Section 1. And Development Review Procedures Manual Section
15 621-H2.

16 And we believe that this is in compliance with the
17 Land Development Code and the Comprehensive Plan. And we
18 request your approval. If you have any questions, we're
19 available.

20 HEARING MASTER: Not at this time. Thank you so much.

21 MS. STEWART: Thank you.

22 HEARING MASTER: I appreciate it.

23 Development Services.

24 THE CLERK: Can you please sign in.

25 MS. STEWART: Yeah. You'd think I'd known that

1 watching everyone else go through this.

2 HEARING MASTER: Development Services.

3 MS. HEINRICH: Good evening, Michelle Heinrich,
4 Development Services. Staff reviewed a Major Modification
5 request for this PD, which is currently approved for 25,400
6 square feet of medical clinic uses. The applicant seeks to add
7 a second development option to allow for slightly over 20,000
8 square feet of office uses.

9 The subject site is 4.6 acres in size and located
10 within the Ruskin community. The project seeks to utilize the
11 existing building with no changes in development standards, with
12 the exception of the second development option, which will be
13 approximately 5,000 square feet. Staff received no objections
14 from reviewing agencies and recommends approval subject to
15 proposed conditions. I'm available for any questions.

16 HEARING MASTER: Not at this time. Thank you so much.
17 Planning Commission.

18 MS. MASSEY: Jillian Massey, Planning Commission
19 staff. The subject site is located in the Suburban Mixed-Use-6
20 Future Land Use designation. It's in the urban service area and
21 within the limits of the Ruskin Community Plan and South Shore
22 Area Wide Systems Plan.

23 According to the request, the proposed development
24 does not intend to expand nor propose new construction of
25 structures on the property. The proposed office and

1 professional use meets the intent of Future Land Use Section
2 Objective 1.1 and Future Land Use Section Policy 3.1.3.

3 The proposed floor area ratio for the major
4 modification is 0.10, which is under the maximum of 0.35 floor
5 area ratio for office uses. Therefore, the proposal is
6 consistent with Objective 2.2 and Table 2.2 of the Future Land
7 Use section, which outlines densities and intensities for each
8 Land Use category.

9 It does meet the intent of Objective 4.4, Policy 4.4.1
10 that require new development to be compatible to the surrounding
11 neighborhood. In this case, the surrounding Land Use pattern is
12 comprised mostly of mixed-uses with residential and vacant land
13 in the immediate area. The existing vegetative buffers around
14 the parcel will remain in place for screening and buffering to
15 adjacent properties, and this -- therefore this proposed office
16 use would complement the surrounding area, meeting the intent of
17 the mentioned policy language.

18 The site is located within the limits of the Ruskin
19 Community Plan and South Shore Area Wide Systems Plan. Goal 2
20 of the Ruskin Community Plan is dedicated to economic
21 development and providing opportunities for business growth and
22 jobs in the community, which this proposal would meet the intent
23 of that. The proposal also meets the intent of the strategies
24 under the economic development objective and cultural and
25 historic objectives in the South Shore Area Wide Systems Plan.

1 And based on these considerations, Planning Commission
2 staff has found that the proposed major modification is
3 consistent with the Unincorporated Hillsborough County
4 Comprehensive Plan, subject to the conditions proposed by the
5 Development Services Department.

6 HEARING MASTER: Thank you so much. Is there anyone
7 in the room or online that would like to speak in support?
8 Anyone in favor? Seeing no one, anyone in opposition to the
9 request? No one.

10 Ms. Heinrich, anything else?

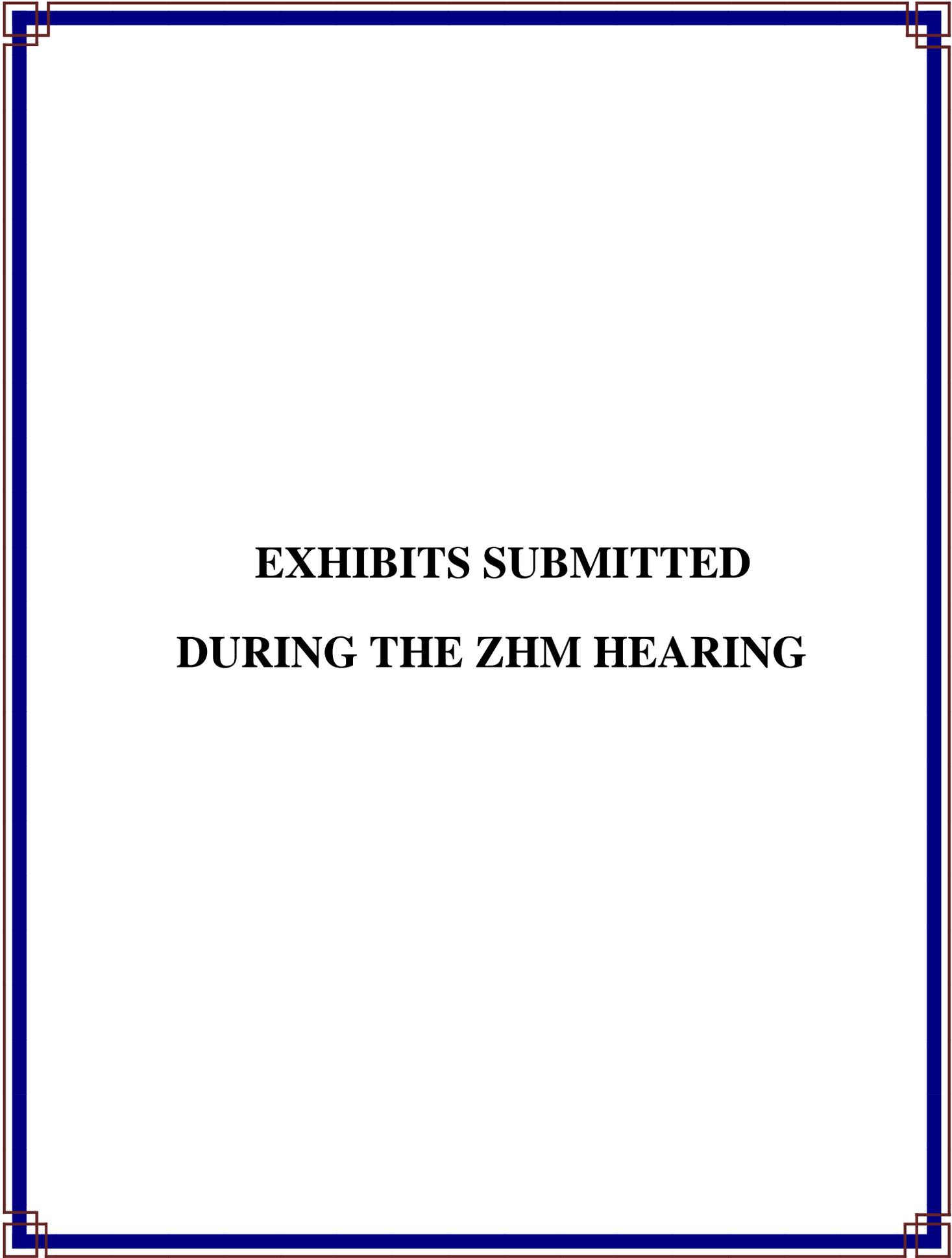
11 MS. HEINRICH: No, ma'am.

12 HEARING MASTER: All right. We'll go back to the
13 applicant. Anything further?

14 MS. STEWART: No, ma'am.

15 HEARING MASTER: All right then. With that, we'll
16 close Major Modification 25-1081 and go to the next case.

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**EXHIBITS SUBMITTED
DURING THE ZHM HEARING**

DATE/TIME: 11/17/2025 6pm HEARING MASTER: Susan FinchPLEASE **PRINT CLEARLY**, THIS INFORMATION WILL BE USED FOR MAILING

APPLICATION # <u>RZ 25 1350</u>	PLEASE PRINT NAME <u>Todd Pressman</u> MAILING ADDRESS <u>200 2nd South #451</u> CITY <u>St Pete</u> STATE <u>FL</u> ZIP <u>33701</u> PHONE <u>727-176</u>
APPLICATION # <u>RZ 25-1111</u>	PLEASE PRINT NAME <u>Todd Pressman</u> MAILING ADDRESS <u>200 2nd South #451</u> CITY <u>St Pete</u> STATE <u>FL</u> ZIP <u>33701</u> PHONE <u></u>
APPLICATION # <u>RZ 25-1111</u> <u>VS</u>	PLEASE PRINT NAME <u>Howard Owens</u> MAILING ADDRESS <u>11217 Andy Dr.</u> CITY <u>Riverview</u> STATE <u>FL</u> ZIP <u>33578</u> PHONE <u></u>
APPLICATION # <u>RZ 25-1111</u>	PLEASE PRINT NAME <u>Johnny Soape</u> MAILING ADDRESS <u>11118 Hannaway Drive</u> CITY <u>Riverview</u> STATE <u>FL</u> ZIP <u>33578</u> PHONE <u>813-399-4651</u>
APPLICATION # <u>RZ 25-1316</u>	PLEASE PRINT NAME <u>Rebecca Kert</u> MAILING ADDRESS <u>400N Tampa St Suite 1910</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33604</u> PHONE <u>813-368-3004</u>
APPLICATION # <u>RZ 25-1316</u>	PLEASE PRINT NAME <u>Stephan Sposato</u> MAILING ADDRESS <u>505 E Jackson St</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33607</u> PHONE <u>818 375-0610</u>

