

**1.0 APPLICATION SUMMARY**

Applicant: EPG Berry Bay Holdings LLC  
 FLU Category: RES-4  
 Service Area: Urban  
 Site Acreage: 678 AC  
 Community Plan Area: Wimauma  
 Overlay: None



**Introduction Summary:**  
 The applicant proposes a Minor Modification to PD 25-0704, specifically Pod P. PD 25-0704 is a 678 acre project consisting of fifteen pods permitting a total of 1,290 residential units, limited CG zoning districts and a County Fire Station. Pod P allows between 35-60 single-family detached lots.

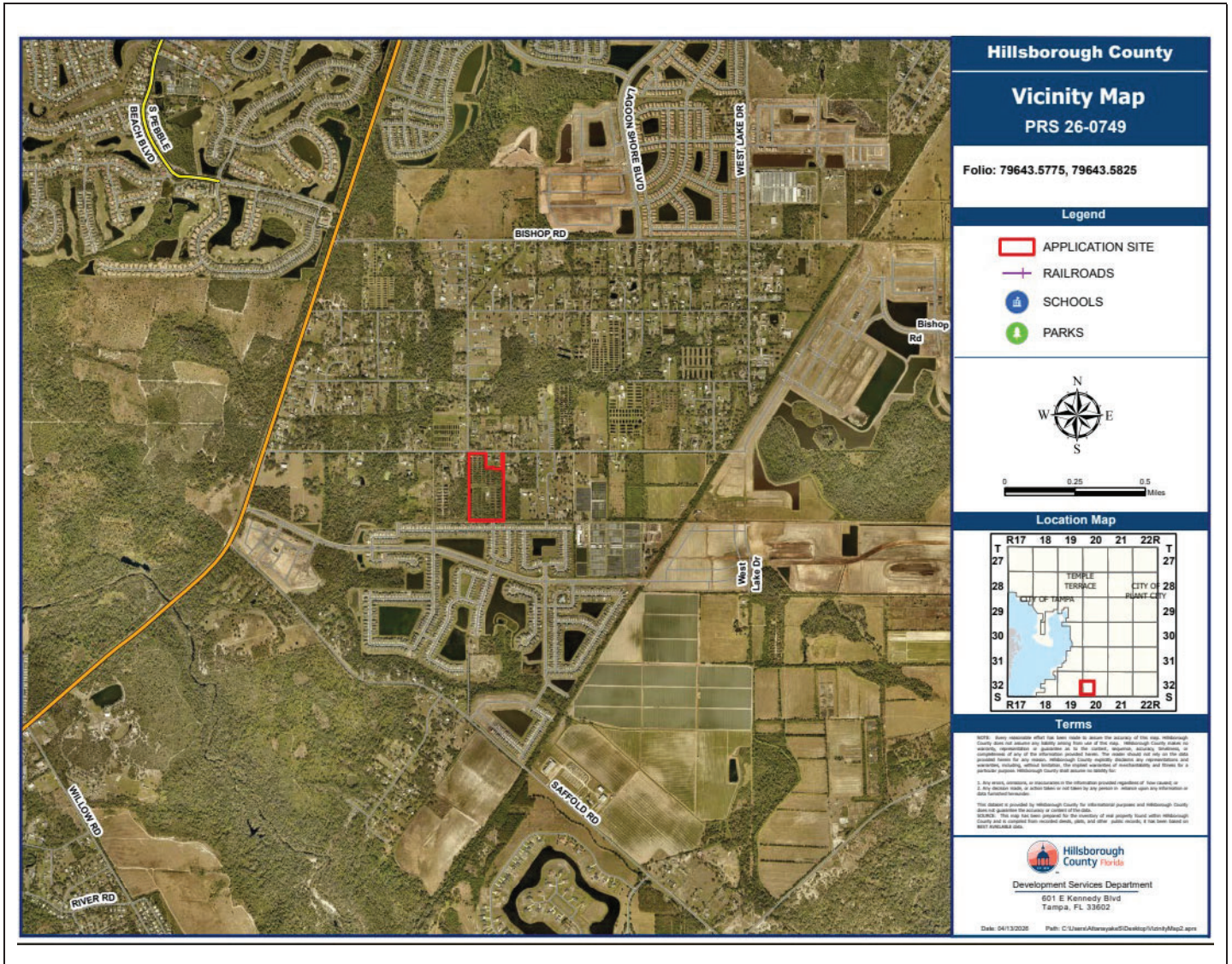
Existing Approval(s):	Proposed Modification(s):
Pod P layout providing a stormwater pond at the southern border of the Pod.	Pod P layout to relocate the stormwater pond internally and allow a roadway along the southern border of the Pod.
Pod P approved for 40-foot and 50-foot wide lots per the site plan.	Pod P proposes 60-wide lots in addition to the approved 40-foot and 50-foot lot widths.

Additional Information:	
PD Variation(s):	None Requested as part of this application
Waiver(s) to the Land Development Code:	

<b>Planning Commission Recommendation:</b> N/A	<b>Development Services Recommendation:</b> Approvable
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## 2.0 LAND USE MAP SET AND SUMMARY DATA

### 2.1 Vicinity Map



### Context of Surrounding Area:

The Planned Development is located to the east of US Hwy 301, between Bishop and Saffold Roads. The area is developing with residential uses and public schools. The Little Manatee River State Park is located eastward along US Hwy 301.

2.0 LAND USE MAP SET AND SUMMARY DATA

2.3 Immediate Area Map

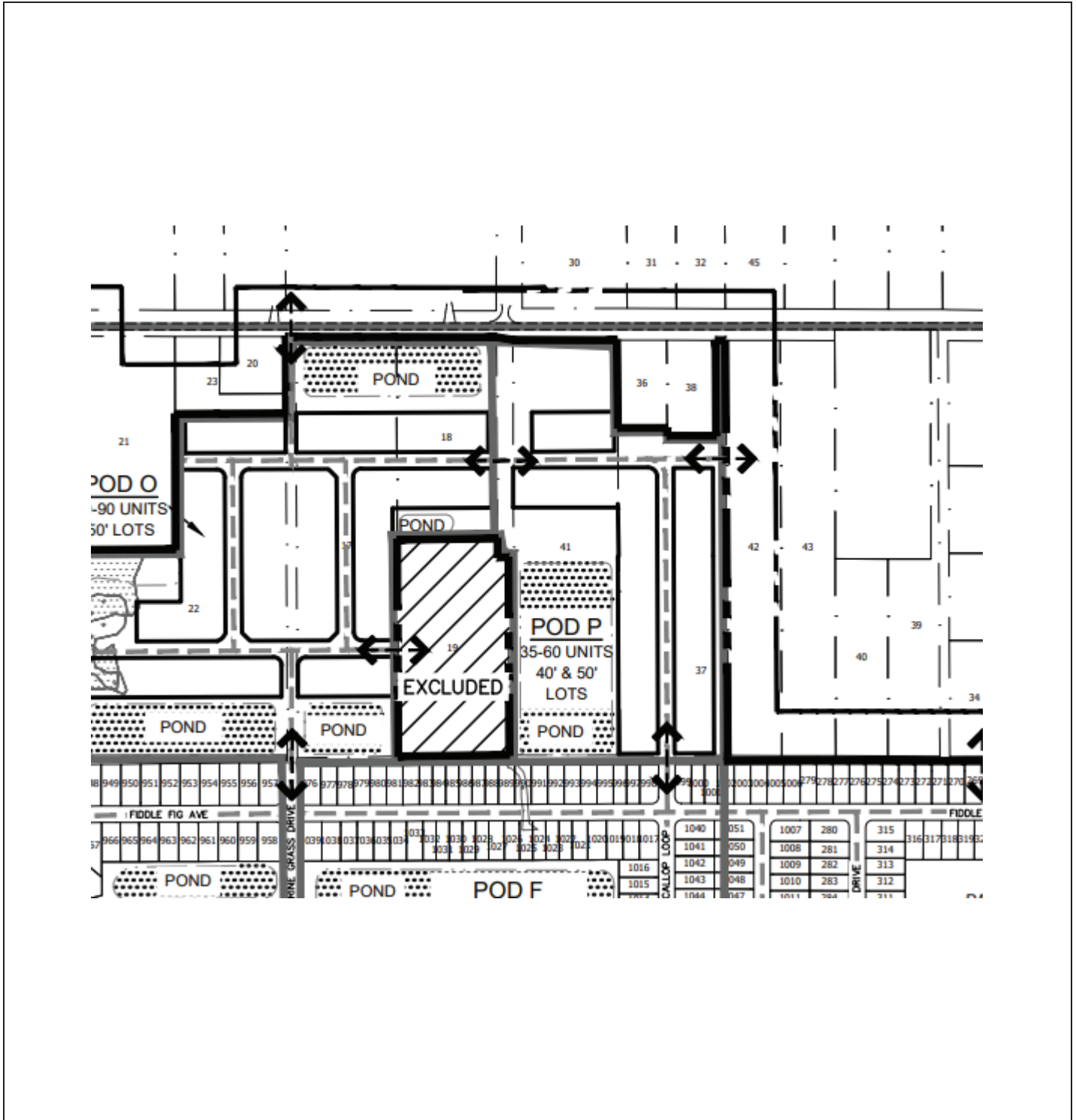


Adjacent Zonings and Uses (Pod P)