DATE/TIME: 11/17/2025 6pm HEARING MASTER: Susan Finch

PLEASE **PRINT CLEARLY**, THIS INFORMATION WILL BE USED FOR MAILING

APPLICATION # RZ 25-1316	PLEASE PRINT NAME <u>MICHAEL YATES</u> MAILING ADDRESS <u>PAUM TRAFFIC</u> <u>4006 S MACDILL AVE</u> CITY <u>TAMPA</u> STATE <u>FL</u> ZIP <u>33611</u> PHONE <u>8132058057</u>
APPLICATION # RZ 25-1316	PLEASE PRINT NAME <u>Grace E McComas</u> MAILING ADDRESS <u>805 Old Darky St</u> CITY <u>Seffner</u> STATE <u>FL</u> ZIP <u>33554</u> PHONE <u>813 240 3907</u>
APPLICATION # RZ 25-1316	PLEASE PRINT NAME <u>Glover Maggard</u> MAILING ADDRESS <u>PO. Box 183</u> CITY <u>Mango</u> STATE <u>Fla</u> ZIP <u>33550</u> PHONE <u>813 318-150x</u>
APPLICATION # RZ 25-1319	PLEASE PRINT NAME <u>Patricia Ortiz AICP</u> MAILING ADDRESS <u>2810 N Central Ave</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33602</u> PHONE <u>8138178492</u>
APPLICATION # RZ 25-1319 VS	PLEASE PRINT NAME <u>Cheryl Harris</u> MAILING ADDRESS <u>205 Louise Ave</u> CITY <u>Brandon</u> STATE <u>FL</u> ZIP <u>33510</u> PHONE _____
APPLICATION # RZ 25-1390	PLEASE PRINT NAME <u>Todd Pressman</u> MAILING ADDRESS <u>200 2nd Ave South #451</u> CITY <u>St Pete</u> STATE <u>FL</u> ZIP <u>33701</u> PHONE _____

DATE/TIME: 11/17/2025 6pm HEARING MASTER: Susan Finch

PLEASE **PRINT CLEARLY**, THIS INFORMATION WILL BE USED FOR MAILING

APPLICATION # <u>RZ</u> <u>05-1390</u>	PLEASE PRINT NAME <u>Nicholas West</u> MAILING ADDRESS <u>717 E B7th Ave</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33613</u> PHONE <u>850-252-5920</u>
APPLICATION # <u>RZ</u> <u>05-1390</u>	PLEASE PRINT NAME <u>Robinson Castro</u> MAILING ADDRESS <u>722 EAST 137TH AVE.</u> CITY <u>TAMPA</u> STATE <u>FL</u> ZIP <u>33613</u> PHONE <u>813-464-1400</u>
APPLICATION # <u>RZ</u> <u>25-0579</u>	PLEASE PRINT NAME <u>Michael Brooks</u> MAILING ADDRESS <u>400 N. TAMPA ST. / STE 1910</u> CITY <u>TAMPA</u> STATE <u>FL</u> ZIP <u>33602</u> PHONE _____
APPLICATION # <u>RZ</u> <u>25-0579</u>	PLEASE PRINT NAME <u>Stephen Sposato</u> MAILING ADDRESS <u>505 E Jackson St.</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33602</u> PHONE <u>813-375-0816</u>
APPLICATION # <u>RZ</u> <u>25-0579</u>	PLEASE PRINT NAME <u>MICHAEL YATES, PALM TRAFFIC</u> MAILING ADDRESS <u>4006 S. MacDILL AVE</u> CITY <u>TAMPA</u> STATE <u>FL</u> ZIP <u>33611</u> PHONE <u>813 205 8057</u>
APPLICATION # <u>RZ</u> <u>25-0579</u>	PLEASE PRINT NAME <u>Grace McComas</u> MAILING ADDRESS <u>805 0100 darby st</u> CITY <u>Seffner</u> STATE <u>FL</u> ZIP <u>33844</u> PHONE <u>813 240 3907</u>

DATE/TIME: 11/7/2025 6pm HEARING MASTER: SUSAN FINCHPLEASE **PRINT CLEARLY**, THIS INFORMATION WILL BE USED FOR MAILING

APPLICATION # RZ 25-0579	PLEASE PRINT NAME <u>Crover Maggard</u> MAILING ADDRESS <u>P.O. Box 138</u> CITY <u>Mango</u> STATE <u>FLA</u> ZIP <u>33550</u> PHONE <u>813-318-0501</u>
APPLICATION # RZ 25-0579	PLEASE PRINT NAME <u>Jeremy Couch</u> MAILING ADDRESS <u>17937 Huntingdon Circle</u> CITY <u>Lutz</u> STATE <u>FL</u> ZIP <u>33558</u> PHONE <u>8139202005</u>
APPLICATION # MM 25-0648	PLEASE PRINT NAME <u>Isabelle Albert</u> MAILING ADDRESS <u>1000 Washley Dr</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33607</u> PHONE <u>813-331-0876</u>
APPLICATION # MM 25-0648	PLEASE PRINT NAME <u>Jonathan Ellis</u> MAILING ADDRESS <u>1511 N. Westshore Blvd</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33607</u> PHONE <u>813-754-8454</u>
APPLICATION # MM 25-0648	PLEASE PRINT NAME <u>Karla Llanos</u> MAILING ADDRESS <u>1645 SunCityCenter PL2 ^{unit 5066}</u> CITY <u>SunCity Center</u> STATE <u>FL</u> ZIP <u>33571</u> PHONE <u>813-7846272</u>
APPLICATION # MM 25-0648	PLEASE PRINT NAME <u>CRAIG MAJER</u> MAILING ADDRESS <u>6408 MARGARITA SHORES LN</u> CITY <u>Apalachicola</u> STATE <u>FL</u> ZIP <u>33577</u> PHONE <u>2054221369</u>

DATE/TIME: 11/17/2025 6PM HEARING MASTER: SUSAN FINCHPLEASE **PRINT CLEARLY**, THIS INFORMATION WILL BE USED FOR MAILING

APPLICATION # <u>MM</u> <u>25-0648</u>	PLEASE PRINT NAME <u>BRYAN M'GEE</u> MAILING ADDRESS <u>6422 MARGARITA SHORES LANE</u> CITY <u>APOLO BEACH</u> STATE <u>FL</u> ZIP <u>37572</u> PHONE <u>402.215.1834</u>
APPLICATION # <u>MM</u> <u>25-0648</u>	PLEASE PRINT NAME <u>William Molloy</u> MAILING ADDRESS <u>325 S Blvd</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33604</u> PHONE <u>8-254-7152</u>
APPLICATION # <u>MM</u> <u>250932</u>	PLEASE PRINT NAME <u>William J Molloy</u> MAILING ADDRESS <u>325 S RLM</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33604</u> PHONE <u>254-7157</u>
APPLICATION # <u>MM</u> <u>25-0932</u>	PLEASE PRINT NAME <u>Isabelle Albert</u> MAILING ADDRESS <u>1000 W Ashley Drive # 700</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33602</u> PHONE <u>813 331 0976</u>
APPLICATION # <u>MM</u> <u>25-0932</u>	PLEASE PRINT NAME <u>Casey VanLaurenbergh vanvaerenbergh</u> MAILING ADDRESS <u>11009 Fern Hill Drive</u> CITY <u>Review</u> STATE <u>FL</u> ZIP <u>33584</u> PHONE <u>813-323-4549</u>
APPLICATION # <u>MM</u> <u>25-0932</u>	PLEASE PRINT NAME <u>David VanLaurenbergh</u> MAILING ADDRESS <u>11207 Fernhill Drive</u> CITY <u>Review</u> STATE <u>FL</u> ZIP <u>33578</u> PHONE <u>813-340-9888</u>