Location:	Zoning:	Maximum Density/F.A.R. Permitted by Zoning District:	Allowable Use:	Existing Use:
North	AR AS-1	1 unit per 5 acres 1 unit per acre	Agriculture, Single-Family Residential	Single-Family Residential
South	PD 25-0704 (Pod F)	4 units per acre	Single-Family Residential	Single-Family Residential
East	AR	1 unit per 5 acres	Agriculture, Single-Family Residential	Single-Family Residential
West	PD 25-0704 (Pod O) AR	4 units per acre 1 unit per 5 acres	Single-Family Residential Agriculture, Single-Family Residential	Undeveloped

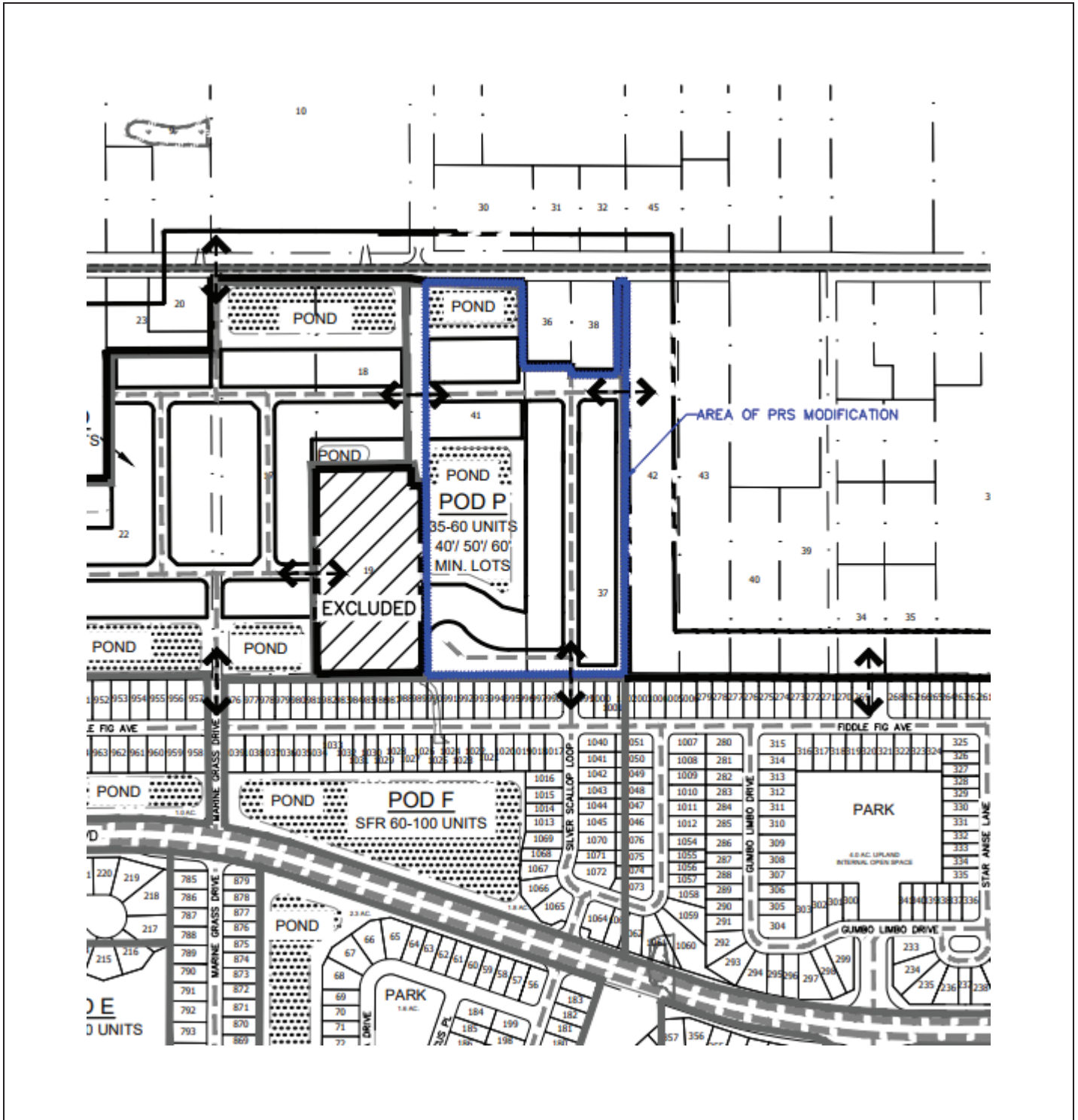
## 2.0 LAND USE MAP SET AND SUMMARY DATA

### 2.4 Approved Site Plan (partial provided below for size and orientation purposes. See Section 8.1 for full site plan)



## 2.0 LAND USE MAP SET AND SUMMARY DATA

### 2.5 Proposed Site Plan (partial provided below for size and orientation purposes. See Section 8.2 for full site plan)



**3.0 TRANSPORTATION SUMMARY (FULL TRANSPORTATION REPORT IN SECTION 9 OF STAFF REPORT)**

Adjoining Roadways (Receiving Area Only)			
Road Name	Classification	Current Conditions	Select Future Improvements
US Highway 301	FDOT Principal Arterial - Urban	2 Lanes <input type="checkbox"/> Substandard Road <input checked="" type="checkbox"/> Sufficient ROW Width	<input checked="" type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
Berry Grove Boulevard	County Collector - Urban	2 Lanes <input type="checkbox"/> Substandard Road <input checked="" type="checkbox"/> Sufficient ROW Width (for 4-lanes)	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other
Bonita Drive	County Collector - Rural	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input checked="" type="checkbox"/> Sufficient ROW Width (for Urban Section)	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input checked="" type="checkbox"/> Other (TBD)
Saffold Road	County Collector - Rural	2 Lanes <input checked="" type="checkbox"/> Substandard Road <input checked="" type="checkbox"/> Sufficient ROW Width (for Urban Section)	<input type="checkbox"/> Corridor Preservation Plan <input type="checkbox"/> Site Access Improvements <input type="checkbox"/> Substandard Road Improvements <input type="checkbox"/> Other (TBD)

Notes: The minor modification area does not access roadways adjoining the PD.

Project Trip Generation (Receiving Area Only) <input type="checkbox"/> Not applicable for this request			
	Average Daily Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips
Existing	19,521	1,750	1,696
Proposed	19,521	1,750	1,696
Difference (+/-)	No Change	No Change	No Change

\*Trips reported are based on gross external trips unless otherwise noted.

Connectivity and Cross Access (Receiving Area Only) <input type="checkbox"/> Not applicable for this request				
Project Boundary	Primary Access	Access/Additional Connectivity	Cross Access	Finding
North	X	Pedestrian & Vehicular	None	Meets LDC
South	X	Pedestrian & Vehicular	None	Meets LDC
East		Pedestrian & Vehicular	None	Meets LDC
West	X	Pedestrian & Vehicular	None	Meets LDC

Notes:

Design Exception/Administrative Variance <input checked="" type="checkbox"/> Not applicable for this request		
Road Name/Nature of Request	Type	Finding
	Choose an item.	Choose an item.

Notes:

**4.0 ADDITIONAL SITE INFORMATION & AGENCY COMMENTS SUMMARY**

INFORMATION/REVIEWING AGENCY				
Environmental:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
Environmental Protection Commission	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Natural Resources	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Conservation & Environ. Lands Mgmt.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Check if Applicable: <ul style="list-style-type: none"> <li><input type="checkbox"/> Wetlands/Other Surface Waters</li> <li><input type="checkbox"/> Use of Environmentally Sensitive Land Credit</li> <li><input type="checkbox"/> Wellhead Protection Area</li> <li><input type="checkbox"/> Surface Water Resource Protection Area</li> <li><input type="checkbox"/> Potable Water Wellfield Protection Area</li> <li><input type="checkbox"/> Significant Wildlife Habitat</li> <li><input type="checkbox"/> Coastal High Hazard Area</li> <li><input type="checkbox"/> Urban/Suburban/Rural Scenic Corridor</li> <li><input type="checkbox"/> Adjacent to ELAPP property</li> <li><input type="checkbox"/> Other _____</li> </ul>				
Public Facilities:	Comments Received	Objections	Conditions Requested	Additional Information/Comments
<b>Transportation</b> <input type="checkbox"/> Design Exc./Adm. Variance Requested <input checked="" type="checkbox"/> Off-site Improvements Provided	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<b>Service Area/ Water &amp; Wastewater</b> <input checked="" type="checkbox"/> Urban <input type="checkbox"/> City of Tampa <input type="checkbox"/> Rural <input type="checkbox"/> City of Temple Terrace	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<b>Hillsborough County School Board</b> Adequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input checked="" type="checkbox"/> N/A Inadequate <input type="checkbox"/> K-5 <input type="checkbox"/> 6-8 <input type="checkbox"/> 9-12 <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<b>Impact/Mobility Fees</b>				
Comprehensive Plan:	Comments Received	Findings	Conditions Requested	Additional Information/Comments
<b>Planning Commission</b> <input type="checkbox"/> Meets Locational Criteria <input type="checkbox"/> N/A <input type="checkbox"/> Locational Criteria Waiver Requested <input type="checkbox"/> Minimum Density Met <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Inconsistent <input type="checkbox"/> Consistent	<input type="checkbox"/> Yes <input type="checkbox"/> No	

**5.0 IMPLEMENTATION RECOMMENDATIONS**

**5.1 Compatibility**

The proposed modification seeks no changes to the approved uses, intensity/density, development standards, or access points. The relocation of the stormwater pond in Pod O will place the roadway along the southern boundary of Pod O, rather than the stormwater pond. As part of this modification, the applicants are permitting larger lot sizes within this Pod, which increases the lot width to 60 feet and maintains the rear yard setback of 15 feet. The adjacent Pod F to the south is platted with 50 and 40 foot wide lots and is separated from Pod O by a 14 foot wide HOA tract. No compatibility issues are noted.

**5.2 Recommendation**

Approvable, subject to proposed conditions of approval.

**Zoning Administrator Sign Off:**



**SITE, SUBDIVISION AND BUILDING CONSTRUCTION IN ACCORDANCE WITH HILLSBOROUGH COUNTY SITE DEVELOPMENT PLAN & BUILDING REVIEW AND APPROVAL.**

Approval of this re-zoning petition by Hillsborough County does not constitute a guarantee that the project will receive approvals/permits necessary for site development as proposed will be issued, nor does it imply that other required permits needed for site development or building construction are being waived or otherwise approved. The project will be required to comply with the Site Development Plan Review approval process in addition to obtain all necessary building permits for on-site structures.

6.0 PROPOSED CONDITIONS

Approval of the request, subject to the conditions listed, is based on the revised general site plan submitted April 13, 2026.

The Following Shall Apply to the Southern Area of the Planned Development:

- 1. Residential development shall be limited to a maximum of 1,290 residential units.
- 2. Pods B, C, D, E, F, G, I, J, K, L, M, O, P, and N shall meet the following:
  - 2.1 Limited to single-family detached residential. Each pod shall be limited to the maximum number of units provided for each pod on general site plan.
  - 2.2 Single-family detached lots and units shall be developed in accordance with the following:

Minimum lot size: 4,000 sf  
 Minimum lot width: 40 feet  
 Minimum front yard setback: 10 feet (unless otherwise stated)  
 Minimum garage setback: 20 feet  
 Minimum side yard setback: 5 feet  
 Minimum rear yard setback: 10 feet  
 Maximum building height: 35 feet/2-stories

Minimum lot size: 5,500 sf  
 Minimum lot width: 50 feet  
 Minimum front yard setback: 20 feet\*  
 Minimum side yard setback: 5 feet  
 Minimum rear yard setback: 15 feet  
 Maximum building height: 35 feet/2-stories

\*corner lots shall permit a setback of 10 feet for the front yard functioning as a side yard. For front yards functioning as a side yards, the garage setback shall be 20 feet.

Minimum lot size: 6,000 sf  
 Minimum lot width: 60 feet  
 Minimum front yard setback: 20 feet\*  
 Minimum side yard setback: 5 feet  
 Minimum rear yard setback: 15 feet  
 Maximum building height: 35 feet/2-stories

\*corner lots shall permit a setback of 10 feet for the front yard functioning as a side yard. For front yards functioning as a side yards, the garage setback shall be 20 feet.

- 2.3 Single-family detached lots developed at a width under 50 feet shall comply with the following:
  - 2.3.1 No more than 65% of the single-family detached lots within Pods B, C, D, E, F, G, I, J, K, L, M, O, P, and N may be under 50 feet in width. If the project will be platted by pod or phase, individual pods or phases shall meet this requirement for each individual pod or phase submitted for plat review. If these percentages will be blended throughout Pods B, C, D, E, F, G, I, J, K, L, M, O, P, and N each plat shall provide a table providing the number and percentage

of lots under 50 feet in width proposed and approved within Pods B, C, D, E, F, G, I, J, K, L, M, O, P, and N. If when blended an individual pod or phase at platting will exceed the percentage maximum of lots under 50 feet in width, the permissibility for lots under 50 feet in width will be restricted accordingly elsewhere in Pods B, C, D, E, F, G, I, J, K, L, M, O, P, and N.

2.3.2 Single-family detached units shall provide a 2-car garage.

2.3.3 Each unit’s primary entrance door shall face the roadway.

2.4 Buildings and uses within the amenity center (Pod H) shall be developed in accordance with the following:

- Minimum front yard setback: 10 feet
  - Minimum side yard setback: 5 feet
  - Minimum rear yard setback: 10 feet
  - Maximum building height: 35 feet/2-stories
- Buffering and screening where adjacent to any residential uses shall be required.

3. Pod A shall be permitted a maximum of 25,000 sf for limited CG (Commercial General) zoning district uses and a County Fire Station. The Fire Station shall be on a minimum 2-acre site.

3.1 Any and all roadways within the PD serving and/or providing access to Pod A shall be platted to the Pod A property lines. In no event shall there be any intervening lands restricting access to Pod A (i.e. spit strips shall not be permitted).

3.2 In the event FDOT permits Pod A access to US 301, all uses within Pod A shall be accessible from both US 301 and Berry Grove Blvd.

3.3 In the event FDOT permits Pod A access to US 301, all uses within Pod A shall be platted to the Pod A property lines. In no event shall there be any intervening lands restricting access to Pod A (i.e. spit strips shall not be permitted).

4. In regards to the County Fire Station in Pod A:

4.1 The County and the Developer will use their best efforts to reach a mutually agreeable dedication agreement within three (3) years from the zoning approval of PD 25-0704 (the “Agreement Period”).

4.2 Should the County and the Developer not reach a mutually agreeable dedication agreement within the Agreement Period, Commercial General uses shall be permitted on the 2 ac. Site.

5. Commercial development within Pod A shall be developed in accordance with the following:

- Maximum building height: 50 feet\*
- Minimum Front Yard Setback: 30 feet\*\*
- Minimum Side and Rear Yard Setbacks: 20 feet\*\*

\*An additional setback of 2 feet for every 1- foot over 20 feet in height shall be required.

\*\*Measured from Pod A boundaries.

- 5.1. Any buffering and screening required per the Land Development Code shall be provided (excluding internal development).
- 5.2. The following CG zoning district uses shall not be permitted:
  - Wholesale Distribution (Trade)
  - Garage and Storage Yards for School Buses, Highway Construction Equipment, Telephone Equipment, and Utility Trucks and Equipment
  - Recyclable Metal Recovery Facilities
6. As Saffold Rd. is a substandard collector roadway, the developer will be required to improve the roadway, between the easternmost project access and US 301, to current County standards unless otherwise approved through the Sec. 6.04.02.B. Administrative Variance process. Deviations from Transportation Technical Manual (TTM) or Transportation Design Manual (TDM) standards may be considered through the Design Exception (DE) or Design Deviation Memorandum (DDM) process, as applicable.
7. As Bonita Dr. is a substandard collector roadway, the developer will be required to improve the roadway, between the easternmost project access and US 301, to current County standards unless otherwise approved through the Sec. 6.04.02.B. Administrative Variance process. Deviations from Transportation Technical Manual (TTM) or Transportation Design Manual (TDM) standards may be considered through the Design Exception (DE) or Design Deviation Memorandum (DDM) process, as applicable.
8. The developer shall dedicate and convey to Hillsborough County up to 15 feet of right-of-way, for a distance of approximately 50 feet on either side of:
  - a. the Dug Creek stormwater cross drain under Saffold Rd.; and,
  - b. the stormwater cross drain located +/- 300 feet to the northwest of the Dug Creek stormwater cross drain.
9. The developer shall construct a minimum 5-foot-wide sidewalk along the project's West Lake Dr. frontage concurrent with construction of the first increment of development within Designated Receiving Area, or concurrent with development of the single-family dwelling within the Designated Sending Area, whichever occurs first. [THIS CONDITION HAS BEEN SATISFIED]
10. With regards to the Designated Receiving Area:
  - 10.1 Access shall be from US 301 via Berry Grove Blvd., Saffold Rd. and Bonita Dr. With respect to those connections which access from an FDOT roadway, the presence, absence and location of such access shall be subject to review and approval by the FDOT.
  - 10.2 Internal streets may project roadways shall be public and dedicated to Hillsborough County only in accordance with Comprehensive Plan, Mobility Section Policy 4.1.4 may not be gated.
  - 10.3 The developer shall construct all proposed full access connections and future roadway connections as generally shown on the PD site plan, as well as any additional internal connections that may be required to satisfy Section 6.02.01.H emergency access requirements. Access to US 301 is subject to FDOT approval.

10.4 Consistent with Section 10.01.05.D.2., no further notification to future PD residents shall be required when such connections are completed.

11. With regards to required site access improvements:

11.1 The developer shall construct the following improvements:

11.1.1 A southbound to eastbound left turn lane on US 301 onto Saffold Rd.

11.1.2 A southbound to eastbound left turn lane on US 301 at the project entrance (i.e. onto the proposed east-west collector roadway).

11.1.3 A northbound to eastbound right turn lane on US 301 at the project entrance (i.e. onto the proposed east-west collector roadway).

11.1.4 A westbound to southbound left turn lane on the proposed east-west collector roadway onto US 301.

11.1.5 An eastbound to northbound left turn lane on Saffold Rd onto the proposed north-south collector roadway.

11.1.6 An eastbound to northbound left turn lane on Saffold Rd. into the easternmost project driveway.

[CONDITION 11.1 HAS BEEN SATISFIED]

11.2 The developer shall construct the following additional improvements:

11.2.1 A southbound to westbound right turn lane on the proposed north-south collector roadway onto Saffold Rd.; and

11.2.2 Any site access improvements, including but not limited to new or extended turn lanes, which may be identified as needed in the trip generation and site access analysis required pursuant to Condition 16 herein. The developer shall be required to dedicate any additional right of way needed to accommodate the required improvements, if any.