DATE/TIME: 11/17/2025 4 PM HEARING MASTER: SUSAN FINCH

PLEASE PRINT CLEARLY, THIS INFORMATION WILL BE USED FOR MAILING

APPLICATION # MM 250932	PLEASE PRINT NAME Mitchell Thompson MAILING ADDRESS 11055 Sage Canyon Dr CITY Riverview STATE FL ZIP 33575 PHONE 813 447 0052
APPLICATION # MM 25-0932	PLEASE PRINT NAME Samantha Vazara MAILING ADDRESS 11053 Sage Canyon Dr CITY Riverview STATE FL ZIP 33518 PHONE 813 598-8848
APPLICATION # MM 25 0932	PLEASE PRINT NAME Chad Thompson MAILING ADDRESS 20710 Sage Canyon Dr. CITY Riverview STATE FL ZIP 33579 PHONE 813-422-4336
APPLICATION # MM 25-0932	PLEASE PRINT NAME MICHAEL YATES, PAWR TRAFFIC MAILING ADDRESS 4006 S. MacDill Ave. CITY TAMPA STATE FL ZIP 33611 PHONE 813 205 8057
APPLICATION # MM 25-1081	PLEASE PRINT NAME Linda Stewart, Morris Eng. MAILING ADDRESS 6901 Professional Pkwy CITY Sarasota STATE FL ZIP PHONE 941-444-6644
APPLICATION # MM 25-1242	PLEASE PRINT NAME Addie Clark MAILING ADDRESS 400 N. Ashley Dr. Ste 1100 CITY Tampa STATE FL ZIP 33602 PHONE 813 319-4759

DATE/TIME: 11/17/2025 6 PM HEARING MASTER: Susan FinchPLEASE **PRINT CLEARLY**, THIS INFORMATION WILL BE USED FOR MAILING

APPLICATION # MM 25-1243	PLEASE PRINT NAME <u>Isabelle Albert</u> MAILING ADDRESS <u>1000 W Ashley Dr. # 900</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33602</u> PHONE ⁸¹³ <u>331 0976</u>
APPLICATION # RZ 25-1244	PLEASE PRINT NAME <u>Anne Pollack</u> MAILING ADDRESS <u>200 Central Ave #1600</u> CITY <u>St. Pete</u> STATE <u>FL</u> ZIP <u>33701</u> PHONE <u>927-820-3989</u>
APPLICATION # RZ 25-1246	PLEASE PRINT NAME <u>Isabelle Albert</u> MAILING ADDRESS <u>1000 W Ashley Dr # 900</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33602</u> PHONE ⁸¹³ <u>331 0976</u>
APPLICATION # RZ 25-0383 VS	PLEASE PRINT NAME <u>Bassam Dammak</u> MAILING ADDRESS <u>6820 Rosemary Dr</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33625</u> PHONE _____
APPLICATION # RZ 25-0383 VS	PLEASE PRINT NAME <u>Tyseer Kourdi</u> MAILING ADDRESS <u>26307 Mountain Lake Rd</u> CITY <u>Brooksville</u> STATE <u>FL</u> ZIP <u>34602</u> PHONE _____
APPLICATION # RZ 25-0383	PLEASE PRINT NAME <u>Susan Dennis</u> MAILING ADDRESS <u>13109 N Hammer Av</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33612</u> PHONE ⁸¹³ <u>373-9779</u>

DATE/TIME: 11/17/2025 6pm HEARING MASTER: Susan Finch

PLEASE PRINT CLEARLY, THIS INFORMATION WILL BE USED FOR MAILING

<p>APPLICATION # RZ 25-0383</p>	<p>PLEASE PRINT NAME <u>Sheryl LaRue</u> MAILING ADDRESS <u>13109 N. OIA Ave</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33612</u> PHONE <u>813-787-7709</u></p>
<p>APPLICATION # RZ 25-0383</p>	<p>PLEASE PRINT NAME <u>ERIC Flasferstein</u> MAILING ADDRESS <u>13106 N. OIA Ave</u> CITY <u>YAMMA</u> STATE <u>FL</u> ZIP <u>33612</u> PHONE <u>(813) 390-5325</u></p>
<p>APPLICATION # RZ 25-0383</p>	<p>PLEASE PRINT NAME <u>Tim Hall</u> MAILING ADDRESS <u>13109 N OIA</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP <u>33612</u> PHONE _____</p>
<p>APPLICATION # RZ 25-0383 US</p>	<p>PLEASE PRINT NAME <u>Beverly Kiery</u> MAILING ADDRESS <u>10902 N. Edison Ave</u> CITY <u>Tampa</u> STATE <u>FL</u> ZIP _____ PHONE <u>33612</u></p>
<p>APPLICATION #</p>	<p>PLEASE PRINT NAME _____ MAILING ADDRESS _____ CITY _____ STATE _____ ZIP _____ PHONE _____</p>
<p>APPLICATION #</p>	<p>PLEASE PRINT NAME _____ MAILING ADDRESS _____ CITY _____ STATE _____ ZIP _____ PHONE _____</p>

HEARING TYPE:

ZHM, PHM, VRH, LUHO

DATE: 11/17/2025

HEARING MASTER:

Susan Finch

PAGE: 1 of 1

APPLICATION #	SUBMITTED BY	EXHIBITS SUBMITTED	HRG. MASTER YES OR NO
RZ 25-1111	Logan McKaig	1. Revised Staff Report	Yes (Copy)
RZ 25-1111	Todd Pressman	2. Applicant Presentation Packet – Thumb Drive	No
RZ 25-1316	Logan McKaig	1. Revised Staff Report	Yes (Copy)
RZ 25-1316	Stephen Sposato	2. Applicant Presentation Packet	Yes (Copy)
RZ 25-1316	Grover Maggard	3. Opposition Presentation Packet	No
RZ 25-1319	Michelle Montalbano	1. Revised Staff Report	Yes (Copy)
RZ 25-1319	Patricia Ortiz	2. Applicant Presentation Packet	No
RZ 25-1390	Cierra James	1. Revised Staff Report	Yes (Copy)
RZ 25-1390	Todd Pressman	2. Applicant Presentation Packet – Thumb Drive	No
RZ 25-0383	Ashley Rome	1. Revised Staff Report	Yes (Copy)
RZ 25-0383	Sheryl LaRue	2. Opposition Presentation Packet	No
RZ 25-0383	Susan Dennis	3. Opposition Presentation Packet	No
RZ 25-0579	Carolanne Peddle	1. Revised Staff Report	Yes (Copy)
RZ 25-0579	Stephen Sposato	1. Applicant Presentation Packet	No
RZ 25-0579	Grover Maggard	3. Opposition Presentation Packet	No
MM 25-0648	Carolanne Peddle	1. Revised Staff Report	Yes (Copy)
MM 25-0648	Isabelle Albert	2. Applicant Presentation Packet – Thumb Drive	No
RZ 25-0932	Carolanne Peddle	1. Revised Staff Report	Yes (Copy)
RZ 25-0932	Isabelle Albert	2. Applicant Presentation Packet – Thumb Drive	No
RZ 25-0932	Casey Vanvaerenbergh	3. Opposition Presentation Packet – Thumb Drive	No
MM 25-1081	Ashley Rome	1. Revised Staff Report	Yes (Copy)
MM 25-1242	Chris Grandlienard	1. Revised Staff Report	Yes (Copy)
MM 25-1243	Isabelle Albert	1. Applicant Presentation Packet – Thumb Drive	No
RZ 25-1244	Carolanne Peddle	1. Revised Staff Report	Yes (Copy)
RZ 25-1244	Anne Pollack	2. Applicant Presentation Packet	No
RZ 25-1246	Isabelle Albert	1. Applicant Presentation Packet – Thumb Drive	No

NOVEMBER 17, 2025 - ZONING HEARING MASTER

The Zoning Hearing Master (ZHM), Hillsborough County, Florida, met in Regular Meeting, scheduled for Monday, November 17, 2025, at 6:00 p.m., in the Boardroom, Frederick B. Karl County Center, Tampa, Florida, and held virtually.

 Susan Finch, ZHM, called the meeting to order at 6:00 p.m. and led in the pledge of allegiance to the flag.

A. WITHDRAWALS AND CONTINUANCES

 Michelle Heinrich, Development Services (DS), introduced staff and reviewed the changes/withdrawals/continuances.

 Susan Finch, ZHM, overview of ZHM process.

 Assistant County Attorney Mary Dorman, overview of evidence/ZHM/BOCC Land Use agenda process.

 Susan Finch, ZHM, Oath.

B. REMANDS

B.1. RZ 25-0500

 Michelle Heinrich, DS, called RZ 25-0500.

 Susan Finch, ZHM, continued RZ 25-0500 to December 15, 2025, ZHM hearing.