11.3 In addition to the above improvements that may require the developer to dedicate and convey (or otherwise acquire) additional right of way, the developer shall preserve any additional right of way necessary to accommodate construction (by others) of a westbound to southbound left turn lane on Saffold Rd. onto US 301.

12. With regards to certain internal roadways:

12.1 The developer has constructed the east-west collector roadway (i.e. Berry Grove Blvd.) as 2-lane collector roadways consistent with either the Type TS-4 (Urban Collector Roadway) or Type TS-7 (Local and Collector Rural Roads), as found within the 2021 Hillsborough County Transportation Technical Manual (TTM). In addition to the right of way required for the above improvements, the developer shall preserve additional right of way along the east-west collector roadway as necessary, such that it is expandable to a 4-lane facility in the future.

- 12.2 The developer shall construct the north-south collector roadways as 2-lane collector roadways consistent with either the Type TS-4 (Urban Collector Roadway) or Type TS-7 (Local and Collector Rural Roads), as found within the 2021 Hillsborough County Transportation Technical Manual (TTM).
13. With each increment of development, the developer shall conduct a signal warrant analysis to determine if a traffic signal is warranted at the intersection of Berry Bay Blvd. and US 301. If warranted and approved by FDOT, the developer shall install the signal. Concurrent with the signalization of the intersection, the developer shall install a crosswalk for pedestrians and bicyclists at the intersection.
14. Concurrent with the signalization and construction of the crosswalk at the intersection, the developer shall construct a multi-use path along the west side of US 301 connecting the development to the Little Manatee River State Park North Trail Head trailhead located on the west side of US 301. Improvements are subject to FDOT approval.
15. Notwithstanding anything on the PD site plan or herein these conditions to the contrary, bicycle and pedestrian access, or access connections to continue/extend the Multi-Use Trails (MUTs), may be permitted anywhere along the PD boundaries.
16. Concurrent with each increment of development within Pod A, the developer shall submit a trip generation and site impact analysis, which shall be used to determine whether existing turn lanes are of sufficient length and/or whether additional site access improvements may be needed pursuant to Sec. 6.04.04.D of the LDC.

The following shall apply to the Northern Area of the Planned Development:

17. The Designated Sending Area depicted on the site plan, shall be limited to one dwelling unit for the entire 173.61 acre Designated Sending Area. Prior to preliminary plat approval for the Designated Receiving Area, the developer shall submit to Hillsborough County a proposed deed restriction in the form of conservation easement consistent with Section 704.06, Florida Statutes, which shall encumber the Designated Sending Area, limit the development within the Designated Sending Area to one, single residential dwelling unit, and be enforceable by Hillsborough County. The conservation easement must be accepted by the Hillsborough County Board of County Commissioners and recorded in the official public records of Hillsborough County prior to preliminary plat approval.
- 17.1 A maximum of 1 single-family detached lot shall be permitted where depicted on the general site plan. Development shall be in accordance with the AR zoning district development standards.
- 17.2 Notwithstanding the above, the Bullfrog Creek Mitigation Designated Sending Area shall also permit conservation and passive agricultural uses.
- 17.3 Access to the one (1) single-family dwelling unit may be permitted anywhere along the PD frontage where adjacent to the Ingress and Egress Easement (as recording in OR Book 25621 Page 624) serving the property;
- 17.4 Additional access shall be permitted in the location specified on West Lake Dr. or anywhere along the Ingress and Egress Easement necessary to provide for maintenance of these lands.

The Following Shall Apply to the Entire Planned Development:

18. Approval of this zoning petition by Hillsborough County does not constitute a guarantee that the Environmental Protection Commission of Hillsborough County (EPC) approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impact to wetlands, and does not grant any implied or vested right to environmental approvals.
19. The construction and location of any proposed wetland impacts are not approved by this correspondence but shall be reviewed by EPC staff under separate application pursuant to the EPC Wetlands rule detailed in Chapter 1-11, Rules of the EPC, (Chapter 1-11) to determine whether such impacts are necessary to accomplish reasonable use of the subject property.
20. Prior to the issuance of any building or land alteration permits or other development, the approved wetland/other surface water (OSW) line must be incorporated into the site plan. The wetland/OSW line must appear on all site plans, labeled as "EPC Wetland Line", and the wetland must be labeled as "Wetland Conservation Area" pursuant to the Hillsborough County Land Development Code (LDC).
21. Final design of buildings, stormwater retention areas, and ingress/egresses are subject to change pending formal agency jurisdictional determinations of wetland and other surface water boundaries and approval by the appropriate regulatory agencies.
22. Natural Resources staff identified a number of significant trees on the site including potential Grand Oaks. Every effort must be made to avoid the removal of and design the site around these trees. The site plan may be modified from the Certified Site Plan to avoid tree removal. This statement should be identified as a condition of the rezoning.
23. An evaluation of the property identified the potential existence of significant wildlife habitat as delineated on the Hillsborough County Significant Wildlife Habitat Map. The potential for upland significant wildlife habitat within the boundaries of the proposed application shall require the site plan to identify its existence by type (mesic or xeric) and location and how the Land Development Code preservation provision for upland significant wildlife habitat will be addressed.
24. Any interim agricultural operations shall not result in the destruction of trees or the natural plant community vegetation on the property. Any application to conduct land alteration activities on the property must be submitted to the Natural Resources Team of the Development Services Department for review and approval. Use of the agricultural exemption provision to the Land Alteration regulations is prohibited.
25. Approval of this petition by Hillsborough County does not constitute a guarantee that Natural Resources approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impacts to trees, natural plant communities or wildlife habitat, and does not grant any implied or vested right to environmental approvals.
26. The construction and location of any proposed environmental impacts are not approved by this correspondence, but shall be reviewed by Natural Resources staff through the site and subdivision development plan process pursuant to the Land Development Code.
28. For the entire Planned Development, if the notes and/or graphics on the site plan are in conflict with specific zoning conditions and/or the LDC regulations, the more restrictive regulation shall apply, unless specifically conditioned otherwise. References to development standards of the LDC in the above stated conditions shall be interpreted as the regulations in effect at the time of preliminary site plan/plat approval.

29. For the entire Planned Development, in accordance with LDC Section 5.03.07.C, the certified PD general site plan shall expire for the internal transportation network and external access points, as well as for any conditions related to the internal transportation network and external access points, if site construction plans, or equivalent thereof, have not been approved for all or part of the subject Planned Development within 5 years of the effective date of the PD unless an extension is granted as provided in the LDC. Upon expiration, recertification of the PD General Site Plan shall be required in accordance with provisions set forth in LDC Section 5.03.07.C.

**7.0 ADDITIONAL INFORMATION AND/OR GRAPHICS**

Agency	Number	Violation	Status
<b>Code Enforcement*</b>			
<input checked="" type="checkbox"/> None current or pending			
<input type="checkbox"/> Violation(s)			
<b>Building Code Compliance*</b>			
<input checked="" type="checkbox"/> None current or pending			
<input type="checkbox"/> Violation(s)			
<b>Natural Resources*</b>			
<input checked="" type="checkbox"/> None current or pending			
<input type="checkbox"/> Violation(s)			
<b>EPC*</b>			
<input checked="" type="checkbox"/> None current or pending			
<input type="checkbox"/> Violation(s)			







8.0 SITE PLANS (FULL)

8.1 Approved Site Plan (Full)

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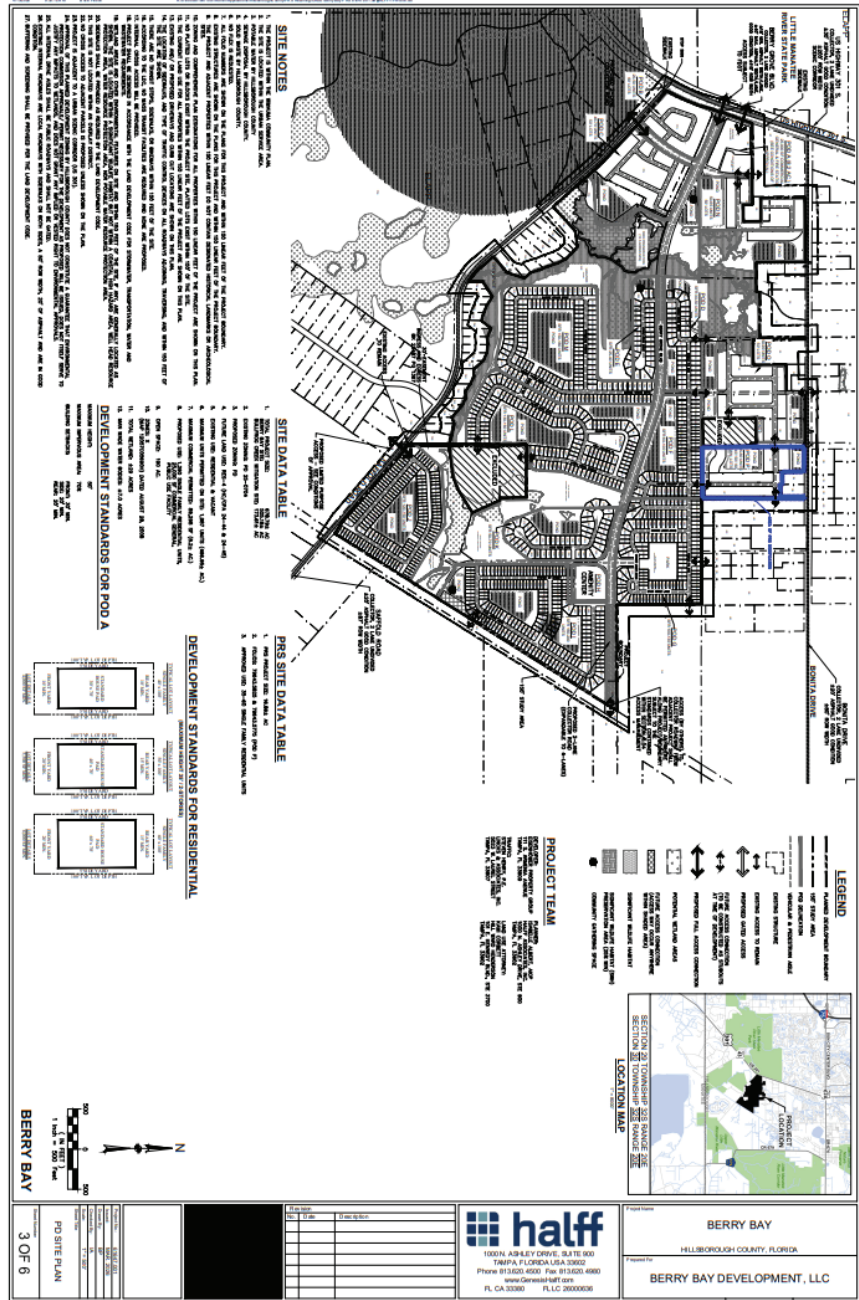






8.0 SITE PLANS (FULL)

8.2 Proposed Site Plan (Full)



8.0 SITE PLANS (FULL)

8.2 Proposed Site Plan (Full)

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COVER SHEET



**half**

10076 AMBLEY DRIVE, SUITE 100  
TAMPA, FLORIDA USA 33610  
Phone 813.625.4000 Fax 813.625.4980  
www.half.com  
FL CA 33380 FL LC 26506665

**BERRY BAY**  
HILLBOROUGH COUNTY, FLORIDA

Prepared by  
**BERRY BAY DEVELOPMENT, LLC**

04/15/2026  
Development 5

### 8.0 SITE PLANS (FULL)

### 8.2 Proposed Site Plan (Full)

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### 8.0 SITE PLANS (FULL)

### 8.2 Proposed Site Plan (Full)

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**9.0 FULL TRANSPORTATION REPORT (see following pages)**

## AGENCY REVIEW COMMENT SHEET

TO: Zoning Technician, Development Services Department

DATE: 5/12/2026

REVIEWER: Jessica Kowal, MPA, Principal Planner

AGENCY/DEPT: Transportation

PLANNING AREA: Wimauma

PETITION NO: PRS 26-0749

- This agency has no comments.
- This agency has no objection.
- This agency has no objection, subject to the listed or attached conditions.
- This agency objects for the reasons set forth below.

### **CONDITIONS OF APPROVAL**

Transportation Review Section Staff request no changes to the exiting PD conditions. All existing transportation-related conditions shall be carried forward.

### **PROJECT SUMMARY AND ANALYSIS**

The applicant is requesting a minor modification, also known as a Personal Appearance (PRS) to Pod P, a +/- 16.86-acre portion of a Planned Development zoning (PD) 25-0704. The approved PD permits 1,290 residential units, 25,000 square feet of commercial uses, and a 10,000 square foot fire station. Pod P is approved for 35-60 single-family residential units. The requested minor modification is to change the location of the stormwater pond and the proposed residential units within Pod P. No changes to access or transportation impacts are being proposed.

### ***Trip Generation Analysis***

Staff prepared the trips generated under the existing and proposed zoning designations, utilizing a generalized worst-case scenario. Data presented below is based on the Institute of Transportation Engineer's *Trip Generation Manual, 12th Edition* unless otherwise noted.

Approved and Proposed Zoning (Receiving Area Only):

Zoning, Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
PD, 1,290 Single-Family Detached dwelling units (ITE LUC 210)	10,676	870	1,012
PD, 25,000 square feet Commercial General:			
5,000 SF/14 VFP Convenience Store/Gas Station (ITE LUC 945)	2,899	243	250
5,000 SF Restaurant w/ Drive Thru (ITE LUC 934)	2,241	166	158
5,000 SF Coffee/Donut Shop w/ Drive Thru (ITE LUC 937)	3,003	427	195
10,000 SF Strip Retail Plaza (ITE LUC 822)	652	39	76
PD, 10,000 square feet Fire and Rescue Station	50*	5*	5

(ITE LUC 575)			
Total	19,521	1,750	1,696

*\*ITE does not provide average daily or AM peak hour trips for the Fire Station use, therefore, staff assumed that AM peak equals PM peak traffic and utilized the industry practice of calculating daily trips as 10 times the highest peak hour period.*

Trip Generation Difference:

Zoning, Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
<b>Difference</b>	<b>No Change</b>	<b>No Change</b>	<b>No Change</b>

**TRANSPORTATION INFRASTRUCTURE SERVING THE SITE**

The PD has frontage on US Highway 301, Berry Grove Boulevard, Saffold Road, and Bonita Drive. The area requesting the minor modification (Pod P) has frontage on Bonita Drive.

US Highway 301 is a 2-lane, divided, FDOT maintained, principal arterial roadway characterized by +/- 12-foot-wide lanes in above average condition, +/- 4-foot-wide bicycle facilities on paved shoulders, and intermittent +/- 6-foot-wide sidewalks on the east side of the roadway within the vicinity of the project. The roadway lies within a +/- 200-foot-wide right of way in the vicinity of the proposed project. US Highway 301 is a Scenic Corridor and is planned for 6 lanes on the Corridor Preservation Plan. The existing right of way width is sufficient for the future 6-lane widening, therefore no additional right of way preservation is needed along the project’s frontage.

Berry Grove Boulevard is a 2-lane, divided, collector roadway characterized by +/- 11-foot-wide lanes above average condition, +/- 7-foot-wide buffered bike lanes, and +/- 6-foot-wide sidewalks on both sides of the roadway within the vicinity of the project. The roadway lies within a +/- 110-foot-wide of right of way in the vicinity of the proposed project.

Saffold Road is a 2-lane, undivided, substandard collector roadway characterized by +/- 10-foot-wide lanes in above average condition, no bike lanes, and 10-foot-wide sidewalks on the north side of the roadway along the frontage of the project. The roadway lies within a +/- 100-foot-wide right of way in the vicinity of the proposed project.

Bonita Drive is a 2-lane, undivided, substandard collector roadway characterized by +/- 20 feet of pavement in above average condition, no bike lanes or sidewalks within the vicinity of the project. The roadway lies within a +/- 80-foot-wide right of way in the vicinity of the proposed project.

**SITE ACCESS AND CONNECTIVITY**

The modification area, Pod P, gains access through roads internal to the PD with no direct access to Bonita Drive. There are no proposed changes for the access to Pod P nor are there proposed changes to overall PD access connections.

**Connectivity with Folio 79636.0090, Marked as “Excluded” on the PD Site Plan**

The abutting property west of Pod P is not included in the PD but is surrounded by lands within the PD (Pod P to the east, Pod F to the south, and Pod O to the west). As such, this PD provides a connection to Folio 79636.0090 through the public roads internal to the PD, without which, Folio 79636.0090 would not have access to the surrounding public roadway network.

**ROADWAY LEVEL OF SERVICE (LOS) INFORMATION**

Berry Grove Boulevard, Saffold Road, and Bonita Drive are not included in the 2024 Hillsborough County Level of Service (LOS) Report. As such, no LOS information for these roadways can be provided.

The roadway level of service information for US Highway 301 is provided below.

<b>Generalized Level of Service</b>				
<b>Roadway</b>	<b>From</b>	<b>To</b>	<b>LOS Standard</b>	<b>Peak Hr. Directional LOS</b>
U.S. Highway 301	River Road	Bonita Drive	D	C

Source: [2024 Hillsborough County Level of Service \(LOS\) Report](#)



**CURRENTLY  
APPROVED**

Approval of the request, subject to the conditions listed, is based on the revised general site plan submitted May 9, 2025.