C. REZONING STANDARD (RZ-STD):

C.1. RZ 25-1111

 Michelle Heinrich, DS, called RZ 25-1111.

 Testimony provided.

 Susan Finch, ZHM, closed RZ 25-1111.

C.2. RZ 25-1316

 Michelle Heinrich, DS, called RZ 25-1316.

 Testimony provided.

 Susan Finch, ZHM, closed RZ 25-1316.

MONDAY, NOVEMBER 17, 2025

C.3. RZ 25-1319

 Michelle Heinrich, DS, called RZ 25-1319.

 Testimony provided.

 Susan Finch, ZHM, closed RZ 25-1319.

C.4. RZ 25-1350

 Michelle Heinrich, DS, called RZ 25-1350.

 Testimony provided.

 Susan Finch, ZHM, continued RZ 25-1350 to January 26, 2026, ZHM hearing.

C.5. RZ 25-1390

 Michelle Heinrich, DS, called RZ 25-1390.

 Testimony provided.

 Susan Finch, ZHM, closed RZ 25-1390.

D. REZONING-PLANNED DEVELOPMENT (RZ-PD) & MAJOR MODIFICATION (MM):

D.1. RZ 25-0383

 Michelle Heinrich, DS, called RZ 25-0383.

 Susan Finch, ZHM, continued RZ 25-0383 until the end of the hearing.

 Susan Finch, ZHM, recalled RZ 25-0383.

 Testimony provided.

 Susan Finch, ZHM, closed RZ 25-0383.

D.2. RZ 25-0579

 Michelle Heinrich, DS, called RZ 25-0579.

 Testimony provided.

 Susan Finch, ZHM, closed RZ 25-0579.

MONDAY, NOVEMBER 17, 2025

D.3. MM 25-0648

 Michelle Heinrich, DS, called MM 25-0648.

 Testimony provided.

 Susan Finch, ZHM, closed MM 25-0648.

D.4. RZ 25-0932

 Michelle Heinrich, DS, called RZ 25-0932.

 Testimony provided.

 Susan Finch, ZHM, closed RZ 25-0932.

D.5. MM 25-1081

 Michelle Heinrich, DS, called MM 25-1081.

 Testimony provided.

 Susan Finch, ZHM, closed MM 25-1081.

D.6. MM 25-1242

 Michelle Heinrich, DS, called MM 25-1242.

 Testimony provided.

 Susan Finch, ZHM, closed MM 25-1242.

D.7. MM 25-1243

 Michelle Heinrich, DS, called MM 25-1243.

 Testimony provided.

 Susan Finch, ZHM, closed MM 25-1243.

D.8. RZ 25-1244

 Michelle Heinrich, DS, called RZ 25-1244.

 Testimony provided.

MONDAY, NOVEMBER 17, 2025

 Susan Finch, ZHM, closed RZ 25-1244.

D.9. RZ 25-1246

 Michelle Heinrich, DS, called RZ 25-1246.

 Testimony provided.

 Susan Finch, ZHM, closed RZ 25-1246.

E. ZHM SPECIAL USE - None

ADJOURNMENT

 Susan Finch, ZHM, adjourned the meeting at 10:26 p.m.

PD Modification Application: MM 25-1081

Zoning Hearing Master Date: November 17, 2025

BOCC Land Use Meeting Date: January 13, 2026



Hillsborough County Florida

Development Services Department

1.0 APPLICATION SUMMARY

Applicant: SJB Ventures LLC, By It's Manager
XLM Management LLC

FLU Category: SMU-6

Service Area: Urban

Site Acreage: 4.6 +/-

Community Plan Area: Ruskin

Overlay: None



Introduction Summary:

The subject site is zoned PD (Planned Development) 10-0296 and approved for a 25,400 square foot medical clinic.

Existing Approval(s):	Proposed Modification(s):
25,400 square foot medical clinic	Add a second development option to permit a 25,400 <u>20,567</u> square foot professional office building for business services, professional offices, and professional services.

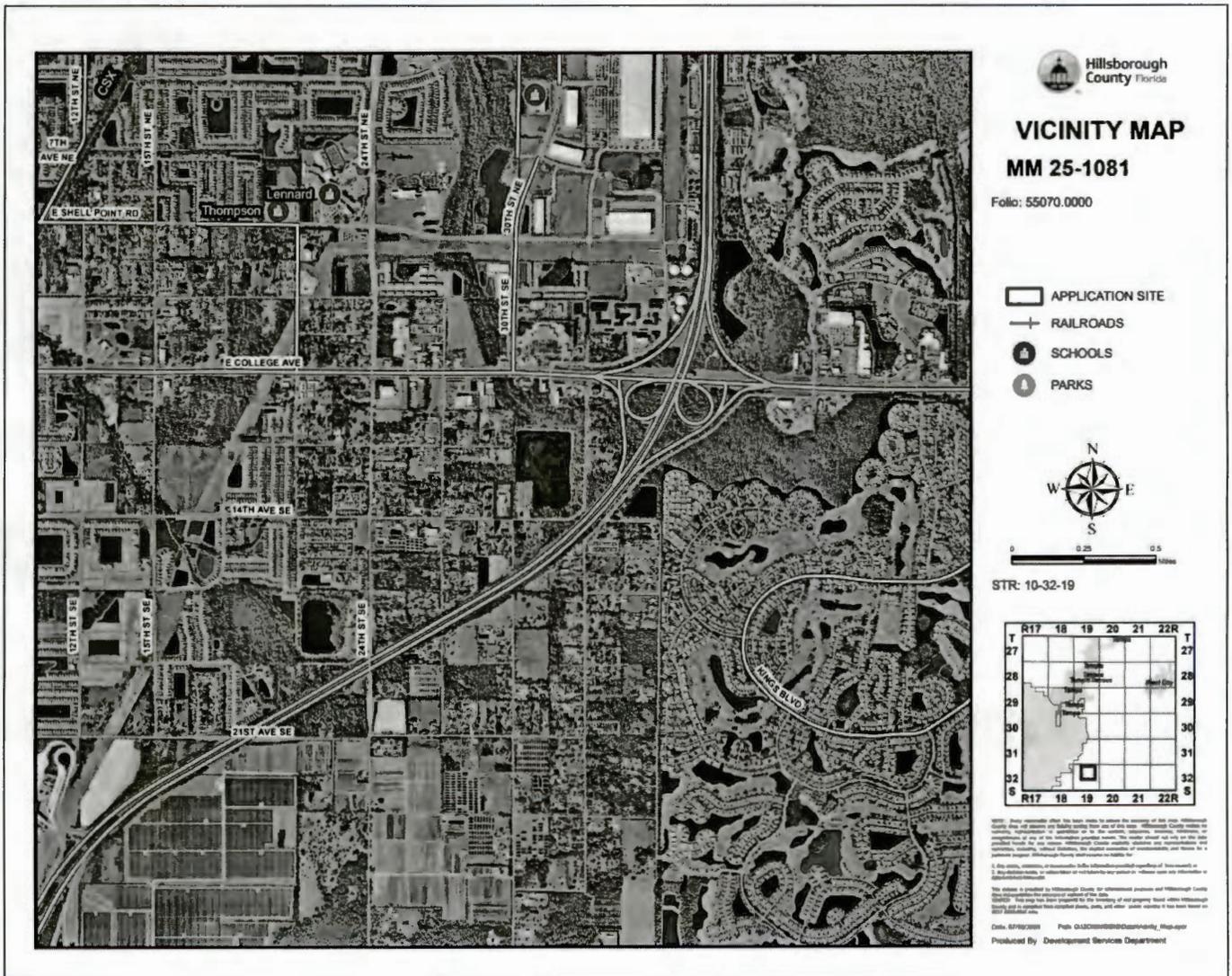
Additional Information:	
PD Variation(s):	None Requested as part of this application
Waiver(s) to the Land Development Code:	Non Requested as part of this application

Planning Commission Recommendation: Consistent	Development Services Recommendation: Approvable, subject to proposed conditions
--	---

Application No. 25-1081
Name: Ashley Rome
Entered at Public Hearing: ZHM
Exhibit # 1 Date: 11/17/2025