The Following Shall Apply to the Southern Area of the Planned Development:

1. Residential development shall be limited to a maximum of 1,290 residential units.
2. Pods B, C, D, E, F, G, I, J, K, L, M, O, P, and N shall meet the following:
  - 2.1 Limited to single-family detached residential. Each pod shall be limited to the maximum number of units provided for each pod on general site plan.
  - 2.2 Single-family detached lots and units shall be developed in accordance with the following:

Minimum lot size:	4,000 sf
Minimum lot width:	40 feet
Minimum front yard setback:	10 feet (unless otherwise stated)
Minimum garage setback:	20 feet
Minimum side yard setback:	5 feet
Minimum rear yard setback:	10 feet
Maximum building height:	35 feet/2-stories

Minimum lot size:	5,500 sf
Minimum lot width:	50 feet
Minimum front yard setback:	20 feet*
Minimum side yard setback:	5 feet
Minimum rear yard setback:	15 feet
Maximum building height:	35 feet/2-stories

\*corner lots shall permit a setback of 10 feet for the front yard functioning as a side yard. For front yards functioning as a side yards, the garage setback shall be 20 feet.
  - 2.3 Single-family detached lots developed at a width under 50 feet shall comply with the following:
    - 2.3.1 No more than 65% of the single-family detached lots within Pods B, C, D, E, F, G, I, J, K, L, M, O, P, and N may be under 50 feet in width. If the project will be platted by pod or phase, individual pods or phases shall meet this requirement for each individual pod or phase submitted for plat review. If these percentages will be blended throughout Pods B, C, D, E, F, G, I, J, K, L, M, O, P, and N each plat shall provide a table providing the number and percentage of lots under 50 feet in width proposed and approved within Pods B, C, D, E, F, G, I, J, K, L, M, O, P, and N. If when blended an individual pod or

phase at platting will exceed the percentage maximum of lots under 50 feet in width, the permissibility for lots under 50 feet in width will be restricted accordingly elsewhere in Pods B, C, D, E, F, G, I, J, K, L, M, O, P, and N.

2.3.2 Single-family detached units shall provide a 2-car garage.

2.3.3 Each unit's primary entrance door shall face the roadway.

2.4 Buildings and uses within the amenity center (Pod H) shall be developed in accordance with the following:

- Minimum front yard setback: 10 feet
- Minimum side yard setback: 5 feet
- Minimum rear yard setback: 10 feet
- Maximum building height: 35 feet/2-stories
- Buffering and screening where adjacent to any residential uses shall be required.

3. Pod A shall be permitted a maximum of 25,000 sf for limited CG (Commercial General) zoning district uses and a County Fire Station. The Fire Station shall be on a minimum 2-acre site.

3.1 Any and all roadways within the PD serving and/or providing access to Pod A shall be platted to the Pod A property lines. In no event shall there be any intervening lands restricting access to Pod A (i.e. spite strips shall not be permitted).

3.2 In the event FDOT permits Pod A access to US 301, all uses within Pod A shall be accessible from both US 301 and Berry Grove Blvd.

3.3 In the event FDOT permits Pod A access to US 301, all uses within Pod A shall be platted to the Pod A property lines. In no event shall there be any intervening lands restricting access to Pod A (i.e. spit strips shall not be permitted).

4. In regards to the County Fire Station in Pod A:

4.1 The County and the Developer will use their best efforts to reach a mutually agreeable dedication agreement within three (3) years from the zoning approval of PD 25-0704 (the "Agreement Period").

4.2 Should the County and the Developer not reach a mutually agreeable dedication agreement within the Agreement Period, Commercial General uses shall be permitted on the 2 ac. Site.

5. Commercial development within Pod A shall be developed in accordance with the following:

- Maximum building height: 50 feet\*
- Minimum Front Yard Setback: 30 feet\*\*
- Minimum Side and Rear Yard Setbacks: 20 feet\*\*

\*An additional setback of 2 feet for every 1-foot over 20 feet in height shall be required.

\*\*Measured from Pod A boundaries.

- 5.1. Any buffering and screening required per the Land Development Code shall be provided (excluding internal development).
- 5.2. The following CG zoning district uses shall not be permitted:
  - Wholesale Distribution (Trade)
  - Garage and Storage Yards for School Buses, Highway Construction Equipment, Telephone Equipment, and Utility Trucks and Equipment
  - Recyclable Metal Recovery Facilities
6. As Saffold Rd. is a substandard collector roadway, the developer will be required to improve the roadway, between the easternmost project access and US 301, to current County standards unless otherwise approved through the Sec. 6.04.02.B. Administrative Variance process. Deviations from Transportation Technical Manual (TTM) or Transportation Design Manual (TDM) standards may be considered through the Design Exception (DE) or Design Deviation Memorandum (DDM) process, as applicable.
7. As Bonita Dr. is a substandard collector roadway, the developer will be required to improve the roadway, between the easternmost project access and US 301, to current County standards unless otherwise approved through the Sec. 6.04.02.B. Administrative Variance process. Deviations from Transportation Technical Manual (TTM) or Transportation Design Manual (TDM) standards may be considered through the Design Exception (DE) or Design Deviation Memorandum (DDM) process, as applicable.
8. The developer shall dedicate and convey to Hillsborough County up to 15 feet of right-of-way, for a distance of approximately 50 feet on either side of:
  - a. the Dug Creek stormwater cross drain under Saffold Rd.; and,
  - b. the stormwater cross drain located +/- 300 feet to the northwest of the Dug Creek stormwater cross drain.
9. The developer shall construct a minimum 5-foot-wide sidewalk along the project's West Lake Dr. frontage concurrent with construction of the first increment of development within Designated Receiving Area, or concurrent with development of the single-family dwelling within the Designated Sending Area, whichever occurs first. [THIS CONDITION HAS BEEN SATISFIED]
10. With regards to the Designated Receiving Area:
  - 10.1 Access shall be from US 301 via Berry Grove Blvd., Saffold Rd. and Bonita Dr. With respect to those connections which access from an FDOT roadway, the presence, absence and location of such access shall be subject to review and approval by the FDOT.
  - 10.2 Internal project roadways shall be public and may not be gated.
  - 10.3 The developer shall construct all proposed full access connections and future roadway connections as generally shown on the PD site plan, as well as any additional internal connections that may be required to satisfy Section 6.02.01.H emergency access requirements. Access to US 301 is subject to FDOT approval.

10.4 Consistent with Section 10.01.05.D.2., no further notification to future PD residents shall be required when such connections are completed.

11. With regards to required site access improvements:

11.1 The developer shall construct the following improvements:

11.1.1 A southbound to eastbound left turn lane on US 301 onto Saffold Rd.

11.1.2 A southbound to eastbound left turn lane on US 301 at the project entrance (i.e. onto the proposed east-west collector roadway).

11.1.3 A northbound to eastbound right turn lane on US 301 at the project entrance (i.e. onto the proposed east-west collector roadway).

11.1.4 A westbound to southbound left turn lane on the proposed east-west collector roadway onto US 301.

11.1.5 An eastbound to northbound left turn lane on Saffold Rd onto the proposed north-south collector roadway.

11.1.6 An eastbound to northbound left turn lane on Saffold Rd. into the easternmost project driveway.

[CONDITION 11.1 HAS BEEN SATISFIED]

11.2 The developer shall construct the following additional improvements:

11.2.1 A southbound to westbound right turn lane on the proposed north-south collector roadway onto Saffold Rd.; and

11.2.2 Any site access improvements, including but not limited to new or extended turn lanes, which may be identified as needed in the trip generation and site access analysis required pursuant to Condition 16 herein. The developer shall be required to dedicate any additional right of way needed to accommodate the required improvements, if any.

11.3 In addition to the above improvements that may require the developer to dedicate and convey (or otherwise acquire) additional right of way, the developer shall preserve any additional right of way necessary to accommodate construction (by others) of a westbound to southbound left turn lane on Saffold Rd. onto US 301.

12. With regards to certain internal roadways:

12.1 The developer has constructed the east-west collector roadway (i.e. Berry Grove Blvd.) as 2-lane collector roadways consistent with either the Type TS-4 (Urban Collector Roadway) or Type TS-7 (Local and Collector Rural Roads), as found within the 2021 Hillsborough County Transportation Technical Manual (TTM). In addition to the right of way required for the above

improvements, the developer shall preserve additional right of way along the east-west collector roadway as necessary, such that it is expandable to a 4-lane facility in the future.

- 12.2 The developer shall construct the north-south collector roadways as 2-lane collector roadways consistent with either the Type TS-4 (Urban Collector Roadway) or Type TS-7 (Local and Collector Rural Roads), as found within the 2021 Hillsborough County Transportation Technical Manual (TTM).
13. With each increment of development, the developer shall conduct a signal warrant analysis to determine if a traffic signal is warranted at the intersection of Berry Bay Blvd. and US 301. If warranted and approved by FDOT, the developer shall install the signal. Concurrent with the signalization of the intersection, the developer shall install a crosswalk for pedestrians and bicyclists at the intersection.
14. Concurrent with the signalization and construction of the crosswalk at the intersection, the developer shall construct a multi-use path along the west side of US 301 connecting the development to the Little Manatee River State Park North Trail Head trailhead located on the west side of US 301. Improvements are subject to FDOT approval.
15. Notwithstanding anything on the PD site plan or herein these conditions to the contrary, bicycle and pedestrian access, or access connections to continue/extend the Multi-Use Trails (MUTs), may be permitted anywhere along the PD boundaries.
16. Concurrent with each increment of development within Pod A, the developer shall submit a trip generation and site impact analysis, which shall be used to determine whether existing turn lanes are of sufficient length and/or whether additional site access improvements may be needed pursuant to Sec. 6.04.04.D of the LDC.