2.0 LAND USE MAP SET AND SUMMARY DATA

2.1 Vicinity Map

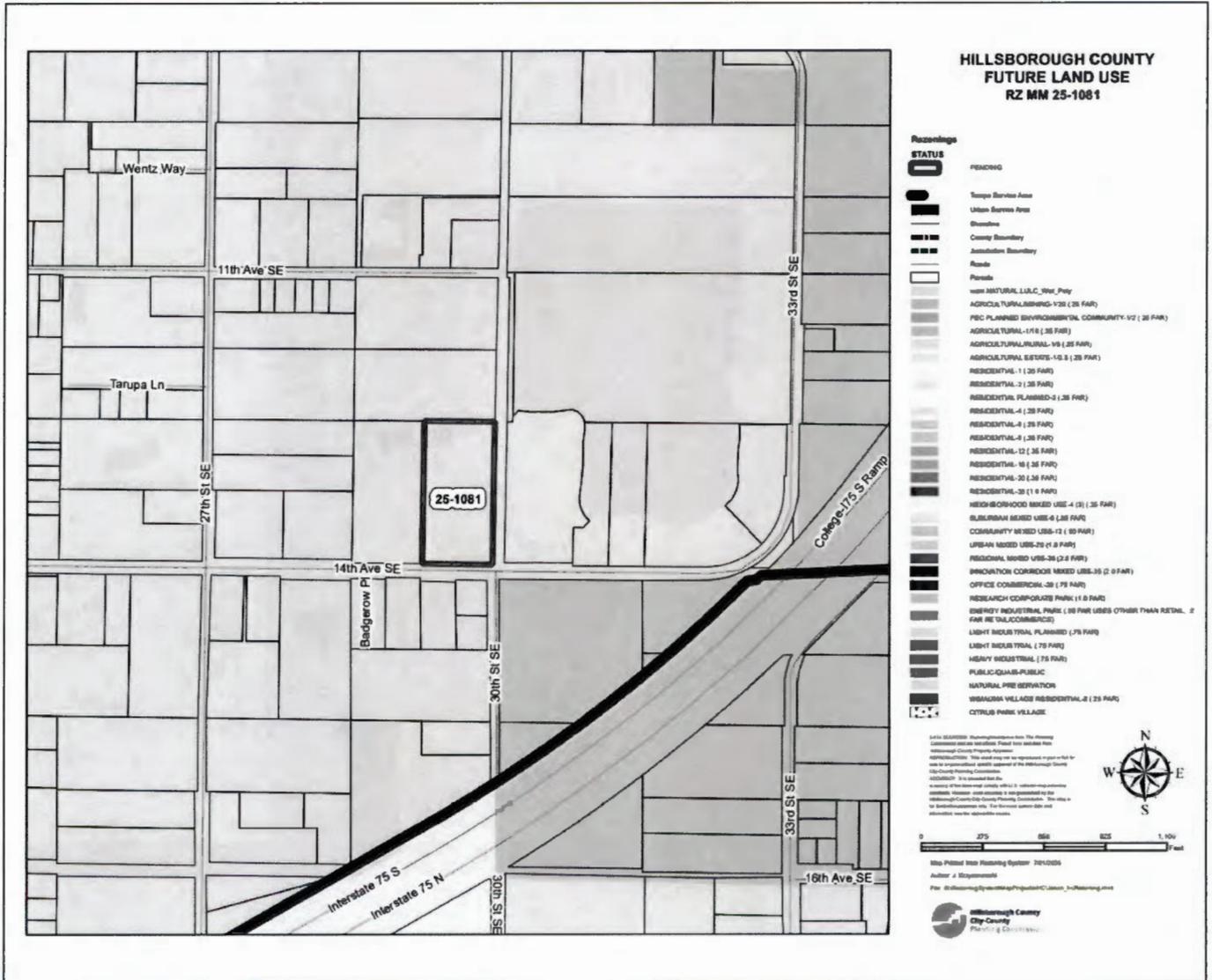


Context of Surrounding Area:

The site is located at the northwest corner of the 14th Avenue SE and 30th Street SE intersection in the Ruskin community. Interstate 75 is located approximately 0.25 miles to the east. The general area is predominately developed with residential uses.

2.0 LAND USE MAP SET AND SUMMARY DATA

2.2 Future Land Use Map



Subject Site Future Land Use Category:	SMU-6
Maximum Density/F.A.R.:	6 units per acre / 0.25 FAR
Typical Uses:	Agricultural, residential, neighborhood commercial, office uses, research corporate park uses, light industrial multipurpose and clustered residential and/or mixed-use. Office uses are not subject to locational criteria

2.0 LAND USE MAP SET AND SUMMARY DATA

2.3 Immediate Area Map

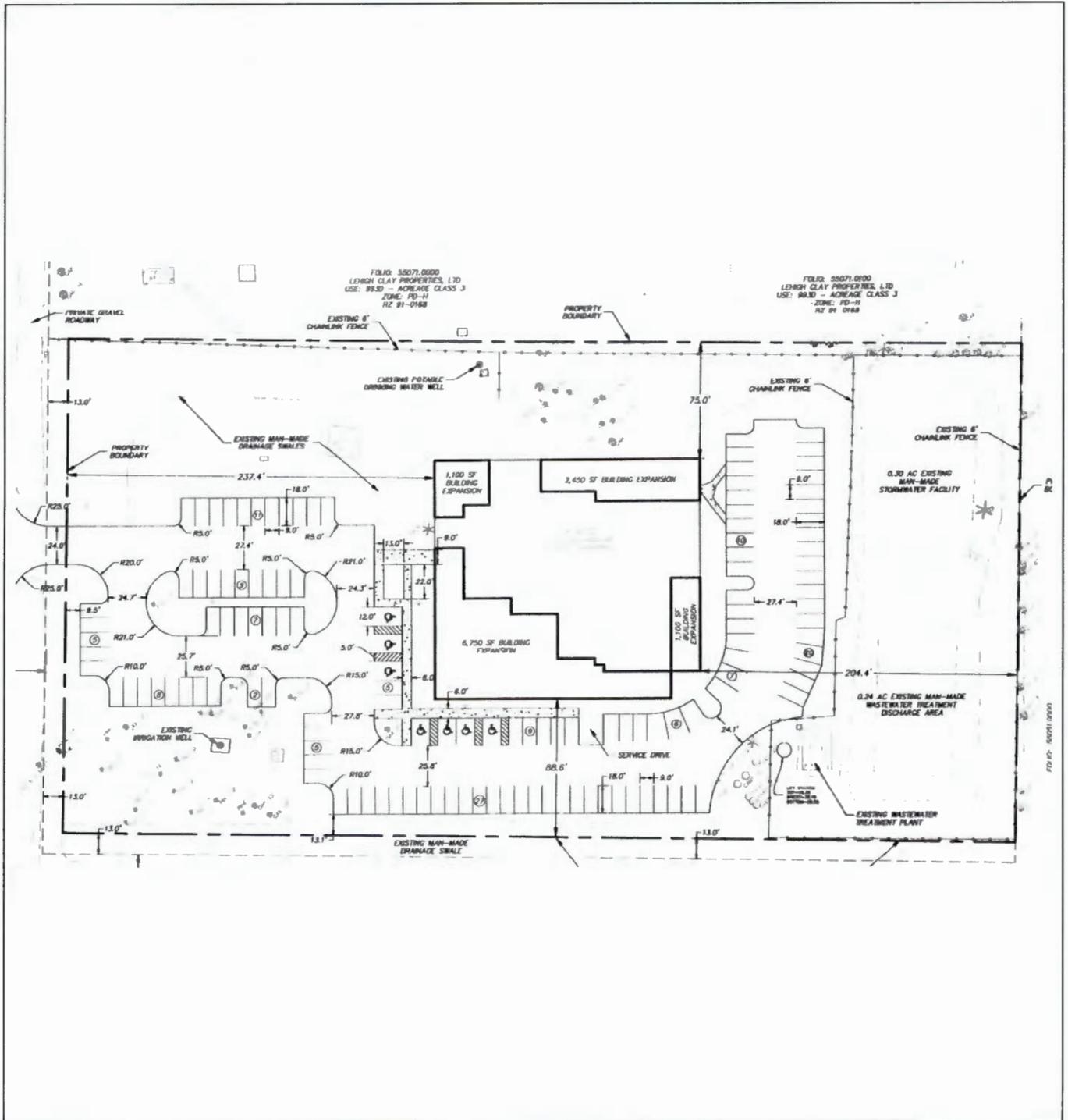


Adjacent Zonings and Uses

Location:	Zoning:	Maximum Density/F.A.R. Permitted by Zoning District:	Allowable Use:	Existing Use:
North	AS-1	1 unit per acre	Agriculture/Residential	Undeveloped
South	AS-1	1 unit per acre	Agriculture/Residential	Residential
East	PD 83-0248	8.9 units per acre	RV/Mobile Home Park	RV/Mobile Home Park
West	PD 91-0168	2.8 units per acre	Mobile Home Park	Mobile Home Park

2.0 LAND USE MAP SET AND SUMMARY DATA

2.4 Approved Site Plan (partial provided below for size and orientation purposes. See Section 8.1 for full site plan)



APPLICATION NUMBER: MM 25-1081

ZHM HEARING DATE: November 17, 2025

BOCC LUM MEETING DATE: January 13, 2026

Case Reviewer: James Baker, AICP

3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)

Adjoining Roadways (check if applicable)			
Road Name	Classification	Current Conditions	Select Future Improvements
14 th Avenue SE	County Collector - Rural	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input type="checkbox"/> Sufficient ROW Width	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> None <input type="checkbox"/> Substandard Road Improvements Proposed <input checked="" type="checkbox"/> Other (TBD)

Project Trip Generation <input type="checkbox"/> Not applicable for this request			
	Average Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing (Option 1)	956	69	88
Proposed (Option 2)	254	15	12
*Difference (+/-)	0	0	0

Trips reported are based on gross external trips unless otherwise noted.

*As Option 1 is proposed to remain, there is no change in the project's trip generation

Connectivity and Cross Access <input type="checkbox"/> Not applicable for this request				
Project Boundary	Primary Access	Additional Connectivity/Access	Cross Access	Finding
North		None	None	Meets LDC
South	X	Pedestrian & Vehicular	None	Meets LDC
East		None	None	Meets LDC
West		None	None	Meets LDC

Notes:

Design Exception/Administrative Variance <input checked="" type="checkbox"/> Not applicable for this request		
Road Name/Nature of Request	Type	Finding
	Choose an item.	Choose an item.

Notes:

4.0 Additional Site Information & Agency Comments Summary

Transportation	Objections	Conditions Requested	Additional Information/Comments
<input type="checkbox"/> Design Exception/Adm. Variance Requested <input type="checkbox"/> Off-Site Improvements Provided	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	See Report.

4.0 ADDITIONAL SITE INFORMATION & AGENCY COMMENTS SUMMARY

INFORMATION/REVIEWING AGENCY				
Environmental:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Environmental Protection Commission	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Natural Resources	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Conservation & Environ. Lands Mgmt.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Check if Applicable: <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Wetlands/Other Surface Waters <input type="checkbox"/> Use of Environmentally Sensitive Land Credit <input type="checkbox"/> Wellhead Protection Area <input type="checkbox"/> Surface Water Resource Protection Area <input type="checkbox"/> Potable Water Wellfield Protection Area <input type="checkbox"/> Significant Wildlife Habitat <input type="checkbox"/> Coastal High Hazard Area <input type="checkbox"/> Urban/Suburban/Rural Scenic Corridor <input type="checkbox"/> Adjacent to ELAPP property <input type="checkbox"/> Other _____ 				
Public Facilities:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Transportation <input type="checkbox"/> Design Exc./Adm. Variance Requested <input type="checkbox"/> Off-site Improvements Provided	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Service Area/ Water & Wastewater <input checked="" type="checkbox"/> Urban <input type="checkbox"/> City of Tampa <input type="checkbox"/> Rural <input type="checkbox"/> City of Temple Terrace	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Hillsborough County School Board Adequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input checked="" type="checkbox"/> N/A Inadequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Impact/Mobility Fees Single Tenant Office (Per 1,000 s.f.) Mobility: \$10,005 Fire: \$158				
Comprehensive Plan:	Comments Received	Findings	Conditions Requested	Additional Information/Comments
Planning Commission <input type="checkbox"/> Meets Locational Criteria <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Locational Criteria Waiver Requested <input type="checkbox"/> Minimum Density Met <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Inconsistent <input checked="" type="checkbox"/> Consistent	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

5.0 IMPLEMENTATION RECOMMENDATIONS

5.1 Compatibility

The subject site is currently approved for a medical clinic. The proposed modification requests a second development option to allow office uses with no changes to ~~the intensity or~~ development requirements and reduced square footage.

Given the above, staff has not identified any compatibility concerns.

5.2 Recommendation

Approvable, subject to proposed conditions.

Requirements for Certification:

1. Certified site plan for PD 10-0296 and MM 25-1081 to be submitted for certification as a 2-page plan sheet. First page to be identified as sheet 1 of 2. Second page to be identified as sheet 2 of 2.
2. Revise "medical office" to "medical clinic"
3. Revise the folio number for the parcel to the west from 55071.0000 to 55071.0100
4. Remove the westernmost 'dirt driveway'

6.0 PROPOSED CONDITIONS

Approval - Approval of the request, subject to the conditions listed below, is based on the general site plan submitted October 27, 2025.

1. The project is approved for a 25,400-square-foot medical clinic (sheet 1) or a 20,567 square foot single tenant business services, professional offices, and Professional Services building (sheet 2) with the following development standards:
 - Maximum height 35 feet
 - Floor Area Ratio (FAR) 0.13 percent
 - Maximum Impervious Surface 60 percent
2. The applicant ~~may~~ shall be permitted a maximum of one (1) vehicular access point on 14th Avenue. ~~Any change to the general design and location of the access point shall be regulated by the Hillsborough County Access Management regulations. The final design and location of the access point shall be regulated by the Hillsborough County Access Management regulations.~~ Access points may be restricted in movement.
3. ~~Prior to the issuance of certificates of occupancy, the applicant may be required to provide documentation at Preliminary Site Plan submittal regarding the existing pavement width and right of way along 14th Avenue. Subject to the results, the developer may be required to improve/widen 14th Avenue adjacent to the site to Hillsborough County Transportation Technical Manual standards. If the Developer can provide signed and sealed documentation that the current pavement and right of way width on 14th Avenue meets the current standards for a two-lane collector roadway, based on the Hillsborough County Transportation Technical Manual, then the Developer may not be required to dedicate right of way or upgrade a portion and/or widen the roadway.~~ As N 78th St is a substandard local roadway, the developer will be required to improve the roadway, between the E. Elm St and E. Sligh Ave, to current County standards unless otherwise approved in accordance with Sec. 6.04.02.B of the Hillsborough County LDC. Design Exceptions (DEs) and Design Deviation Memoranda (DDM) from Transportation Technical Manual (TTM) standards may be considered in accordance with Sec. 1.7 and other applicable sections of the TTM.
4. Unless otherwise approved and where applicable as determined by County Staff, the Developer shall construct sidewalks within the right-of-way along all roadways adjacent to the property boundaries and along both sides of all internal roadways. The sidewalks shall be a minimum width of five (5) feet. Pedestrian interconnectivity shall be provided between uses and adjacent parcels. All internal sidewalks shall meet the accessibility requirements of the Americans with Disabilities Act and/or Florida Accessibility Code.
5. Notwithstanding anything herein or shown on the PD site plan or herein these conditions to the contrary, bicycle and pedestrian access may be permitted anywhere along the PD boundaries.
6. All construction ingress and egress shall be limited to project access. The developer shall include a note in each site/construction plan submittal which indicates the same.

- ~~567.~~ Approval of this rezoning petition by Hillsborough County does not constitute a guarantee that the Environmental Protection Commission approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impacts to wetlands, and does not grant any implied or vested right to environmental approvals.
- ~~78.~~ The construction and location of any proposed wetland impacts are not approved by this correspondence but shall be reviewed by EPC staff under separate application pursuant to the EPC Wetlands rule detailed in Chapter 1-11, Rules of the EPC, (Chapter 1-11) to determine whether such impacts are necessary to accomplish reasonable use of the property.
- ~~89.~~ Prior to the issuance of any building or land alteration permits or other development, the approved wetland / other surface water (OSW) line must be incorporated into the site plan. The wetland/OSW line must appear on all site plans, labeled as "Wetland Conservation Area" pursuant to the Hillsborough County Land Development Code (LDC).
- ~~910.~~ Final design of buildings, stormwater retention areas, and ingress/egresses are subject to change pending formal agency jurisdictional determinations of wetland and other surface water boundaries and approval by the appropriate regulatory agencies.
- ~~1011.~~ Approval of this petition by Hillsborough County does not constitute a guarantee that Natural Resources approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impacts to trees, natural plant communities or wildlife habitat, and does not grant any implied or vested right to environmental approvals.
- ~~1112.~~ The construction and location of any proposed environmental impacts are not approved by this correspondence, but shall be reviewed by Natural Resources staff through the site and subdivision development plan process pursuant to the Land Development Code.
- ~~61213.~~ If the notes and/or graphic on the site plan are in conflict with specific zoning conditions and/or the Land Development Code (LDC) regulations, the more restrictive regulation shall apply, unless specifically conditioned otherwise. References to development standards of the LDC in the above stated conditions shall be interpreted as the regulations in effect at the time of preliminary site plan/plat approval.
- ~~71314.~~ The Development of the project shall proceed in strict accordance with the terms and conditions contained in the Development Order, the General Site Plan, the land use conditions contained herein, and all applicable rules, regulations, and ordinances of Hillsborough County.
- ~~81415.~~ Effective as of February 1, 1990, this development order/permit shall meet the concurrency requirements of Chapter 163, Part II, Florida Statutes. Approval of this development order/permit does not constitute a guarantee that there will be public facilities at the time of application for subsequent development orders or permits to allow issuance of such development orders or permits.
- ~~1516.~~ In accordance with LDC Section 5.03.07.C, the certified PD general site plan shall expire for the internal transportation network and external access points, as well as for any conditions related to the internal transportation network and external access points, if site construction plans, or equivalent thereof, have not been approved for all or part of the subject Planned Development within 5 years of the effective date of the PD unless an extension is granted as provided in the LDC. Upon expiration, re-certification of the PD General Site Plan shall be required in accordance with provisions set forth in LDC Section 5.03.07.C.