The following shall apply to the Northern Area of the Planned Development:

17. The Designated Sending Area depicted on the site plan, shall be limited to one dwelling unit for the entire 173.61 acre Designated Sending Area. Prior to preliminary plat approval for the Designated Receiving Area, the developer shall submit to Hillsborough County a proposed deed restriction in the form of conservation easement consistent with Section 704.06, Florida Statutes, which shall encumber the Designated Sending Area, limit the development within the Designated Sending Area to one, single residential dwelling unit, and be enforceable by Hillsborough County. The conservation easement must be accepted by the Hillsborough County Board of County Commissioners and recorded in the official public records of Hillsborough County prior to preliminary plat approval.
  - 17.1 A maximum of 1 single-family detached lot shall be permitted where depicted on the general site plan. Development shall be in accordance with the AR zoning district development standards.
  - 17.2 Notwithstanding the above, the Bullfrog Creek Mitigation Designated Sending Area shall also permit conservation and passive agricultural uses.
  - 17.3 Access to the one (1) single-family dwelling unit may be permitted anywhere along the PD frontage where adjacent to the Ingress and Egress Easement (as recording in OR Book 25621 Page 624) serving the property;

- 17.4 Additional access shall be permitted in the location specified on West Lake Dr. or anywhere along the Ingress and Egress Easement necessary to provide for maintenance of these lands.

The Following Shall Apply to the Entire Planned Development:

18. Approval of this zoning petition by Hillsborough County does not constitute a guarantee that the Environmental Protection Commission of Hillsborough County (EPC) approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impact to wetlands, and does not grant any implied or vested right to environmental approvals.
19. The construction and location of any proposed wetland impacts are not approved by this correspondence but shall be reviewed by EPC staff under separate application pursuant to the EPC Wetlands rule detailed in Chapter 1-11, Rules of the EPC, (Chapter 1-11) to determine whether such impacts are necessary to accomplish reasonable use of the subject property.
20. Prior to the issuance of any building or land alteration permits or other development, the approved wetland/other surface water (OSW) line must be incorporated into the site plan. The wetland/OSW line must appear on all site plans, labeled as "EPC Wetland Line", and the wetland must be labeled as "Wetland Conservation Area" pursuant to the Hillsborough County Land Development Code (LDC).
21. Final design of buildings, stormwater retention areas, and ingress/egresses are subject to change pending formal agency jurisdictional determinations of wetland and other surface water boundaries and approval by the appropriate regulatory agencies.
22. Natural Resources staff identified a number of significant trees on the site including potential Grand Oaks. Every effort must be made to avoid the removal of and design the site around these trees. The site plan may be modified from the Certified Site Plan to avoid tree removal. This statement should be identified as a condition of the rezoning.
23. An evaluation of the property identified the potential existence of significant wildlife habitat as delineated on the Hillsborough County Significant Wildlife Habitat Map. The potential for upland significant wildlife habitat within the boundaries of the proposed application shall require the site plan to identify its existence by type (mesic or xeric) and location and how the Land Development Code preservation provision for upland significant wildlife habitat will be addressed.
24. Any interim agricultural operations shall not result in the destruction of trees or the natural plant community vegetation on the property. Any application to conduct land alteration activities on the property must be submitted to the Natural Resources Team of the Development Services Department for review and approval. Use of the agricultural exemption provision to the Land Alteration regulations is prohibited.
25. Approval of this petition by Hillsborough County does not constitute a guarantee that Natural Resources approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impacts to trees, natural plant communities or wildlife habitat, and does not grant any implied or vested right to environmental approvals.

26. The construction and location of any proposed environmental impacts are not approved by this correspondence, but shall be reviewed by Natural Resources staff through the site and subdivision development plan process pursuant to the Land Development Code.
28. For the entire Planned Development, if the notes and/or graphics on the site plan are in conflict with specific zoning conditions and/or the LDC regulations, the more restrictive regulation shall apply, unless specifically conditioned otherwise. References to development standards of the LDC in the above stated conditions shall be interpreted as the regulations in effect at the time of preliminary site plan/plat approval.
29. For the entire Planned Development, in accordance with LDC Section 5.03.07.C, the certified PD general site plan shall expire for the internal transportation network and external access points, as well as for any conditions related to the internal transportation network and external access points, if site construction plans, or equivalent thereof, have not been approved for all or part of the subject Planned Development within 5 years of the effective date of the PD unless an extension is granted as provided in the LDC. Upon expiration, recertification of the PD General Site Plan shall be required in accordance with provisions set forth in LDC Section 5.03.07.C.



# **AGENCY COMMENTS**

## AGENCY REVIEW COMMENT SHEET

TO: Zoning Technician, Development Services Department

DATE: 5/12/2026

REVIEWER: Jessica Kowal, MPA, Principal Planner

AGENCY/DEPT: Transportation

PLANNING AREA: Wimauma

PETITION NO: PRS 26-0749

- This agency has no comments.
- This agency has no objection.
- This agency has no objection, subject to the listed or attached conditions.
- This agency objects for the reasons set forth below.

### **CONDITIONS OF APPROVAL**

Transportation Review Section Staff request no changes to the exiting PD conditions. All existing transportation-related conditions shall be carried forward.

### **PROJECT SUMMARY AND ANALYSIS**

The applicant is requesting a minor modification, also known as a Personal Appearance (PRS) to Pod P, a +/- 16.86-acre portion of a Planned Development zoning (PD) 25-0704. The approved PD permits 1,290 residential units, 25,000 square feet of commercial uses, and a 10,000 square foot fire station. Pod P is approved for 35-60 single-family residential units. The requested minor modification is to change the location of the stormwater pond and the proposed residential units within Pod P. No changes to access or transportation impacts are being proposed.

### ***Trip Generation Analysis***

Staff prepared the trips generated under the existing and proposed zoning designations, utilizing a generalized worst-case scenario. Data presented below is based on the Institute of Transportation Engineer's *Trip Generation Manual, 12th Edition* unless otherwise noted.

Approved and Proposed Zoning (Receiving Area Only):

Zoning, Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
PD, 1,290 Single-Family Detached dwelling units (ITE LUC 210)	10,676	870	1,012
PD, 25,000 square feet Commercial General:			
5,000 SF/14 VFP Convenience Store/Gas Station (ITE LUC 945)	2,899	243	250
5,000 SF Restaurant w/ Drive Thru (ITE LUC 934)	2,241	166	158
5,000 SF Coffee/Donut Shop w/ Drive Thru (ITE LUC 937)	3,003	427	195
10,000 SF Strip Retail Plaza (ITE LUC 822)	652	39	76
PD, 10,000 square feet Fire and Rescue Station	50*	5*	5

(ITE LUC 575)			
Total	19,521	1,750	1,696

*\*ITE does not provide average daily or AM peak hour trips for the Fire Station use, therefore, staff assumed that AM peak equals PM peak traffic and utilized the industry practice of calculating daily trips as 10 times the highest peak hour period.*

Trip Generation Difference:

Zoning, Land Use/Size	24 Hour Two-Way Volume	Total Peak Hour Trips	
		AM	PM
<b>Difference</b>	<b>No Change</b>	<b>No Change</b>	<b>No Change</b>

**TRANSPORTATION INFRASTRUCTURE SERVING THE SITE**

The PD has frontage on US Highway 301, Berry Grove Boulevard, Saffold Road, and Bonita Drive. The area requesting the minor modification (Pod P) has frontage on Bonita Drive.

US Highway 301 is a 2-lane, divided, FDOT maintained, principal arterial roadway characterized by +/- 12-foot-wide lanes in above average condition, +/- 4-foot-wide bicycle facilities on paved shoulders, and intermittent +/- 6-foot-wide sidewalks on the east side of the roadway within the vicinity of the project. The roadway lies within a +/- 200-foot-wide right of way in the vicinity of the proposed project. US Highway 301 is a Scenic Corridor and is planned for 6 lanes on the Corridor Preservation Plan. The existing right of way width is sufficient for the future 6-lane widening, therefore no additional right of way preservation is needed along the project’s frontage.

Berry Grove Boulevard is a 2-lane, divided, collector roadway characterized by +/- 11-foot-wide lanes above average condition, +/- 7-foot-wide buffered bike lanes, and +/- 6-foot-wide sidewalks on both sides of the roadway within the vicinity of the project. The roadway lies within a +/- 110-foot-wide of right of way in the vicinity of the proposed project.

Saffold Road is a 2-lane, undivided, substandard collector roadway characterized by +/- 10-foot-wide lanes in above average condition, no bike lanes, and 10-foot-wide sidewalks on the north side of the roadway along the frontage of the project. The roadway lies within a +/- 100-foot-wide right of way in the vicinity of the proposed project.

Bonita Drive is a 2-lane, undivided, substandard collector roadway characterized by +/- 20 feet of pavement in above average condition, no bike lanes or sidewalks within the vicinity of the project. The roadway lies within a +/- 80-foot-wide right of way in the vicinity of the proposed project.

**SITE ACCESS AND CONNECTIVITY**

The modification area, Pod P, gains access through roads internal to the PD with no direct access to Bonita Drive. There are no proposed changes for the access to Pod P nor are there proposed changes to overall PD access connections.

**Connectivity with Folio 79636.0090, Marked as “Excluded” on the PD Site Plan**

The abutting property west of Pod P is not included in the PD but is surrounded by lands within the PD (Pod P to the east, Pod F to the south, and Pod O to the west). As such, this PD provides a connection to Folio 79636.0090 through the public roads internal to the PD, without which, Folio 79636.0090 would not have access to the surrounding public roadway network.

**ROADWAY LEVEL OF SERVICE (LOS) INFORMATION**

Berry Grove Boulevard, Saffold Road, and Bonita Drive are not included in the 2024 Hillsborough County Level of Service (LOS) Report. As such, no LOS information for these roadways can be provided.