APPLICATION NUMBER: MM 25-1081

ZHM HEARING DATE: November 17, 2025

BOCC LUM MEETING DATE: January 13, 2026

Case Reviewer: James Baker, AICP

Zoning Administrator Sign Off:

J. Brian Grady

SITE, SUBDIVISION AND BUILDING CONSTRUCTION IN ACCORDANCE WITH HILLSBOROUGH COUNTY SITE DEVELOPMENT PLAN & BUILDING REVIEW AND APPROVAL.

Approval of this re-zoning petition by Hillsborough County does not constitute a guarantee that the project will receive approvals/permits necessary for site development as proposed will be issued, nor does it imply that other required permits needed for site development or building construction are being waived or otherwise approved. The project will be required to comply with the Site Development Plan Review approval process in addition to obtain all necessary building permits for on-site structures.

APPLICATION NUMBER: MM-25-1081

ZHM HEARING DATE: November 17, 2025

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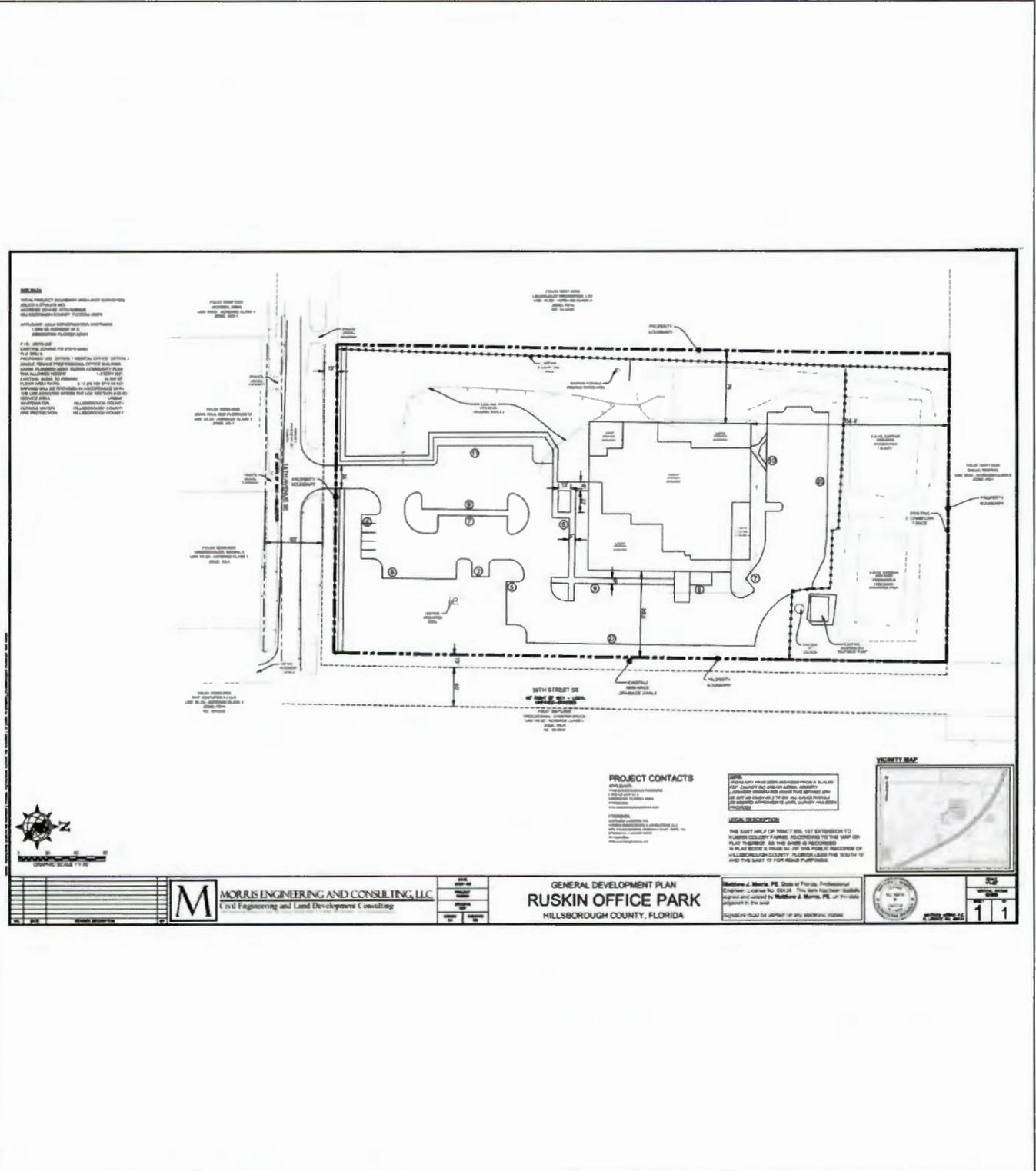
Case Reviewer: James Baker, AICP

7.0 ADDITIONAL INFORMATION AND/OR GRAPHICS

None

8.0 SITE PLANS (FULL)

8.2 Proposed Site Plan (Full)



APPLICATION NUMBER: MM 25-1081

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Case Reviewer: James Baker, AICP

9.0 FULL TRANSPORTATION REPORT (see following pages)

AGENCY REVIEW COMMENT SHEET

TO: Zoning Technician, Development Services Department

DATE: 11/11/2025

REVIEWER: Jessica Kowal, MPA, Principal Planner

AGENCY/DEPT: Transportation

PLANNING AREA: Ruskin

PETITION NO: MM 25-1081

- This agency has no comments.
- This agency has no objection.
- This agency has no objection, subject to the listed or attached conditions.
- This agency objects for the reasons set forth below.

CONDITIONS OF APPROVAL

Revised Conditions

1. ~~The project is approved for a 25,400 square foot medical clinic or a 20,567 square foot single tenant professional office building with the following development standards:~~
 - a. ~~Maximum height~~ 35 feet
 - b. ~~Floor Area Ratio (FAR)~~ 0.13 percent
 - e. ~~Maximum Impervious Surface~~ 60 percent.

2. ~~The applicant may shall be permitted a maximum of one (1) vehicular access point on 14th Avenue. Any change to the general design and location of the access point shall be regulated by the Hillsborough County Access Management regulations. The final design and location of the access point shall be regulated by the Hillsborough County Access Management regulations. Access points may be restricted in movement.~~

3. ~~Prior to the issuance of certificates of occupancy, the applicant may be required to provide documentation at Preliminary Site Plan submittal regarding the existing pavement width and right of way along 14th Avenue. Subject to the results, the developer may be required to improve/widen 14th Avenue adjacent to the site to Hillsborough County Transportation Technical Manual standards. If the Developer can provide signed and sealed documentation that the current pavement and right of way width on 14th Avenue meets the current standards for a two lane collector roadway, based on the Hillsborough County Transportation Technical Manual, then the Developer may not be required to dedicate right of way or upgrade a portion and/or widen the roadway. As N 78th St is a substandard local roadway, the developer will be required to improve the roadway, between the E. Elm St and E. Sligh Ave, to current County standards unless otherwise approved in accordance with Sec. 6.04.02.B of the Hillsborough County LDC. Design Exceptions (DEs) and Design Deviation Memoranda (DDM) from Transportation Technical Manual (TTM) standards may be considered in accordance with Sec. 1.7 and other applicable sections of the TTM.~~

~~[Transportation Review Staff proposes modification of this condition to conform with current practice.]~~

New Conditions

- Notwithstanding anything herein or shown on the PD site plan or herein these conditions to the contrary, bicycle and pedestrian access may be permitted anywhere along the PD boundaries.
- All construction ingress and egress shall be limited to the project access. The developer shall include a note in each site/construction plan submittal which indicates same.

Other Conditions

- Prior to site plan certification, the PD site plan shall be amended as follows:
 - ◻ Revise “medical office” to “medical clinic”
 - ◻ Revise the folio number for the parcel to the west from 55071.0000 to 55071.0100
 - ◻ Remove the westernmost ‘dirt driveway’

PROJECT SUMMARY AND ANALYSIS

The applicant is requesting a major modification to the existing Planned Development (PD) (10-0296) on folio 55070.0000 to add the option for a 20,567 square foot professional office building. The existing PD is approved for a 25,400 square foot medical clinic, of which 20,567 square feet has been developed on the subject site. The subject site is located on the north side of 14th Avenue SE approximately 10 feet west of 30th Street.

Although 25,400 square feet of medical clinic is permitted on the site, the applicant’s submitted PD site plan reflects the existing 20,567 square foot building and does not propose any additions to the existing building or new buildings, therefore any increase in square footage on site will require a minor (PRS) zoning modification.

Trip Generation Analysis

As required pursuant to the Development Review Procedures Manual (DRPM), the applicant submitted a trip generation and site access analysis for the proposed single tenant professional office option. Staff prepared a comparison of the potential trips generated by development Option 1 and the proposed Option 2 based upon the Institute of Transportation Engineer’s *Trip Generation Manual, 12th Edition*. There is no change in trip generation as Option 1 is proposed to remain.

Approved Zoning (Option 1):

Zoning, Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
25,400-SF Medical-Dental Office Building (LUC-720)	956	69	88

Proposed Zoning (Option 2):

Zoning, Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
20,567 Single Tenant Office Building (LUC-715)	254	15	12

Trip Generation Difference:

Zoning, Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
Difference (Option 1—Option 2)	0	0	0

TRANSPORTATION INFRASTRUCTURE SERVING THE SITE

The site is served by 14th Avenue SE, a 2-lane, undivided, rural collector roadway characterized by +/- 10-foot wide lanes in average condition. The roadway lies within a +/- 60-foot wide right of way. There are no bike lanes on the roadway in the vicinity of the proposed project. There is a 5-foot wide sidewalk along the site's frontage. No other sidewalks are present within the vicinity of the subject site.

SITE ACCESS

The site currently takes access from 14th Avenue SE and there are no proposed changes to the existing access connection with this zoning request.

14th Avenue SE is currently identified as a substandard road because it does not comply with the 2021 Hillsborough County Transportation Technical Manual's (TTM) typical section for a two-lane, undivided, urban collector road (TS-4). Although 14th Avenue SE is a substandard collector roadway, the proposal was reviewed by the County Engineer and, due to the proposed project's significant decrease in daily, AM peak hour, and PM peak hour trips, it was determined that the existing PD's condition of approval regarding 14th Avenue SE is sufficient to address substandard roads concurrent with this zoning request.

SUBSTANDARD ROAD—14TH AVE. SE

14th Avenue SE is a substandard roadway. The proposal was reviewed by the County Engineer who determined the PD condition of approval regarding 14th Avenue SE is sufficient to address substandard roads for this zoning request.

ROADWAY LEVEL OF SERVICE (LOS) INFORMATION

The roadway level of service provided for 14th Avenue SE is for informational purposes only. It should be noted that the segment identified is approximately 0.45 miles from the subject site, level of service information for that portion of roadway fronting the site is not available, as that segment was not included in the 2024 LOS Report.

Generalized Level of Service				
Roadway	From	To	LOS Standard	Peak Hr. Directional LOS
14 th Avenue SE	US Highway 41	24 th Street SE	D	E

Source: 2024 Hillsborough County Level of Service (LOS) Report

AGENCY REVIEW COMMENT SHEET

TO: Zoning Technician, Development Services Department

DATE: 11/11/2025

Revised 11/17/2025

REVIEWER: Jessica Kowal, MPA, Principal Planner

AGENCY/DEPT: Transportation

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		<u>AM</u>	<u>PM</u>
<u>25,400 SF Medical-Dental Office Building (LUC 720)</u>	<u>956</u>	<u>69</u>	<u>88</u>

Proposed Zoning (Option 2):

<u>Zoning, Land Use/Size</u>	<u>24 Hour Two-Way Volume</u>	<u>Total Peak Hour Trips</u>	
		<u>AM</u>	<u>PM</u>
<u>20,567 Single Tenant Office Building (LUC 715)</u>	<u>254</u>	<u>15</u>	<u>12</u>

Trip Generation Difference:

<u>Zoning, Land Use/Size</u>	<u>24 Hour Two-Way Volume</u>	<u>Total Peak Hour Trips</u>	
		<u>AM</u>	<u>PM</u>
<u>Difference (Option 1 – Option 2)</u>	<u>0</u>	<u>0</u>	<u>0</u>

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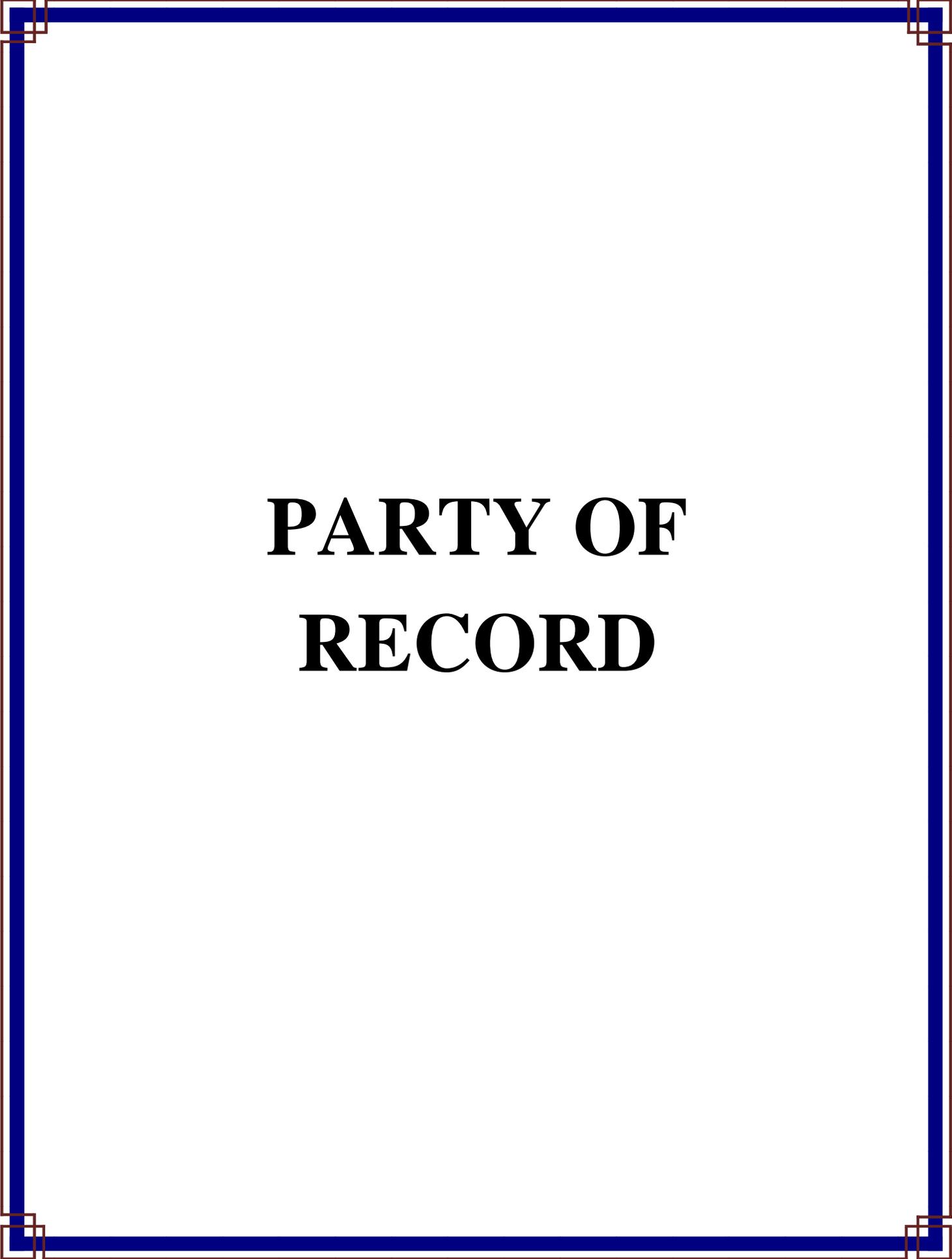
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<u>Generalized Level of Service</u>				
<u>Roadway</u>	<u>From</u>	<u>To</u>	<u>LOS Standard</u>	<u>Peak Hr. Directional LOS</u>

<u>14th Avenue SE</u>	<u>US Highway 41</u>	<u>24th Street SE</u>	<u>D</u>	<u>C</u>
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Source: 2024 Hillsborough County Level of Service (LOS) Report



**PARTY OF
RECORD**

NONE