The roadway level of service information for US Highway 301 is provided below.

<b>Generalized Level of Service</b>				
<b>Roadway</b>	<b>From</b>	<b>To</b>	<b>LOS Standard</b>	<b>Peak Hr. Directional LOS</b>
U.S. Highway 301	River Road	Bonita Drive	D	C

Source: [2024 Hillsborough County Level of Service \(LOS\) Report](#)

**COMMISSION**

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 T. Andrew Zodrow, Esq. LEGAL DEPT

**AGENCY COMMENT SHEET**

REZONING	
<p><b>HEARING DATE:</b> June 9, 2026</p> <p><b>PETITION NO.:</b> 26-0749</p> <p><b>EPC REVIEWER:</b> Abbie Weeks</p> <p><b>CONTACT INFORMATION:</b> (813) 627-2600 x1101</p> <p><b>EMAIL:</b> <a href="mailto:weeksa@epchc.org">weeksa@epchc.org</a></p>	<p><b>COMMENT DATE:</b> May 7, 2026</p> <p><b>PROPERTY ADDRESS:</b> 5201 Bonita Rd, Wimauma</p> <p><b>FOLIO #:</b> 079643.5825, 079643.5775</p> <p><b>STR:</b> 20-32S-20E</p>
<p><b>REQUESTED ZONING:</b> Minor Modification to PD</p>	
FINDINGS	
<p><b>WETLANDS PRESENT</b></p>	<p>YES</p>
<p><b>SITE INSPECTION DATE</b></p>	<p>March 13, 2026</p>
<p><b>WETLAND LINE VALIDITY</b></p>	<p>NA</p>
<p><b>WETLANDS VERIFICATION (AERIAL PHOTO, SOILS SURVEY, EPC FILES)</b></p>	<p>Fishponds and ditches are located throughout the property which were determined to meet EPC Noticed Exemption on March 17, 2026.</p>
<p><b>The EPC Wetlands Division has reviewed the proposed rezoning. In the site plan’s current configuration, a resubmittal is not necessary. If the zoning proposal changes and/or the site plans are altered, EPC staff will need to review the zoning again. This project as submitted is conceptually justified to move forward through the zoning review process as long as the following conditions are included:</b></p> <ul style="list-style-type: none"> <li>• Approval of this zoning petition by Hillsborough County does not constitute a guarantee that the Environmental Protection Commission of Hillsborough County (EPC) approvals/permits necessary for the development as proposed will be issued, does not itself serve to justify any impact to wetlands, and does not grant any implied or vested right to environmental approvals.</li> <li>• The construction and location of any proposed wetland impacts are not approved by this correspondence but shall be reviewed by EPC staff under separate application pursuant to the EPC Wetlands rule detailed in Chapter 1-11, Rules of the EPC, (Chapter 1-11) to determine whether such impacts are necessary to accomplish reasonable use of the subject property.</li> </ul>	

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**Environmental Protection Commission - Roger P. Stewart Center**  
 3629 Queen Palm Drive, Tampa, FL 33619 - (813) 627-2600 - [www.epchc.org](http://www.epchc.org)



## Agency Review Comment Sheet

**NOTE:** Wellhead Resource Protection Areas (WRPA), Potable Water Wellfield Protection Areas (PWWPA), and Surface Water Resource Protection Areas (SWRPA) reviews are based on the most current available data on the Hillsborough County maps, as set forth in Part 3.05.00 of the Land Development Code.

**TO:** Zoning Review, Development Services      **REQUEST DATE:** 4/6/2026  
**REVIEWER:** Kim Cruz, Environmental Supervisor      **REVIEW DATE:** 4/20/2026  
**PROPERTY OWNER:** EPG Berry Bay Holdings, LLC      **PID:** 26-0749  
**APPLICANT:** EPG Berry Bay Holdings, LLC  
**LOCATION:** Properties generally located west and south of 5215 Bonita Dr. Wimauma, FL 33598  
**FOLIO NO.:** 79643.5825 and 79643.5775

### AGENCY REVIEW COMMENTS:

At this time, according to the Hillsborough County BOCC approved maps adopted in the Comprehensive Plan, the property is not located within a Wellhead Resource Protection Area (WRPA) and/or Surface Water Resource Protection Area (SWRPA), as defined in Part 3.05.00 of the Hillsborough County Land Development Code (LDC).

At this time, according to the Florida Department of Environmental Protection well location information, the property is not located within 500 feet of non-transient non-community and/or community water system wells; therefore, the site is not located within a Potable Water Wellfield Protection Area (PWWPA).

Based on the above Wellhead and Surface Water Resource Protection information, Hillsborough County Environmental Services Division has no objection to the applicant's request at this time.

- Prior to the issuance of any building or land alteration permits or other development, the approved wetland / other surface water (OSW) line must be incorporated into the site plan. The wetland/ OSW line must appear on all site plans, labeled as "EPC Wetland Line", and the wetland must be labeled as "Wetland Conservation Area" pursuant to the Hillsborough County Land Development Code (LDC).
- Final design of buildings, stormwater retention areas, and ingress/egresses are subject to change pending formal agency jurisdictional determinations of wetland and other surface water boundaries and approval by the appropriate regulatory agencies.

**INFORMATIONAL COMMENTS:**

The following specific comments are made for informational purposes only and to provide guidance as to the EPC review process. However, future EPC staff review is not limited to the following, regardless of the obviousness of the concern as raised by the general site plan and EPC staff may identify other legitimate concerns at any time prior to final project approval.

- The subject property contains wetland/OSW areas, which have not been delineated. Knowledge of the actual extent of the wetland and OSW are necessary in order to verify the avoidance of wetland impacts pursuant to Chapter 1-11. Prior to the issuance of any building or land alteration permits or other development, the wetlands/OSWs must be field delineated in their entirety by EPC staff or Southwest Florida Water Management District staff (SWFWMD) and the wetland line surveyed. Once delineated, surveys must be submitted for review and formal approval by EPC staff.
- Chapter 1-11 prohibits wetland impacts unless they are necessary for reasonable use of the property. Staff of the EPC recommends that this requirement be taken into account during the earliest stages of site design so that wetland impacts are avoided or minimized to the greatest extent possible. The size, location, and configuration of the wetlands may result in requirements to reduce or reconfigure the improvements depicted on the plan.
- The Hillsborough County Land Development Code (LDC) defines wetlands and other surface waters as Environmentally Sensitive Areas. Pursuant to the LDC, wetlands and other surface waters are further defined as Conservation Areas or Preservation Areas and these areas must be designated as such on all development plans and plats. A minimum setback must be maintained around the Conservation/Preservation Area and the setback line must also be shown on all future plan submittals.
- Any activity interfering with the integrity of wetland(s) or other surface water(s), such as clearing, excavating, draining or filling, without written authorization from the Executive Director of the EPC or authorized agent, pursuant to Section 1-11.07, would be a violation of Section 17 of the Environmental Protection Act of Hillsborough County, Chapter 84-446, and of Chapter 1-11.

Aow/

ec: [bpinson@half.com](mailto:bpinson@half.com)

**AGENCY REVIEW COMMENT SHEET**

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**TO: ZONING TECHNICIAN, Planning Growth Management**

**DATE: 04-10-2026**

**REVIEWER: Jan Kirwan, Conservation and Environmental Lands Management**

**APPLICANT: Brice Pinson**

**PETITION NO: 26-0749**

**LOCATION: Wimauma, fl**

**FOLIO NO: 79643.5825**

**SEC: 20 TWN: 32 RNG: 20**

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- This agency has no comments.
  
- This agency has no objection.
  
- This agency has no objection, subject to listed or attached conditions.
  
- This agency objects, based on the listed or attached conditions.

COMMENTS: \_\_\_\_\_.

**WATER RESOURCE SERVICES**  
**REZONING REVIEW COMMENT SHEET: WATER & WASTEWATER**

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PETITION NO.: PRS 26-0749      REVIEWED BY: Clay Walker, E.I.      DATE: 4/7/2026

FOLIO NO.: 79643.5825, 79643.5775

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**WATER**

- The property lies within the \_\_\_\_\_ Water Service Area. The applicant should contact the provider to determine the availability of water service.
  
- A \_\_\_ inch water main exists  (adjacent to the site),  (approximately \_\_\_ feet from the site) \_\_\_\_\_. This will be the likely point-of-connection, however there could be additional and/or different points-of-connection determined at the time of the application for service. This is not a reservation of capacity.
  
- Water distribution system improvements will need to be completed prior to connection to the County's water system. The improvements include \_\_\_\_\_ and will need to be completed by the \_\_\_\_\_ prior to issuance of any building permits that will create additional demand on the system.

**WASTEWATER**

- The property lies within the \_\_\_\_\_ Wastewater Service Area. The applicant should contact the provider to determine the availability of wastewater service.
  
- A \_\_\_ inch wastewater gravity main exists  (adjacent to the site),  (approximately \_\_\_ feet from the site) \_\_\_\_\_. This will be the likely point-of-connection, however there could be additional and/or different points-of-connection determined at the time of the application for service. This is not a reservation of capacity.
  
- Wastewater collection system improvements will need to be completed prior to connection to the County's wastewater system. The improvements include \_\_\_\_\_ and will need to be completed by the \_\_\_\_\_ prior to issuance of any building permits that will create additional demand on the system.

COMMENTS: The Water Resources Department has no comments or objections.